

Tanner Flats @ Summit Ridge

- Preliminary Plat / Plans -

December 22

Santaquin, Utah County, Utah

AREA BREAKDOWN	
TOTAL PLAT ACREAGE	49.38 ACRES
TOTAL LOT ACREAGE	35.74 ACRES
TOTAL ROW ACREAGE	12.48 ACRES
TOTAL OPEN SPACE	1.16 ACRES
ZONE	R-10
DENSITY	2.83 / .duq
NUMBER OF LOTS	140 LOTS

PROJECT DEVELOPER

Skylar Tolbert
Ivory Development
801-520-9127

skylart@ivorydevelopment.com

PROJECT ENGINEER & SURVEYOR

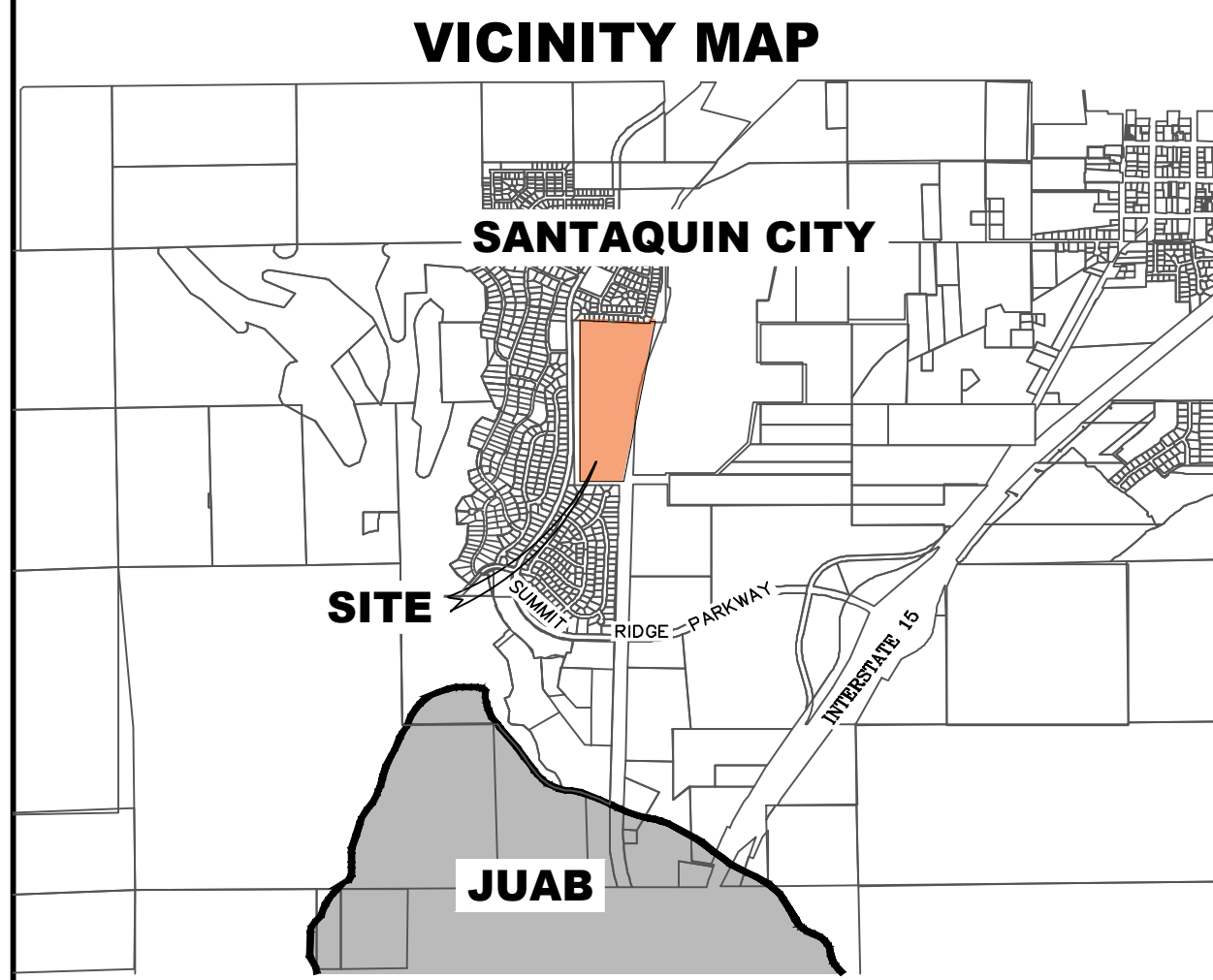
REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

INDEX OF PLAN SHEETS

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GR-01-5	GRADING PLANS
EC-01	EROSION CONTROL PLAN
EC-02	EROSION CONTROL DETAILS
DT-01-02	TYPICAL DETAILS

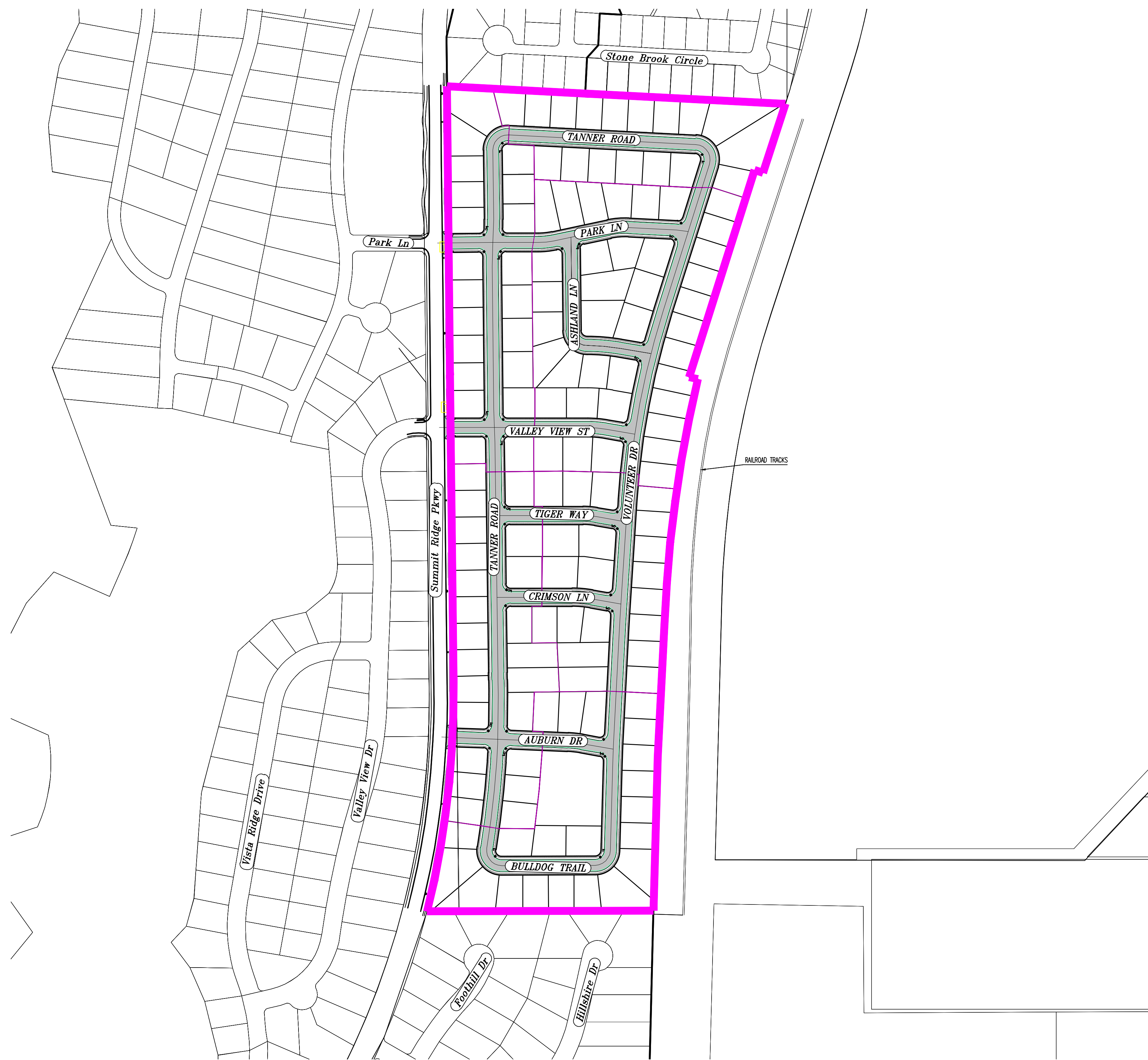
NOTES:

- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
- ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND SHEET DT-02 UNLESS OTHERWISE NOTED.
- 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
- ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

NCBU TO BE LOCATED IN PHASE 1 (3 BOX) AND PHASE 5 (3 BOX)



NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



region
Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

TANNER FLATS
at SUMMIT RIDGE
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022

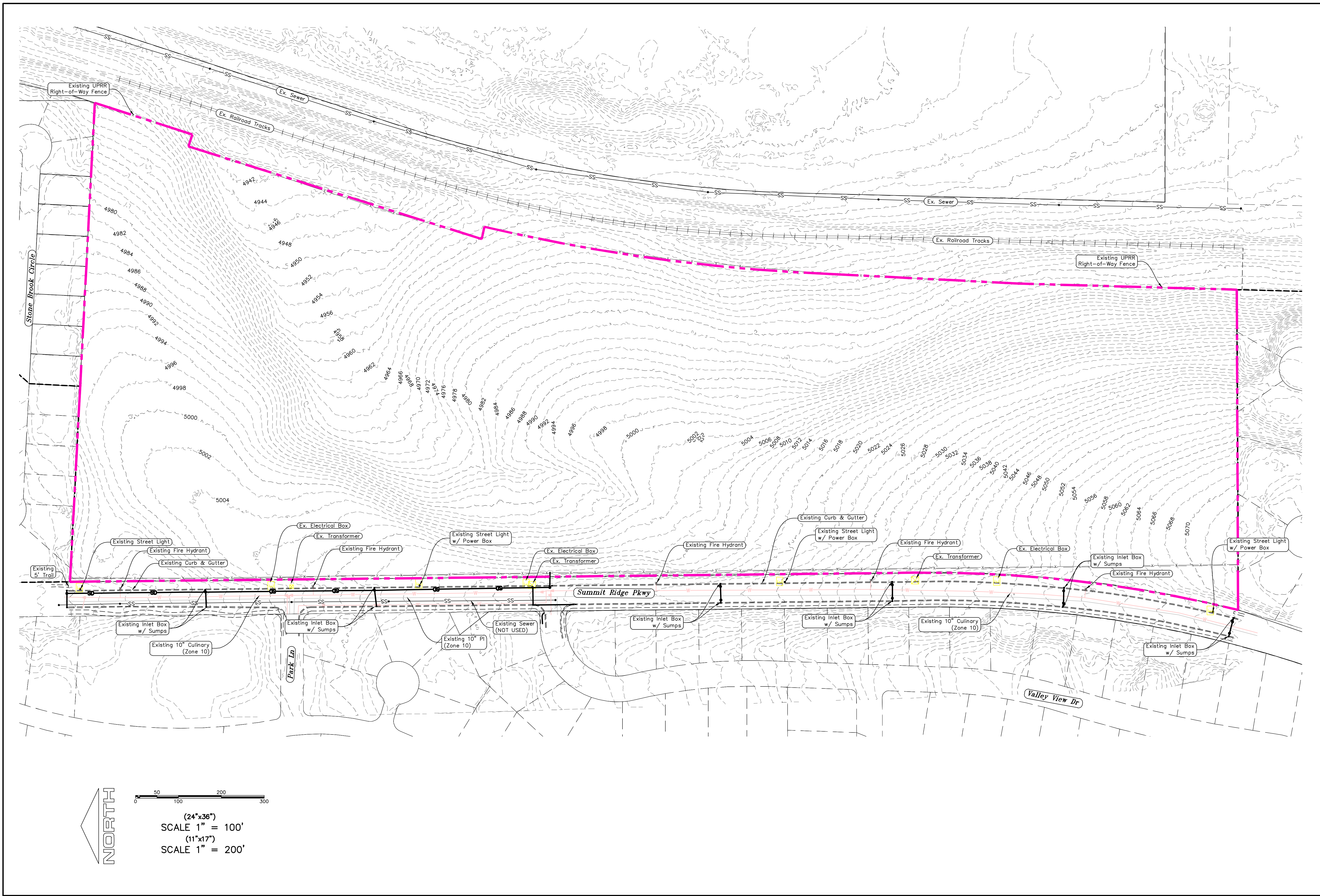
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:
COVER SHEET & NOTES

SHEET:
CS-01



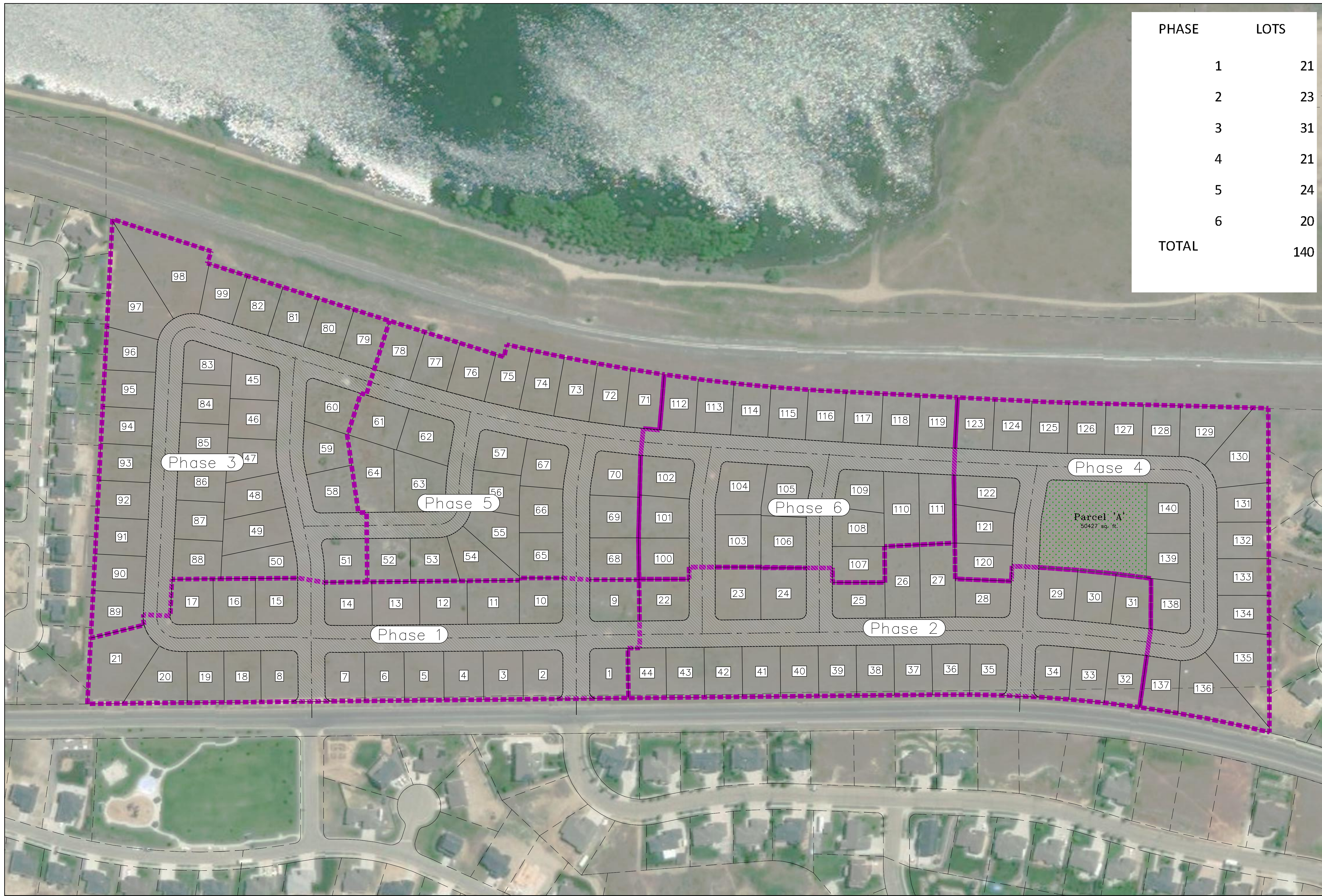
**TANNER FLATS
at SUMMIT RIDGE**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:
EXISTING CONDITIONS
SHEET:
EX-01



PHASE	LOTS
1	21
2	23
3	31
4	21
5	24
6	20
TOTAL	140

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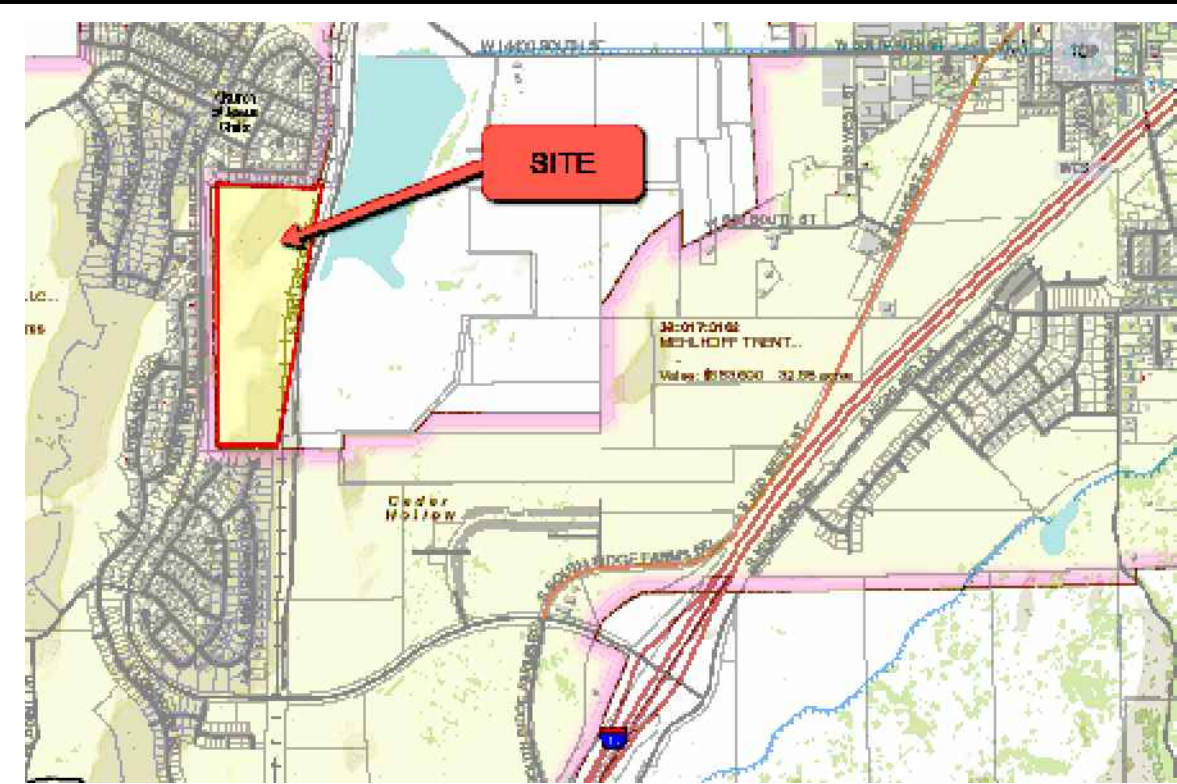


TANNER FLATS
at SUMMIT RIDGE
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

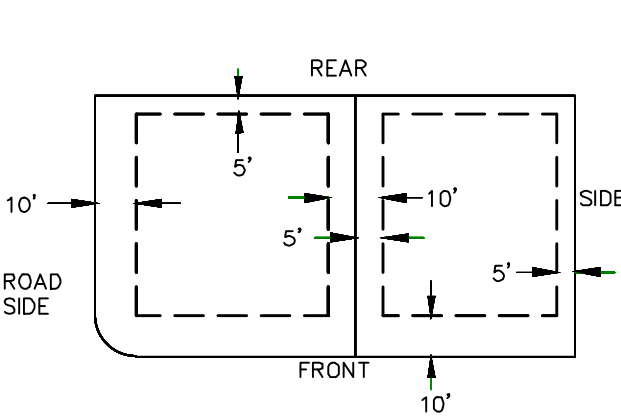
DATE: 12.5.2022
PROJECT #
REVISIONS:
1
2
3

SHEET NAME:
PHASE PLAN
SHEET:
PH-01

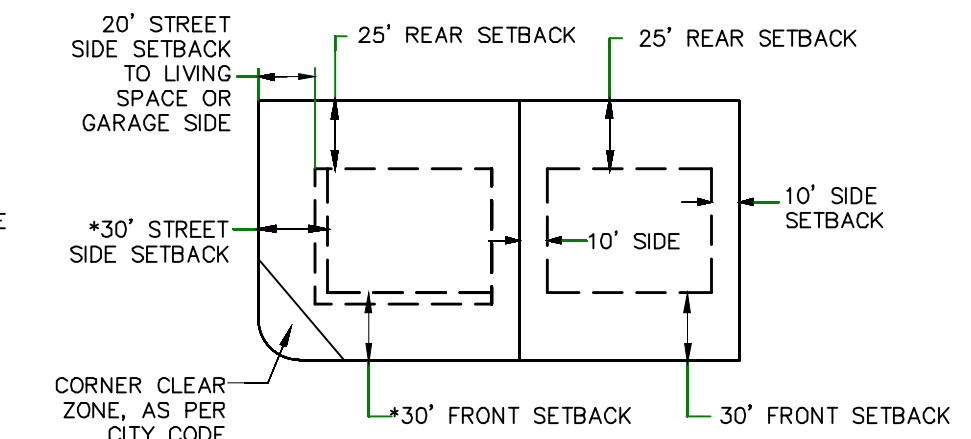
TANNER FLATS @ SUMMIT RIDGE - PRELIMINARY PLAT -



PUBLIC UTILITY EASEMENTS



BUILDING SETBACKS (MINIMUM)

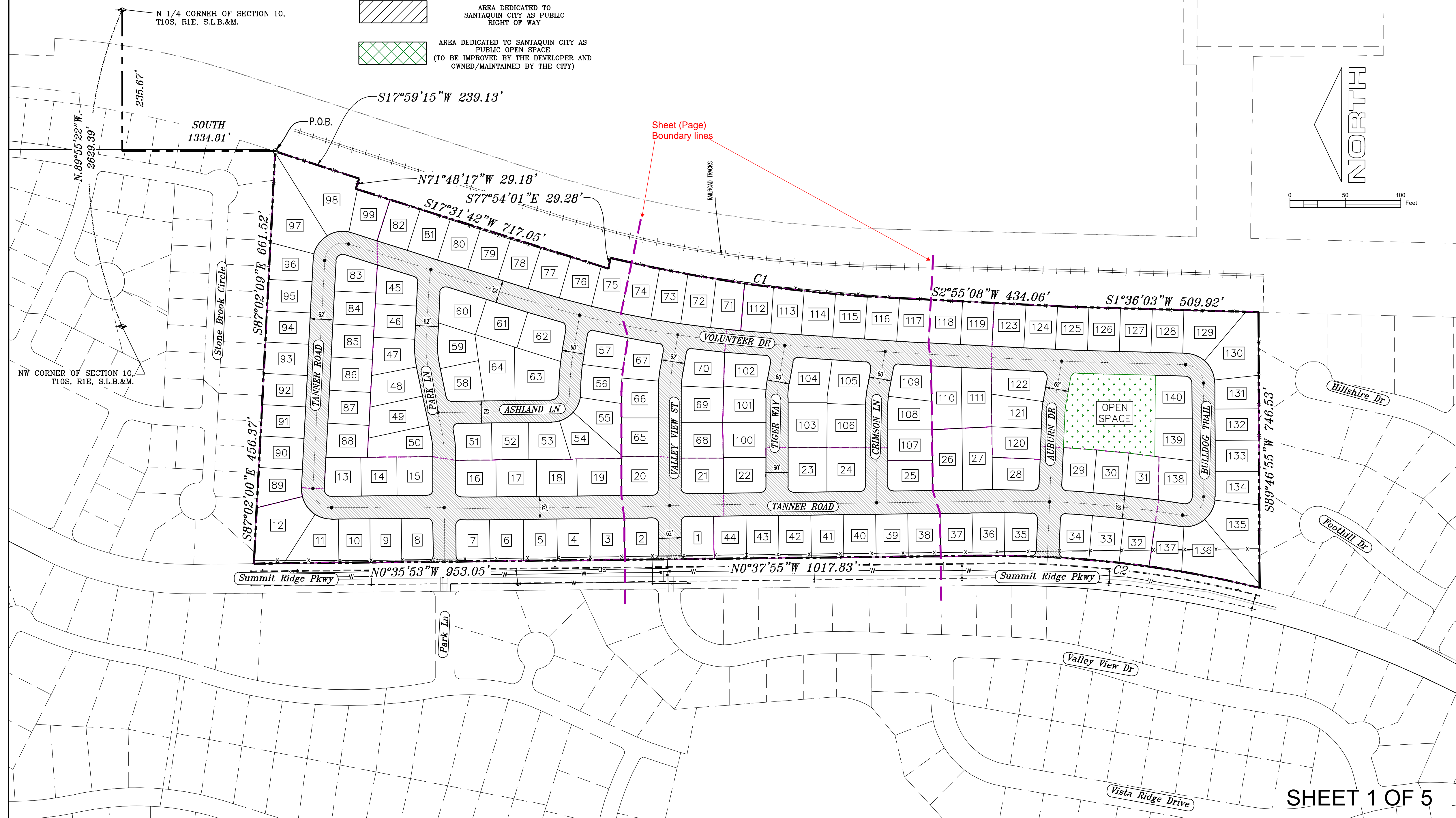


*FRONT SETBACK ON CORNER LOT: THIRTY FEET (30') FROM PROPERTY LINE ALONG PRIMARY FRONTAGE, TWENTY FIVE FEET (25') FROM PROPERTY LINE ALONG SECONDARY FRONTAGE.

LEGEND

- FOUND SECTION COR. AS NOTED
- SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
- FOUND CLASS 1 STREET MONUMENT
- SET STREET MONUMENT
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- PUBLIC UTILITY EASEMENT
- CALCULATED POINT (NOT SET)
- NDCBU (4'x8' POSTAL EASEMENT)
- AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC RIGHT OF WAY
- AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC OPEN SPACE (TO BE IMPROVED BY THE DEVELOPER AND OWNED/MAINTAINED BY THE CITY)

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	819.91'	4261.98'	818.65'	S7°44'02"W	11°01'21"
C2	759.54'	3019.90'	757.54'	N6°34'24"E	14°24'38"

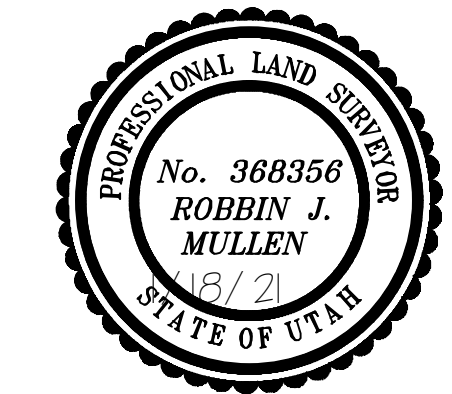


Surveyor's Certificate
I, Robbin J. Mullen, a Professional Land Surveyor holding certificate #368356 in accordance with Title 58, of the Professional Engineers and Land Surveyors Licensing act, certify that this is a true and accurate map of the tract of land to be annexed to Santiquin, Utah County, Utah.

Boundary Description
A PARCEL OF LAND LOCATED IN THE BEGINNING AT A POINT THAT IS N.89°55'22"W. ALONG THE SECTION LINE 235.67' AND SOUTH 1334.81' FROM THE NORTH 1/4 CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST; SALT LAKE BASE & MERIDIAN;

Thence, S 17° 59' 15" W for a distance of 239.13 feet to a point on a line.
Thence, N 71° 48' 17" W for a distance of 29.18 feet to a point on a line.
Thence, S 17° 31' 42" W for a distance of 717.05 feet to a point on a line.
Thence, S 77° 54' 01" E for a distance of 29.28 feet to the beginning of a non-tangential curve, said curve turning to the left through an angle of 11° 01' 21", having a radius of 4261.98 feet, and whose long chord bears S 07° 44' 02" W for a distance of 818.65 feet to a point of intersection with a non-tangential line.
Thence, S 02° 55' 08" W for a distance of 434.06 feet to a point on a line.
Thence, S 01° 36' 03" W for a distance of 509.92 feet to a point on a line.
Thence, S 89° 46' 55" W for a distance of 746.53 feet to the beginning of a non-tangential curve, said curve turning to the left through an angle of 14° 24' 38", having a radius of 3019.90 feet, and whose long chord bears N 06° 34' 24" E for a distance of 757.54 feet.
Thence, N 00° 37' 55" W for a distance of 1017.83 feet to a point on a line.
Thence, N 00° 35' 53" W for a distance of 953.05 feet to a point on a line.
Thence, S 87° 02' 00" E for a distance of 456.37 feet to a point on a line.
thence S 87° 02' 09" E a distance of 661.52 feet to the POINT OF BEGINNING

SAID DESCRIBED PARCEL CONTAINS 1913558.5 SQUARE FEET (49.38 ACRES), MORE OR LESS AND CONTAINS 140 LOTS
BASIS OF BEARING N 1/4 TO THE NW CORNER OF SAID SECTION, BEARING S.89°55'22"W. 2629.39'



12/5/2022 Date
Surveyor

AREA BREAKDOWN	
TOTAL PLAT ACREAGE	49.38 ACRES
TOTAL LOT ACREAGE	35.74 ACRES
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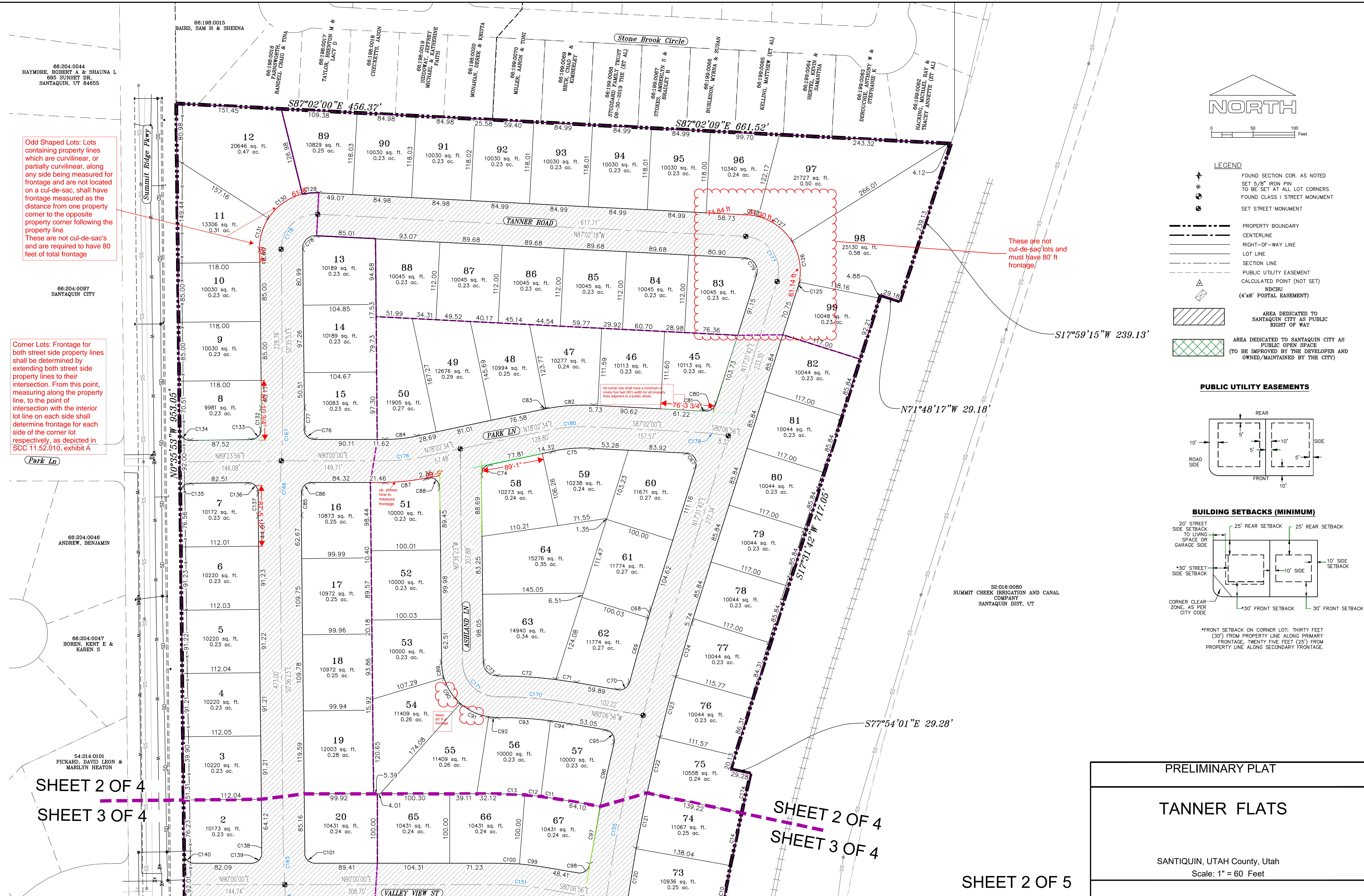
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PRELIMINARY PLAT

TANNER FLATS

SANTIQUIN, UTAH County, Utah
Scale: 1" = 100 Feet



Odd Shaped Lots: Lots containing property lines which are curvilinear, or partially curvilinear, along any side being measured for frontage and are not located on a cul-de-sac, shall have frontage measured as the distance from one property corner to the opposite property corner following the property line. These are not cul-de-sac's and are required to have 80 feet of total frontage.

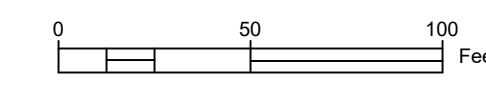
Corner Lots: Frontage for both street side property lines shall be determined by extending both street side property lines to their intersection. From this point, measuring along the property line, to the point of intersection with the interior lot line on each side shall determine frontage for each side of the corner lot respectively, as depicted in SCC 11.52.010, exhibit A.

All corner lots shall have a minimum of twenty five feet (25') width for all property lines adjacent to a public street.

ok, show how to measure frontage

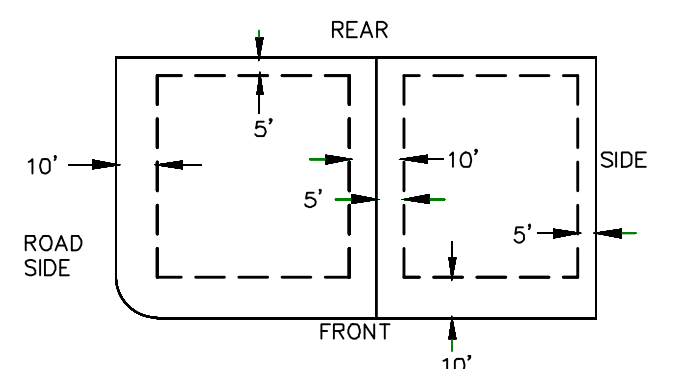
Need 80' frontage

These are not cul-de-sac lots and must have 80' ft frontage.

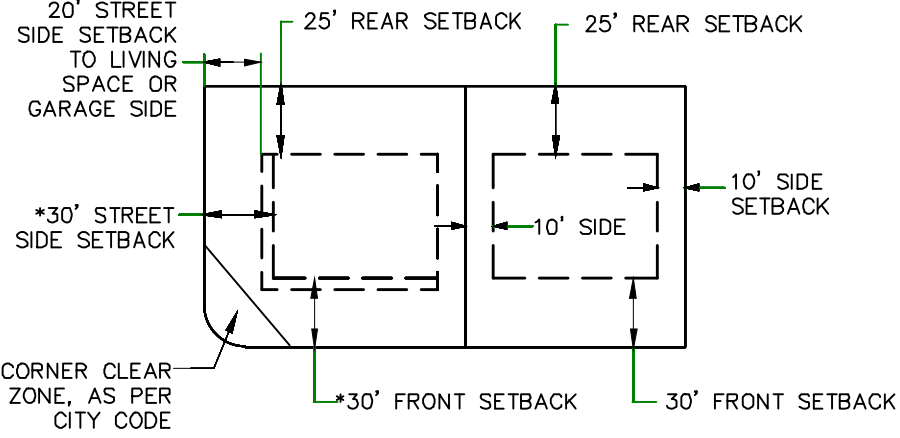


- LEGEND**
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PUBLIC UTILITY EASEMENTS



BUILDING SETBACKS (MINIMUM)



*FRONT SETBACK ON CORNER LOT: THIRTY FEET (30') FROM PROPERTY LINE ALONG PRIMARY FRONTAGE, TWENTY FIVE FEET (25') FROM PROPERTY LINE ALONG SECONDARY FRONTAGE.

32-016-0080
SUMMIT CREEK IRRIGATION AND CANAL COMPANY
SANTAQUIN DIST. UT

SHEET 2 OF 4
SHEET 3 OF 4

SHEET 2 OF 4
SHEET 3 OF 4

SHEET 2 OF 5

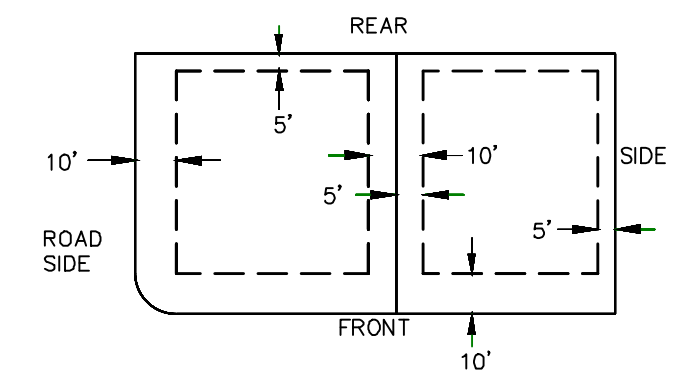
PRELIMINARY PLAT

TANNER FLATS

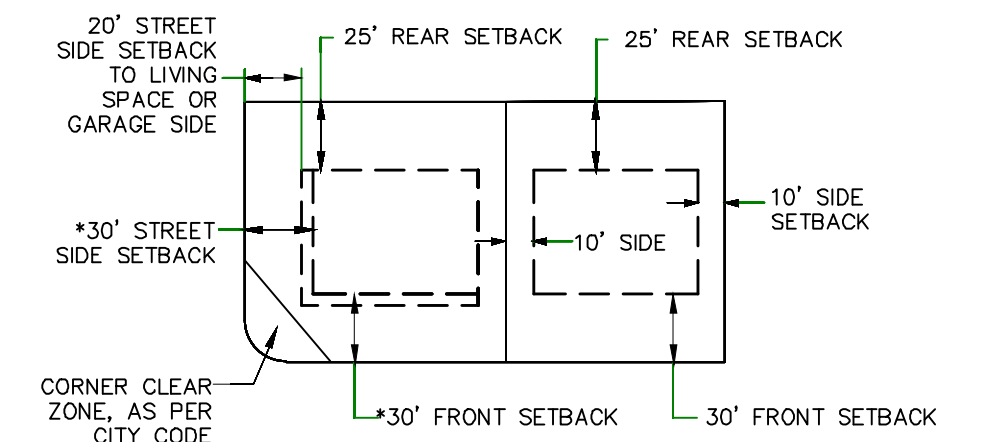
SANTAQUIN, UTAH County, Utah

Scale: 1" = 60 Feet

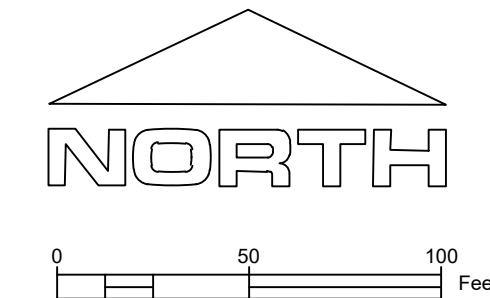
PUBLIC UTILITY EASEMENTS



BUILDING SETBACKS (MINIMUM)



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PRELIMINARY PLAT

TANNER FLATS

SANTIQUIN, UTAH County, Utah
Scale: 1" = 60 Feet

SHEET 2 OF 4
SHEET 3 OF 4

SHEET 2 OF 4
SHEET 3 OF 4

SHEET 3 OF 4
SHEET 4 OF 4

SHEET 3 OF 4
SHEET 4 OF 4

SHEET 3 OF 5



54:206:0145
FETTERMAN, JACK A &
MARILEE A (ET AL)

54:206:0144
BURKE, BRIAN J & NELLYN

54:206:0143
MACLEOD, MITZI A

54:206:0142
MCSORLEY,
MARY-ELIZABETH

54:206:0141
CHILDS, JAMES W & STACIE
L

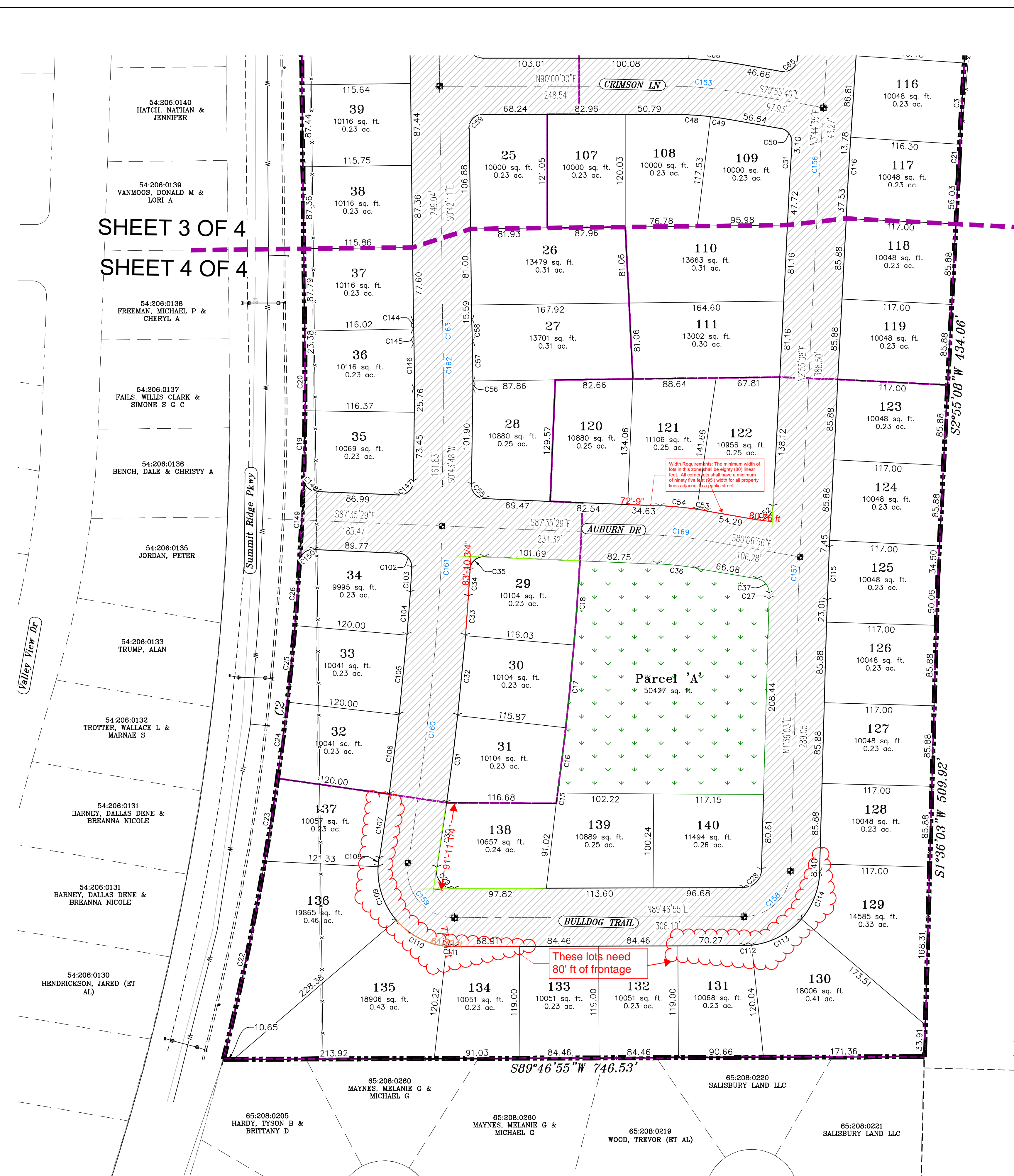
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HATCH, NATHAN &
JENNIFER

54:206:0139
VANMOOS, DONALD M &
LORI A

32:016:0080
SUMMIT CREEK IRRIGATION AND CANAL
COMPANY
SANTIQUIN DIST, UT

SHEET 3 OF 4
SHEET 4 OF 4

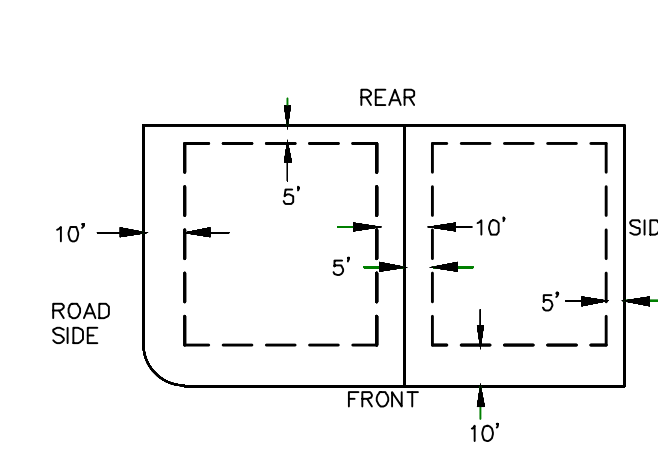
SHEET 3 OF 4
SHEET 4 OF 4



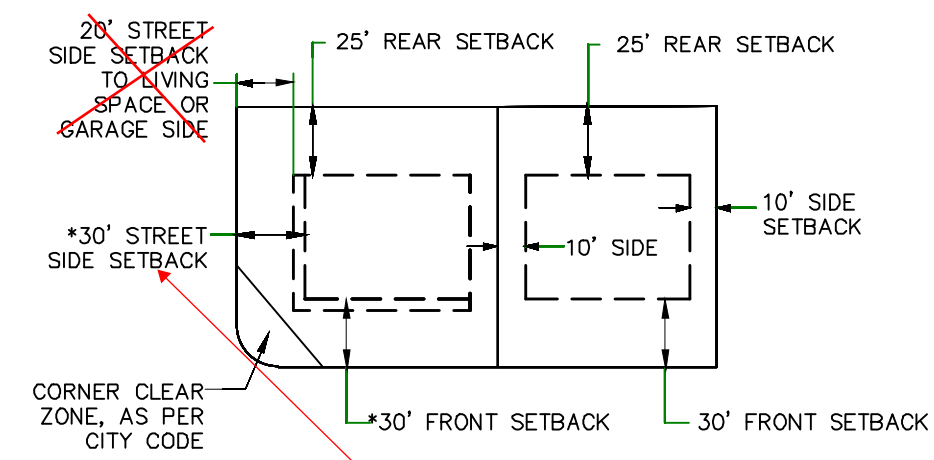
With Requirements: The minimum width of lots in this zone shall be eighty (80) linear feet. All corner lots shall have a minimum of twenty five (25) feet for all property lines adjacent to a public street.

These lots need 80' ft of frontage

PUBLIC UTILITY EASEMENTS



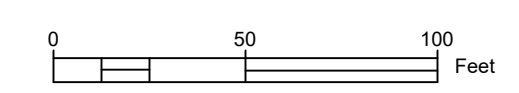
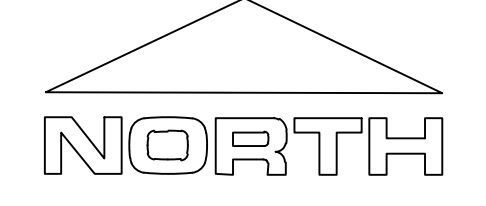
BUILDING SETBACKS (MINIMUM)



Dwellings And Other Main Buildings:
 Front Setback: Thirty feet (30') from the front lot line.
 Front Setback On Corner Lot: Thirty feet (30') from property line along primary frontage, twenty five feet (25') from property line along secondary frontage.
 Side Setback: Ten feet (10') from side property line.
 Rear Setback: Twenty five feet (25') from rear property line.

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32-016-0080
 SUMMIT CREEK IRRIGATION AND CANAL COMPANY
 SANTAQUIN DIST, UT



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PRELIMINARY PLAT

TANNER FLATS

SANTIQUIN, UTAH County, Utah
 Scale: 1" = 60 Feet

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	819.91'	4261.98'	818.65'	S74°02'W	110°21'
C2	759.54'	3019.90'	757.54'	N6°34'24"E	142°24'38"
C3	86.82'	4261.98'	86.82'	S31°15'1"W	110°02'
C4	86.78'	4261.98'	86.78'	S42°15'2"W	110°00"
C5	85.49'	4261.98'	85.48'	S5°31'21"W	1°08'57"
C6	83.12'	4261.98'	83.12'	S6°39'21"W	1°07'03"
C7	79.14'	4261.98'	79.14'	S7°44'47"W	1°03'50"
C8	77.98'	4261.98'	77.98'	S8°48'09"W	1°02'54"
C9	77.81'	4261.98'	77.81'	S9°50'59"W	1°02'46"
C10	77.69'	4261.98'	77.69'	S10°53'42"W	1°02'40"
C11	22.65'	481.00'	22.64'	S81°27'52"E	2°41'52"
C12	23.42'	481.00'	23.42'	S84°12'29"E	2°47'22"
C13	36.92'	481.00'	36.91'	S87°48'05"E	4°23'50"
C14	77.62'	4261.98'	77.62'	S11°56'20"W	1°02'36"
C15	11.09'	3264.08'	11.09'	S7°46'40"W	0°11'41"
C16	70.15'	3264.08'	70.15'	S7°03'53"W	1°13'53"
C17	88.69'	3264.08'	88.69'	S5°40'14"W	1°33'24"
C18	89.80'	3264.08'	89.80'	S4°06'14"W	1°34'35"
C19	70.60'	3019.90'	70.60'	N11°21'8"E	1°20'22"
C20	61.52'	3019.90'	61.52'	N0°02'54"W	1°10'02"
C21	29.12'	4261.98'	29.12'	S2°25'06"W	0°23'29"
C22	215.74'	3019.90'	215.69'	N11°43'56"E	4°05'35"
C23	89.16'	3019.90'	89.16'	N8°50'23"E	1°41'30"
C24	82.05'	3019.90'	82.04'	N7°12'56"E	1°33'24"
C25	82.05'	3019.90'	82.04'	N5°39'32"E	1°33'24"
C26	66.87'	3019.90'	66.87'	N4°14'46"E	1°16'07"
C27	6.12'	2531.00'	6.12'	N1°40'12"E	0°08'19"
C28	29.24'	19.00'	26.44'	N45°41'29"E	88°10'52"
C29	32.99'	19.00'	29.00'	S40°28'44"E	99°28'43"
C30	70.33'	3201.90'	70.33'	S8°37'52"W	1°15'31"
C31	93.30'	3201.90'	93.30'	S7°10'02"W	1°40'11"
C32	85.59'	3201.90'	85.59'	S5°34'00"W	1°31'54"
C33	41.82'	3201.90'	41.82'	S4°25'36"W	0°44'54"
C34	28.15'	1031.00'	28.15'	S3°16'13"W	1°33'51"
C35	23.54'	15.00'	21.20'	S47°26'54"W	89°55'13"
C36	41.62'	319.00'	41.59'	N83°51'13"W	7°28'33"
C37	21.43'	15.00'	19.65'	N39°11'17"W	81°51'18"
C38	25.50'	280.00'	25.50'	S82°43'30"E	5°13'08"
C39	22.80'	280.00'	22.79'	S87°40'02"E	4°39'56"
C40	23.38'	15.00'	21.08'	S45°21'06"E	89°17'49"
C41	23.75'	15.00'	21.34'	S44°38'54"W	90°42'11"
C42	15.68'	319.00'	15.67'	N88°35'32"W	2°48'56"
C43	39.36'	319.00'	39.33'	N83°39'00"W	7°04'08"
C44	22.94'	15.00'	20.77'	N36°18'45"W	87°36'23"
C45	87.68'	2681.00'	87.67'	N6°33'14"E	1°52'26"
C46	87.68'	2681.00'	87.67'	N4°40'48"E	1°52'26"
C47	25.17'	15.00'	22.32'	N51°48'50"E	96°08'29"
C48	40.12'	335.00'	40.10'	N86°34'08"W	6°51'44"
C49	18.77'	335.00'	18.77'	N81°31'58"W	3°12'36"
C50	21.90'	15.00'	20.01'	N38°05'32"W	83°40'15"

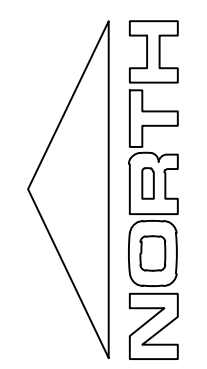
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C51	36.41'	2531.00'	36.41'	N3°19'52"E	0°49'27"
C52	25.39'	15.00'	22.46'	N51°24'06"E	96°57'56"
C53	10.37'	381.00'	10.37'	S80°53'42"E	1°33'33"
C54	39.34'	381.00'	39.33'	S84°37'59"E	5°55'00"
C55	23.12'	15.00'	20.90'	S43°25'50"E	88°19'17"
C56	8.39'	1031.00'	8.39'	S0°29'49"W	0°27'59"
C57	42.15'	1031.00'	42.15'	S0°54'27"E	2°20'32"
C58	23.26'	969.00'	23.26'	S1°23'27"E	1°22'32"
C59	23.75'	15.00'	21.34'	S44°38'54"W	90°42'11"
C60	16.13'	395.00'	16.13'	S88°49'49"E	2°20'23"
C61	23.38'	15.00'	21.08'	S45°21'06"E	89°17'49"
C62	23.75'	15.00'	21.34'	S44°38'54"W	90°42'11"
C63	37.95'	220.00'	37.91'	N85°03'28"W	9°53'04"
C64	21.95'	15.00'	20.05'	N38°11'10"W	83°51'31"
C65	25.22'	15.00'	22.35'	N51°54'28"E	96°19'45"
C66	53.31'	395.00'	53.27'	S83°47'39"E	7°43'58"
C67	27.37'	15.00'	23.73'	N34°45'09"W	104°33'43"
C68	12.88'	2681.00'	12.88'	N17°23'27"E	0°16'31"
C69	96.43'	2681.00'	96.43'	N16°13'22"E	2°03'39"
C70	22.17'	15.00'	20.21'	N57°32'18"E	84°41'32"
C71	30.25'	651.00'	30.25'	S81°26'48"E	2°39'45"
C72	84.81'	651.00'	84.75'	S86°30'37"E	7°27'51"
C73	31.29'	20.00'	28.19'	S55°25'28"E	89°38'09"
C74	20.59'	15.00'	19.01'	S38°43'05"W	78°13'57"
C75	57.04'	219.00'	56.88'	S85°30'17"W	14°55'26"
C76	23.85'	15.00'	21.41'	S44°27'14"E	91°05'31"
C77	30.41'	1031.00'	30.41'	S0°44'49"W	1°41'24"
C78	31.03'	19.00'	27.69'	S46°10'55"W	93°33'34"
C79	34.68'	19.00'	30.06'	N34°45'18"W	104°34'01"
C80	19.93'	15.00'	18.49'	N55°35'18"E	76°07'11"
C81	3.34'	281.00'	3.34'	S86°41'33"E	0°40'54"
C82	69.13'	281.00'	68.96'	N85°55'08"E	14°05'44"
C83	4.06'	281.00'	4.06'	N78°27'25"E	0°49'42"
C84	45.70'	219.00'	45.62'	N84°01'17"E	11°57'26"
C85	32.58'	969.00'	32.58'	S0°21'24"W	1°55'35"
C86	23.22'	15.00'	20.97'	S45°39'36"W	88°40'49"
C87	58.64'	281.00'	58.54'	S84°01'17"W	11°57'26"
C88	26.53'	15.00'	23.21'	N51°16'55"W	101°21'03"
C89	22.30'	80.00'	22.23'	N8°35'31"W	15°58'15"
C90	44.43'	80.00'	43.86'	N32°29'17"W	31°49'18"
C91	45.85'	80.00'	45.23'	N64°49'08"W	32°50'23"
C92	12.57'	80.00'	12.56'	N85°44'26"W	9°00'13"
C93	76.63'	591.00'	76.58'	N86°31'40"W	7°25'45"
C94	27.83'	591.00'	27.82'	N81°27'52"W	2°41'52"
C95	24.45'	15.00'	21.83'	N33°25'15"W	93°23'22"
C96	94.20'	2681.00'	94.19'	N12°16'03"E	2°00'47"
C97	84.89'	2681.00'	84.89'	N10°21'14"E	1°48'51"
C98	23.68'	15.00'	21.29'	N54°39'56"E	90°26'16"
C99	36.49'	381.00'	36.47'	S82°51'33"E	5°29'14"
C100	29.24'	381.00'	29.23'	S87°48'05"E	4°23'50"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C101	23.40'	15.00'	21.10'	S45°18'12"E	89°23'37"
C102	23.58'	15.00'	21.23'	N42°32'52"W	90°05'15"
C103	26.32'	969.00'	26.32'	N3°16'27"E	1°33'23"
C104	45.38'	3139.90'	45.38'	N4°27'59"E	0°49'41"
C105	85.31'	3139.90'	85.30'	N5°39'32"E	1°33'24"
C106	85.31'	3139.90'	85.30'	N7°12'56"E	1°33'24"
C107	69.41'	3139.90'	69.41'	N8°37'38"E	1°16'00"
C108	8.99'	81.00'	8.98'	N6°04'56"E	6°21'24"
C109	61.35'	81.00'	59.90'	N18°47'41"W	43°23'49"
C110	61.37'	81.00'	59.92'	N6°21'59"W	43°24'46"
C111	8.92'	81.00'	8.92'	N8°70'34"W	6°18'43"
C112	8.23'	81.00'	8.22'	S86°52'19"W	5°49'12"
C113	61.41'	81.00'	59.95'	S62°14'37"W	43°26'12"
C114	55.03'	81.00'	53.98'	S21°03'47"W	38°55'28"
C115	56.80'	2469.00'	56.80'	S21°5'36"W	1°19'05"
C116	35.52'	2469.00'	35.52'	S3°19'52"W	0°49'27"
C117	48.04'	2619.00'	48.04'	S4°16'07"W	1°03'03"
C118	81.95'	2619.00'	81.95'	S5°41'26"W	1°47'34"
C119	81.95'	2619.00'	81.95'	S7°29'00"W	1°47'34"
C120	81.95'	2619.00'	81.94'	S9°16'34"W	1°47'34"
C121	81.95'	2619.00'	81.94'	S11°04'08"W	1°47'34"
C122	81.95'	2619.00'	81.95'	S12°51'42"W	1°47'34"
C123	90.12'	2619.00'	90.12'	S14°44'38"W	1°58'18"
C124	82.22'	2619.00'	82.22'	S16°37'45"W	1°47'55"
C125	8.74'	81.00'	8.74'	S14°28'08"W	6°11'08"
C126	61.31'	81.00'	59.86'	S10°20'33"E	43°22'16"
C127	61.32'	81.00'	59.87'	S5°43'00"E	43°22'37"
C128	16.45'	81.00'	16.42'	S81°13'18"E	11°38'00"
C129	23.83'	81.00'	23.75'	N84°31'58"E	16°51'27"
C130	61.32'	81.00'	59.87'	N54°24'57"E	43°22'37"
C131	47.11'	81.00'	46.45'	N16°03'53"E	33°19'31"
C132	30.82'	969.00'	30.81'	N0°18'47"E	1°49'20"
C133	23.08'	15.00'	20.87'	N45°18'33"E	88°10'12"
C134	23.56'	15.00'	21.21'	S45°36'07"E	90°00'29"
C135	23.56'	15.00'	21.21'	S44°23'53"W	89°59'31"
C136	24.03'	15.00'	21.54'	N44°42'53"W	91°46'57"
C137	32.08'	1031.00'	32.08'	N0°17'06"E	1°46'59"
C138	12.79'	1031.00'	12.79'	N0°57'43"W	0°42'58"
C139	23.91'	15.00'	21.46'	N44°20'29"E	91°19'02"
C140	23.40'	15.00'	21.10'	S45°18'57"E	89°22'05"
C141	23.73'	15.00'	21.33'	S44°41'03"W	90°37'55"
C142	23.32'	15.00'	21.04'	N45°28'02"W	89°03'56"
C143	3.91'	969.00'	3.91'	N0°49'07"W	0°13'52"
C144	9.16'	1031.00'	9.16'	N0°57'28"W	0°30'32"
C145	15.59'	1031.00'	15.59'	N1°38'43"W	0°51'59"
C146	47.50'	969.00'	47.50'	N0°40'27"W	2°48'31"
C147	24.00'	15.00'	21.52'	N46°34'10"E	91°40'43"
C148	23.42'	15.00'	21.11'	S42°51'30"E	89°27'59"
C149	91.55'	3019.90'	91.55'	N2°44'36"E	1°44'13"
C150	23.25'	15.00'	20.99'	S48°00'37"W	88°47'48"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C151	60.38'	350.00'	60.31'	S85°03'28"E	9°53'04"
C152	43.13'	250.00'	43.08'	S85°03'28"E	9°53'04"
C153	64.17'	365.00'	64.08'	S84°57'50"E	10°04'20"
C155	637.59'	2650.00'	636.05'	N10°38'09"E	13°47'07"
C156	35.96'	2500.00'	35.96'	N3°19'52"E	0°49'27"
C157	57.51'	2500.00'	57.51'	N2°15'36"E	1°19'05"
C158	76.95'	50.00'	69.58'	N45°41'29"E	88°10'52"
C159	86.81'	50.00'	76.31'	S40°28'44"E	99°28'43"
C160	288.23'	3170.90'	288.13'	S6°39'23"W	5°12'29"
C161	57.99'	1000.00'	57.98'	S2°23'29"W	3°19'21"
C162	49.02'	1000.00'	49.02'	S0°40'27"E	2°48'31"
C163	24.01'	1000.00'	24.01'	S1°23'27"E	1°22'32"
C164	53.58'	1000.00'	53.57'	S2°14'17"E	3°04'11"
C165	55.26'	1000.00'	55.26'	S2°11'23"E	3°09'59"
C166	77.59'	1000.00'	77.57'	S1°36'59"W	4°26'44"
C167	77.44'	1000.00'	77.42'	S1°37'14"W	4°26'13"
C169	45.67'	350.00'	45.64'	S83°51'13"E	7°28'33"
C170	109.76'	621.00'	109.62'	S85°10'44"E	10°07'36"
C171	78.22'	50.00'	70.49'	S45°25'28"E	89°38'09"
C174	58.35'	4261.98'	58.35'	S12°51'10"W	0°47'04"
C176	52.17'	250.00'	52.08'	N84°01'17"E	11°57'26"
C177	91.25				

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

NORTH



0 60 120 240 360



(24"x36")
SCALE 1" = 120'
(11"x17")
SCALE 1" = 240'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



NOTES TO CONTRACTOR:
 CONTRACTOR TO FIELD-VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

region
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 1776 N. State St. #110
 Orem, UT 84057
 P: 801.376.2245
 regiondesignllc.com

TANNER FLATS
at SUMMIT RIDGE
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022

PROJECT #

REVISIONS:

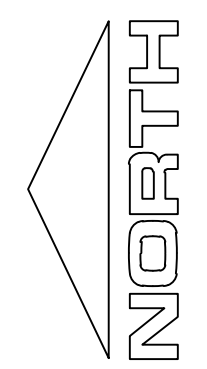
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3	

SHEET NAME:
SEWER PLANS

SHEET:
SS-01

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P1, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

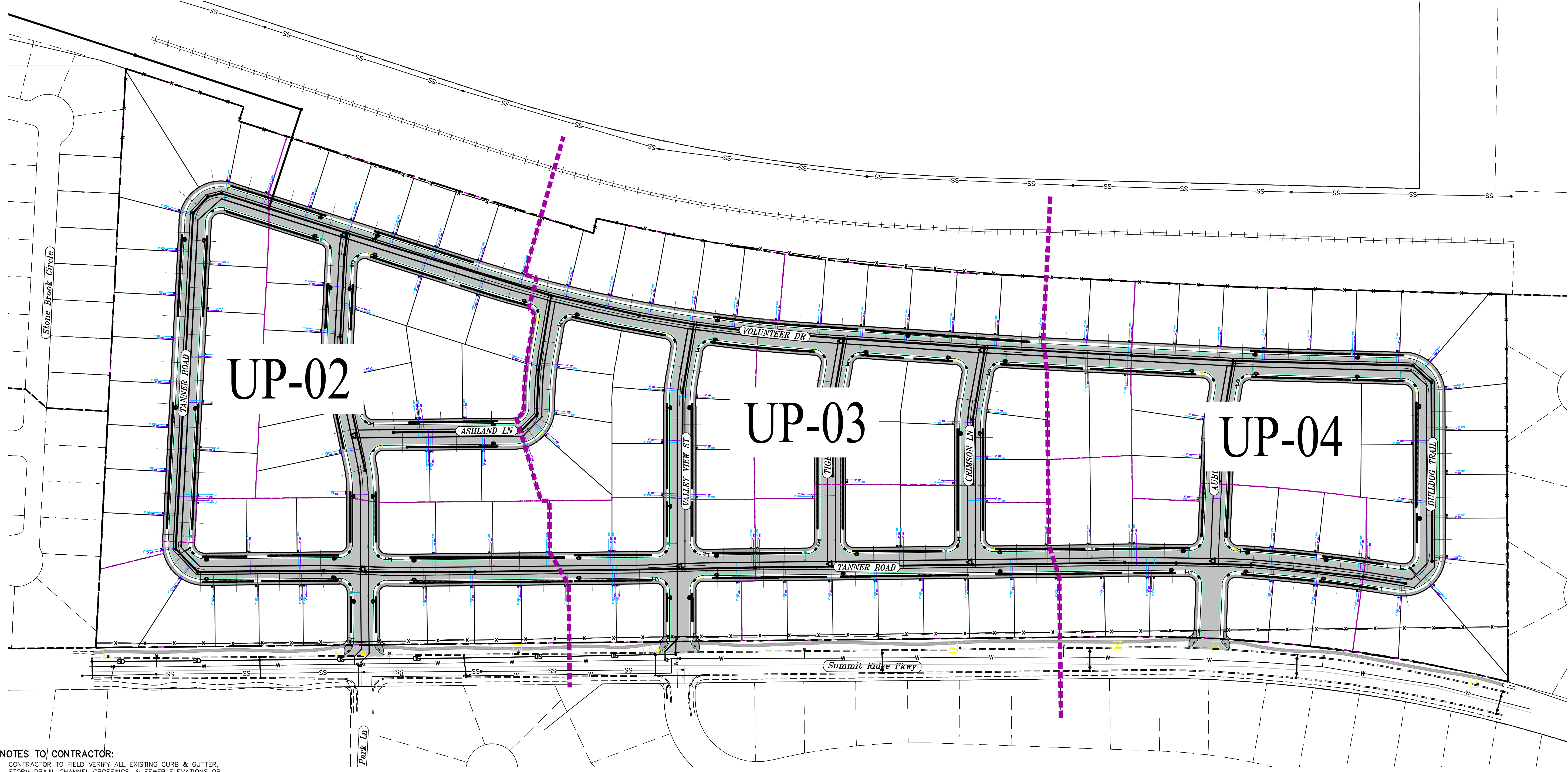
NORTH



0 50 100 200 300

(24"x36")
SCALE 1" = 100'
(11"x17")
SCALE 1" = 200'



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



NOTES TO CONTRACTOR:
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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TANNER FLATS
at SUMMIT RIDGE
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022

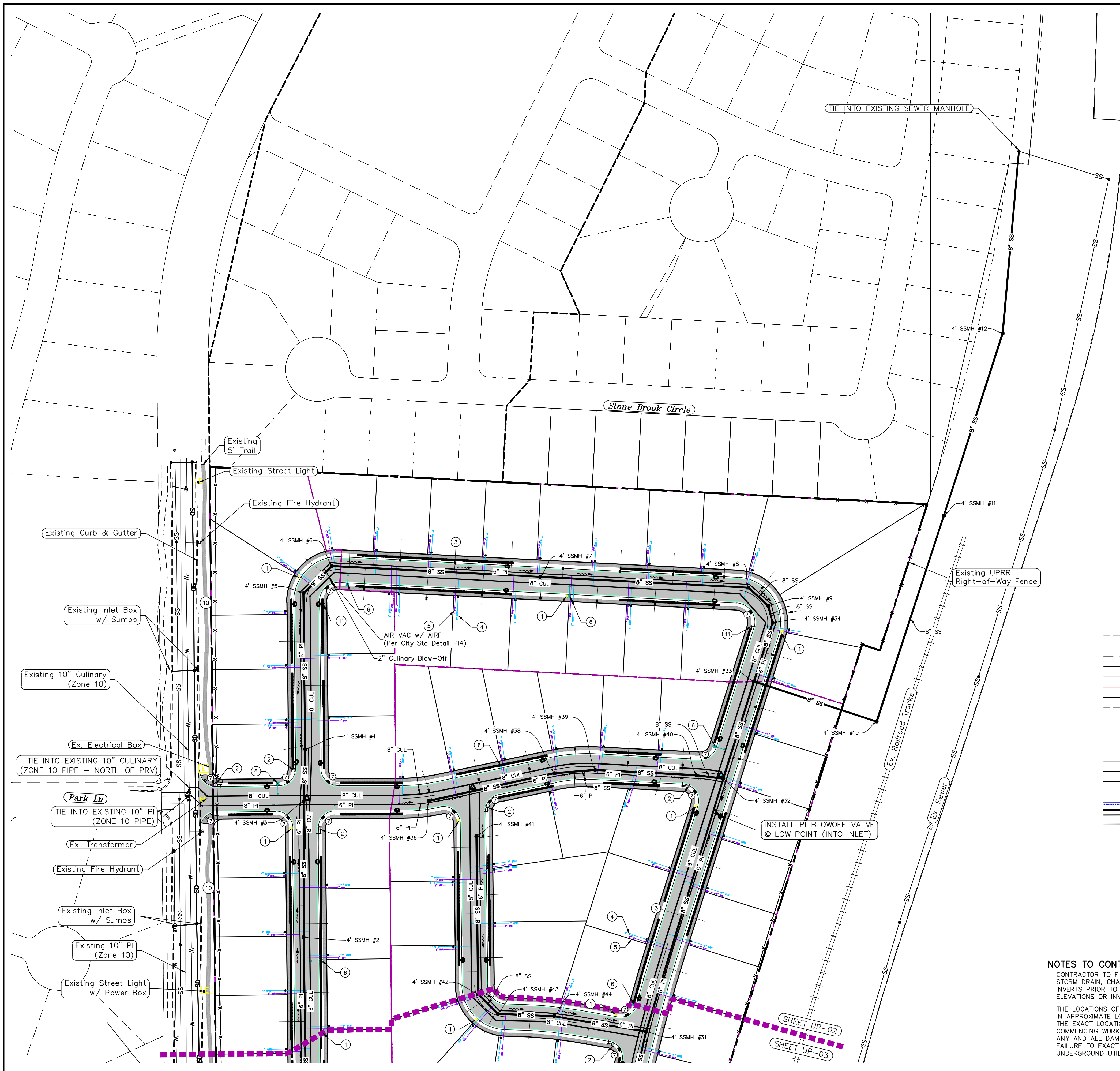
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:
UTILITY PLANS

SHEET:
UP-01



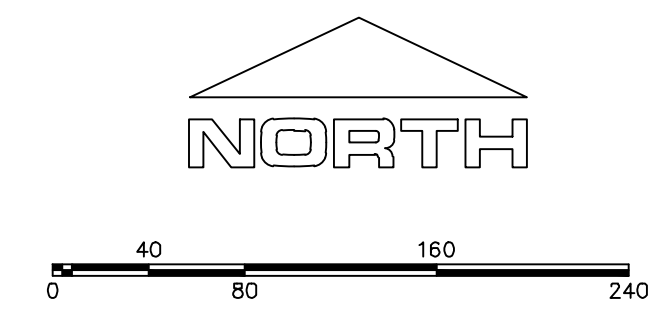
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3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

- 1 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 2 STOP/STREET SIGN
- 3 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 5 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 6 FIRE HYDRANT
- 7 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (3 BOXES)
- 10 10' TRAIL
- 11 STREET SIGN ONLY

LEGEND

---	EXISTING CONTOUR MAJOR	⊗	PROPOSED VALVE (WAT/PI)
---	EXISTING CONTOUR MINOR	⊙	PROPOSED SEWER MANHOLE
---	EXISTING DEED LINE	⊕	PROPOSED STORM INLET/MANHOLE
---	EXISTING STORM MAIN	⊖	PROPOSED ADA RAMP
---	EXISTING SEWER MAIN	⊗	PROPOSED STOP/STREET SIGN
---	EXISTING WATER MAIN	⊙	PROPOSED FIRE HYDRANT
---	EXISTING PI MAIN	⊕	FOUND SECTION COR. AS NOTED
---	EXISTING CONCRETE	⊖	SET 5/8" IRON PIN
---	PI/WAT/SEWER LATERAL	⊗	TO BE SET AT ALL LOT CORNERS
---	PROPOSED ASPHALT	⊕	FOUND CLASS I STREET MONUMENT
---	PROPOSED CONCRETE	⊖	SET STREET MONUMENT
---	PROPOSED CURB & GUTTER	---	CENTERLINE
---	PROPOSED LOT LINE	---	RIGHT-OF-WAY LINE
---	BOUNDARY LINE	---	LOT LINE
---	RIGHT OF WAY LINE	---	PUBLIC UTILITY EASEMENT
---	PROPOSED STORM MAIN	---	SECTION LINE
---	PROPOSED CUL MAIN	---	R-TANK LID CHAMBERS
---	PROPOSED PI MAIN	---	
---	PROPOSED SEWER MAIN	---	
---	PROPOSED WAT/PI/SEWER SERVICE LATERALS	---	
---	RESIDENTIAL STREET LIGHT	---	

NOTES TO CONTRACTOR:
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(24"x36")
 SCALE 1" = 80'
 (11"x17")
 SCALE 1" = 160'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

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 at SUMMIT RIDGE**
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

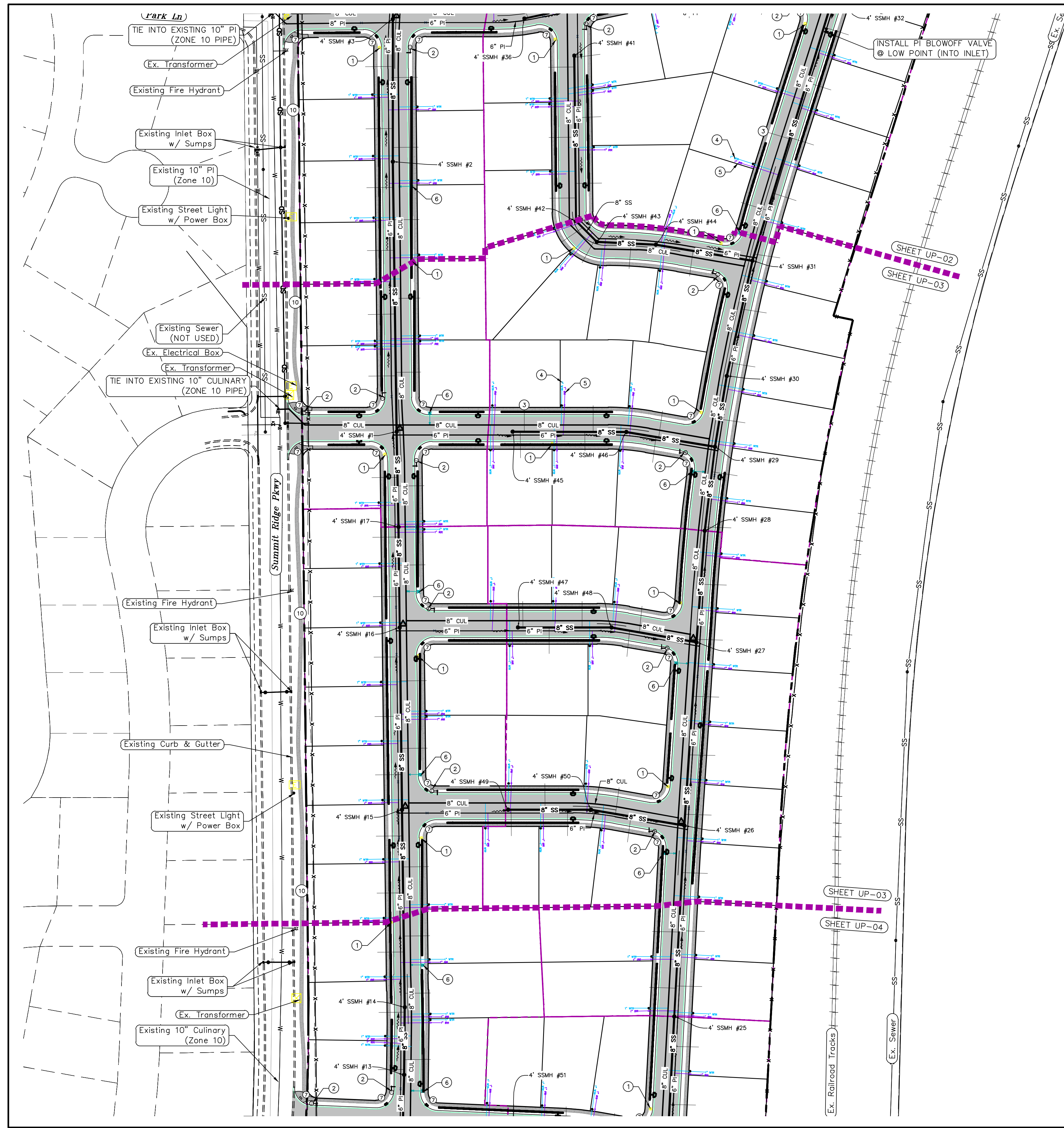
DATE: 12.5.2022

PROJECT #

REVISIONS:

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2	
3	

SHEET NAME:
 UTILITY PLANS
 SHEET:
 UP-02



1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.

3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.

4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.

5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.

6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX

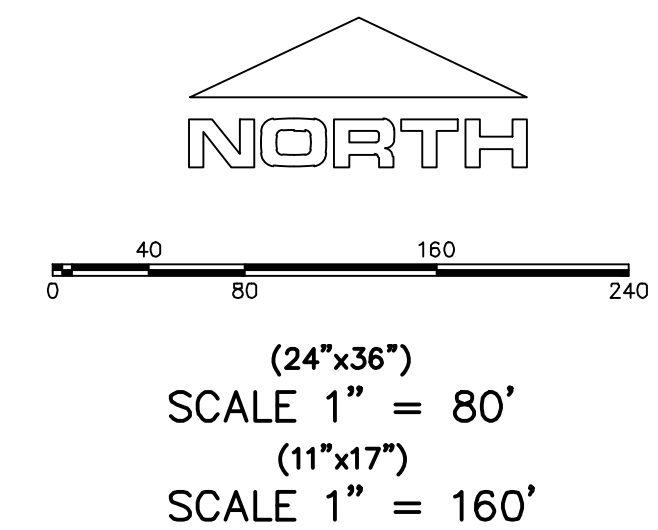
- ① RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- ② STOP/STREET SIGN
- ③ SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ④ CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑤ PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑥ FIRE HYDRANT
- ⑦ ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- ⑧ STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- ⑨ NDCBU (3 BOXES)
- ⑩ 10' TRAIL
- ⑪ STREET SIGN ONLY

LEGEND

---	EXISTING CONTOUR MAJOR	⊗	PROPOSED VALVE (WAT/PI)
---	EXISTING CONTOUR MINOR	⊙	PROPOSED SEWER MANHOLE
---	EXISTING DEED LINE	⊕	PROPOSED STORM INLET/MANHOLE
---	EXISTING STORM MAIN	⊖	PROPOSED ADA RAMP
---	EXISTING SEWER MAIN	⊗	PROPOSED STOP/STREET SIGN
---	EXISTING WATER MAIN	⊙	PROPOSED FIRE HYDRANT
---	EXISTING PI MAIN	⊕	FOUND SECTION COR. AS NOTED
---	EXISTING CONCRETE	⊖	5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
---	PI/WAT/SEWER LATERAL	⊗	FOUND CLASS I STREET MONUMENT
---	PROPOSED ASPHALT	⊕	SET STREET MONUMENT
---	PROPOSED CONCRETE	⊖	CENTERLINE
---	PROPOSED CURB & GUTTER	⊗	RIGHT-OF-WAY LINE
---	PROPOSED LOT LINE	⊙	LOT LINE
---	BOUNDARY LINE	⊕	PUBLIC UTILITY EASEMENT
---	RIGHT OF WAY LINE	⊖	SECTION LINE
---	PROPOSED STORM MAIN	⊗	R-TANK LID CHAMBERS
---	PROPOSED CUL MAIN	⊙	
---	PROPOSED PI MAIN	⊕	
---	PROPOSED SEWER MAIN	⊖	
---	PROPOSED WAT/PI/SEWER SERVICE LATERALS	⊗	
---	RESIDENTIAL STREET LIGHT	⊙	

NOTES TO CONTRACTOR:
 CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

Engineering & Surveying
region
 1776 N. State St. #110
 Orem, UT 84057
 P: 801.376.2245
 regiondesignllc.com



TANNER FLATS
at SUMMIT RIDGE
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

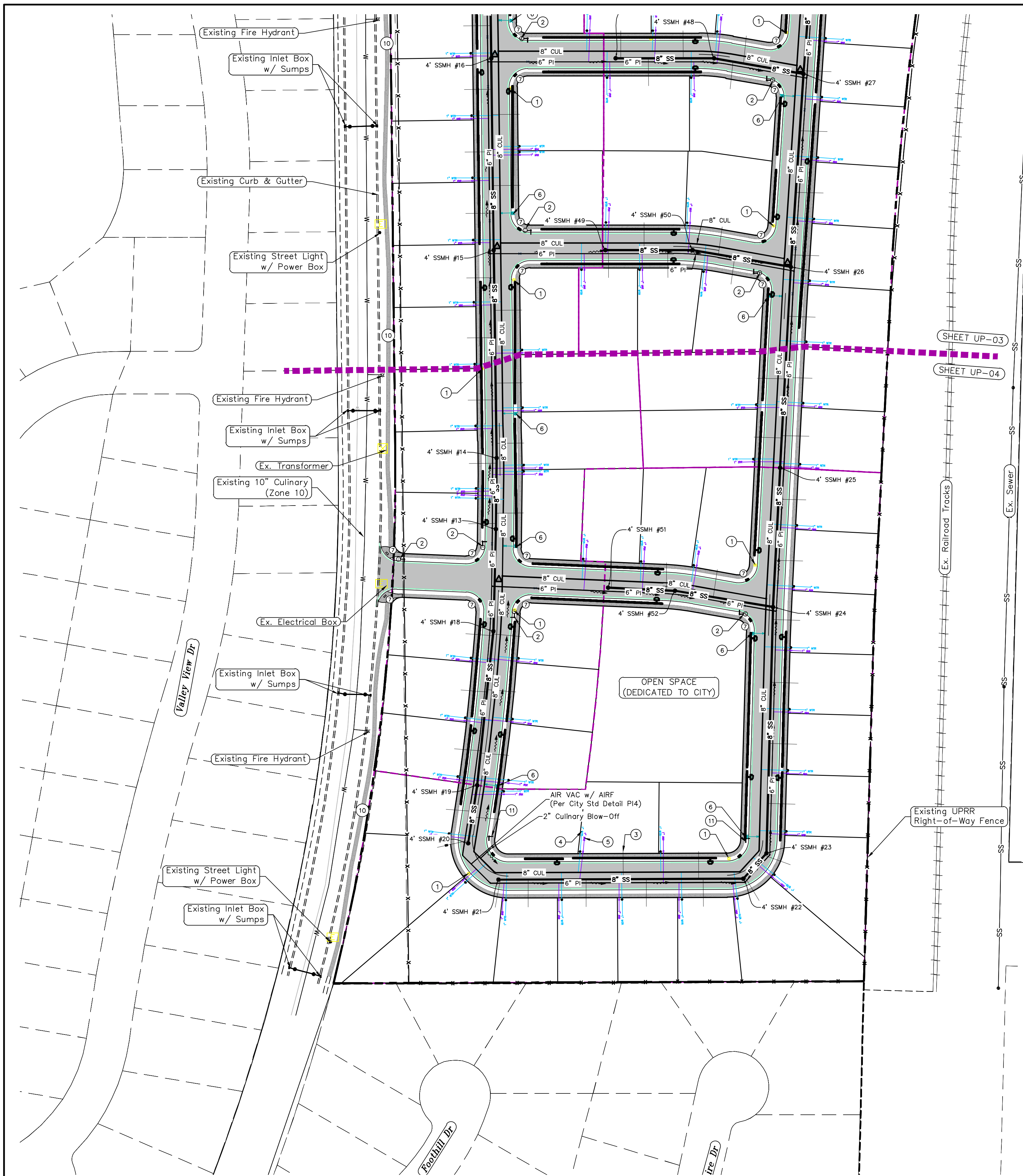
DATE: 12.5.2022

PROJECT #

REVISIONS:

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SHEET NAME:
 UTILITY PLANS
 SHEET:
UP-03



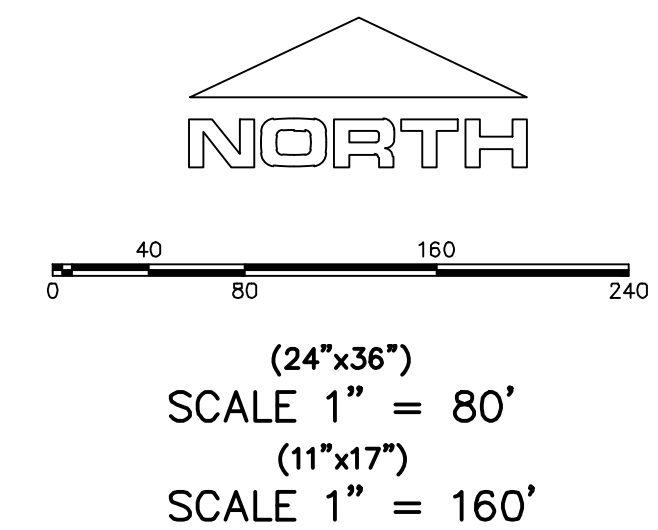
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4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
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- 1 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 2 STOP/STREET SIGN
- 3 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 5 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 6 FIRE HYDRANT
- 7 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (3 BOXES)
- 10 5' TRAIL
- 11 STREET SIGN ONLY

LEGEND

---	EXISTING CONTOUR MAJOR	⊗	PROPOSED VALVE (WAT/PI)
---	EXISTING CONTOUR MINOR	⊙	PROPOSED SEWER MANHOLE
---	EXISTING DEED LINE	⊕	PROPOSED STORM INLET/MANHOLE
---	EXISTING STORM MAIN	⊖	PROPOSED ADA RAMP
---	EXISTING SEWER MAIN	⊗	PROPOSED STOP/STREET SIGN
---	EXISTING WATER MAIN	⊙	PROPOSED FIRE HYDRANT
---	EXISTING PI MAIN	⊕	FOUND SECTION COR. AS NOTED
---	EXISTING CONCRETE	⊖	SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
---	PI/WAT/SEWER LATERAL	⊗	FOUND CLASS I STREET MONUMENT
---	PROPOSED ASPHALT	⊙	SET STREET MONUMENT
---	PROPOSED CONCRETE	⊕	CENTERLINE
---	PROPOSED CURB & GUTTER	⊖	RIGHT-OF-WAY LINE
---	PROPOSED LOT LINE	⊗	LOT LINE
---	BOUNDARY LINE	⊙	PUBLIC UTILITY EASEMENT
---	RIGHT OF WAY LINE	⊕	SECTION LINE
---	PROPOSED STORM MAIN	⊖	R-TANK LID CHAMBERS
---	PROPOSED CUL MAIN	⊗	
---	PROPOSED PI MAIN	⊙	
---	PROPOSED SEWER MAIN	⊕	
---	PROPOSED WAT/PI/SEWER SERVICE LATERALS	⊖	
---	RESIDENTIAL STREET LIGHT	⊗	

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**TANNER FLATS
 at SUMMIT RIDGE**
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022
 PROJECT #
 REVISIONS:

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3	

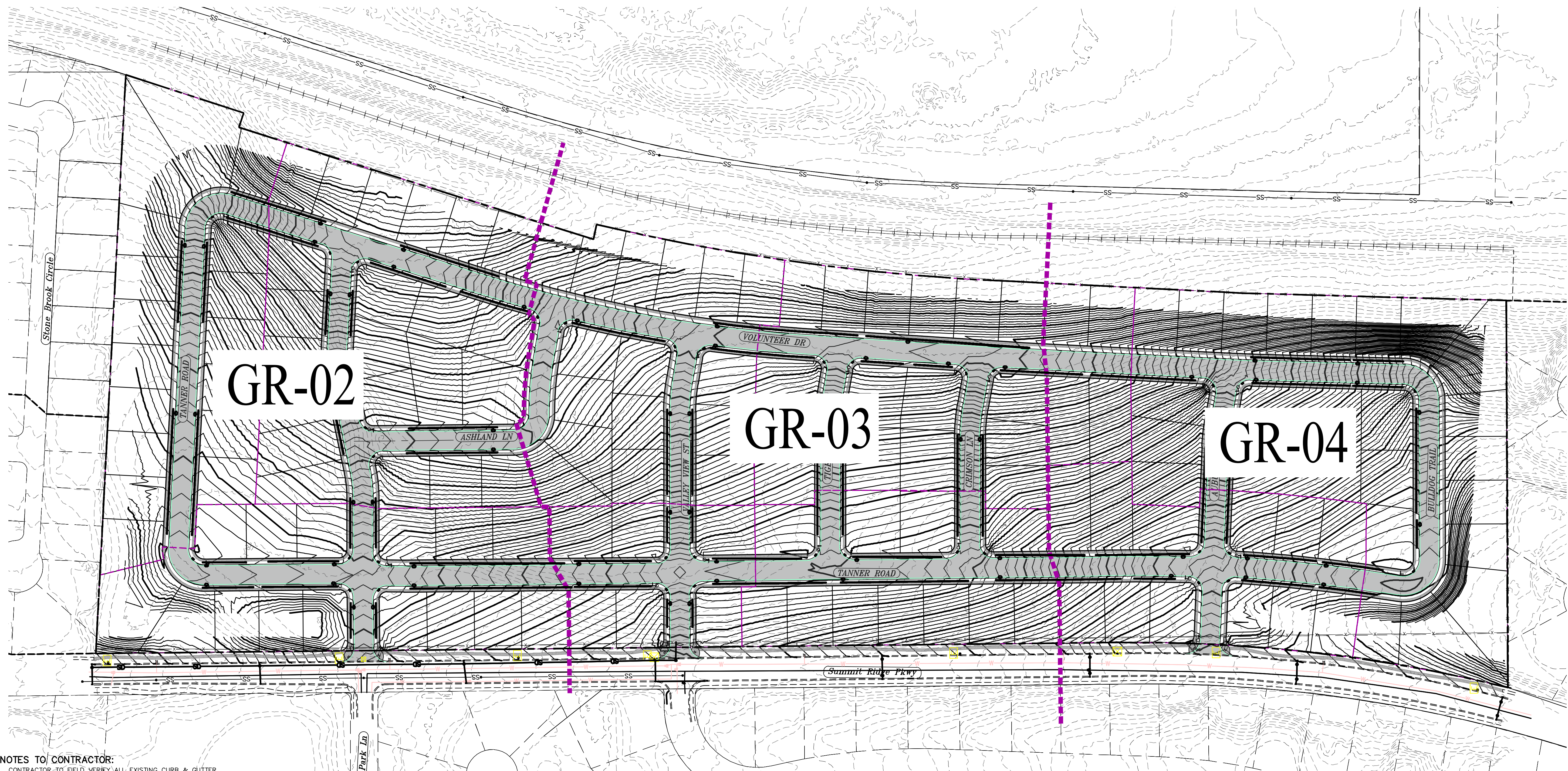
SHEET NAME:
 UTILITY PLANS
 SHEET:
UP-04

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P1, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
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7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

NORTH

(24"x36")
SCALE 1" = 100'
(11"x17")
SCALE 1" = 200'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



NOTES TO CONTRACTOR:
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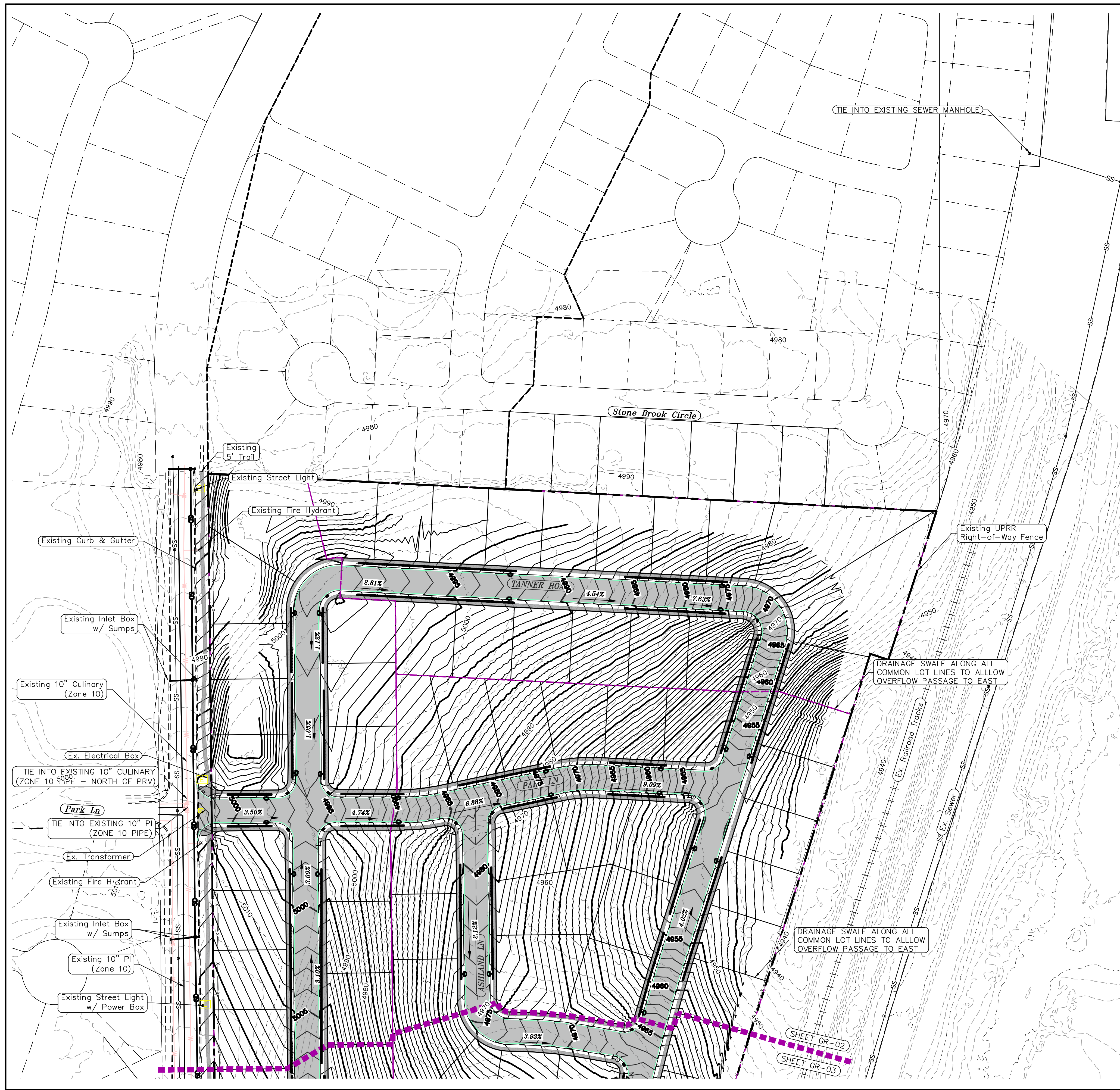
region
 Engineering & Surveying
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TANNER FLATS
at SUMMIT RIDGE
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022
 PROJECT #

REVISIONS:	
1	
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SHEET NAME:
 GRADING PLANS
 SHEET:
GR-01

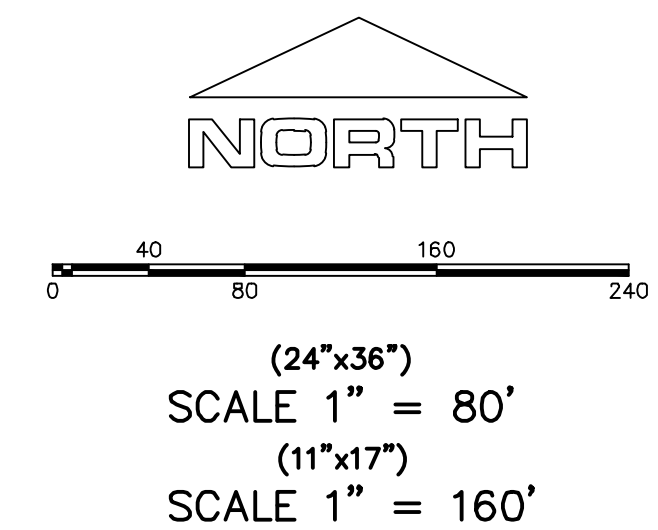


LEGEND

---	EXISTING CONTOUR MAJOR	⊗	PROPOSED VALVE (WAT/PI)
- - -	EXISTING CONTOUR MINOR	⊙	PROPOSED SEWER MANHOLE
---	EXISTING DEED LINE	⊕	PROPOSED STORM INLET/MANHOLE
SS	EXISTING STORM MAIN	⊖	PROPOSED ADA RAMP
SS	EXISTING SEWER MAIN	⊗	PROPOSED STOP/STREET SIGN
---	EXISTING WATER MAIN	⊕	PROPOSED FIRE HYDRANT
---	EXISTING PI MAIN	⊖	FOUND SECTION COR. AS NOTED
---	EXISTING CONCRETE	⊙	SET 5/8" IRON PIN
---	PI/WAT/SEWER LATERAL	⊕	TO BE SET AT ALL LOT CORNERS
---	PROPOSED ASPHALT	⊖	FOUND CLASS I STREET MONUMENT
---	PROPOSED CONCRETE	⊗	SET STREET MONUMENT
---	PROPOSED CURB & GUTTER	---	CENTERLINE
---	PROPOSED LOT LINE	---	RIGHT-OF-WAY LINE
---	BOUNDARY LINE	---	LOT LINE
---	RIGHT OF WAY LINE	---	PUBLIC UTILITY EASEMENT
---	PROPOSED STORM MAIN	---	SECTION LINE
---	PROPOSED CUL MAIN	---	R-TANK LID CHAMBERS
---	PROPOSED PI MAIN	---	
---	PROPOSED SEWER MAIN	---	
---	PROPOSED WAT/PI/SEWER SERVICE LATERALS	---	
---	RESIDENTIAL STREET LIGHT	---	

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ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

region
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 P: 801.376.2245
 regiondesignllc.com

**TANNER FLATS
 at SUMMIT RIDGE**
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:
 GRADING PLANS
 SHEET:
GR-02



1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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LEGEND

--- (dashed)	EXISTING CONTOUR MAJOR	⊗	PROPOSED VALVE (WAT/PI)
--- (dotted)	EXISTING CONTOUR MINOR	⊙	PROPOSED SEWER MANHOLE
---	EXISTING DEED LINE	⊕	PROPOSED STORM INLET/MANHOLE
---	EXISTING STORM MAIN	⊖	PROPOSED ADA RAMP
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---	EXISTING PI MAIN	⊕	FOUND SECTION COR. AS NOTED
---	EXISTING CONCRETE	⊖	SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
---	PI/WAT/SEWER LATERAL	⊗	FOUND CLASS I STREET MONUMENT
---	PROPOSED ASPHALT	⊕	SET STREET MONUMENT
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---	PROPOSED WAT/PI/SEWER SERVICE LATERALS	---	
---	RESIDENTIAL STREET LIGHT	---	

NORTH

(24"x36")
SCALE 1" = 80'
(11"x17")
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ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

region
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**TANNER FLATS
at SUMMIT RIDGE**

LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022

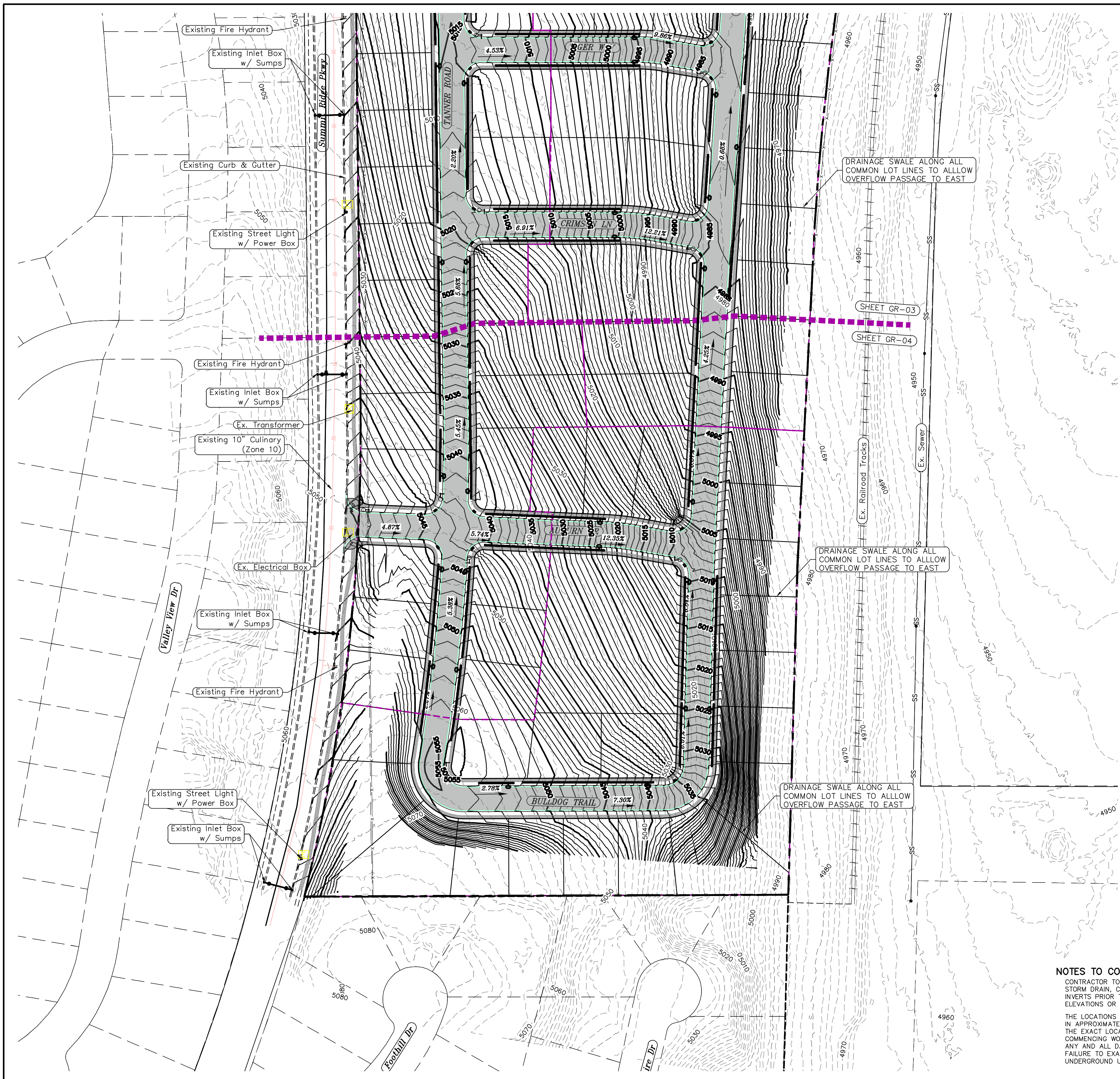
PROJECT #

REVISIONS:

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SHEET NAME:
GRADING PLANS

SHEET:
GR-03

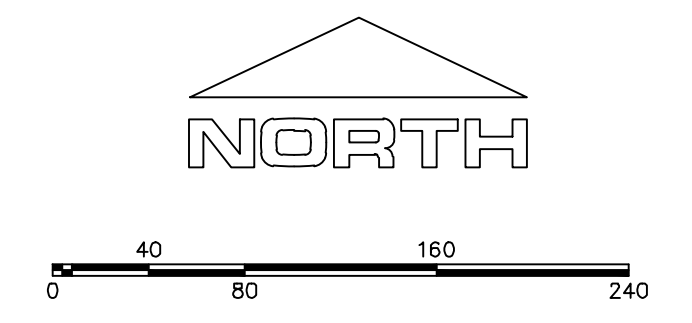


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LEGEND

---	EXISTING CONTOUR MAJOR	⊗	PROPOSED VALVE (WAT/PI)
---	EXISTING CONTOUR MINOR	⊙	PROPOSED SEWER MANHOLE
---	EXISTING DEED LINE	⊕	PROPOSED STORM INLET/MANHOLE
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---	PROPOSED PI MAIN	---	
---	PROPOSED SEWER MAIN	---	
---	PROPOSED WAT/PI/SEWER SERVICE LATERALS	---	
---	RESIDENTIAL STREET LIGHT	---	

NOTES TO CONTRACTOR:
 CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



(24"x36")
 SCALE 1" = 80'
 (11"x17")
 SCALE 1" = 160'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

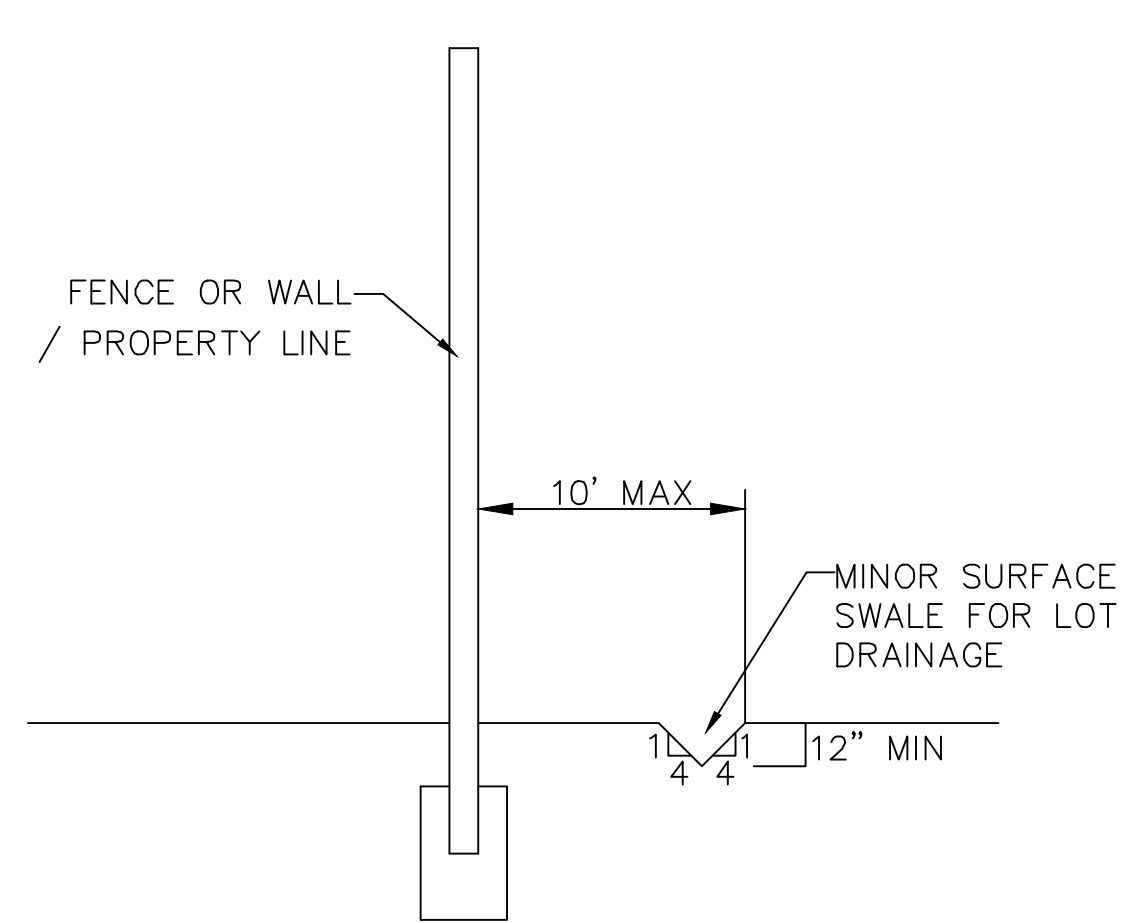
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 1776 N. State St. #110
 Orem, UT 84057
 P: 801.376.2245
 regiondesignllc.com

**TANNER FLATS
 at SUMMIT RIDGE**
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

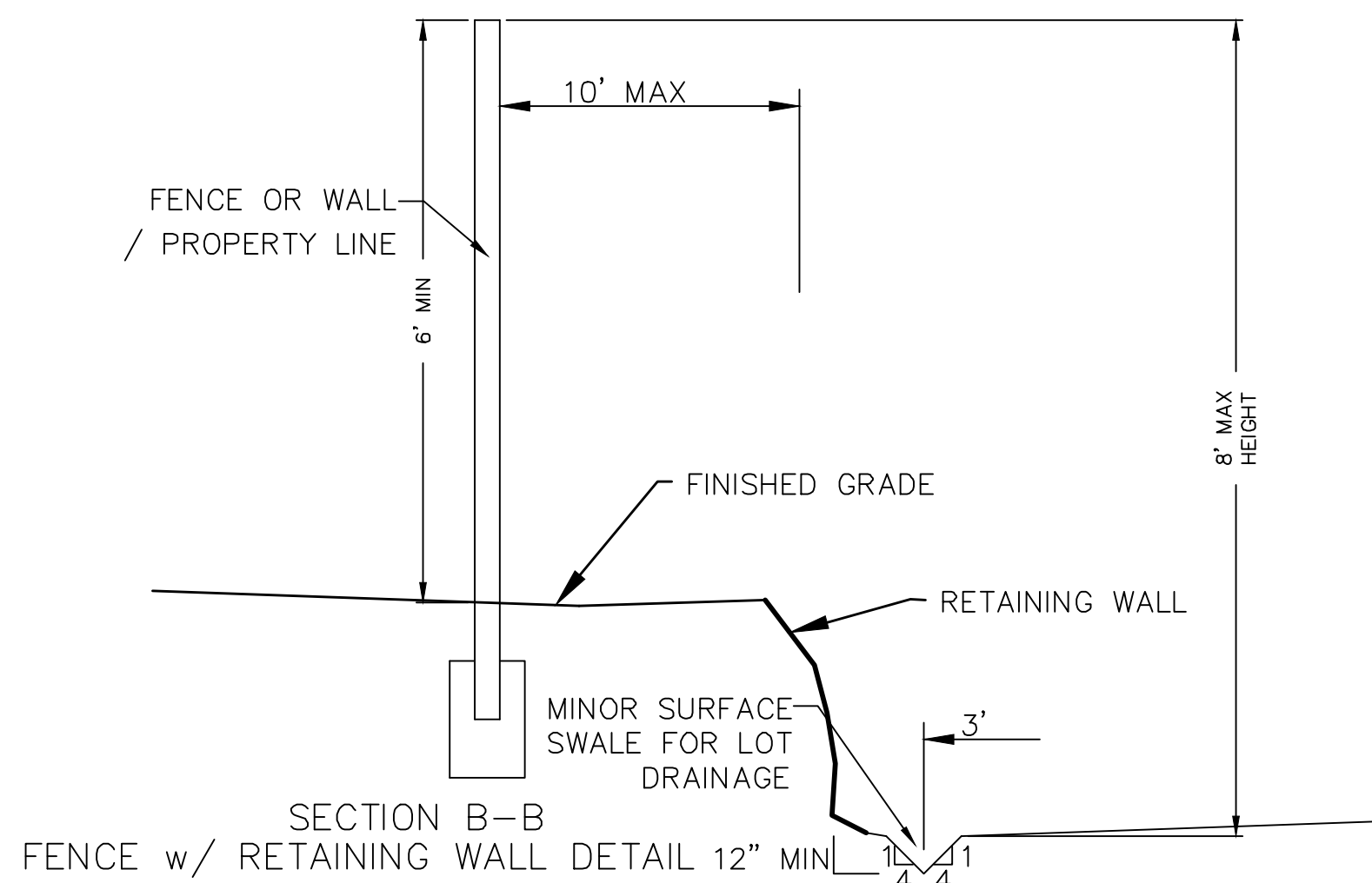
DATE: 12.5.2022
 PROJECT #
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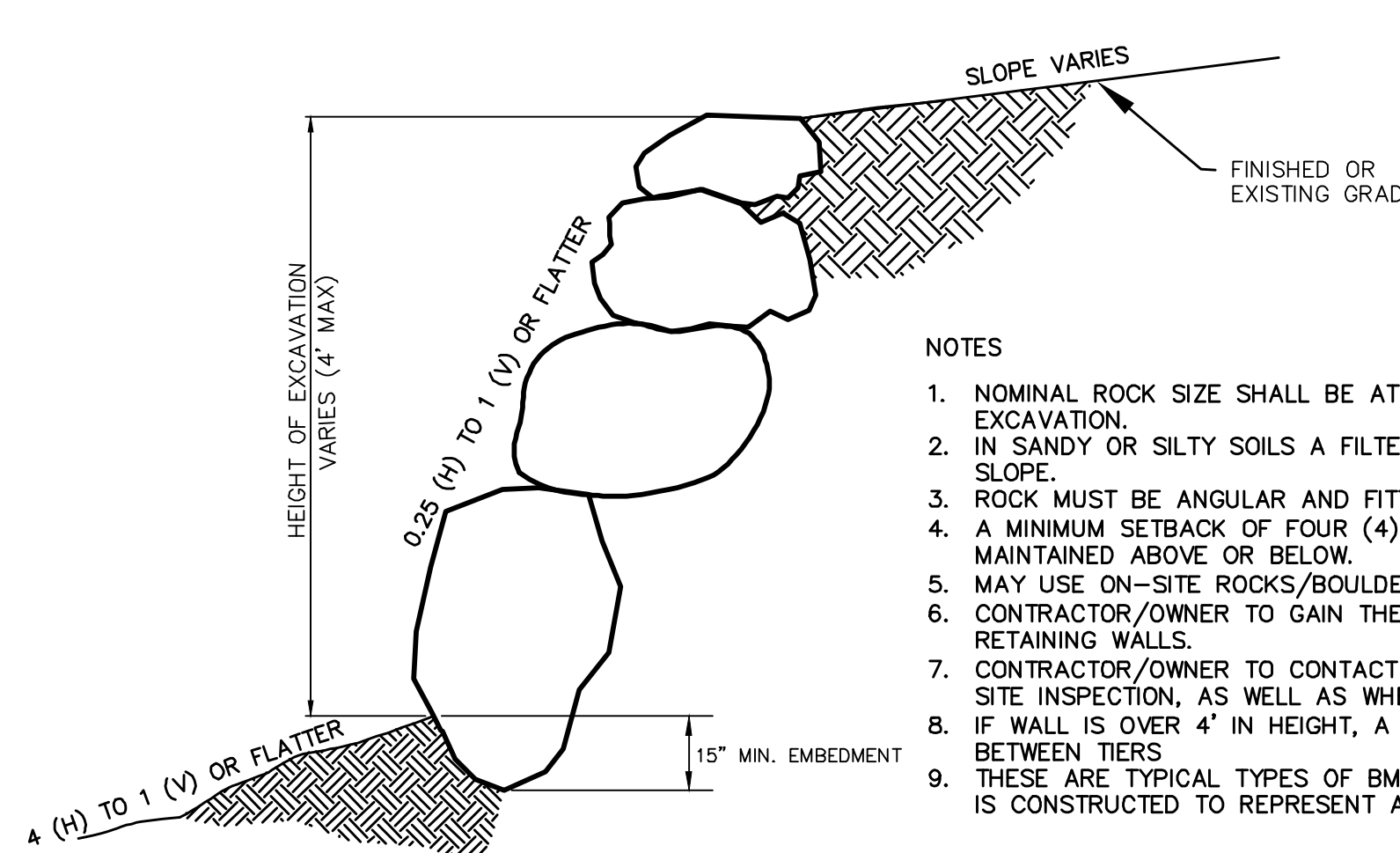
SHEET NAME:
 GRADING PLANS
 SHEET:
GR-04



SECTION C-C
FENCE DETAIL



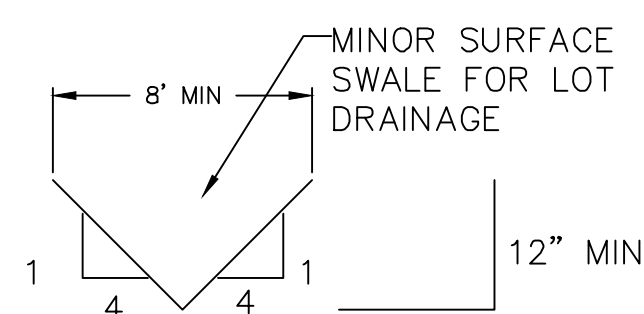
SECTION B-B
FENCE w/ RETAINING WALL DETAIL 12" MIN



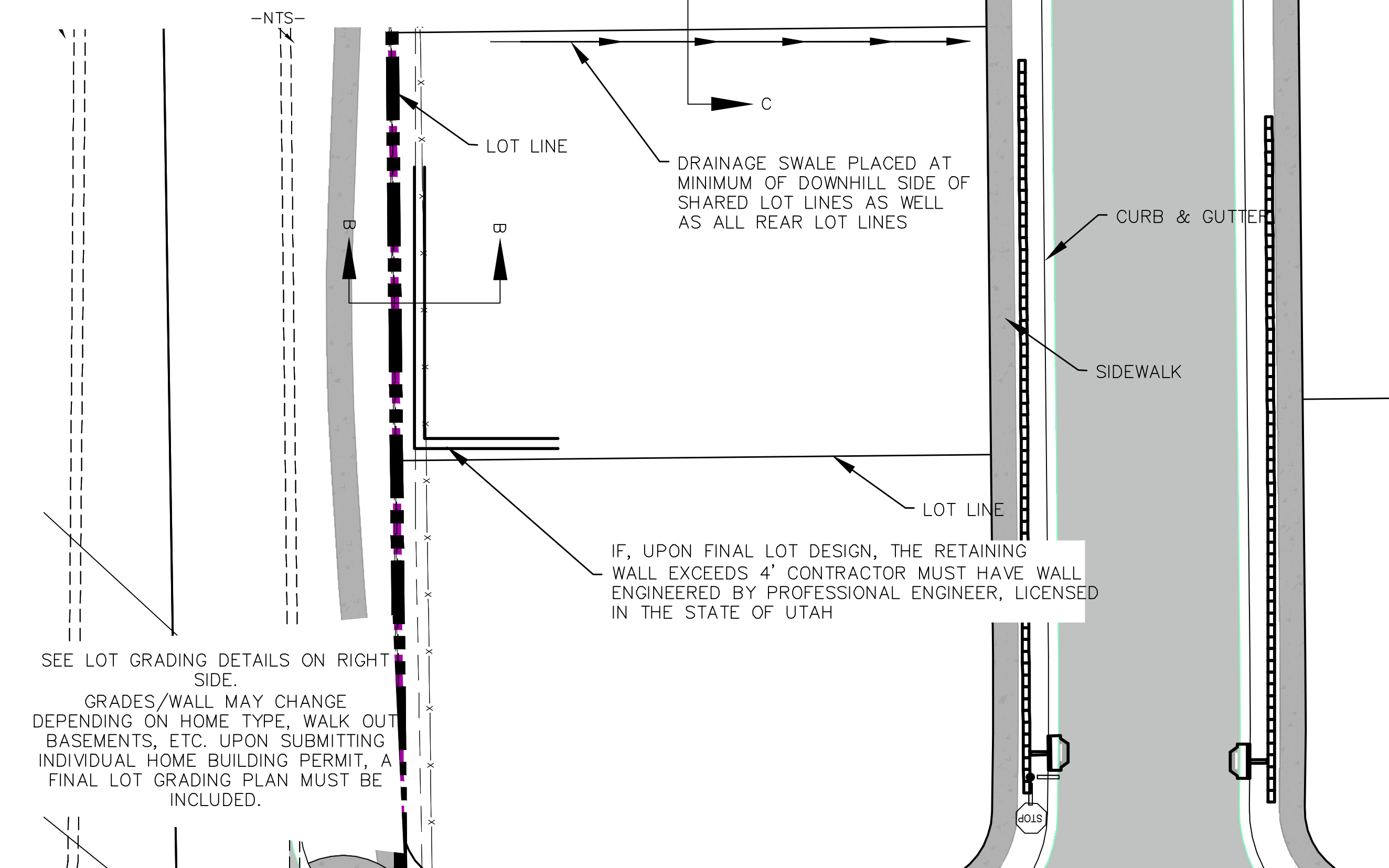
ROCK FACED SLOPE GUIDELINES
EXCAVATION
-NTS-

NOTES

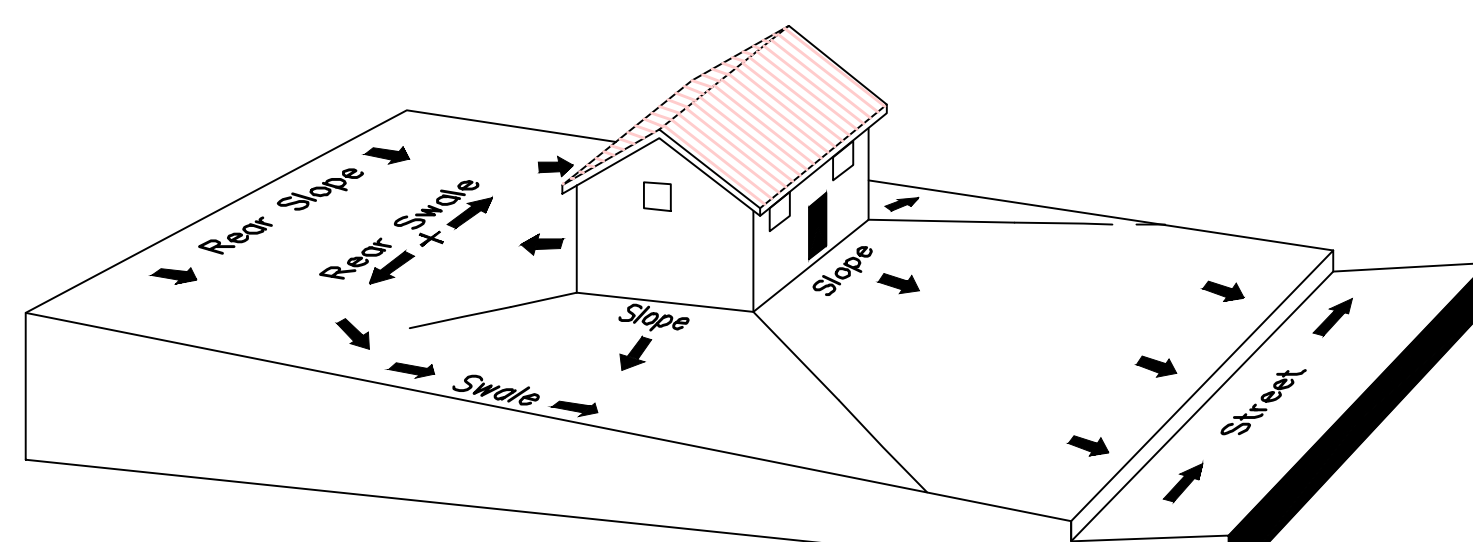
1. NOMINAL ROCK SIZE SHALL BE AT LEAST ONE THIRD (1/3) THE HEIGHT OF THE EXCAVATION.
2. IN SANDY OR SILTY SOILS A FILTER FABRIC SHALL BE PLACED BEHIND THE ROCK FACED SLOPE.
3. ROCK MUST BE ANGULAR AND FITTED TOGETHER TO INTERACT WITH THE ADJACENT ROCK.
4. A MINIMUM SETBACK OF FOUR (4) FEET FROM BUILDINGS OR STRUCTURES SHALL BE MAINTAINED ABOVE OR BELOW.
5. MAY USE ON-SITE ROCKS/BOULDERS IF CONDITION APPLYS
6. CONTRACTOR/OWNER TO GAIN THEIR OWN STRUCTURAL ENGINEER AND DESIGN FOR ALL RETAINING WALLS.
7. CONTRACTOR/OWNER TO CONTACT REGION ENGINEERING AFTER FIRST WALL IS PLACED FOR SITE INSPECTION, AS WELL AS WHEN FINAL PRODUCT IS COMPLETED
8. IF WALL IS OVER 4' IN HEIGHT, A SECOND TIER MUST BE PLACED WITH A 5' LANDING IN BETWEEN TIERS
9. THESE ARE TYPICAL TYPES OF BMP STORM DRAINAGE MEASURES. NOTHING ON THIS SHEET IS CONSTRUCTED TO REPRESENT AN APPROVED INDIVIDUAL LOT GRADING PLAN.



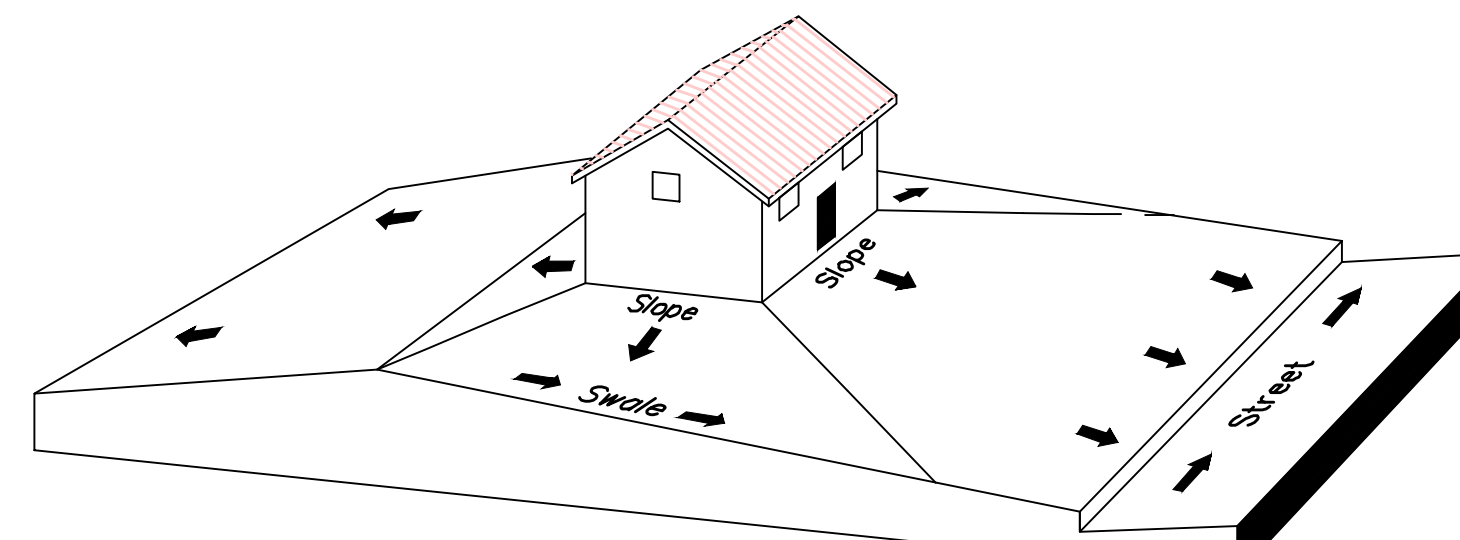
TYPICAL LOT DRAINAGE SWALE



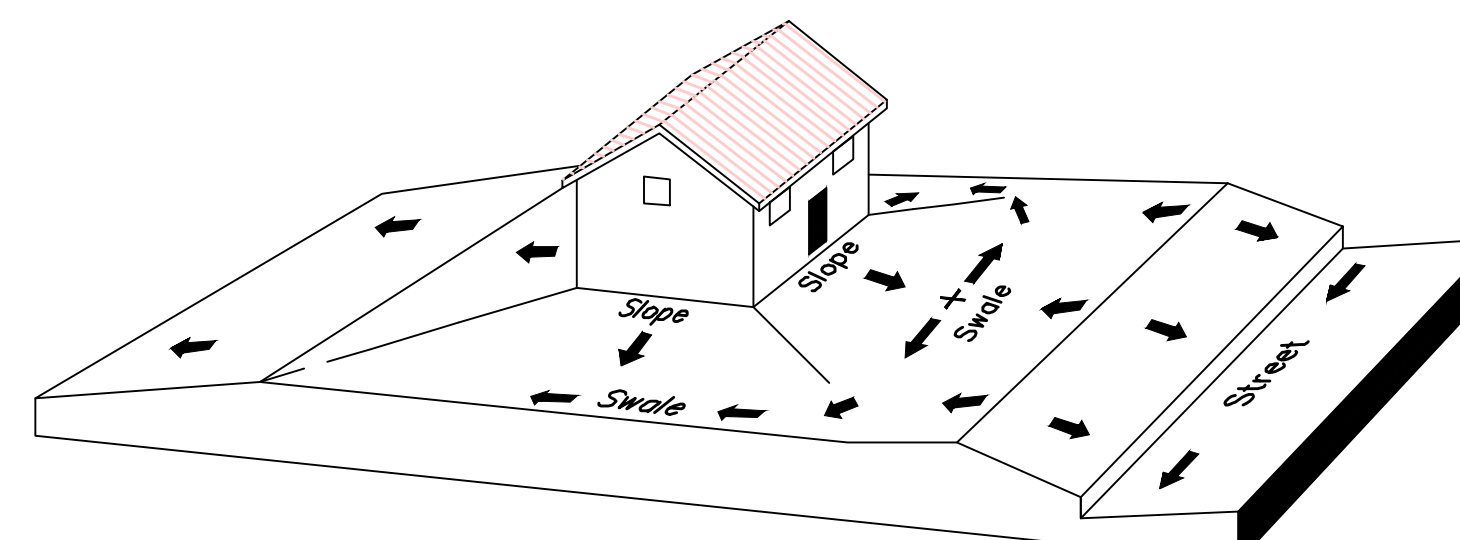
TYPICAL LOT GRADING
-NTS-



Lot Grading Type A
Drainage Directed Toward Front of Building



Lot Grading Type B
Drainage Directed Toward Front and Rear of Building



Lot Grading Type C
Drainage Directed Toward Rear of Building

**** ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR ****

Lot Drainage -

- At minimum, 50% of roof drains shall drain towards the street.
- All side downspouts are to be diverted toward the front or rear of the lot.
- Yards to be positively graded away from all window wells
- HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan.
- All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots.
- All lots shall meet the International Building Code standards and drain away from the structure.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS

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**TANNER FLATS
at SUMMIT RIDGE**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022

PROJECT #

REVISIONS:

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SHEET NAME:
GRADING PLANS

SHEET:
GR-05

NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
2. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
3. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
5. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
6. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
7. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
8. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

PROJECT INFORMATION SIGN

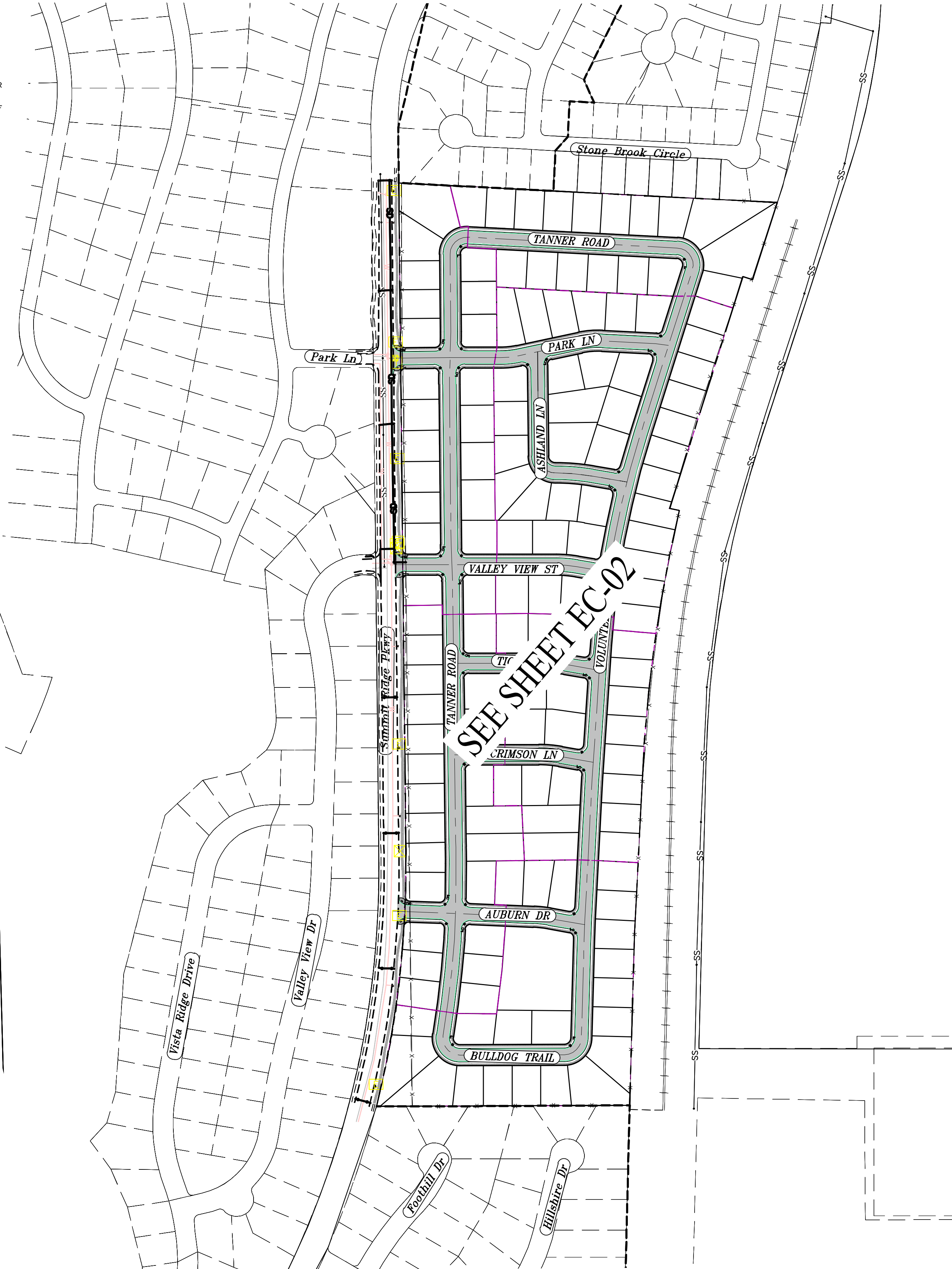
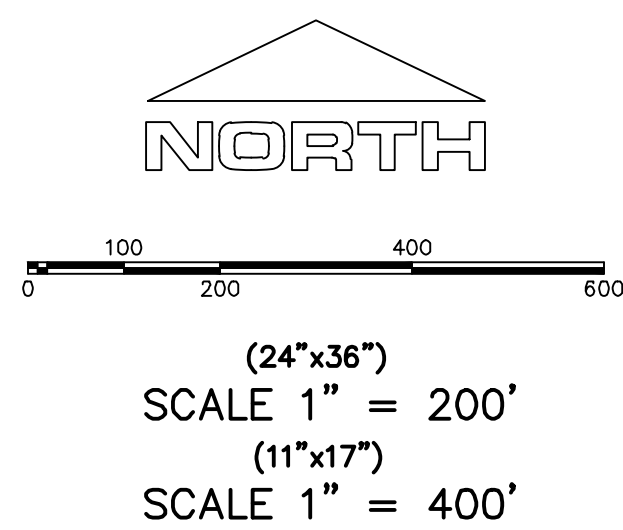
ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
 2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS/ EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
 3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
 4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.
- DEVELOPER'S NAME
DAVID SAMPSON
- PROJECT NAME
THE 10TH & SUMMIT RIDGE - PHASE 1
- PERMIT NUMBER
(4" Bold Numbers)
- FOR PROJECT SITE CONCERNS CONTACT
(6" Uppercase Bold Letters)
- Office Phone Contact ###-###-####
(4" Bold Numbers)
- Cell Phone Contact ###-###-####
(4" Bold Numbers)
- IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
313-767-3333
(3" Uppercase Bold Letters and 3" Bold Numbers)
5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
 6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINNING OF CONSTRUCTION TO PLACEMENT OF ASPHALT



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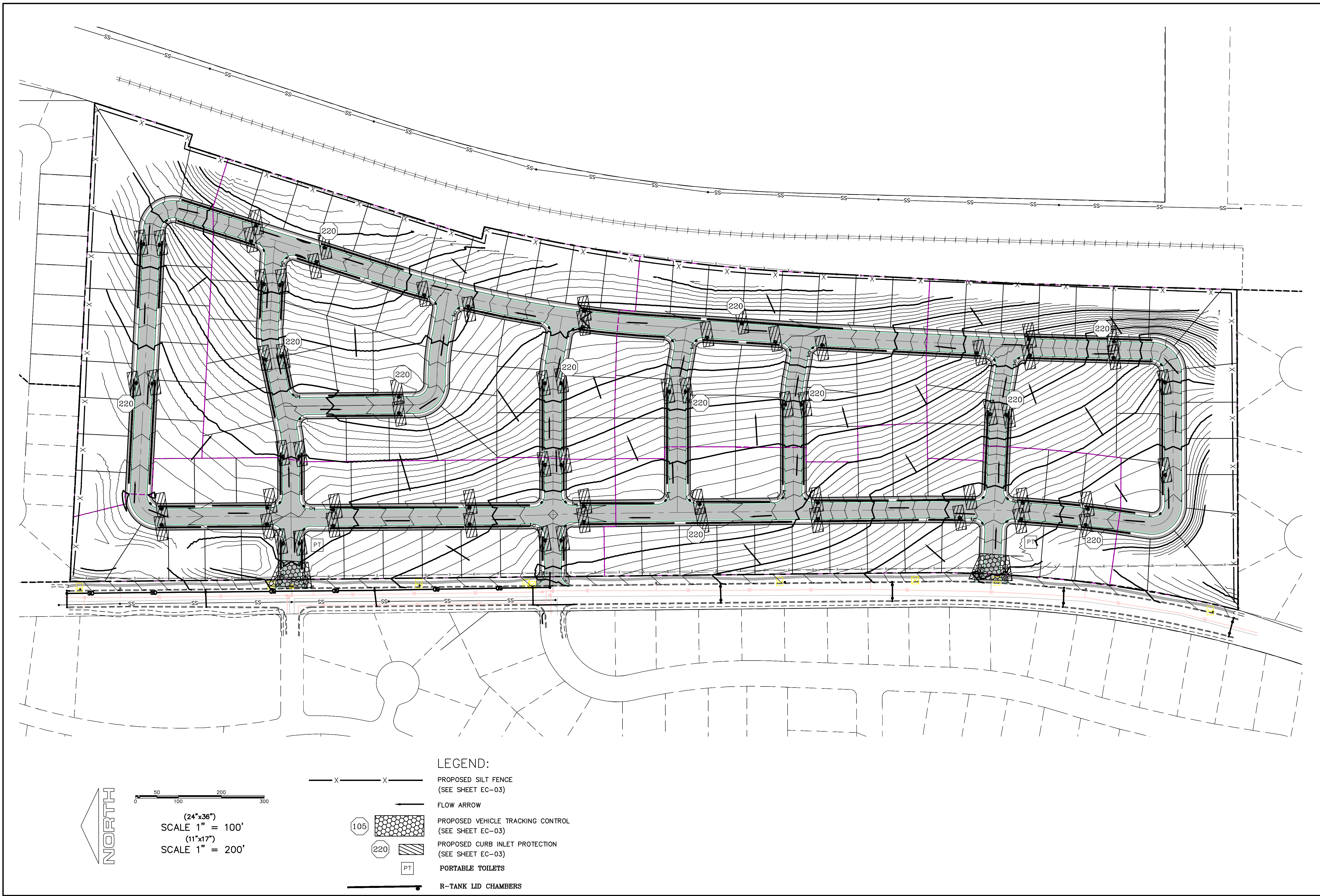
**TANNER FLATS
at SUMMIT RIDGE**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022
PROJECT #

REVISIONS:

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3	

SHEET NAME:
EROSION CONTROL PLAN
SHEET:
EC-01



TANNER FLATS
at SUMMIT RIDGE
 LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022

PROJECT #

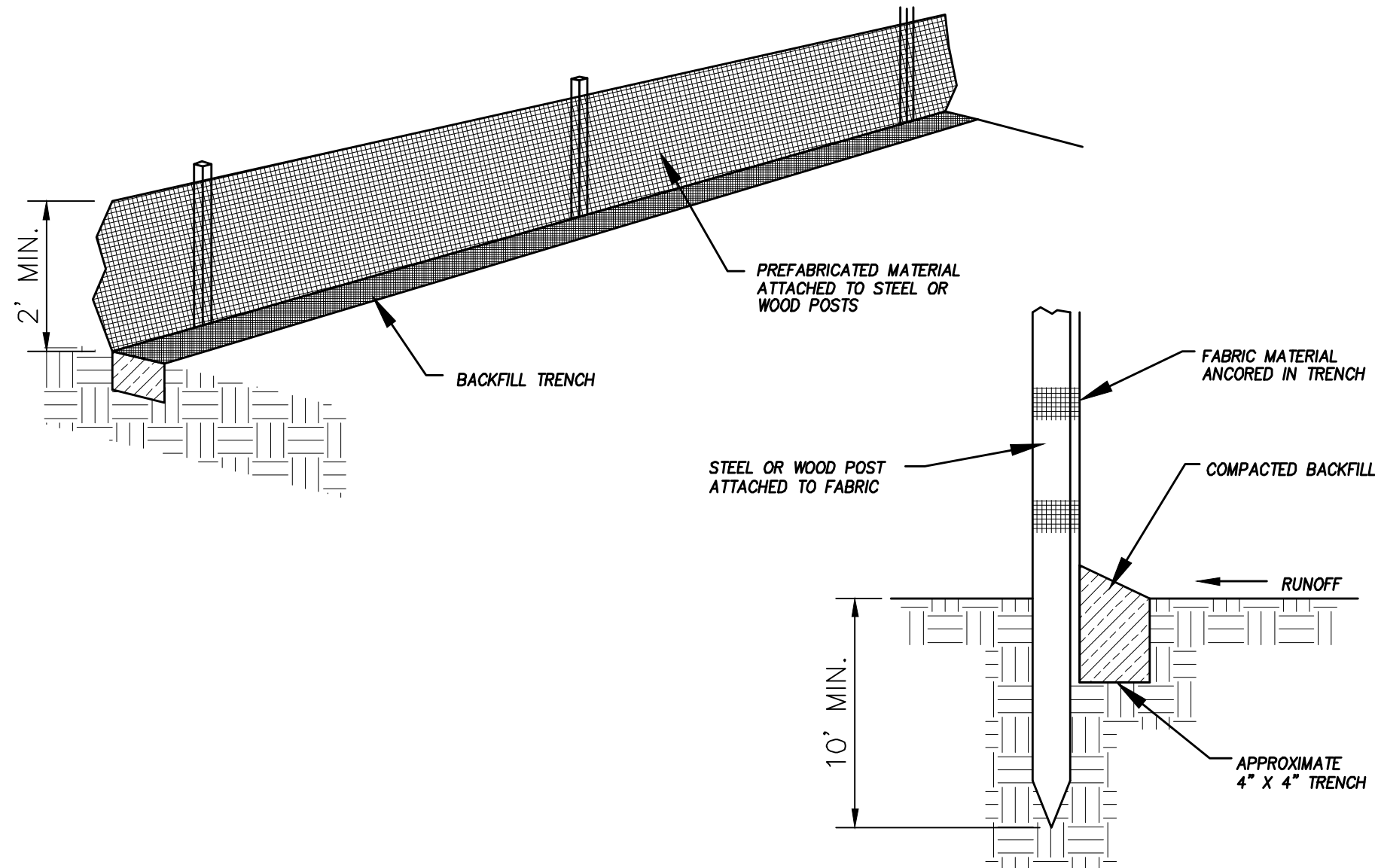
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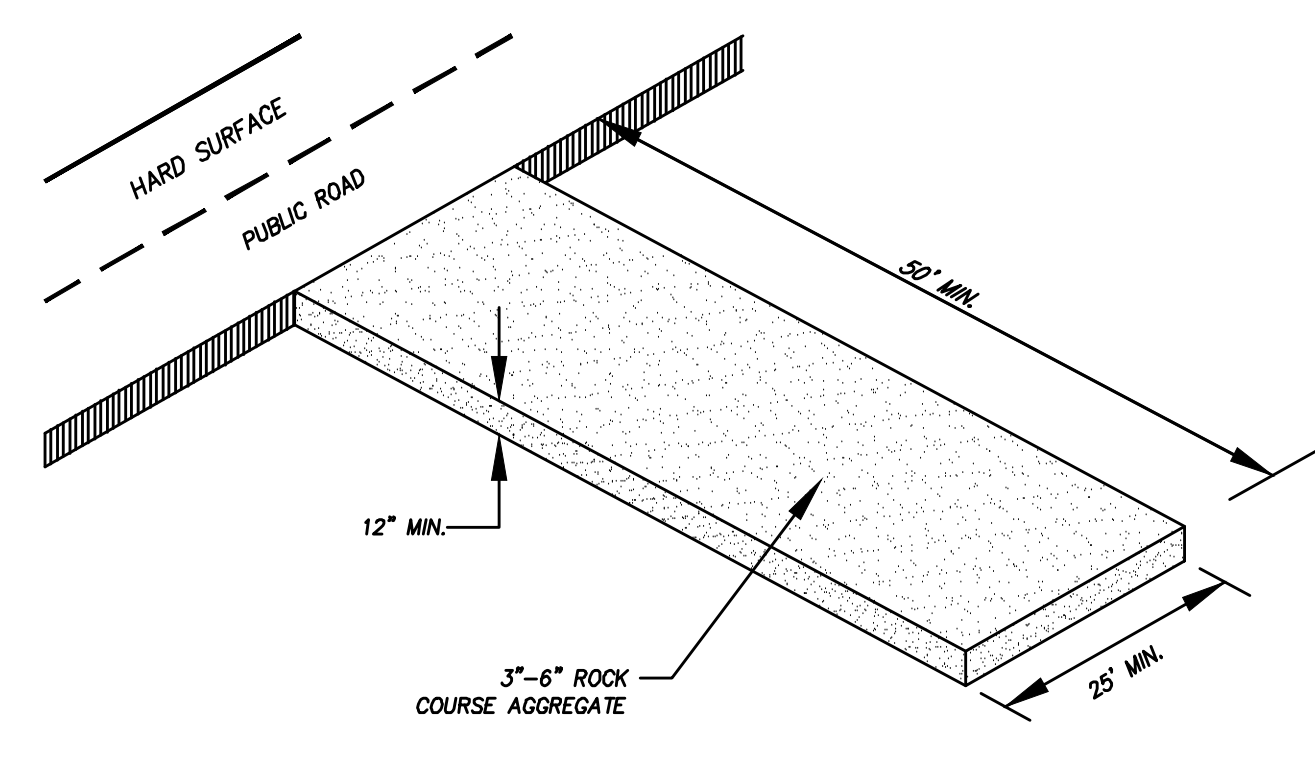
SHEET NAME:
 EROSION CONTROL PLAN
 SHEET:
EC-02

- LEGEND:**
- X — X — PROPOSED SILT FENCE (SEE SHEET EC-03)
 - FLOW ARROW
 - 105 [Pattern] PROPOSED VEHICLE TRACKING CONTROL (SEE SHEET EC-03)
 - 220 [Pattern] PROPOSED CURB INLET PROTECTION (SEE SHEET EC-03)
 - PT [Symbol] PORTABLE TOILETS
 - R-TANK LID CHAMBERS

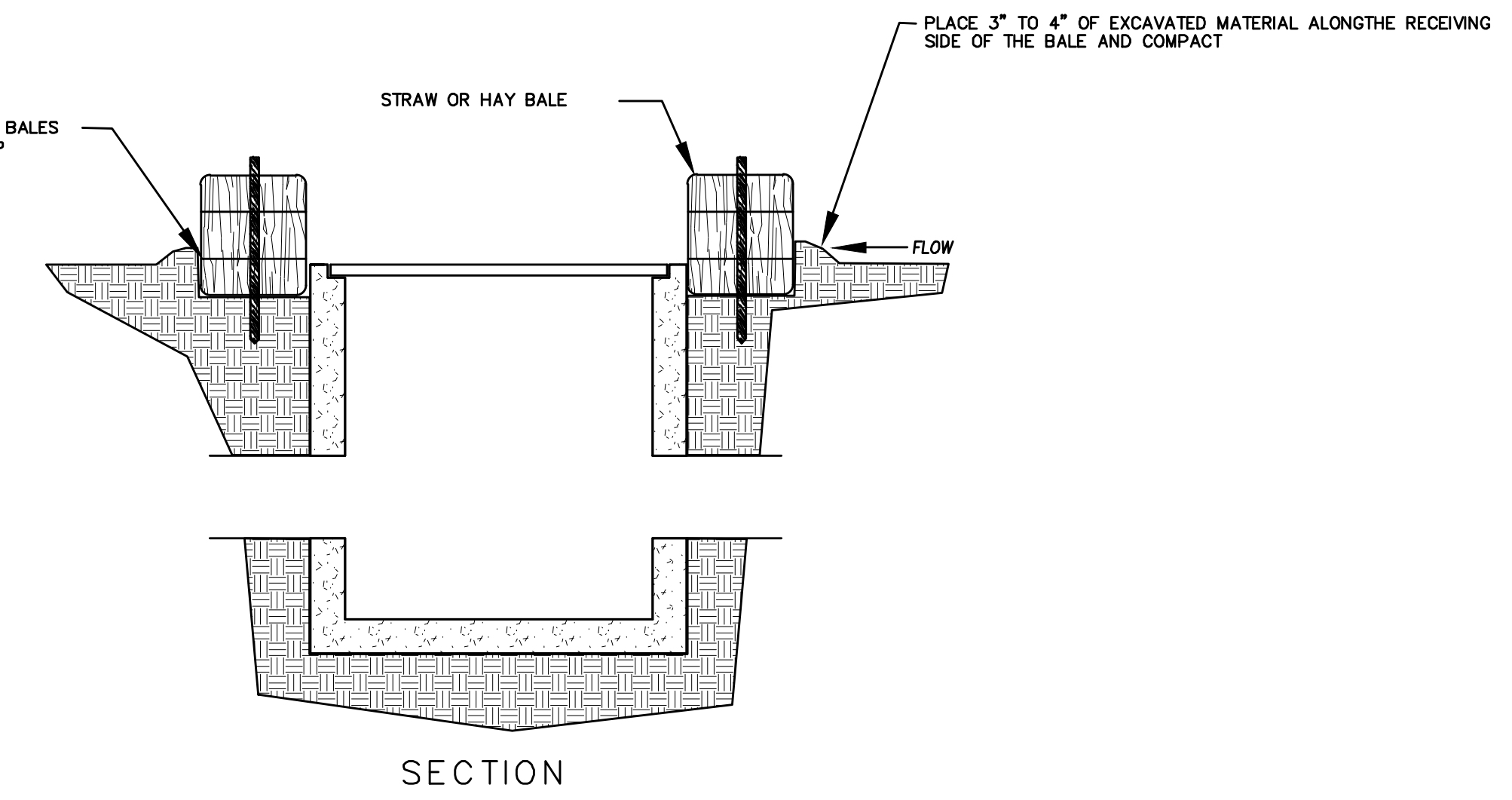
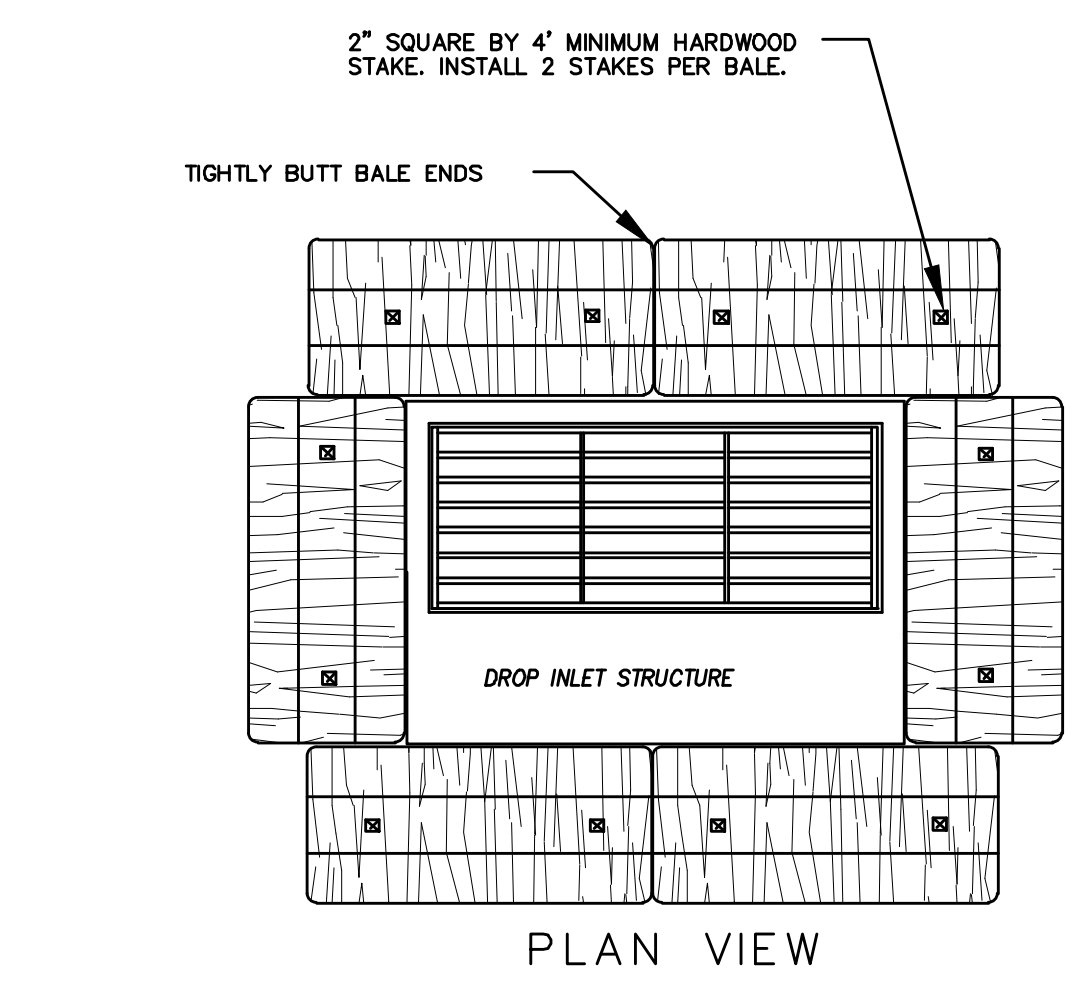
NORTH
 0 50 100 200 300
 (24"x36")
 SCALE 1" = 100'
 (11"x17")
 SCALE 1" = 200'



DETAIL-A
SILT FENCE DETAIL
-NTS-

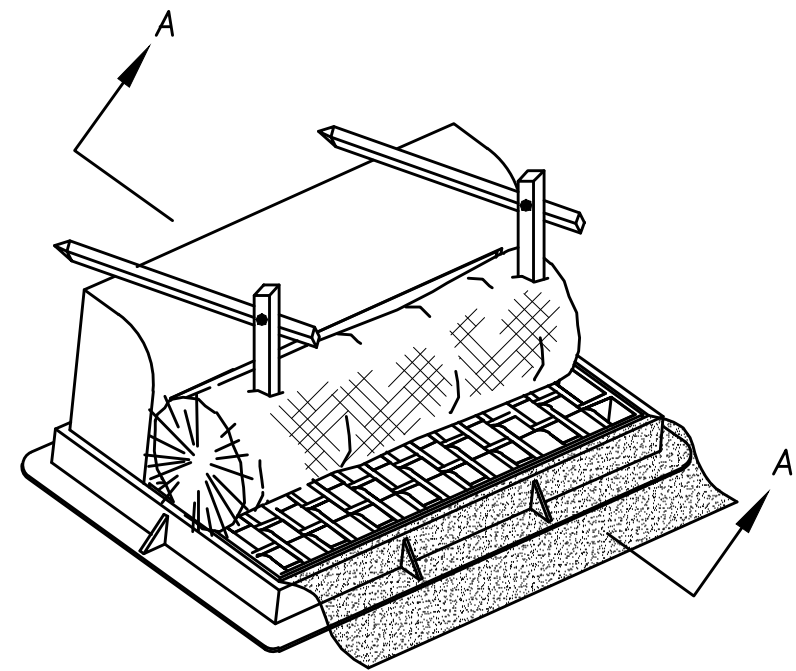


DETAIL-B
VEHICLE TRACKING DETAIL
NOT TO SCALE



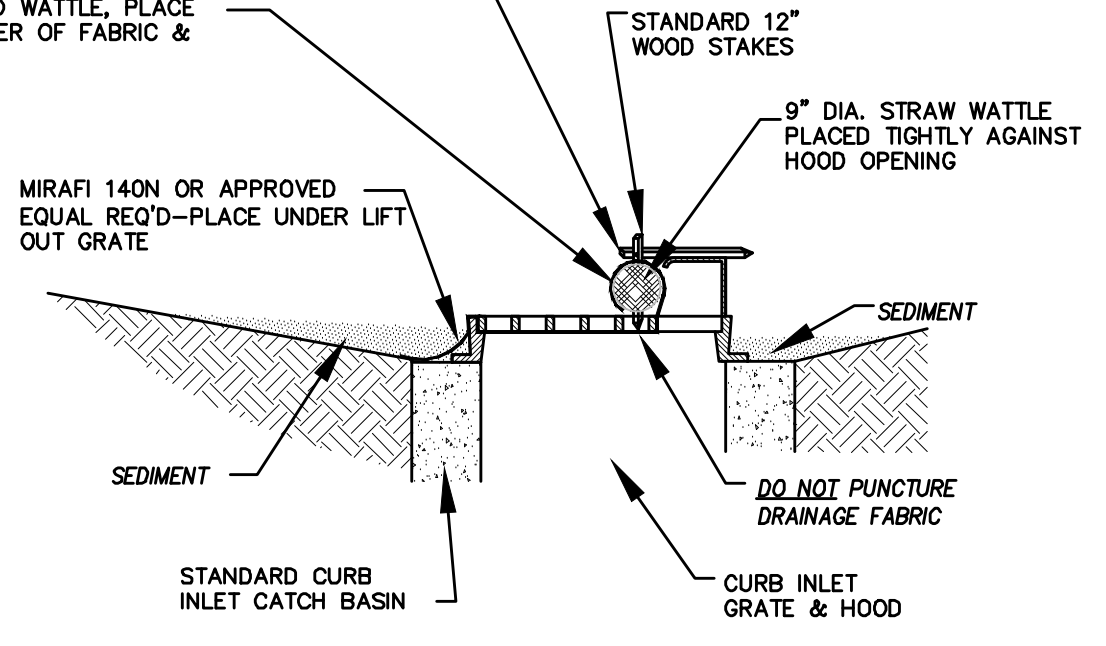
DETAIL-C
STRAW BALE DROP INLET PROTECTION DETAIL
-NTS-

- NOTES:
1. KEY-IN BALES IN AN EXCAVATED TRENCH AROUND THE PERIMETER OF THE DROP INLET STRUCTURE THAT IS 6\"/>
 - 2. OVERLAP ON CORNERS MUST BE AT LEAST HALF A BALE WIDE.
 - 3. DEPENDING ON THE SIZE OF THE INLET STRUCTURE, MORE BALES THAN SHOWN MAY BE REQUIRED.
 - 4. IN MEDIAN AREAS, CONSTRUCT SO THAT THE TOPS OF THE BALES ARE NOT HIGHER THAN THE ADJACENT ROADWAY.
 - 5. MAINTAIN A PROPERLY FUNCTIONING SEDIMENT BARRIER THROUGHOUT CONSTRUCTION OR UNTIL DISTURBED AREAS CONTRIBUTING TO THE INLET HAVE BEEN PAVED OR VEGETATED.
 - 6. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

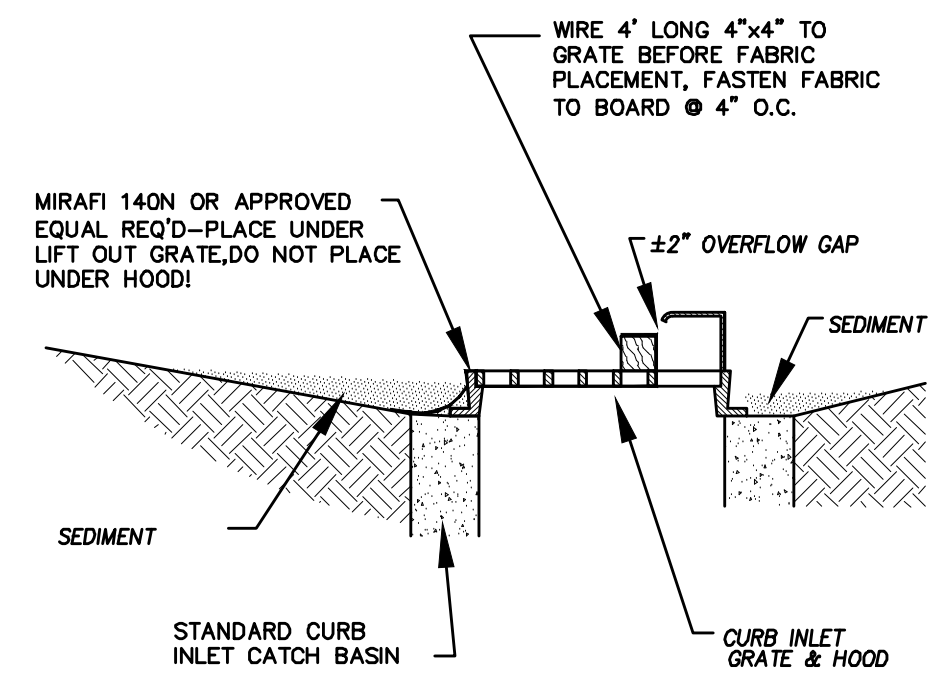
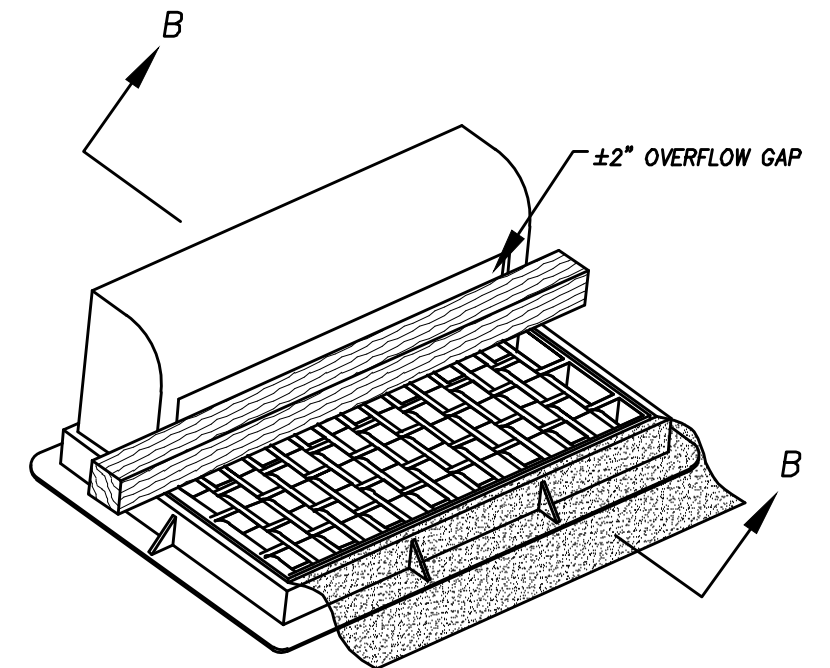


PLACE TOP STAKE NAILED TOGETHER WITH STRAW WATTLE STAKE TO PREVENT WATTLE STAKE FROM PUNCTURING DRAINAGE FABRIC

WRAP DRAINAGE FABRIC AROUND WATTLE, PLACE STAKE THROUGH BOTH TOP LAYER OF FABRIC & STRAW WATTLE



CROSS SECTION A-A
OPTION A



CROSS SECTION B-B
OPTION B

* CATCH BASIN INLET PROTECTIONS ARE TO REMAIN IN PLACE AND OPERATIONAL UNTIL ALL CONSTRUCTION IS COMPLETED AT THE SITE.

DETAIL-D
CURB INLET PROTECTION
DETAIL FOR EXISTING CATCH BASINS
ANY OF THE ABOVE OPTIONS MAY BE USED
NOT TO SCALE

EROSION CONTROL NOTES

1. CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES THAT COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED. PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS THAT RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
2. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE PREPARED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION. OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A NOTICE OF INTENT (NOI) WILL BE SUBMITTED TO OBTAIN THE UPDES CONSTRUCTION PERMIT. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. BEFORE CONSTRUCTION BEGINS, THE LIMITS OF DISTURBANCE (LOD) BOUNDARY SHALL BE STAKED ON SITE AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER.
4. EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 2:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPES. SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
5. CUT AND FILL SLOPES SHALL BE CONDUCTED PER THE GEOTECHNICAL REPORT. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE STABILIZED FOR A HORIZONTAL DISTANCE OF THREE (3) FEET BEYOND THE CATCH POINT. SLOPE ROUNDING SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN. THE OVERALL SHAPE, HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH EXISTING NATURAL CONTOURS, SCALE AND VEGETATION OF NATURAL TERRAIN.
6. EXISTING VEGETATION SHOULD BE PRESERVED WHEREVER POSSIBLE AND DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT LIMITED TO, TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATION BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION AND OTHER APPROPRIATE MEASURES. USE OF IMPERVIOUS SURFACES FOR STABILIZATION SHALL BE AVOIDED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED. FOR MORE INFORMATION, SEE SHEET 7.
7. SPECIFICALLY OUTLINED DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL BE REVEGETATED. THESE AREAS SHALL BE INCLUDE, BUT NOT BE LIMITED TO, ALL UNSURFACED AREAS WITHIN THE STAKED LOD, STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCHED AREAS, INCLUDING RETAINING WALL BENCHES, AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES.
8. CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES, STRAW BALES, OR WATTLE.
9. TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.
10. ANY SEDIMENT TRACKED OFF-SITE SHALL BE REMOVED PRIOR TO THE END OF THE WORK SHIFT OR PRIOR TO SUNSET, WHICHEVER COMES FIRST.
11. CONTRACTOR MAY ADJUST THE LOCATIONS OF THE CONSTRUCTION FENCE, CONSTRUCTION TRAILERS, AND CONSTRUCTION MATERIALS RECEIVING AND STORAGE AREAS, AS NEEDED TO ACCOMPLISH THE CONSTRUCTION. ALL CHANGES SHALL BE NOTATED ON THE EROSION CONTROL PLAN.
12. THE CONTRACTOR SHALL CONDUCT PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES, AS REQUIRED AND NOTATED IN THE SWPPP. THE CONTRACTOR WILL MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.
13. ALL DITCHES AND SWALES GREATER THAN 5% SHALL BE ARMORED WITH AN APPROPRIATE EROSION CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTE REVEGETATION.
14. CONTRACTOR MAY ADJUST THE LOCATION OF CONCRETE WASHOUT AREAS AS NEEDED TO ACCOMPLISH THE CONSTRUCTION.



**TANNER FLATS
at SUMMIT RIDGE**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022

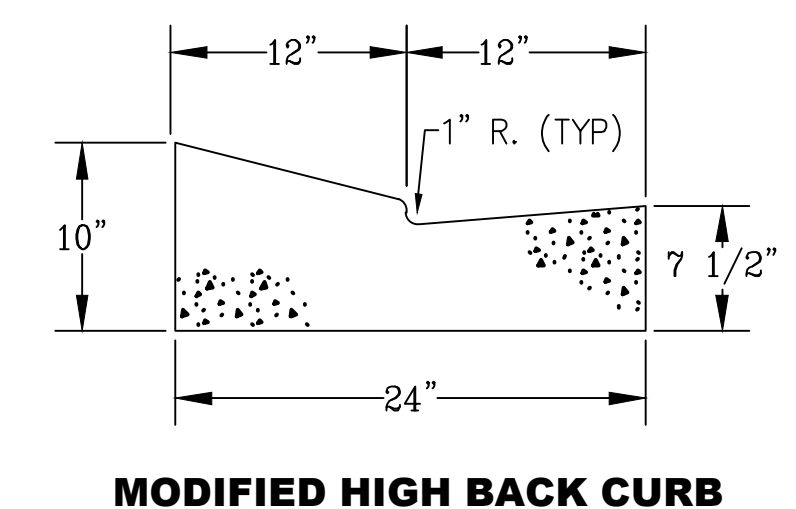
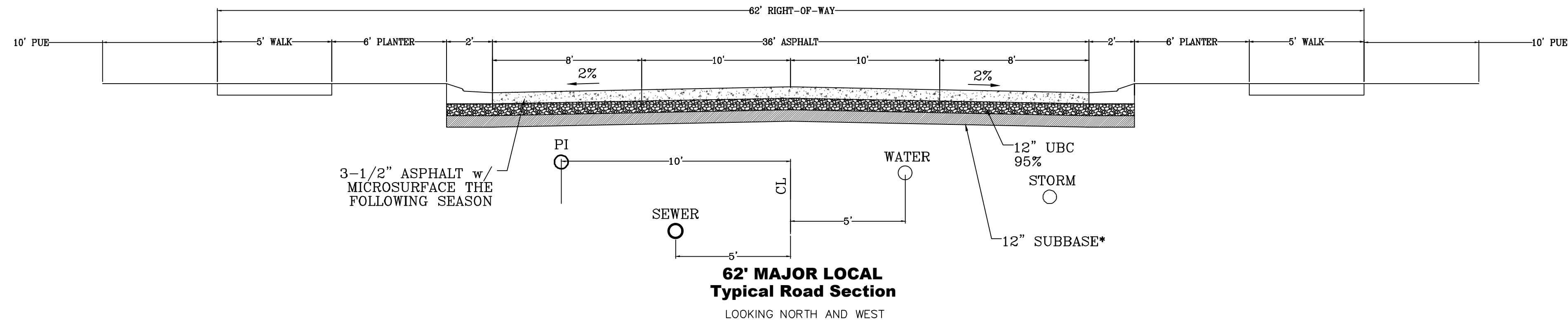
PROJECT #

REVISIONS:

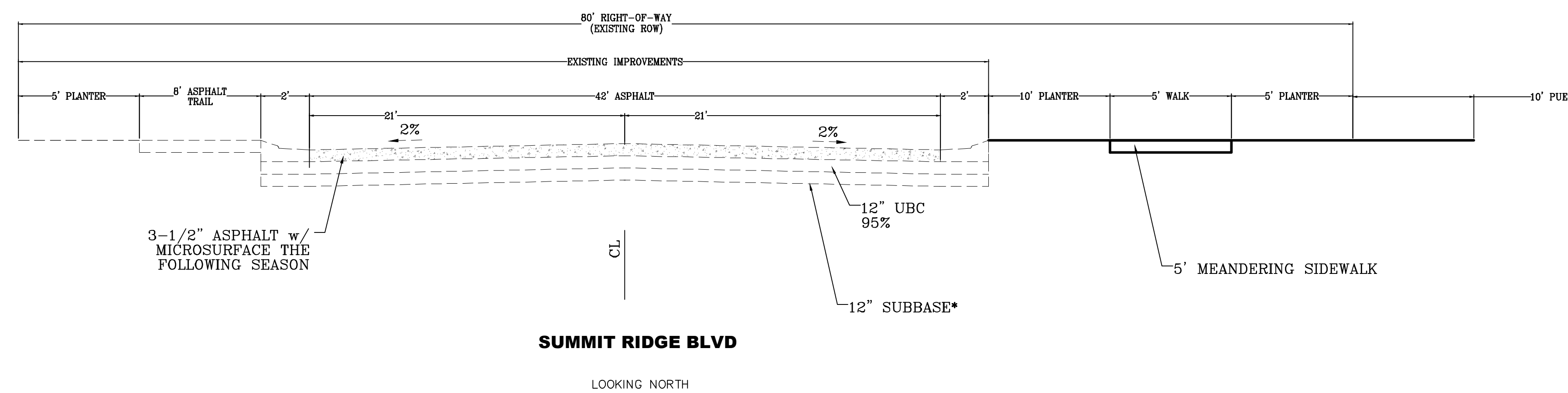
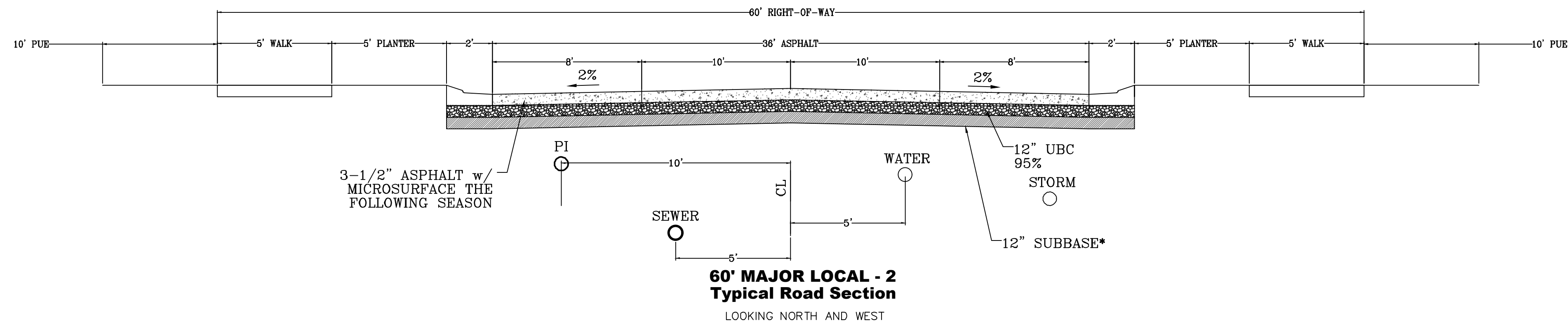
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SHEET NAME:
EROSION CONTROL DETAILS

SHEET:
EC-03



*NOTE: ON SITE INSPECTION TO BE CONDUCTED BY GEOTECHNICAL ENGINEER TO DETERMINE ADEQUACY OF EXISTING MATERIAL



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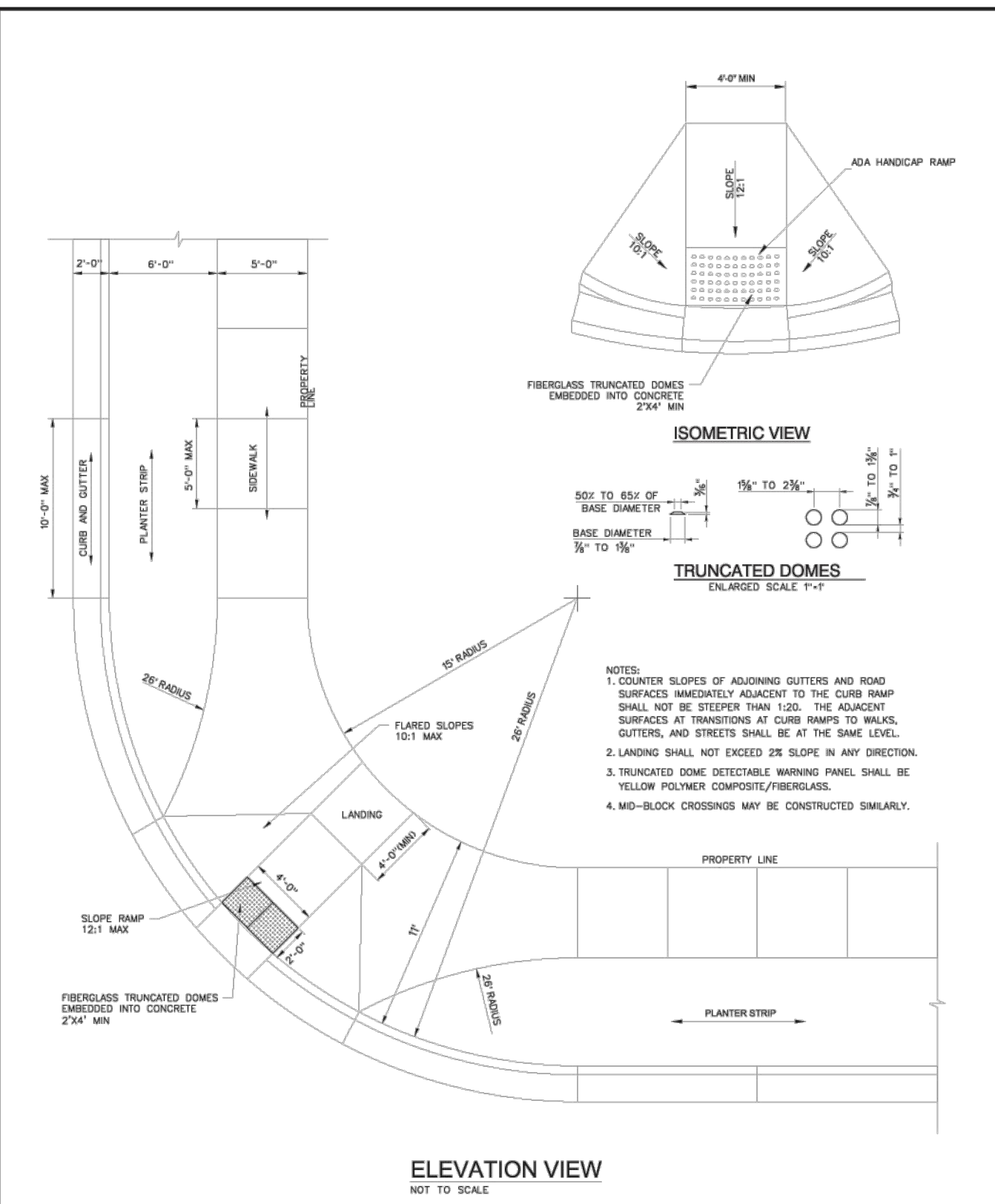
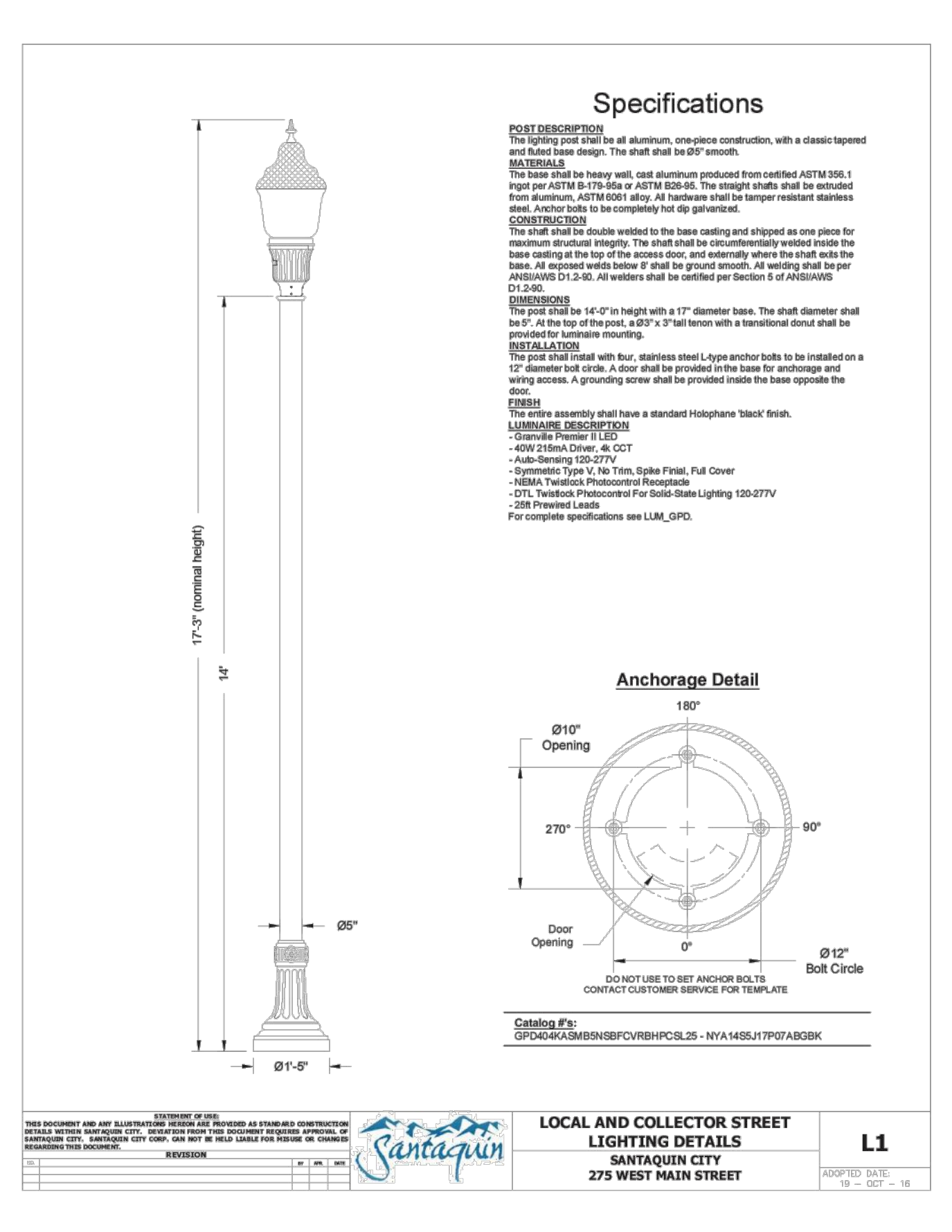
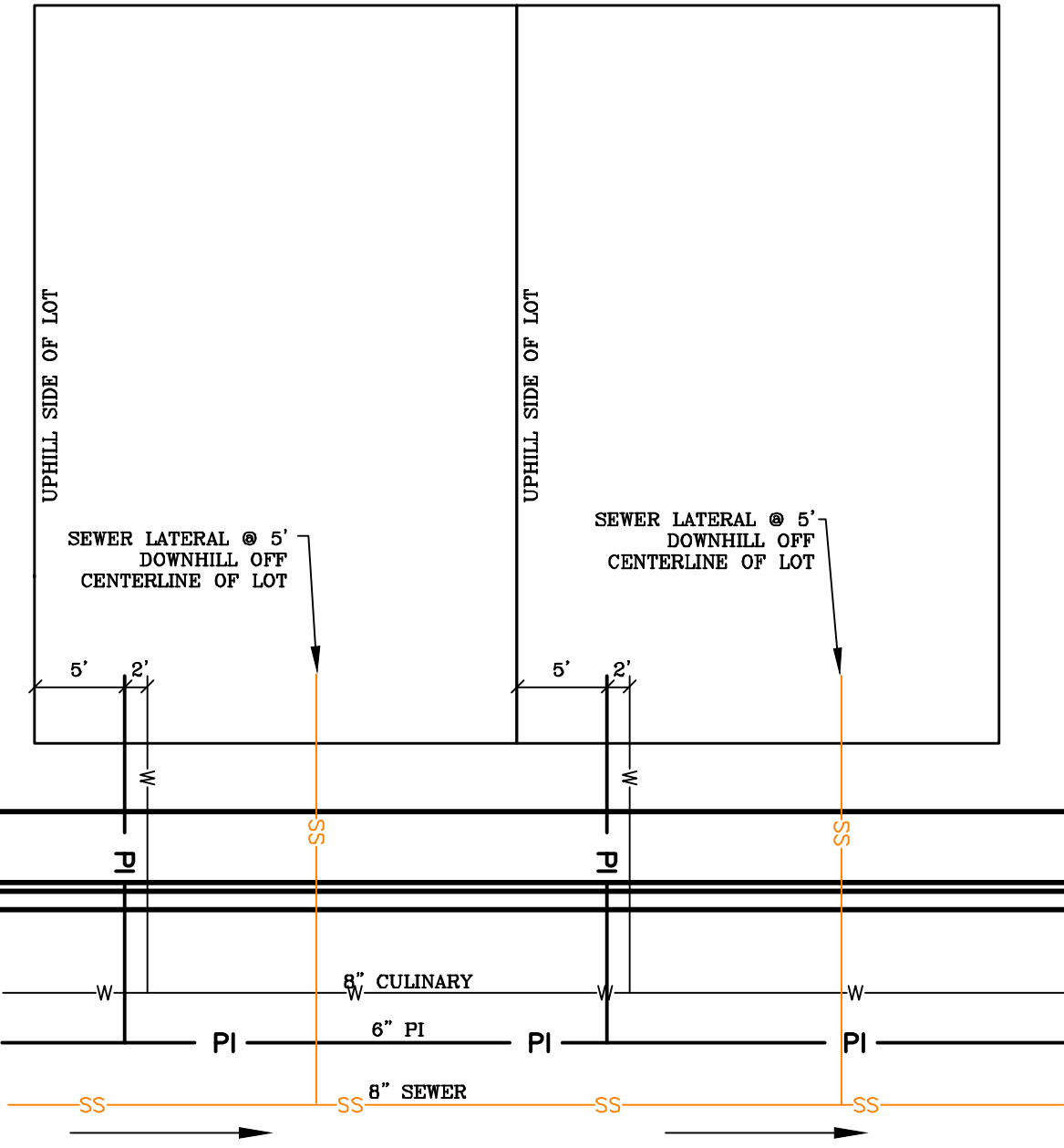
**TANNER FLATS
at SUMMIT RIDGE**
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 12.5.2022
PROJECT #

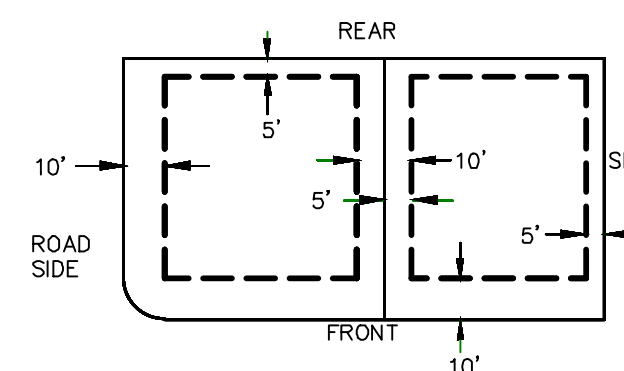
REVISIONS:

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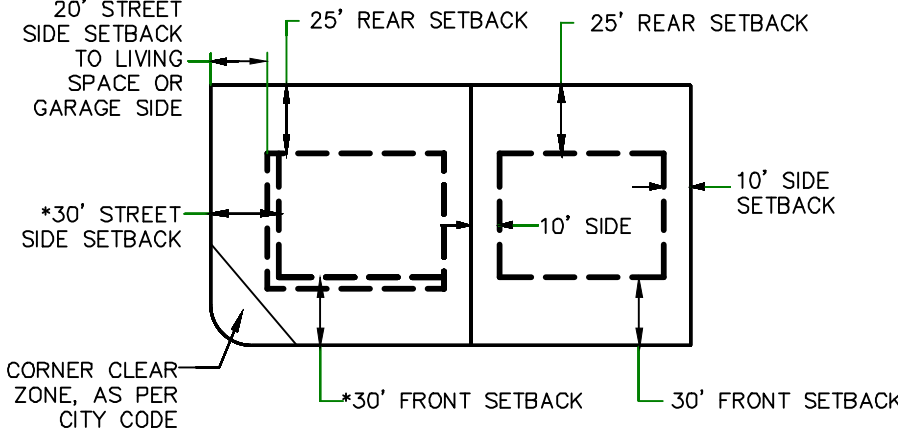
SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-01



PUBLIC UTILITY EASEMENTS



BUILDING SETBACKS (MINIMUM)



*FRONT SETBACK ON CORNER LOT: THIRTY FEET (30') FROM PROPERTY LINE ALONG PRIMARY FRONTAGE, TWENTY FIVE FEET (25') FROM PROPERTY LINE ALONG SECONDARY FRONTAGE.

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

REVISIONS	
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3	

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**TANNER FLATS
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REVISIONS:

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2	
3	

SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-02