



**RESOLUTION 02-04-2021
A RESOLUTION AUTHORIZING ADDITIONAL
ARCHITECTURAL SERVICES FOR THE NEW CITY HALL**

BE IT HEREBY RESOLVED:

SECTION 1: Due to favorable cost estimates, the city is in a position to build the western portion of the building that was previously considered an additive alternate. The following document represents a Change Order to provide funding for architectural designs for the western portion of the building.

SECTION 2: This Resolution shall become effective upon passage.

Approved on this 16th day of February, 2021.

City of Santaquin,

Kirk F. Hunsaker, Mayor

Attest:

K. Aaron Shirley, City Recorder

WPA Architecture
AUTHORIZATION FOR ADDITIONAL SERVICES (A.S.)

(To the Owner/Architect Agreement dated: August 18, 2020.)

PROJECT NAME: Santaquin City Hall **A.S. #:** A.S. 01 (REVISED)

OWNER: Santaquin City **DATE:** February 3, 2021

Architect [Engineer]: WPA Architecture

The Owner has requested Additional Services of the Architect/Engineer, WPA Architecture, as described below (or attached). In accordance with Article 4 (Additional services) of the Owner/Architect Agreement, our firm is submitting this request for approval and authorization to proceed with the work noted below. These Additional Services may require the services of Consultant(s), which if applicable, are described below.

It is understood that the fee noted below is an estimated "Not to Exceed" (NTE) amount and will be identified separately on the monthly invoices. Invoices shall reference the official A.S. number. Upon completion of the work invoices can be billed in accordance with the Base Contract.

The Additional Services are summarized as:

1. Architectural & Engineering Services to design Alternate #1: New west wing of the building which will include: Main and Basement levels of 5,476 sq. ft. at each level, of unfinished shelled space. Exterior of the West Wing will be a mirrored image of the South Wing.

2. Alternates #2 and #3: Architectural and Engineering Services to design interior improvements to the Main and South Wings of the currently desuigned building.

See attached schematic drawings.

The Fee is calculated as follows (Insert N/A if Not Applicable. If additional attachment is required then please reference):

	Description	Est. Units	Unit (Constr. Est.)	Unit Price	Subtotal
Architect:	Additional designs of new West wing building space and finishing of			Fixed Fee	\$ 40,300.00
Structural Engineer:	Additional foundation, walls, floor and roof engineering. Alternate #1 only.			Fixed Fee	\$ 4,500.00
Mechanical Engineer:	Re-Design Construction Documents			Fixed Fee	\$ 16,800.00
Electrical Engineer:	Re-Design Construction Documents			Fixed Fee	\$ 15,900.00
Other Consultants:	N/C				\$ -
Reimbursables (Billed at 1.0 times Actual Cost)					
	N/A				0.00

Fee Amount \$77,500.00

Schedule:

The Architect will provide the Additional Services referenced in this agreement in accordance with the Owner's approval.

Authorized on behalf of the Owner by: _____

Printed Name: _____

Title: _____

Date: _____

Authorized on behalf of the Architect by: Ronald B. Jones

Printed Name: Ronald B. Jones

Title: Principal, WPA Architecture

Date: February 3, 2021

CODE ANALYSIS

APPLICABLE CODES

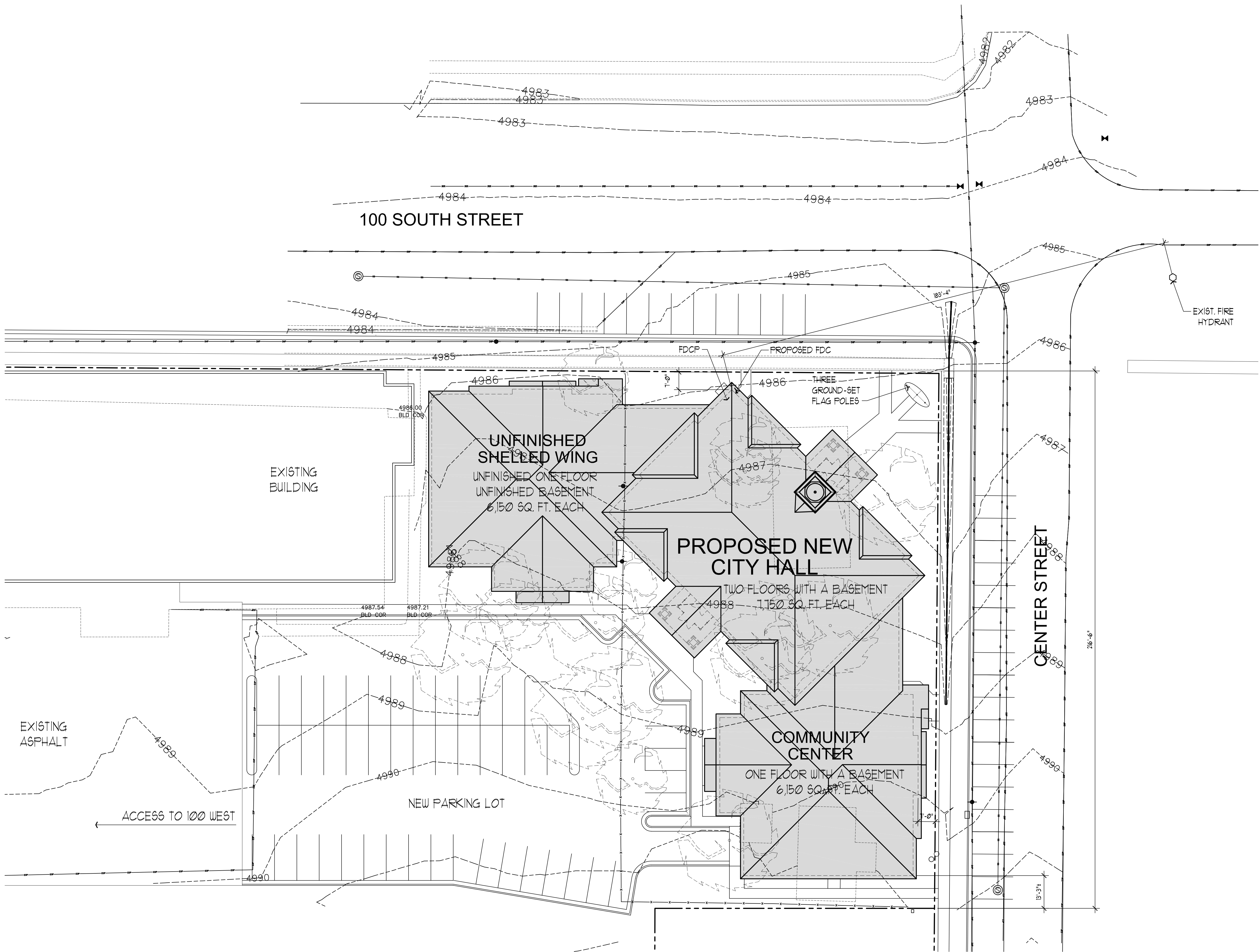
2018 INTERNATIONAL BUILDING CODE (IBC)	2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL PLUMBING CODE	AMERICANS WITH DISABILITIES ACT (ADA)
2018 INTERNATIONAL MECHANICAL CODE	ICC/ANSI A117.1 - 2009
2011 NATIONAL ELECTRICAL CODE (NEC)	2018 INTERNATIONAL FIRE CODE

OCCUPANCIES AND TYPE OF CONSTRUCTION

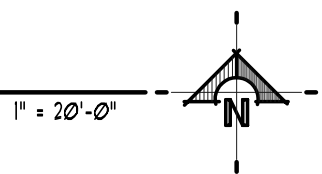
OCCUPANCIES	A-ASSEMBLY, B-OFFICES, AND S-UNFINISHED SPACES
CONSTRUCTION TYPE	V-B

AREA OF BUILDING

AREA BREAKDOWN BY OCCUPANCY				
OCCUPANCY	A	B	S	TOTAL
BASEMENT LEVEL	6,150 SQ. FT.	1,150 SQ. FT.	6,150 SQ. FT.	20,050 SQ. FT.
MAIN LEVEL	5,650 SQ. FT.	8,750 SQ. FT.	6,150 SQ. FT.	20,050 SQ. FT.
UPPER LEVEL	0 SQ. FT.	1,150 SQ. FT.	0 FT.	1,150 SQ. FT.



PROPOSED SITE PLAN



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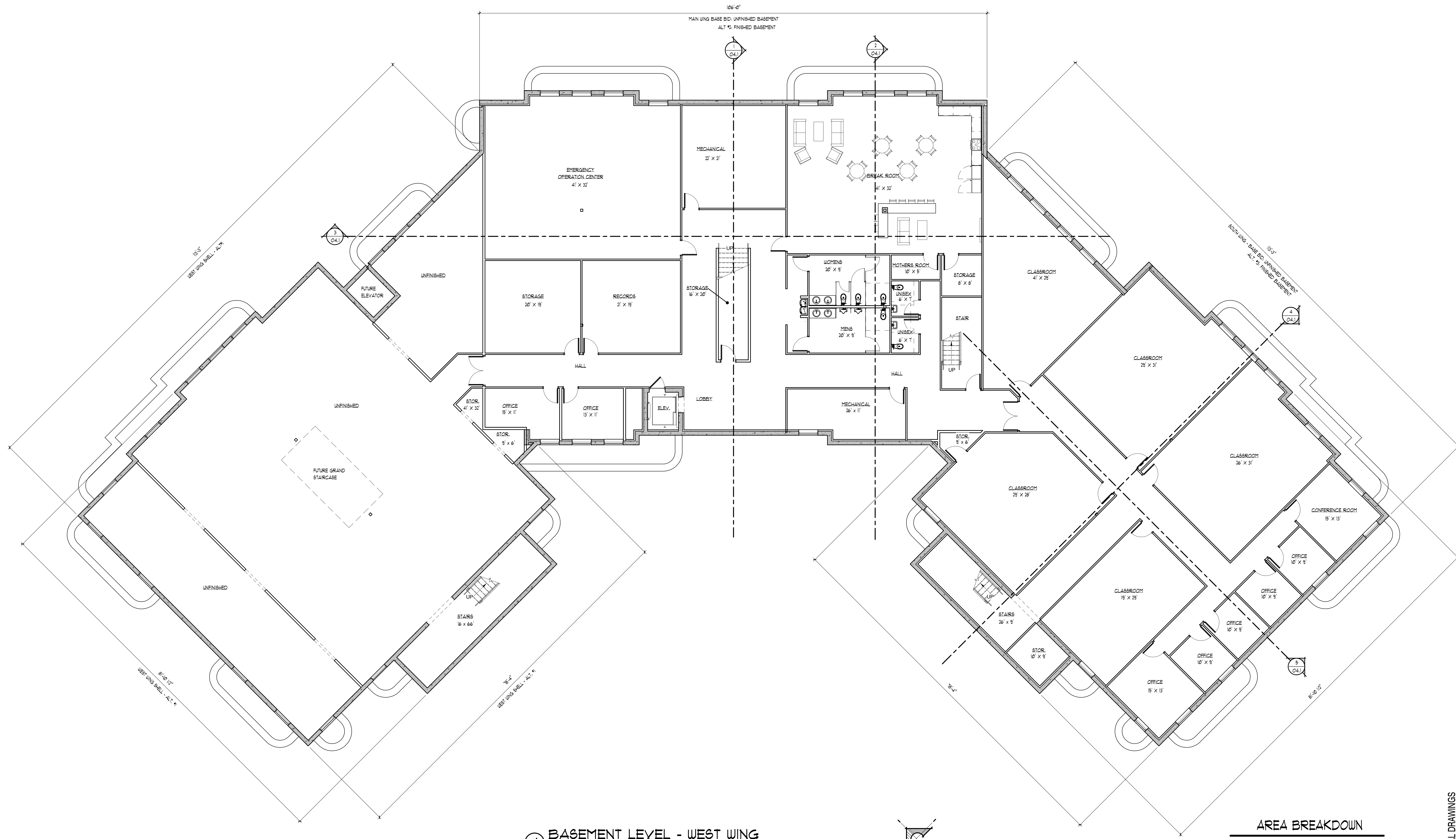
Date: DECEMBER 17, 2020
Revision:

Alan R. Poulsen
Ronald B. Jones
Bruce T. Fallon

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architecture
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Provo, Utah 84601
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Info@wpa-architecture.com

NEW SANTAQUIN CITY HALL
SANTAQUIN CITY
CENTER AND 100 SOUTH
SANTAQUIN, UTAH 84655

A1.1
SITE PLAN



1 BASEMENT LEVEL - WEST WING
1/8" = 1'-0"

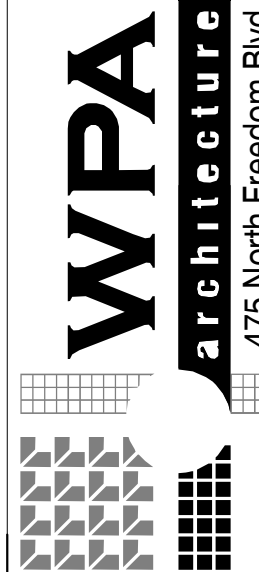
AREA BREAKDOWN

WEST WING:	6,381 SQ. FT.
MAIN WING:	7,510 SQ. FT.
SOUTH WING:	6,381 SQ. FT.
TOTAL:	20,284 SQ. FT.

20% CONCEPTUAL DRAWINGS

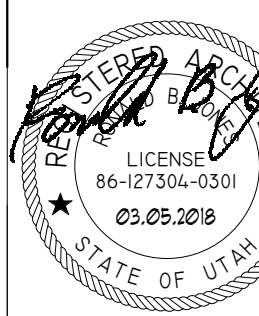


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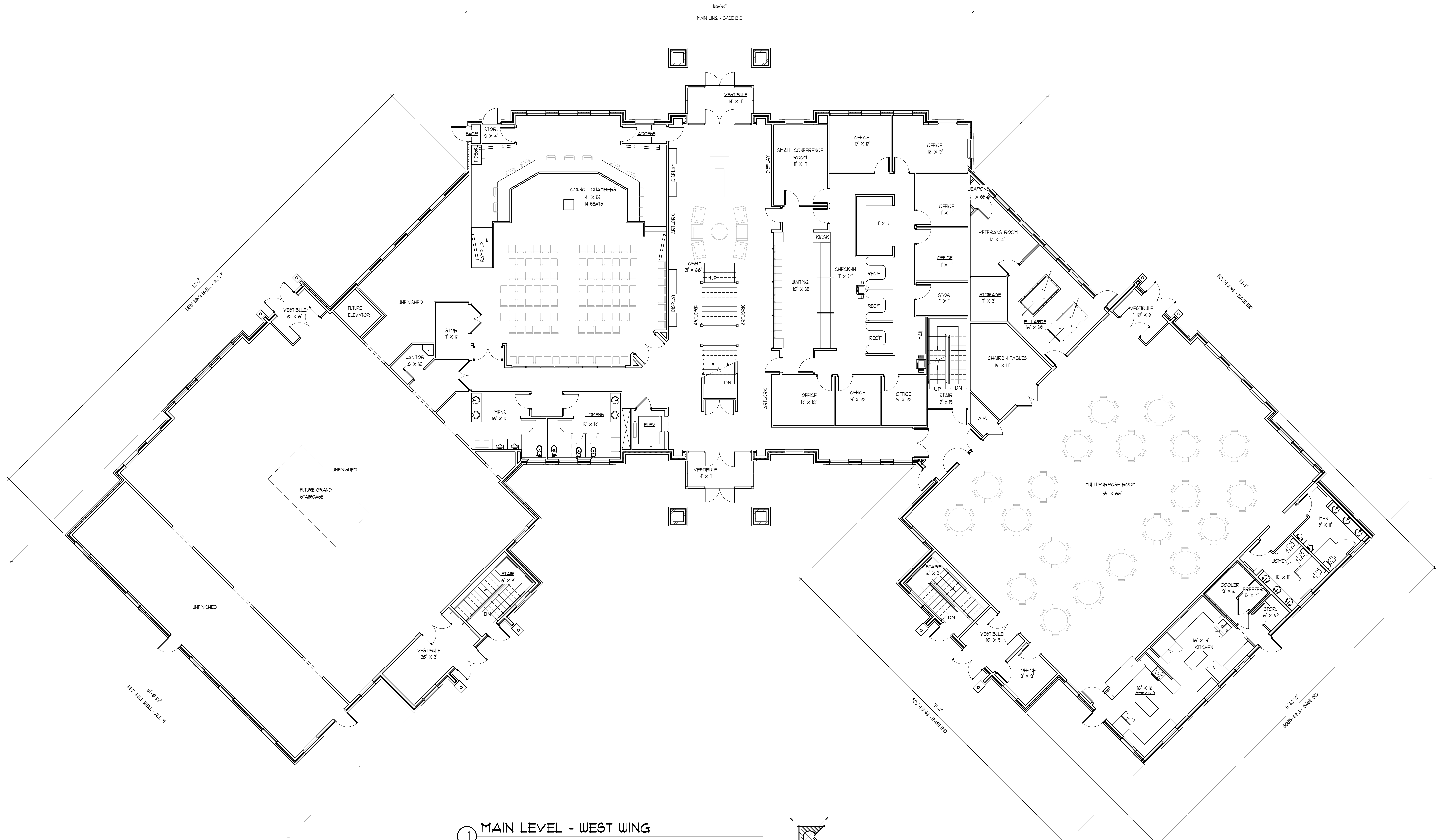
Tel: (801) 374-0800
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1 MAIN LEVEL - WEST WING
1/8" = 1'-0"

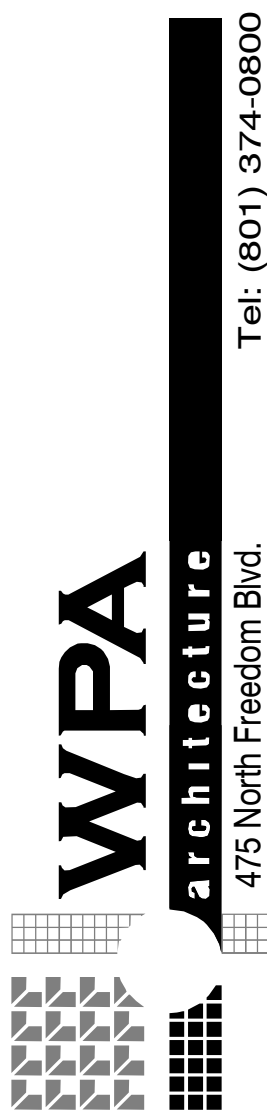
AREA BREAKDOWN

WEST WING:	6,381 S.Q. FT.
MAIN WING:	7,510 S.Q. FT.
SOUTH WING:	6,381 S.Q. FT.
TOTAL:	20,284 S.Q. FT.

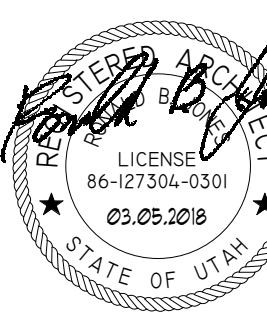
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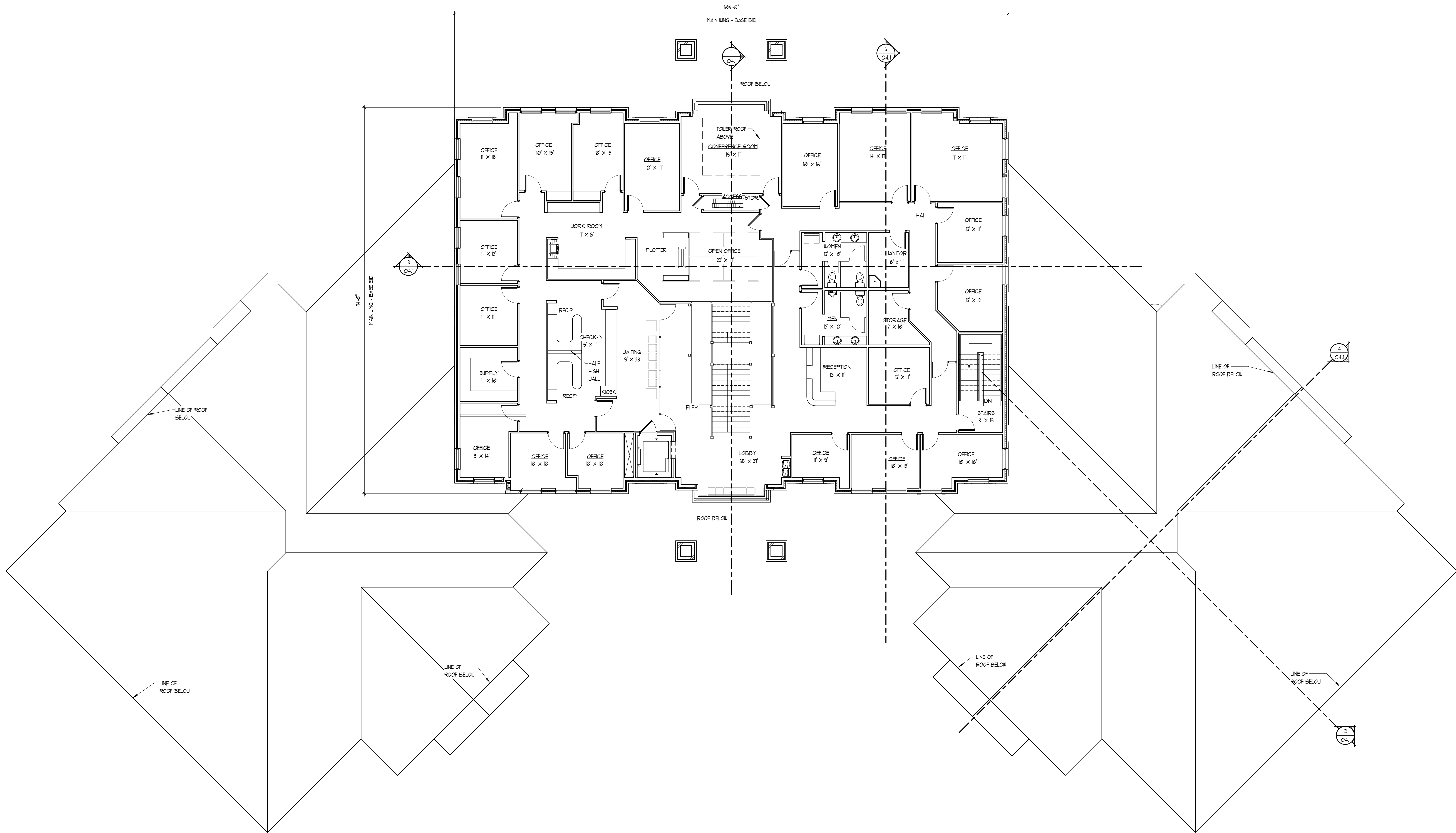


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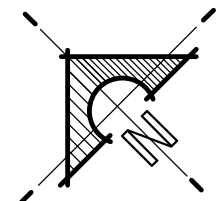


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1 UPPER LEVEL - WEST WING
1/8" = 1'-0"



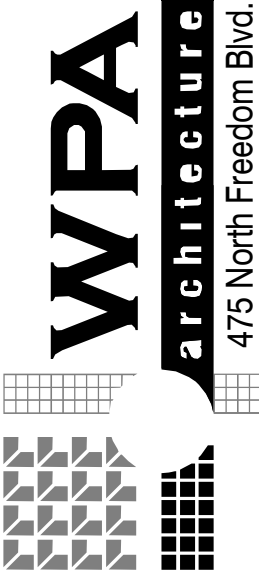
AREA BREAKDOWN

MAIN WING:	7,510 SQ. FT.
TOWER ROOMS:	423 SQ. FT.
TOTAL:	7,933 SQ. FT.

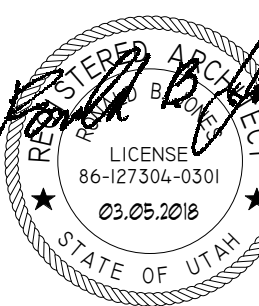
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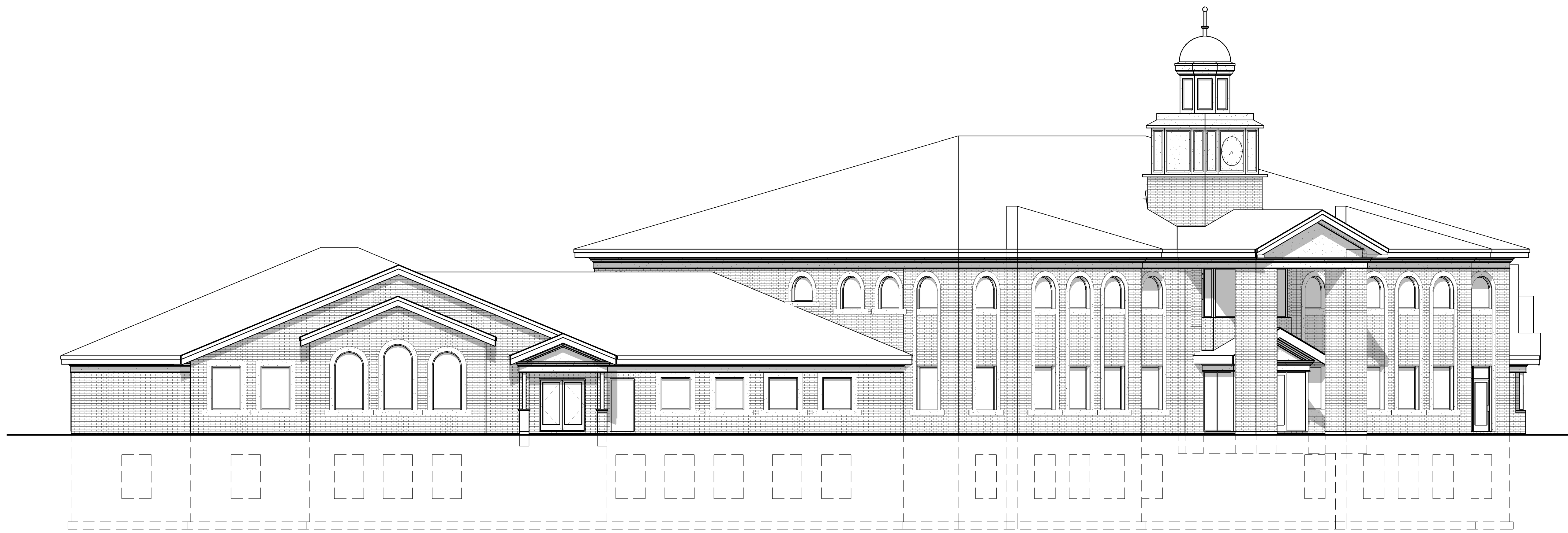


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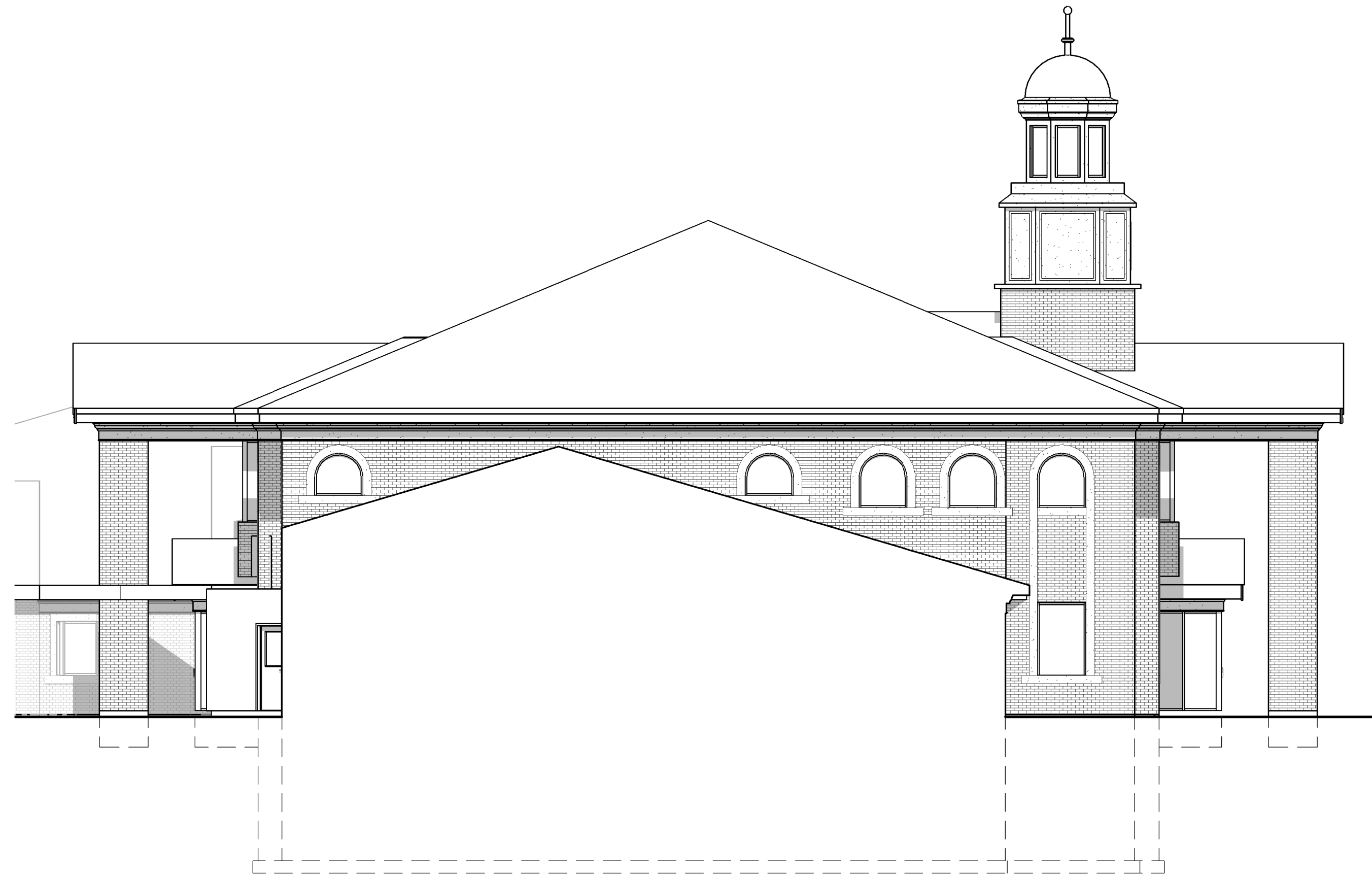
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① NORTHEAST ELEVATION
1/8" = 1'-0"



② EAST ELEVATION
1/8" = 1'-0"



① SOUTHEAST ELEVATION
1/8" = 1'-0"



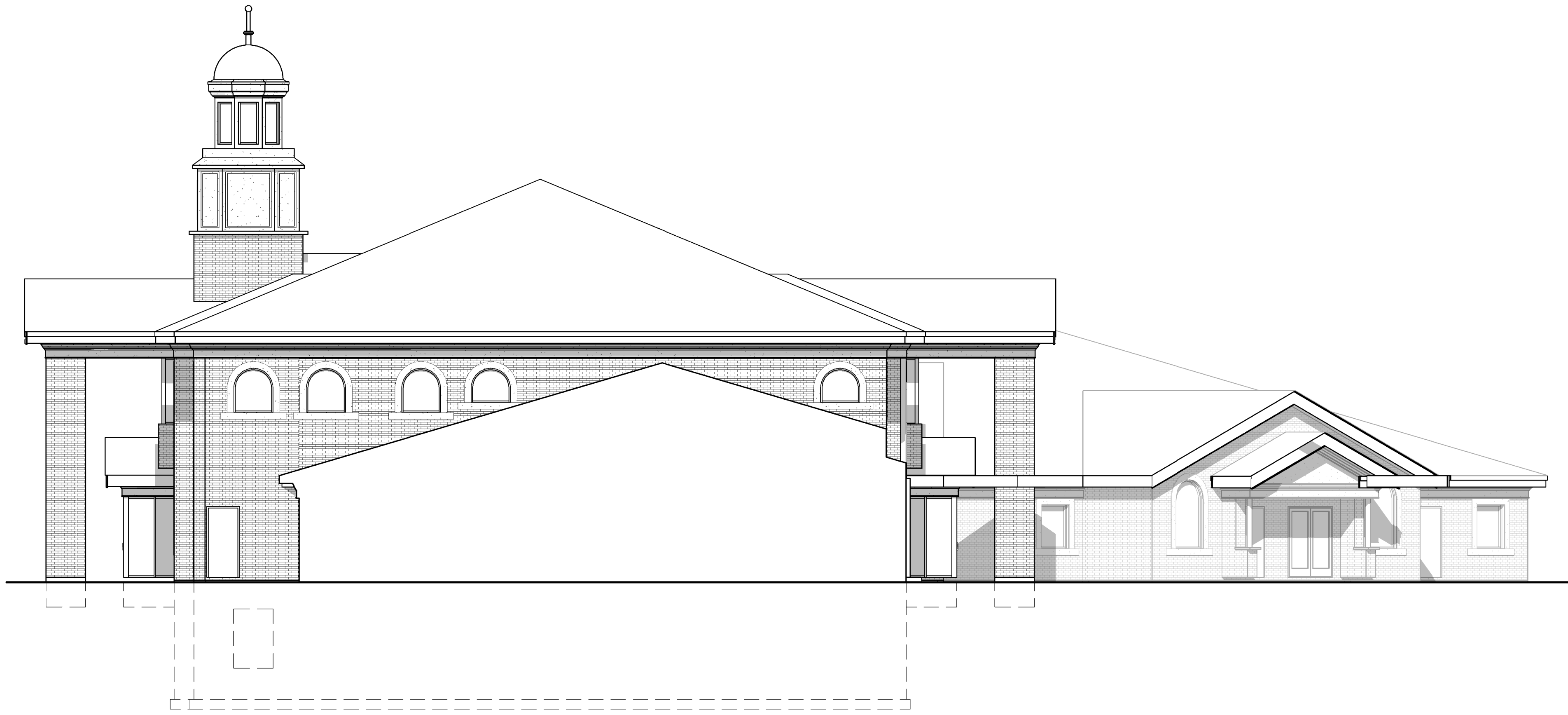
② SOUTH ELEVATION
1/8" = 1'-0"



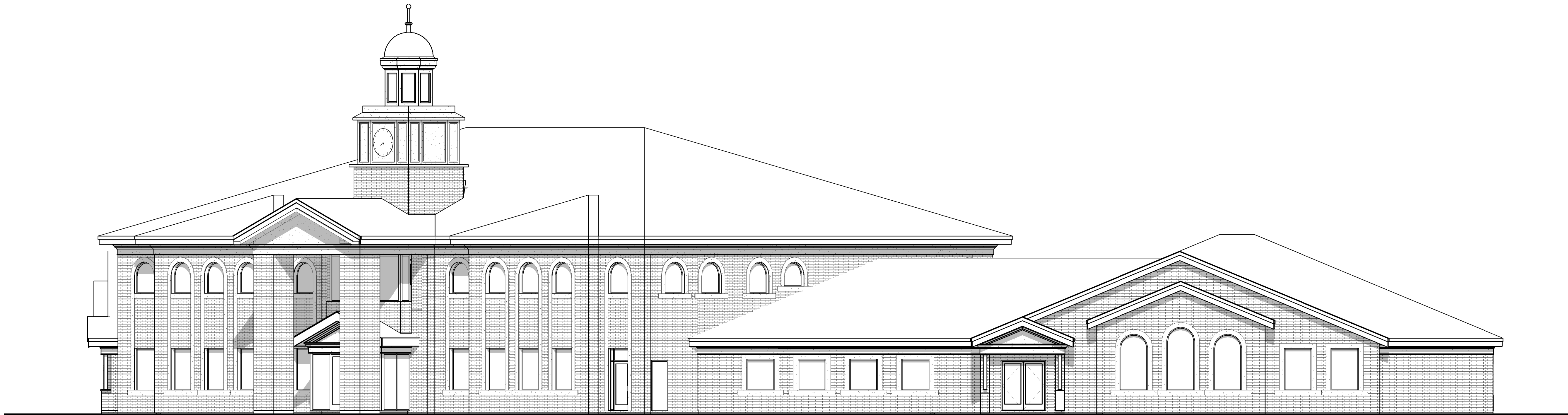
① SOUTHWEST ELEVATION
1/8" = 1'-0"



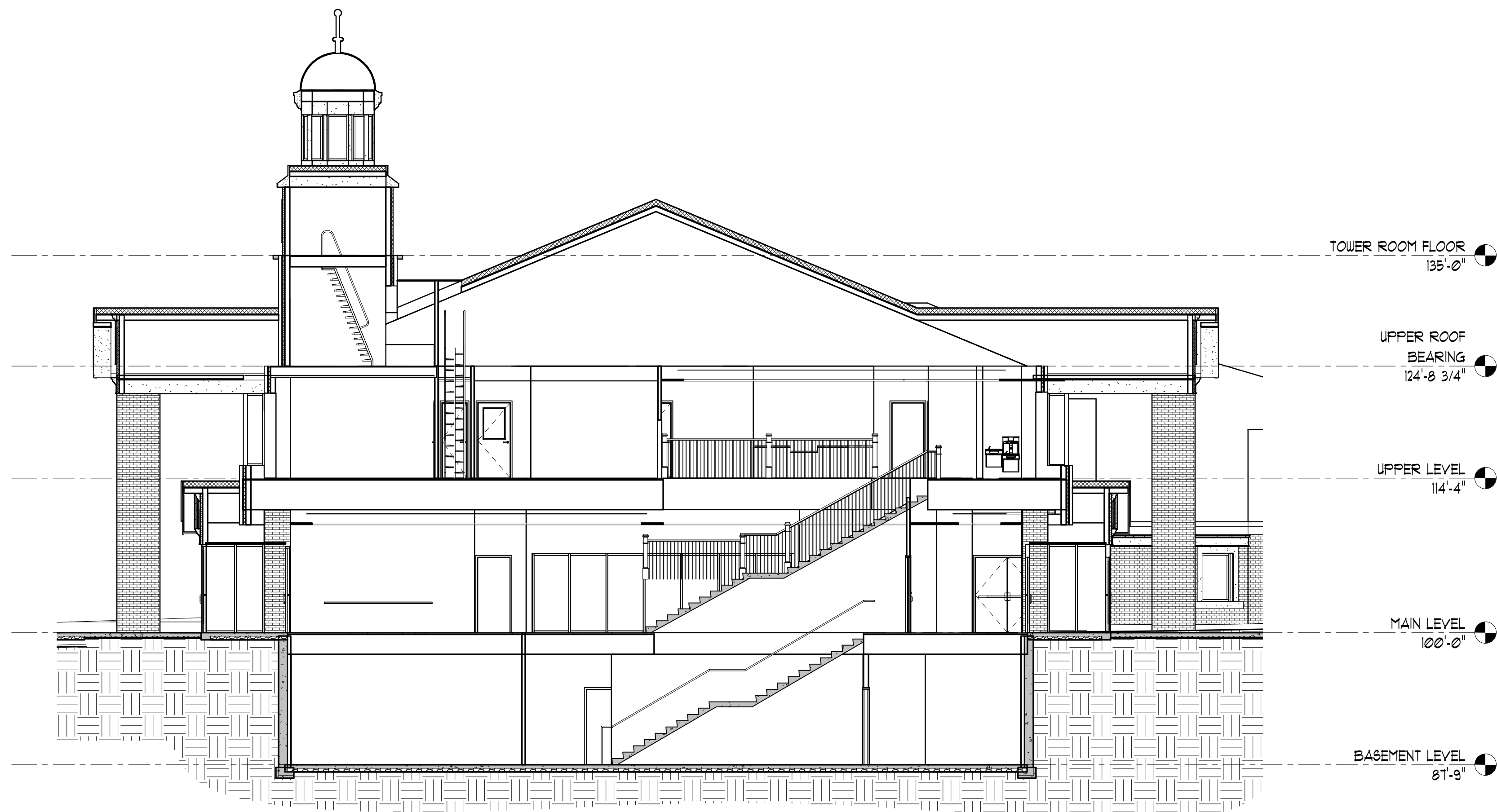
② WEST ELEVATION
1/8" = 1'-0"



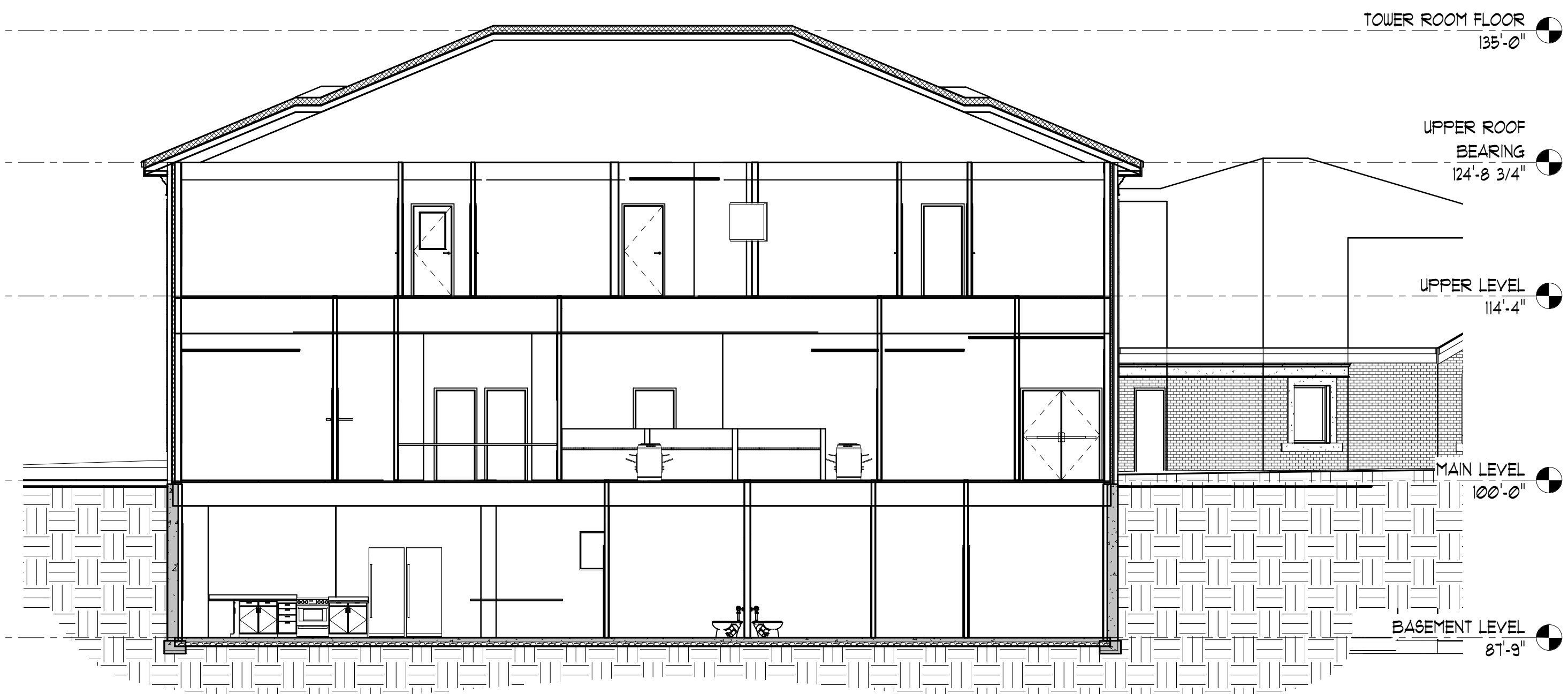
① NORTHWEST ELEVATION
1/8" = 1'-0"



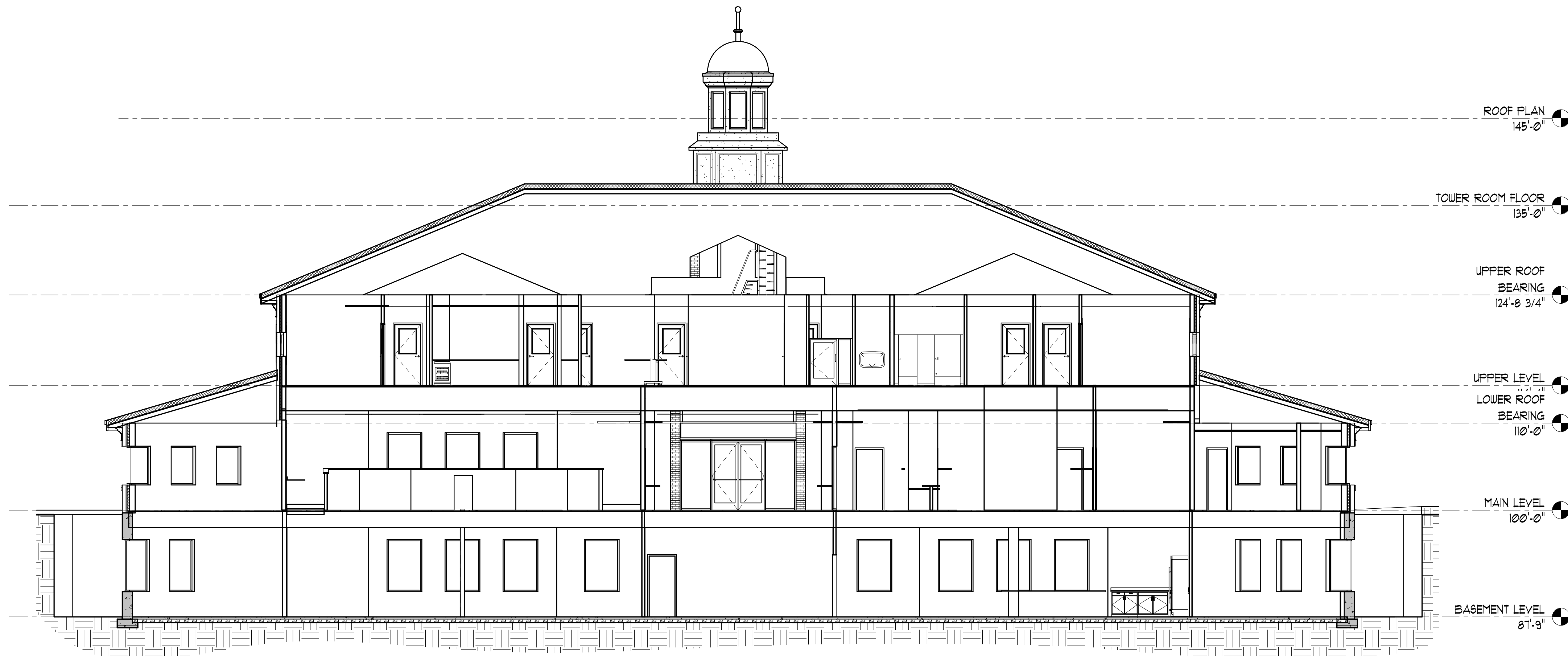
② NORTH ELEVATION
1/8" = 1'-0"



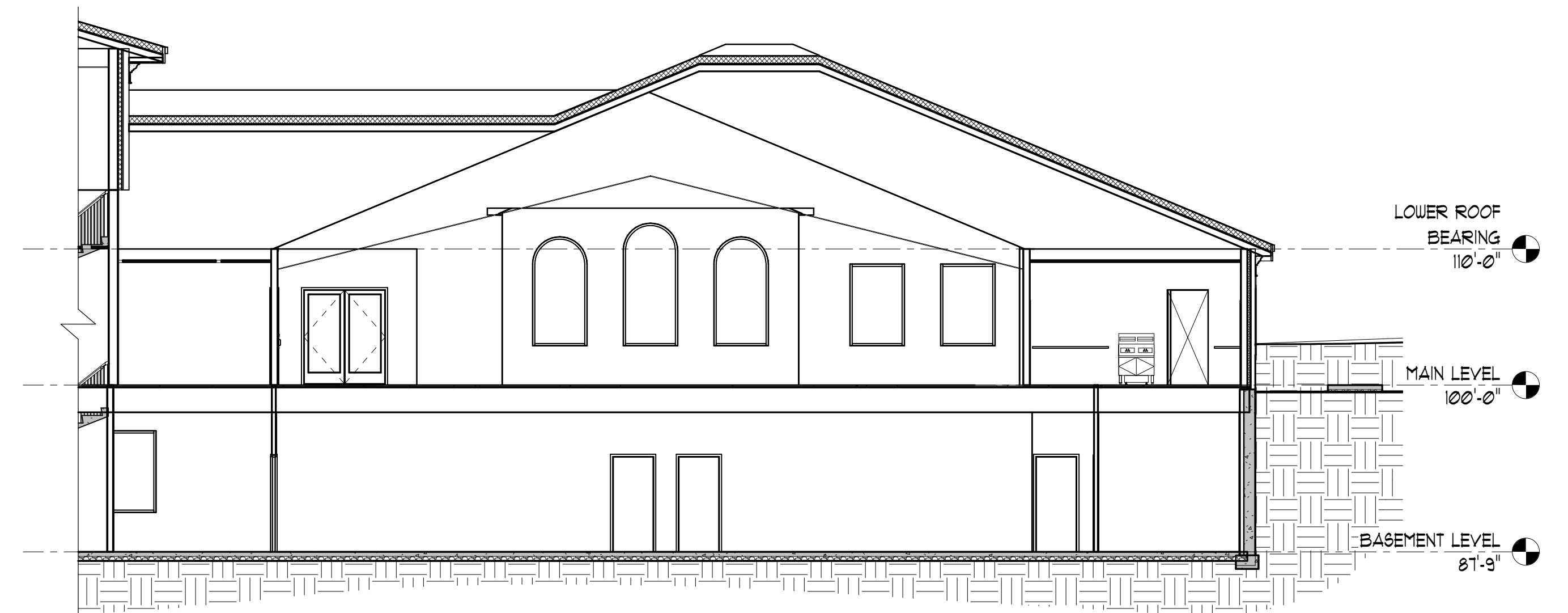
① BUILDING SECTION
1/8" = 1'-0"



② BUILDING SECTION
1/8" = 1'-0"



③ BUILDING SECTION
1/8" = 1'-0"



⑤ BUILDING SECTION
1/8" = 1'-0"



④ BUILDING SECTION
1/8" = 1'-0"