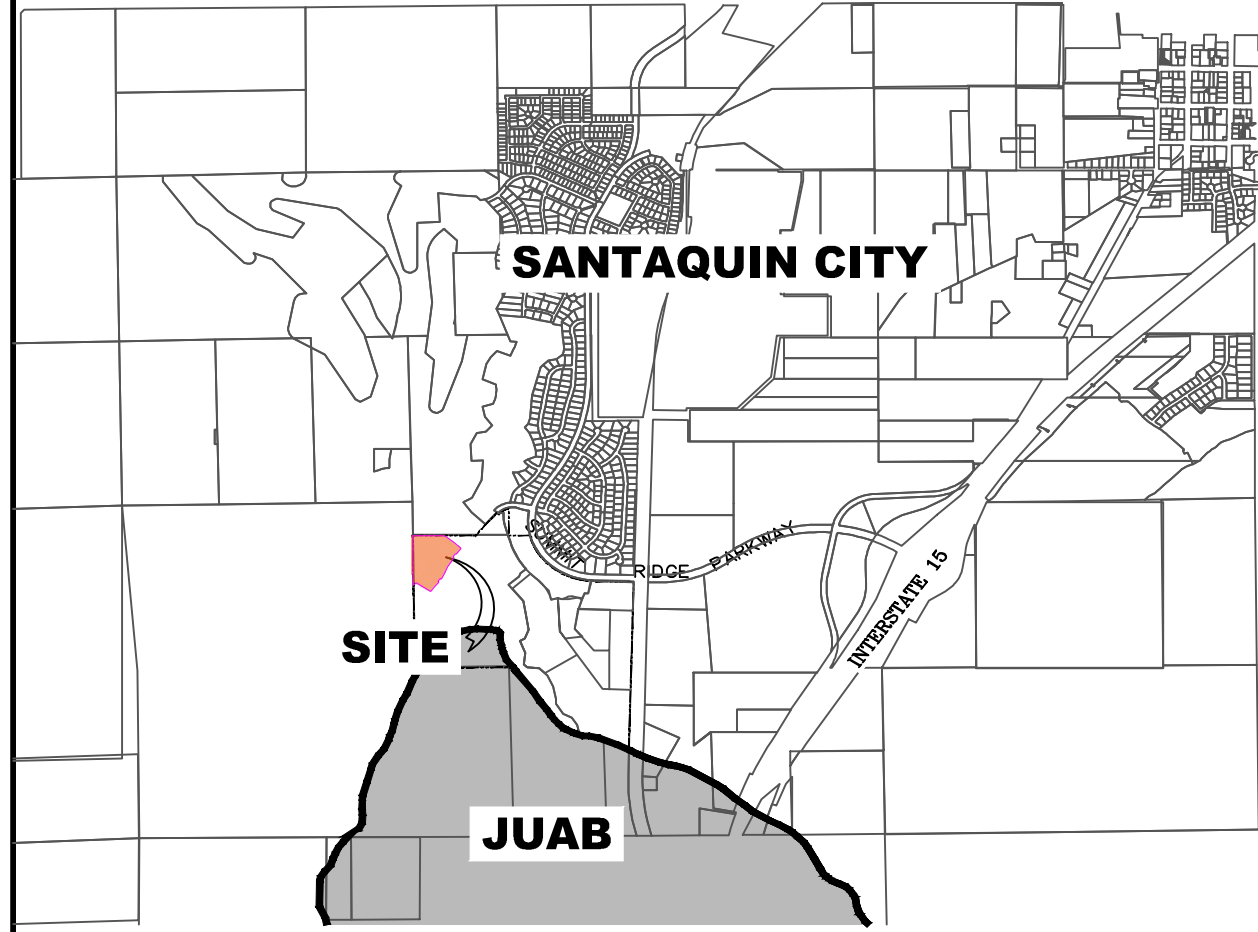


**VICINITY MAP**



**The Hills @ Summit Ridge  
PHASE 'G'  
December 23**

Santaquin, Utah County, Utah

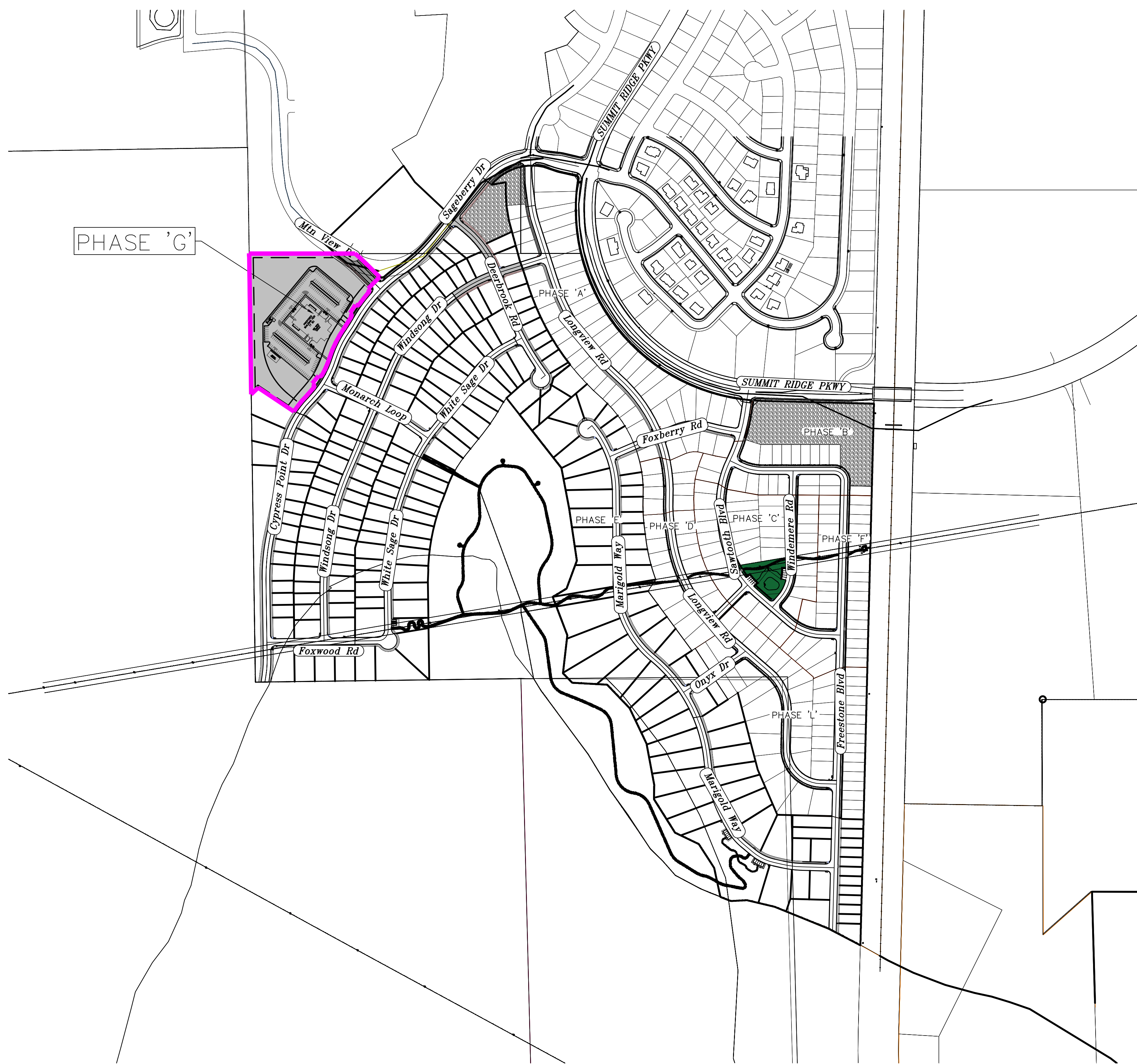
AREA BREAKDOWN	
TOTAL PLAT ACREAGE	7.73 ACRES
TOTAL LOT ACREAGE	7.33 ACRES
TOTAL ROW ACREAGE	0.40 ACRES
TOTAL OPEN SPACE	ACRES
ZONE	PC - PLANNED COMMUNITY
DENSITY	N/A
NUMBER OF LOTS	1 LOTS

**PROJECT ENGINEER & SURVEYOR**  
REGION ENGINEERING & SURVEYING  
1776 NORTH STATE STREET #110  
OREM, UTAH 84057  
PH - 801.376.2245

region Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com

- ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS
- ALL TRENCH BACKFILL MUST BE A1-a MATERIAL
- FOR REQUIRED UTILITY AND TRAFFIC LOOPING, PHASES I, J AND K MUST BE BUILT CONCURRENTLY OR AFTER PHASE H IS COMPLETED
- POSTAL SERVICE BOXES WILL BE LOCATED WITHIN PHASES J & K AND WILL SERVICE THE HILLS PHASE H, I, J, K, N & O

PHASE 'G'

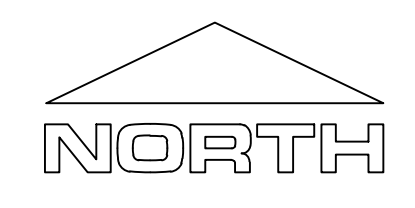


**INDEX OF PLAN SHEETS**

SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PLAT	PLAT SHEETS
UP-01	SITE & UTILITY PLANS
GR-01	GRADING PLANS
DT-01-02	TYPICAL DETAILS

- NOTES:**
- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
  - ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
  - ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND SHEET DT-02 UNLESS OTHERWISE NOTED.
  - 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
  - ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
  - ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
  - ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

**NOTES TO CONTRACTOR:**  
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



**THE HILLS @ SUMMIT RIDGE  
PHASE 'G'**  
LOCATED IN PORTIONS OF SECTION 12 AND 13,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 12.6.2023

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
COVER SHEET & NOTES

SHEET:  
CS-01

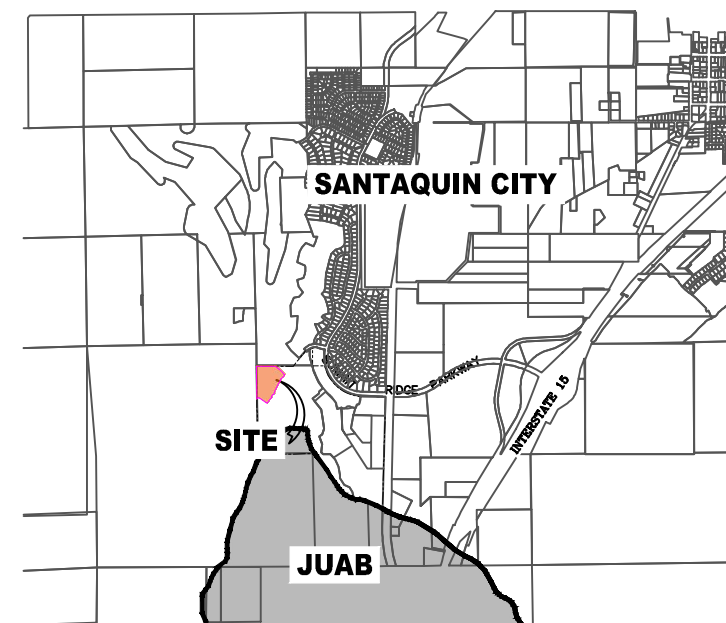
**THE HILLS @ SUMMIT RIDGE  
PHASE 'G'**

SW CORNER OF SECTION  
10, T10S, R1E, S.L.B.&M.

S.0°01'14"E  
546.46'

WEST  
820.96'

**VICINITY MAP**



**LEGEND**  
 FOUND SECTION COR. AS NOTED  
 SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS  
 FOUND CLASS I STREET MONUMENT  
 SET STREET MONUMENT  
 PROPERTY BOUNDARY  
 CENTERLINE  
 RIGHT-OF-WAY LINE  
 LOT LINE  
 SECTION LINE  
 PUBLIC UTILITY EASEMENT  
 CALCULATED POINT (NOT SET)  
 NDCBU  
 (4'x8' POSTAL EASEMENT)  
 AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC RIGHT OF WAY

**BASIS OF BEARING**

THE BASIS OF BEARING FOR THE HILLS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE SW CORNER OF SECTION 10 AND THE WEST 1/4 CORNER OF SECTION 15, T10S, R1E, SLB&M WITH THE BEARING BEING S0°01'14"E ALONG SAID LINE.

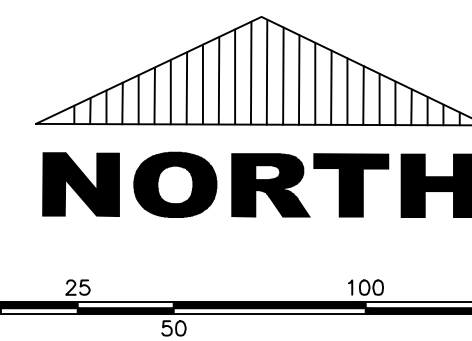
**NOTES:**

- TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- XXXXX... PROPOSED RESIDENTIAL ADDRESS
- (XXXX S.F.) AREA IN PARENTHESES DENOTES BUILDABLE AREA
- THIS SUBDIVISION IS LOCATED WITHIN A HILLSIDE OVERLAY ZONE AND ADDITIONAL GRADING PLANS ARE REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION
- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

**UTILITIES APPROVAL**

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERS WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER \_\_\_\_\_  
 CENTRACOM \_\_\_\_\_  
 CENTURY LINK \_\_\_\_\_



**AREA BREAKDOWN**

TOTAL PLAT ACREAGE	7.73 ACRES
TOTAL LOT ACREAGE	7.33 ACRES
TOTAL ROW ACREAGE	0.40 ACRES
TOTAL OPEN SPACE	ACRES
ZONE	PC - PLANNED COMMUNITY
DENSITY	N/A
NUMBER OF LOTS	1 LOTS

**PROJECT DEVELOPER**  
 David Simpson  
 | 801-376-1966 |  
 Woodsprings@gmail.com  
 407 N Main Street Springville, UT 84663

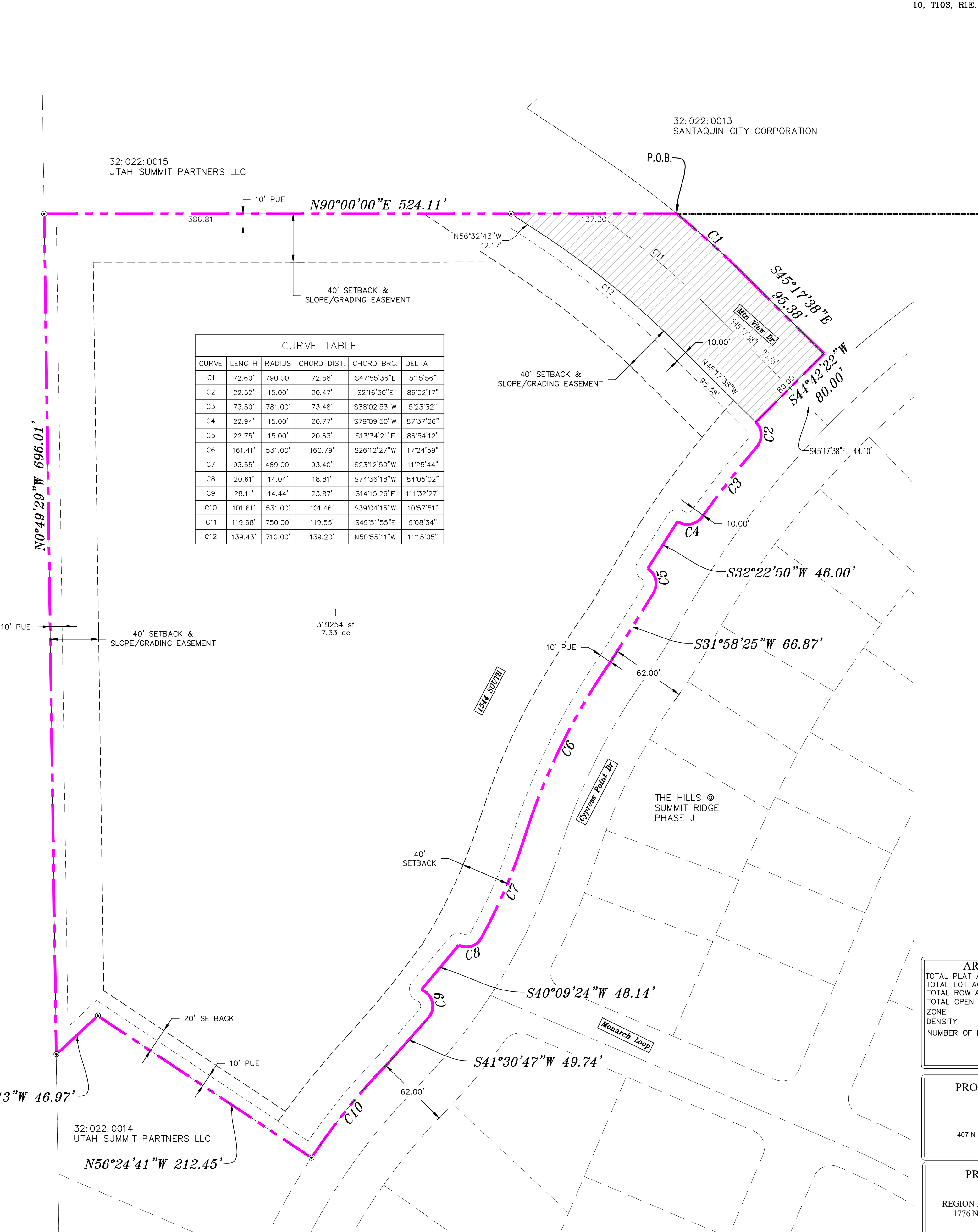
**PROJECT ENGINEER & SURVEYOR**  
 REGION ENGINEERING & SURVEYING  
 1776 NORTH STATE STREET #110  
 OREM, UT 84057  
 PH - 801.376.2245

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	72.60'	790.00'	72.58'	S47°55'36"E	51°5'56"
C2	22.52'	15.00'	20.47'	S2°16'30"E	86°02'17"
C3	73.50'	781.00'	73.48'	S38°02'53"W	52°3'32"
C4	22.94'	15.00'	20.77'	S79°09'50"W	87°37'26"
C5	22.75'	15.00'	20.63'	S13°34'21"E	86°54'12"
C6	161.41'	531.00'	160.79'	S26°12'27"W	172°4'59"
C7	93.55'	469.00'	93.40'	S23°12'50"W	11°25'44"
C8	20.61'	14.04'	18.81'	S74°36'18"W	84°05'02"
C9	28.11'	14.44'	23.87'	S14°15'26"E	111°32'27"
C10	101.61'	531.00'	101.46'	S39°04'15"W	10°57'51"
C11	119.68'	750.00'	119.55'	S49°51'55"E	9°08'34"
C12	139.43'	710.00'	139.20'	N50°55'11"W	111°5'05"

1  
319254 sf  
7.33 ac

32:022:0002  
UTAH STATE DEPT OF  
NATURAL RESOURCES



**Surveyor's Certificate**

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

**PHASE 'G' Boundary Description**  
 BEGINNING AT A POINT ON A CURVE THAT IS S.0°01'14"E, A DISTANCE OF 546.46' ALONG THE SECTION LINE AND WEST 820.96' FROM THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;  
 Said curve turning to the right through an angle of 05° 15' 56", having a radius of 790.00 feet, and whose long chord bears S 47° 55' 36" E for a distance of 72.58 feet.  
 Thence, S 45° 17' 38" E for a distance of 95.38 feet to a point on a line.  
 Thence, S 44° 42' 22" W for a distance of 80.00 feet to the beginning of a non-tangential curve,  
 Said curve turning to the right through 86° 02' 17", having a radius of 15.00 feet, and whose long chord bears S 02° 16' 30" E for a distance of 20.47 feet to the beginning of a non-tangential curve. Said curve turning to the left through 05° 23' 32", having a radius of 781.00 feet, and whose long chord bears S 38° 02' 53" W for a distance of 73.48 feet to the beginning of a non-tangential curve. Said curve turning to the right through an angle of 87° 37' 26", having a radius of 15.00 feet, and whose long chord bears S 79° 09' 50" W for a distance of 20.77 feet to a point of intersection with a non-tangential line. Thence, S 32° 22' 50" W for a distance of 46.00 feet to the beginning of a non-tangential curve. Said curve turning to the right through an angle of 86° 54' 12", having a radius of 15.00 feet, and whose long chord bears S 13° 34' 21" E for a distance of 20.63 feet to a point of intersection with a non-tangential line. Thence, S 31° 58' 25" W for a distance of 66.87 feet to the beginning of a non-tangential curve. Said curve turning to the left through 17° 24' 59", having a radius of 531.00 feet, and whose long chord bears S 26° 12' 27" W for a distance of 160.79 feet to the beginning of a non-tangential curve. Said curve turning to the right through 11° 25' 44", having a radius of 469.00 feet, and whose long chord bears S 23° 12' 50" W for a distance of 93.40 feet to the beginning of a non-tangential curve. Said curve turning to the right through an angle of 84° 05' 02", having a radius of 14.04 feet, and whose long chord bears S 74° 36' 18" W for a distance of 18.81 feet to a point of intersection with a non-tangential line. Thence, S 40° 09' 24" W for a distance of 48.14 feet to the beginning of a non-tangential curve. Said curve turning to the right through an angle of 111° 32' 27", having a radius of 14.44 feet, and whose long chord bears S 14° 15' 26" E for a distance of 23.87 feet.  
 Thence, S 41° 30' 47" W for a distance of 49.74 feet to the beginning of a non-tangential curve, Said curve turning to the left through an angle of 10° 57' 51", having a radius of 531.00 feet, and whose long chord bears S 39° 04' 15" W for a distance of 101.46 feet to a point of intersection with a non-tangential line. Thence, N 56° 24' 41" W for a distance of 212.45 feet to a point on a line. Thence, S 47° 03' 43" W for a distance of 46.97 feet to a point on a line. Thence, N 00° 49' 29" W for a distance of 696.01 feet to a point on a line. thence N 90° 00' 00" E a distance of 524.11 feet to the POINT OF BEGINNING

CONTAINING 7.73 ACRES OF LAND AND 1 LOT

December 6, 2023  
DATE

ROBBIN J. MULLEN

**OWNERS DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREBY AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREOF FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HERUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

**LIMITED COMPANY ACKNOWLEDGEMENT**

STATE OF UTAH \_\_\_\_\_ S.S.  
 COUNTY OF UTAH \_\_\_\_\_  
 ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES \_\_\_\_\_ A NOTARY PUBLIC COMMISSIONED IN UTAH  
 NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_

ATTEST: \_\_\_\_\_  
 (See Seal Below) ENGINEER (See Seal Below) CLERK-RECORDER (See Seal Below)

**THE HILLS @ SUMMIT RIDGE  
PHASE 'G'**

UTAH COUNTY, UTAH  
 SCALE: 1" = 50 FEET

NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY-RECORDER SEAL
--------------------	---------------------------	----------------------

This form approved by Utah County and the municipalities therein.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

- ① RESIDENTIAL STREET LIGHT  
(PER SANTAQUIN CITY STANDARDS)
- ② STOP/STREET SIGN

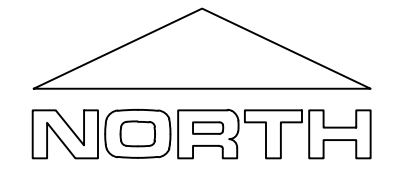
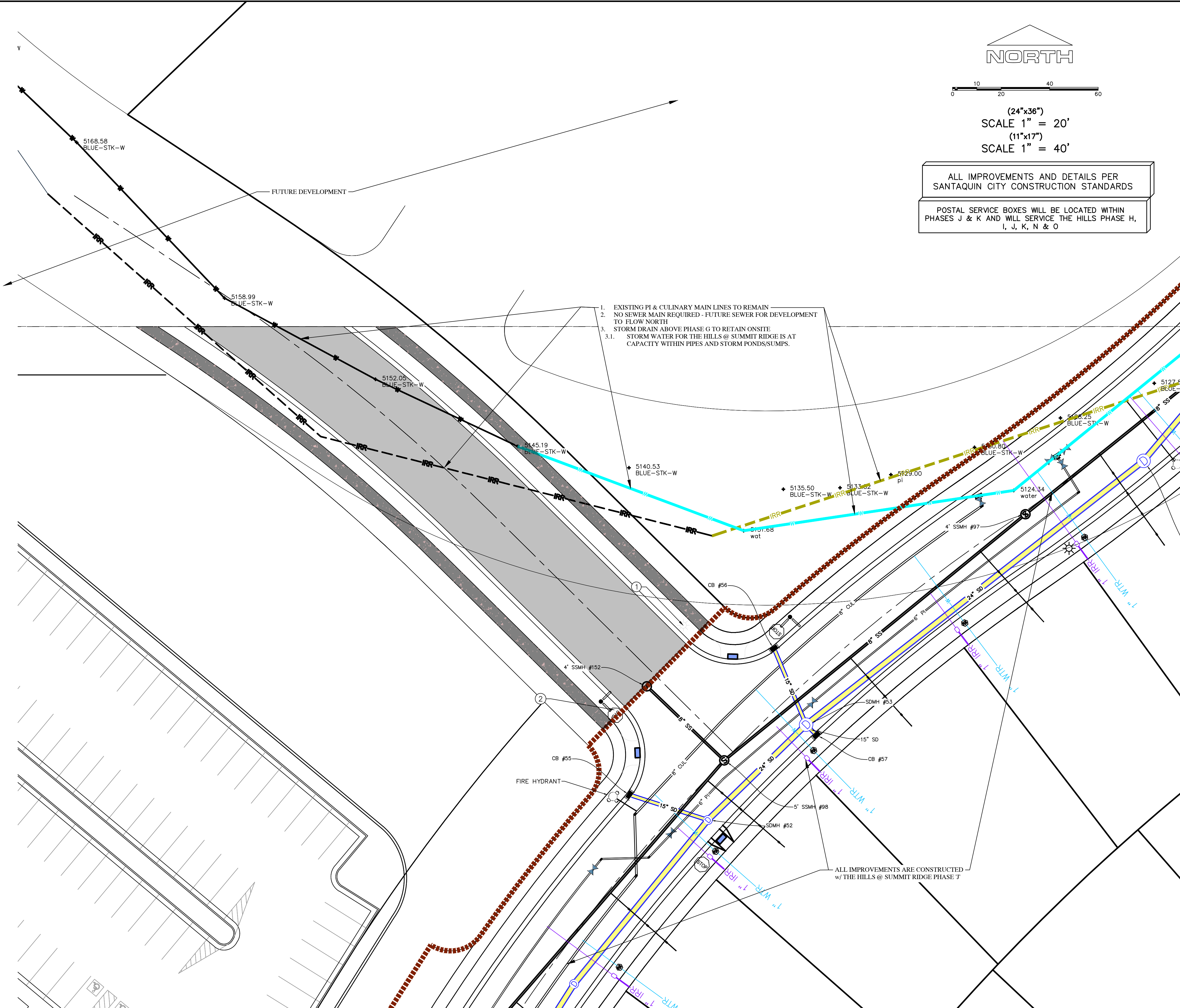
**LEGEND**

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING DEED LINE
- SD EXISTING STORM MAIN
- SS EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING PI MAIN
- EXISTING CONCRETE
- PI/WAT/SEWER LATERAL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED CURB & GUTTER
- PROPOSED LOT LINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- PROPOSED STORM MAIN
- PROPOSED CUL MAIN
- PROPOSED SEWER MAIN
- PROPOSED WAT/PI/SEWER SERVICE LATERALS
- ☆ RESIDENTIAL STREET LIGHT
- PROPOSED VALVE (WAT/PI)
- PROPOSED SEWER MANHOLE
- PROPOSED STORM INLET/MANHOLE
- PROPOSED ADA RAMP
- PROPOSED STOP/STREET SIGN
- PROPOSED FIRE HYDRANT
- FOUND SECTION COR. AS NOTED
- SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
- FOUND CLASS 1 STREET MONUMENT
- SET STREET MONUMENT
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- PUBLIC UTILITY EASEMENT
- SECTION LINE

**NOTES TO CONTRACTOR:**

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(24"x36")  
SCALE 1" = 20'  
(11"x17")  
SCALE 1" = 40'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

POSTAL SERVICE BOXES WILL BE LOCATED WITHIN PHASES J & K AND WILL SERVICE THE HILLS PHASE H, I, J, K, N & O

1. EXISTING PI & CULINARY MAIN LINES TO REMAIN
2. NO SEWER MAIN REQUIRED - FUTURE SEWER FOR DEVELOPMENT TO FLOW NORTH
3. STORM DRAIN ABOVE PHASE G TO RETAIN ONSITE
- 3.1. STORM WATER FOR THE HILLS @ SUMMIT RIDGE IS AT CAPACITY WITHIN PIPES AND STORM PONDS/SUMPS.

ALL IMPROVEMENTS ARE CONSTRUCTED w/ THE HILLS @ SUMMIT RIDGE PHASE 'T'

region  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com

**THE HILLS @ SUMMIT RIDGE  
PHASE 'G'**

LOCATED IN PORTIONS OF SECTION 12 AND 13,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 12.6.2023

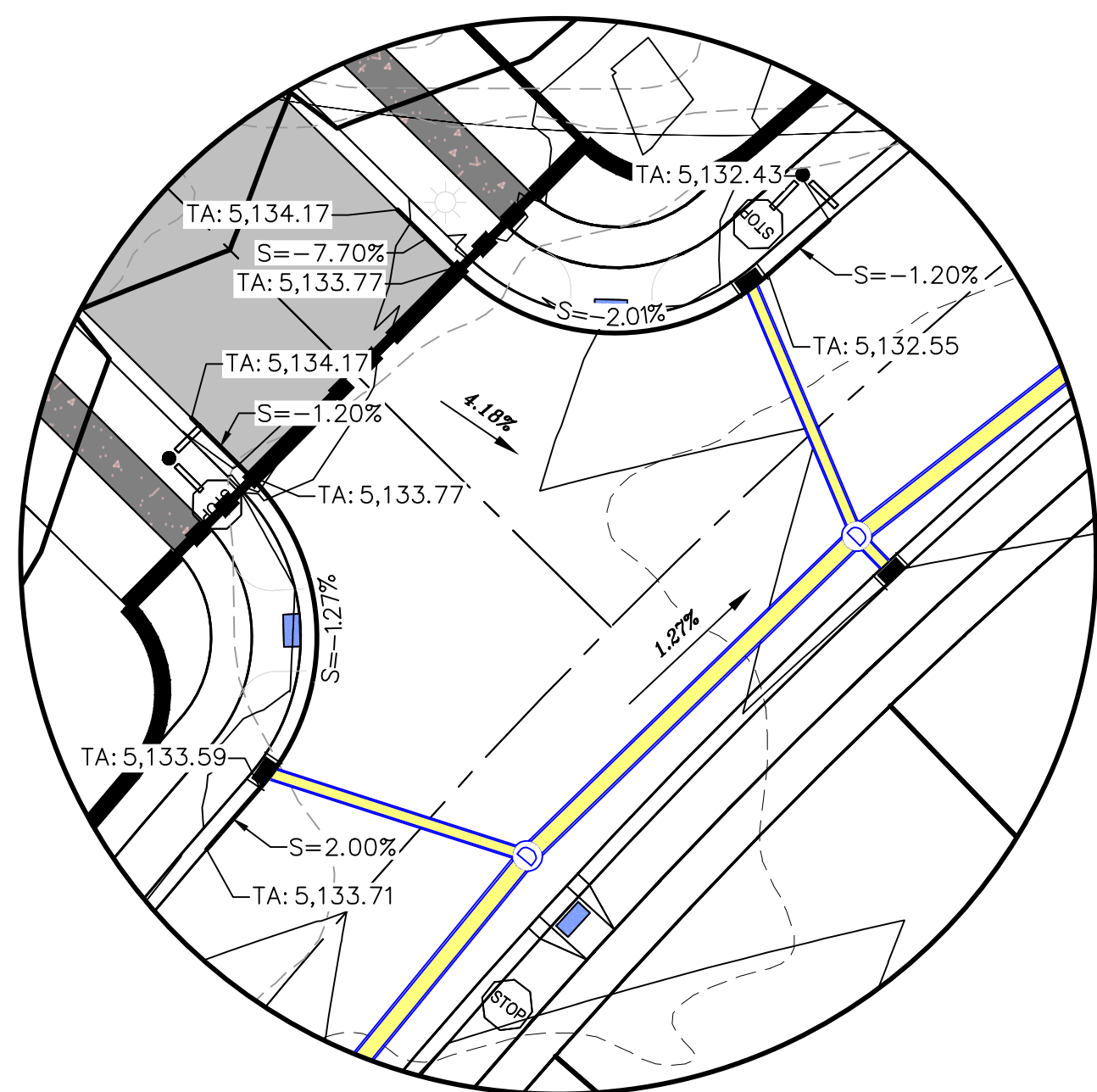
PROJECT #

REVISIONS:

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3	

SHEET NAME:  
UTILITY PLANS  
SHEET:  
UP-01

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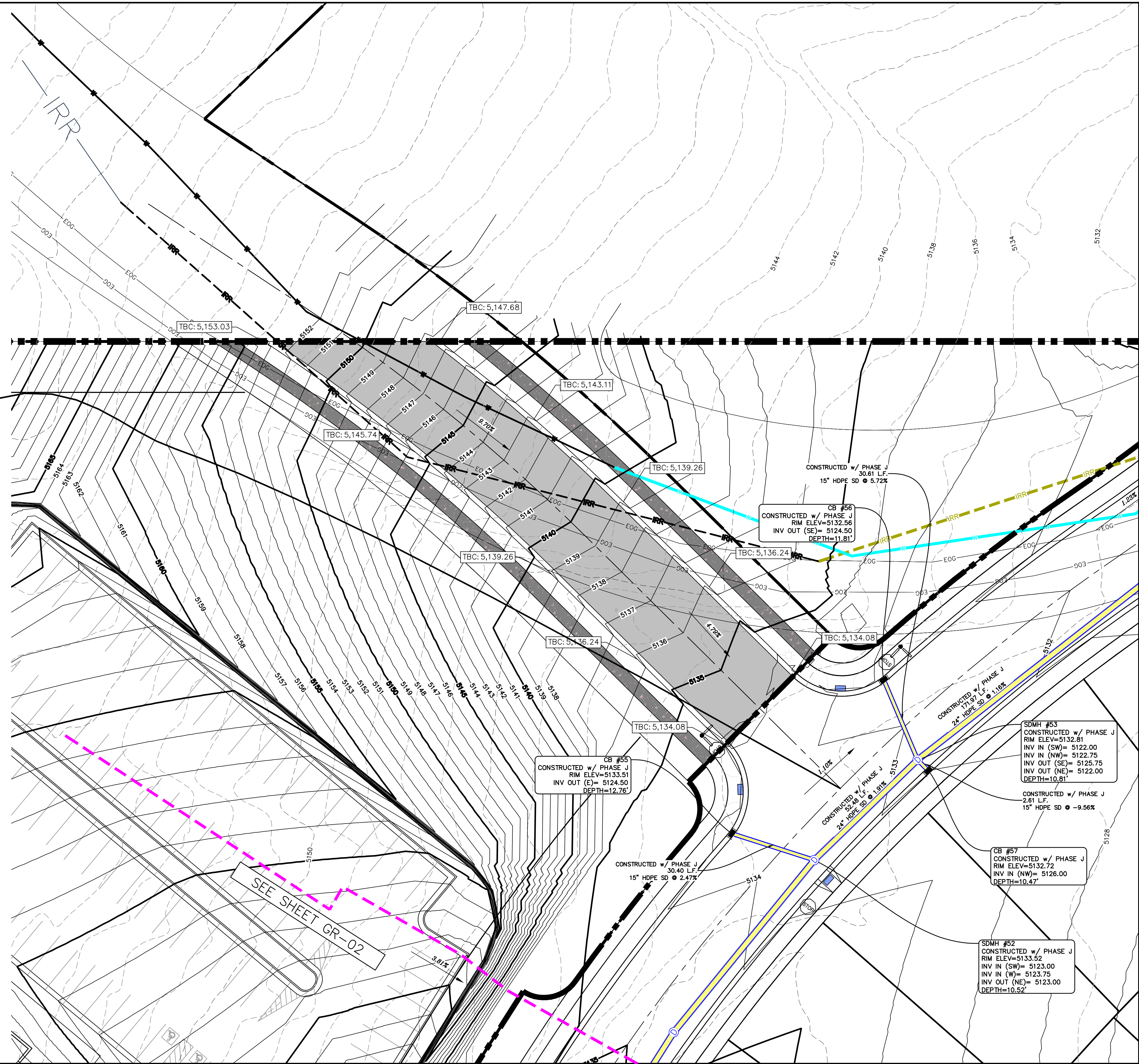
CONSTRUCTED WITH PHASE J

NORTH



(24"x36")  
SCALE 1" = 20'  
(11"x17")  
SCALE 1" = 40'

ALL IMPROVEMENTS AND DETAILS PER  
SANTAQUIN CITY CONSTRUCTION STANDARDS



Engineering  
& Surveying

**region**

1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



**THE HILLS @ SUMMIT RIDGE  
PHASE 'C'**

LOCATED IN PORTIONS OF SECTION 12 AND 13,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 12.6.2023

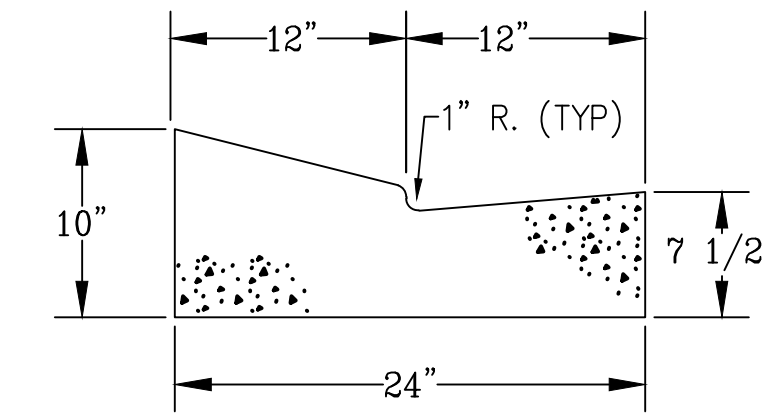
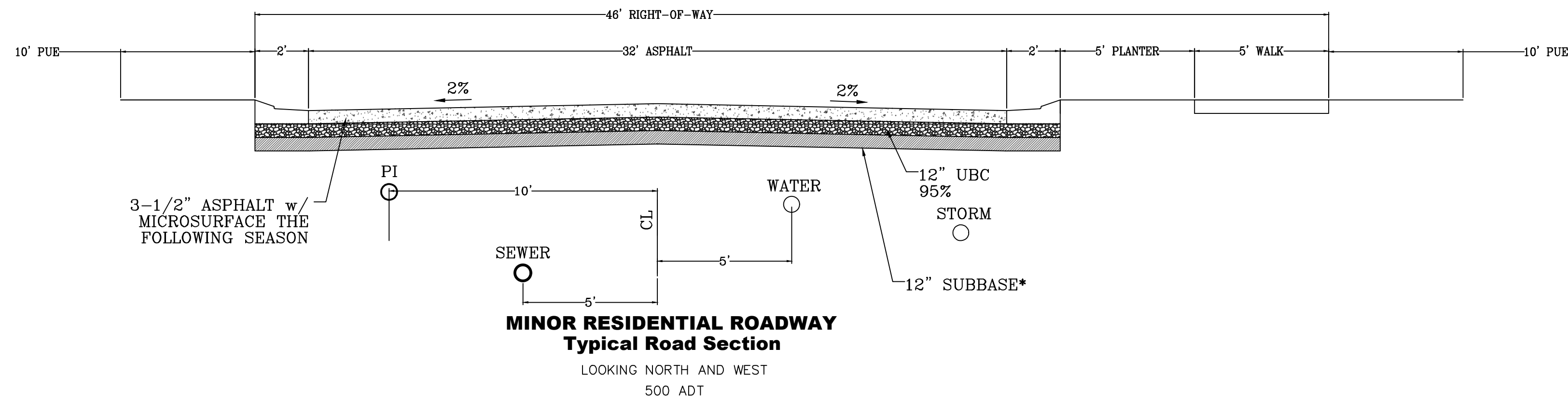
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REVISIONS:

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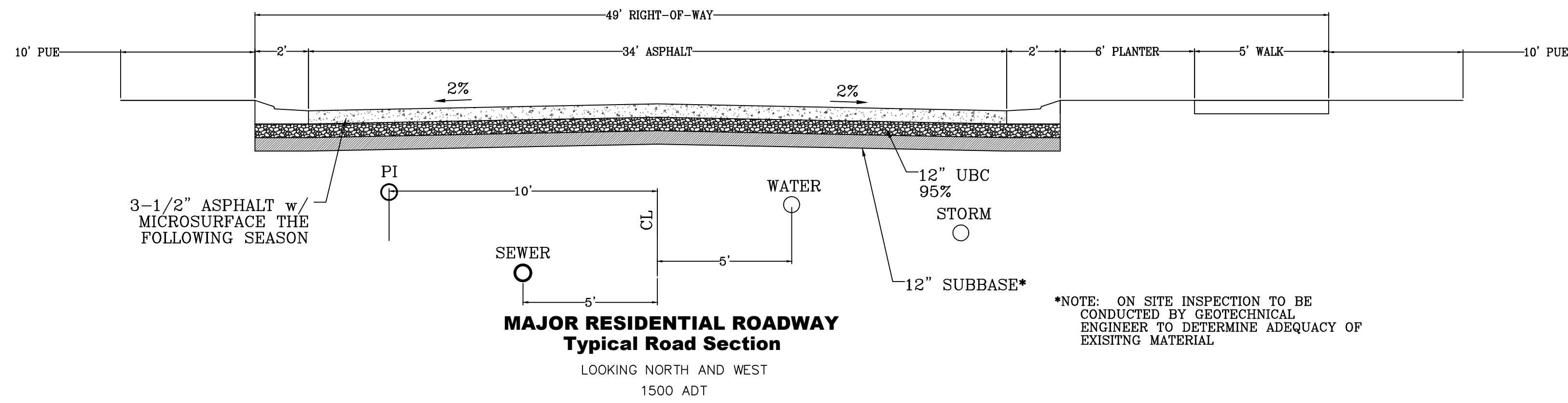
SHEET NAME:  
GRADING PLANS

SHEET:  
**GR-01**

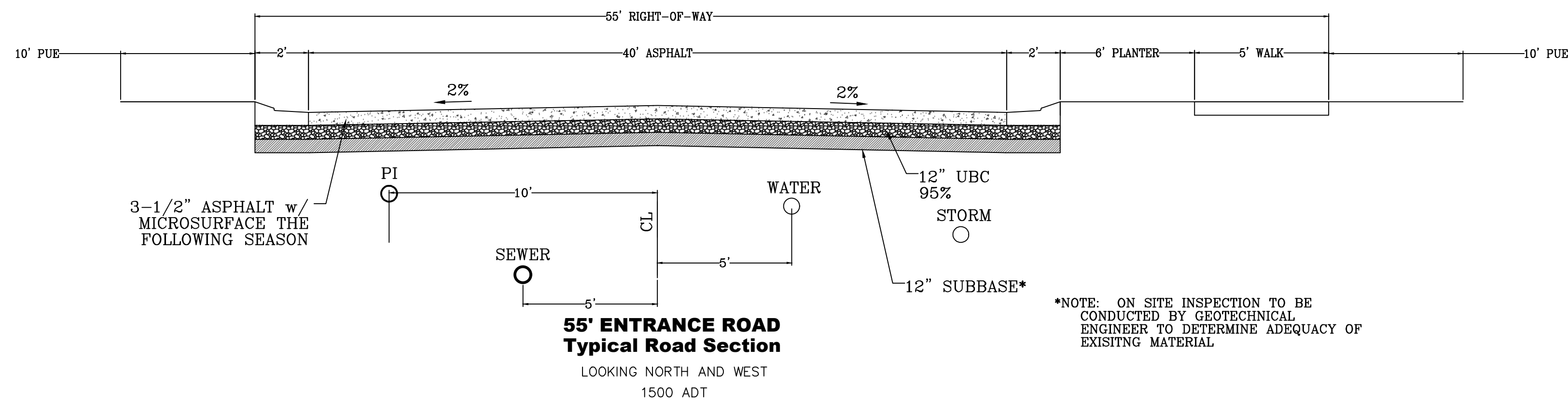
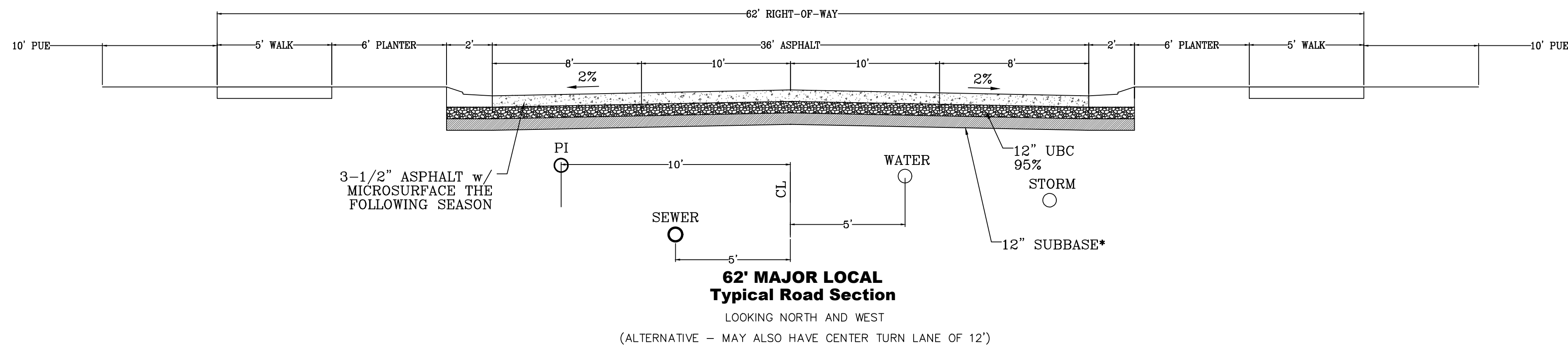


**MODIFIED HIGH BACK CURB**

\*NOTE: ON SITE INSPECTION TO BE CONDUCTED BY GEOTECHNICAL ENGINEER TO DETERMINE ADEQUACY OF EXISTING MATERIAL



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region  
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**THE HILLS @ SUMMIT RIDGE  
PHASE 'C'**  
LOCATED IN PORTIONS OF SECTION 12 AND 13,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 12.6.2023

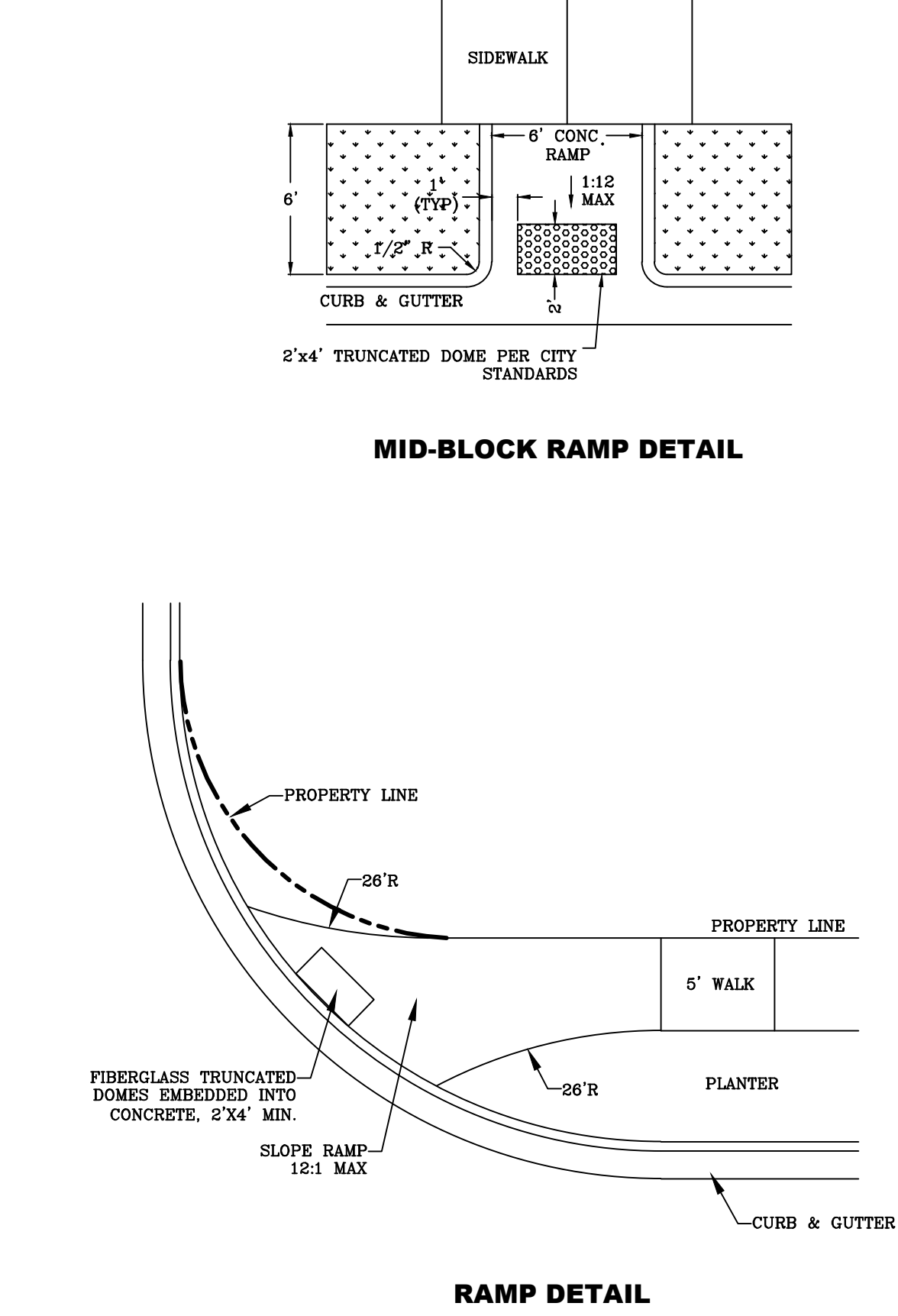
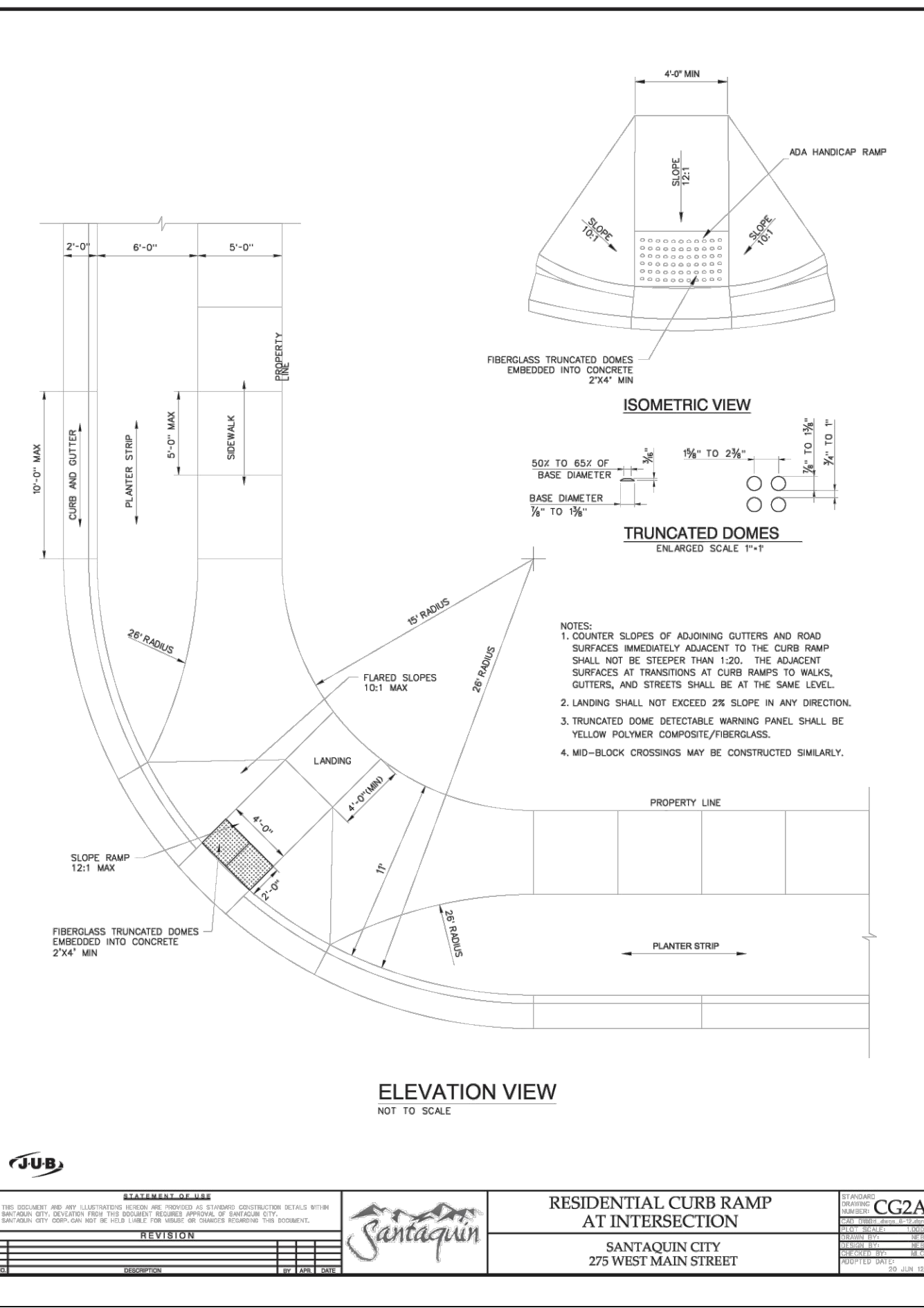
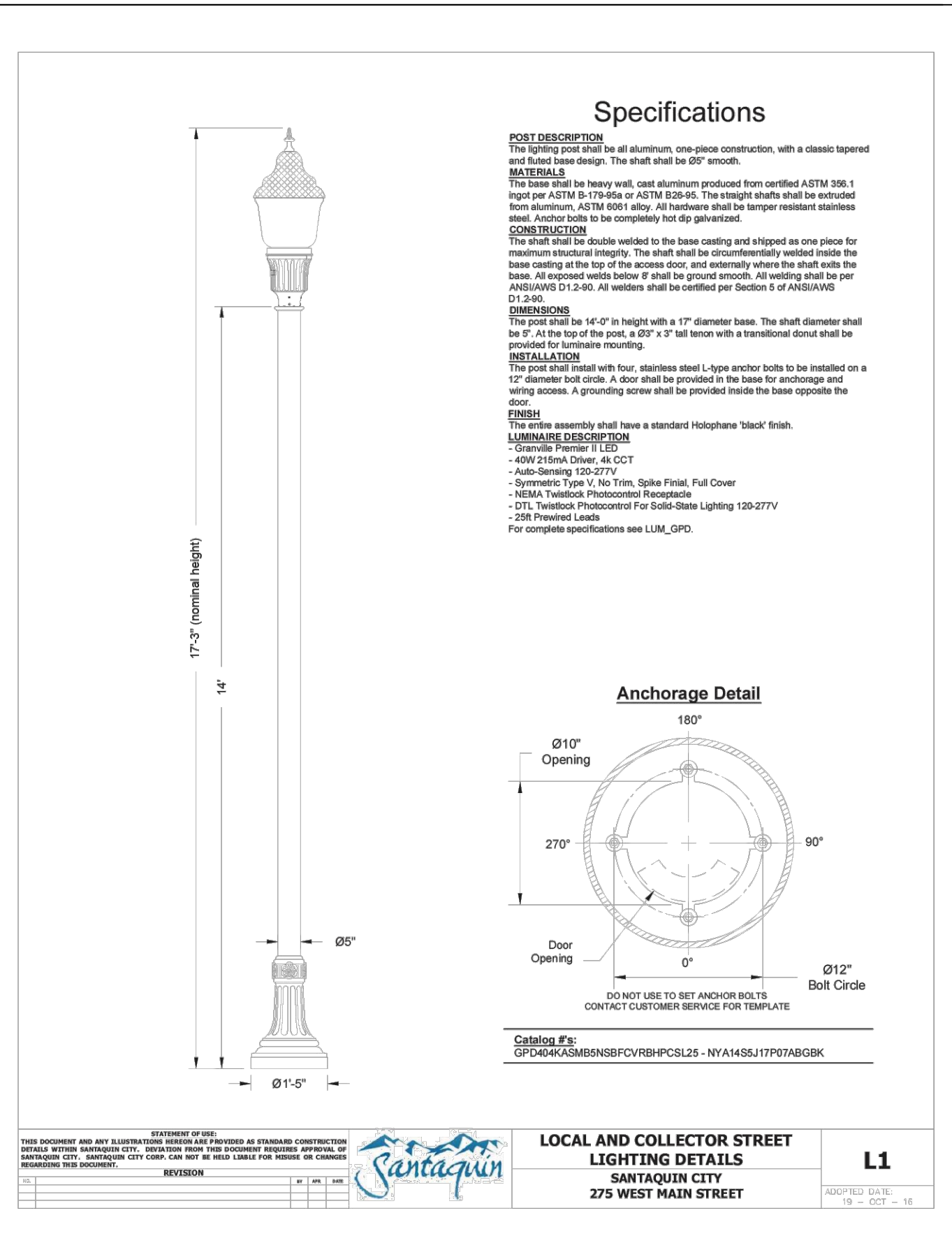
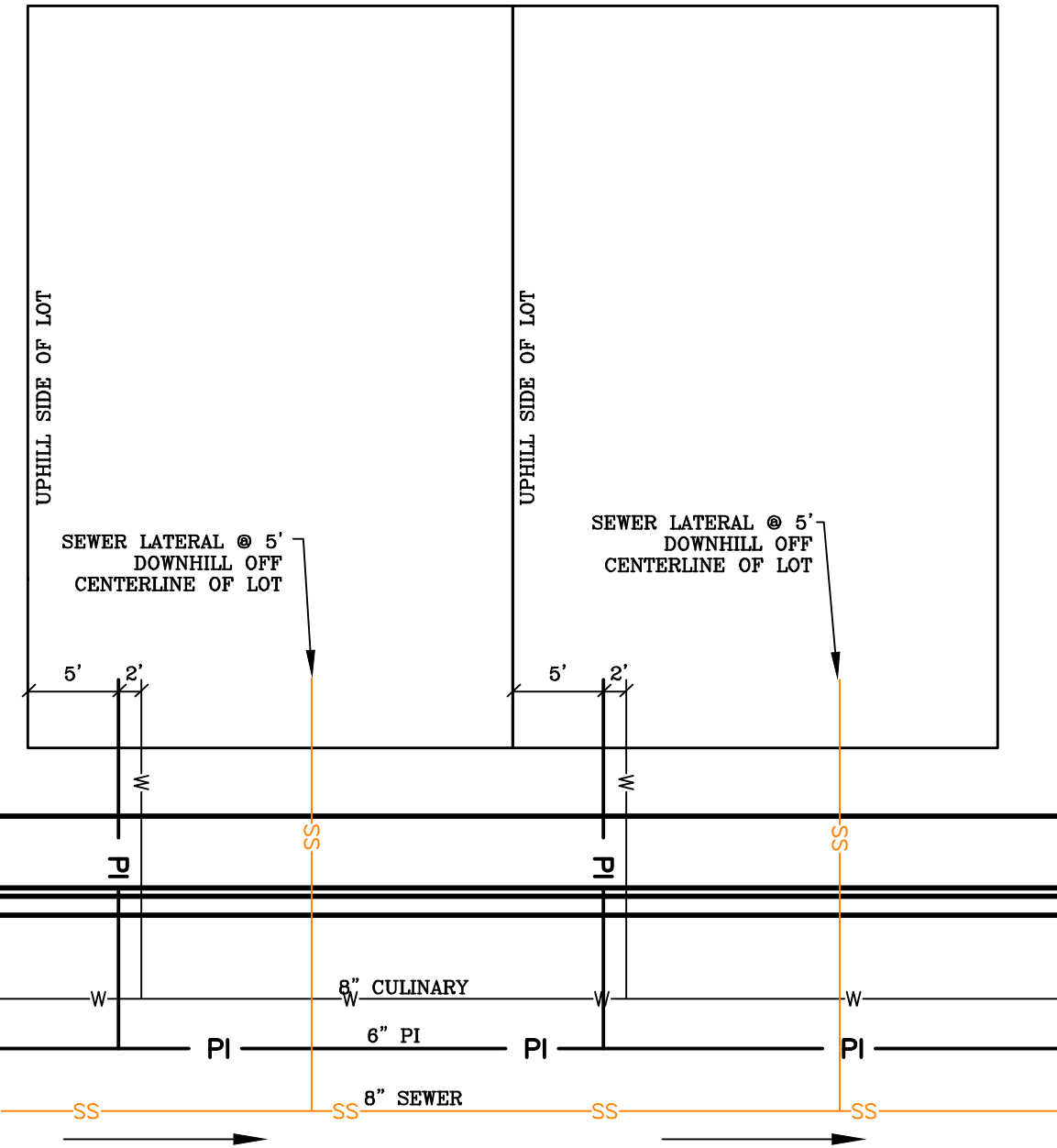
PROJECT #

REVISIONS:

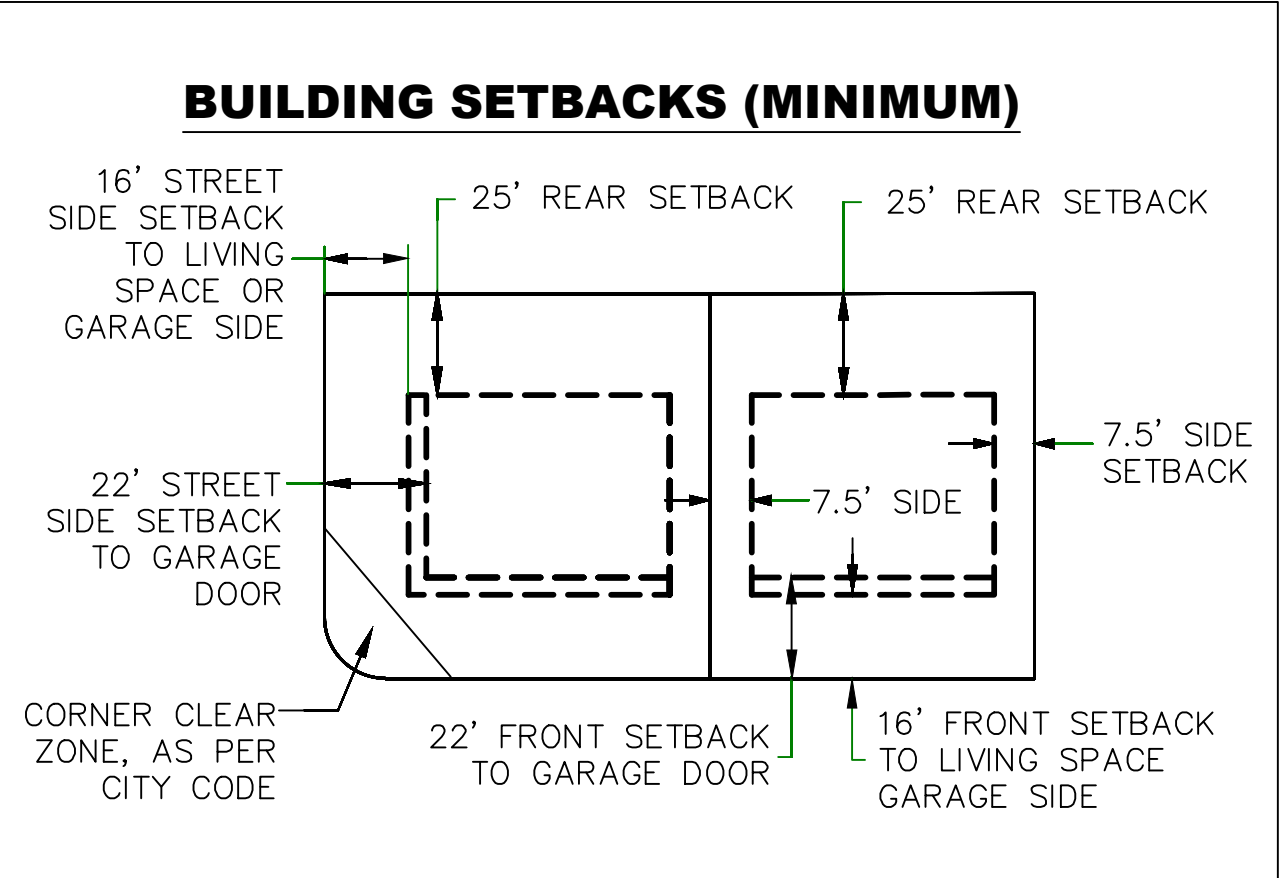
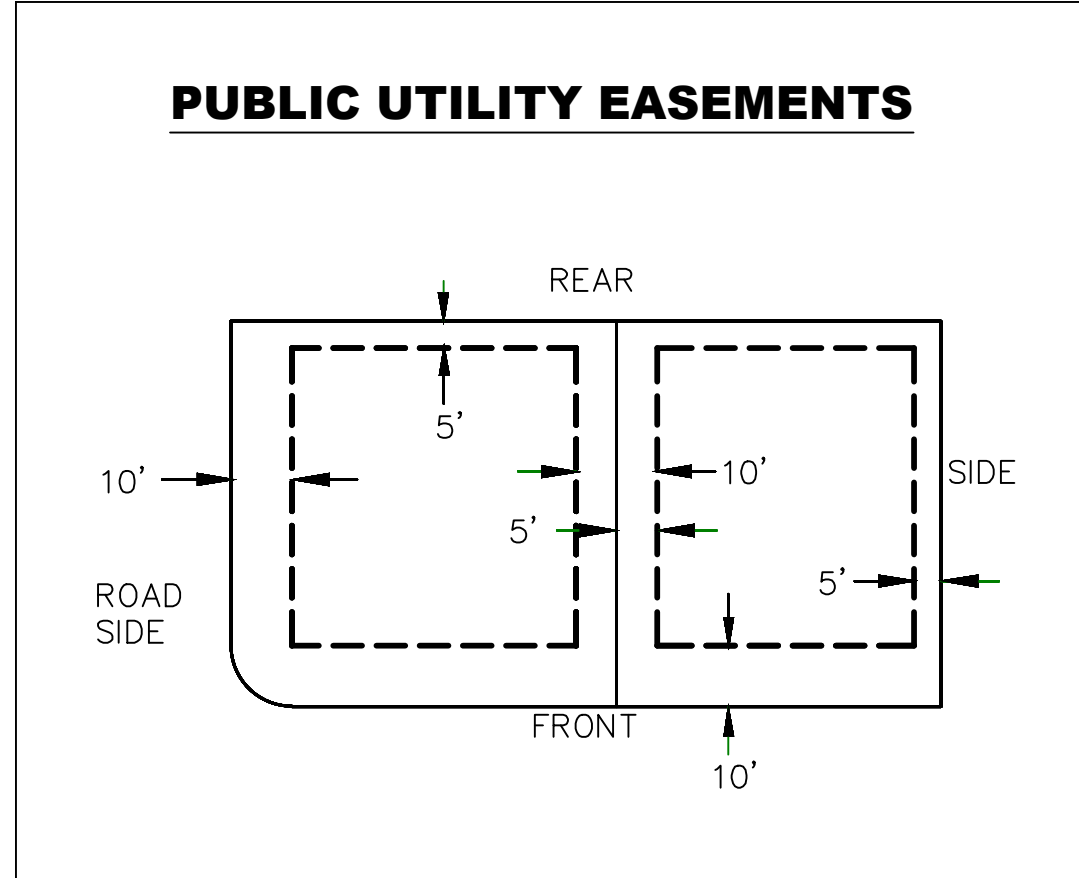
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SHEET NAME:  
TYPICAL DETAILS

SHEET:  
DT-01



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



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DATE: 12.6.2023

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
TYPICAL DETAILS  
SHEET:  
DT-02