

# MEMORANDUM



To: Planning Commission

From: Jon Lundell, City Engineer

Date: June 23, 2022

RE: **Stratton Acres Subdivision Preliminary Plan Review**

Zone: R-10
Size: 12.39 Acres
Lots: 37

The Stratton Acres Subdivision is located at approximately Royal Land Drive and 200 East. The proposed subdivision is in the R-10 zone and consists of 37 single-family lots on 12.39 acres. Each lot is required to be a minimum of 10,000 square feet and have a minimum lot frontage of 80 feet. Corner lots are required to have 95 feet of frontage. The proposed subdivision meets all the R-10 zoning requirements. The lots range from 10,000 square feet (.23 acres) to 14,018 square feet (.31 acres).

The proposed development is adjacent to property owned by Nebo School District and has been working with the district to construct the full roadway width of 200 East. This will provide a full width roadway for the length of the project. Additionally, the developer has worked with the School District to accommodate the storm water that is generated within the proposed roadways in a retention basin on northwest portion of the school district property. This storm water retention basin will be located within an easement on the school district property that will allow Santaquin city to access and maintain the proposed pond.

To adequately serve the proposed development with wastewater collection, the developer must install off-site sewer north of proposed development through the future roadways of 200 East and Ginger Gold Roadway. The sewer line will need to be located within a similar easement as the proposed retention pond, until 200 East and Ginger Gold Road is constructed.

This is a preliminary subdivision application review by the Planning Commission to determine whether the proposed subdivision complies with Santaquin City Code. The Planning Commission will need to make a recommendation regarding the proposed development to the City Council.

**Recommended Subdivision Motion:** “Motion to recommend approval of the Stratton Acres Subdivision with the following conditions:

- All planning and engineering redlines be addressed.

**Attachments:**

1. Preliminary Plans



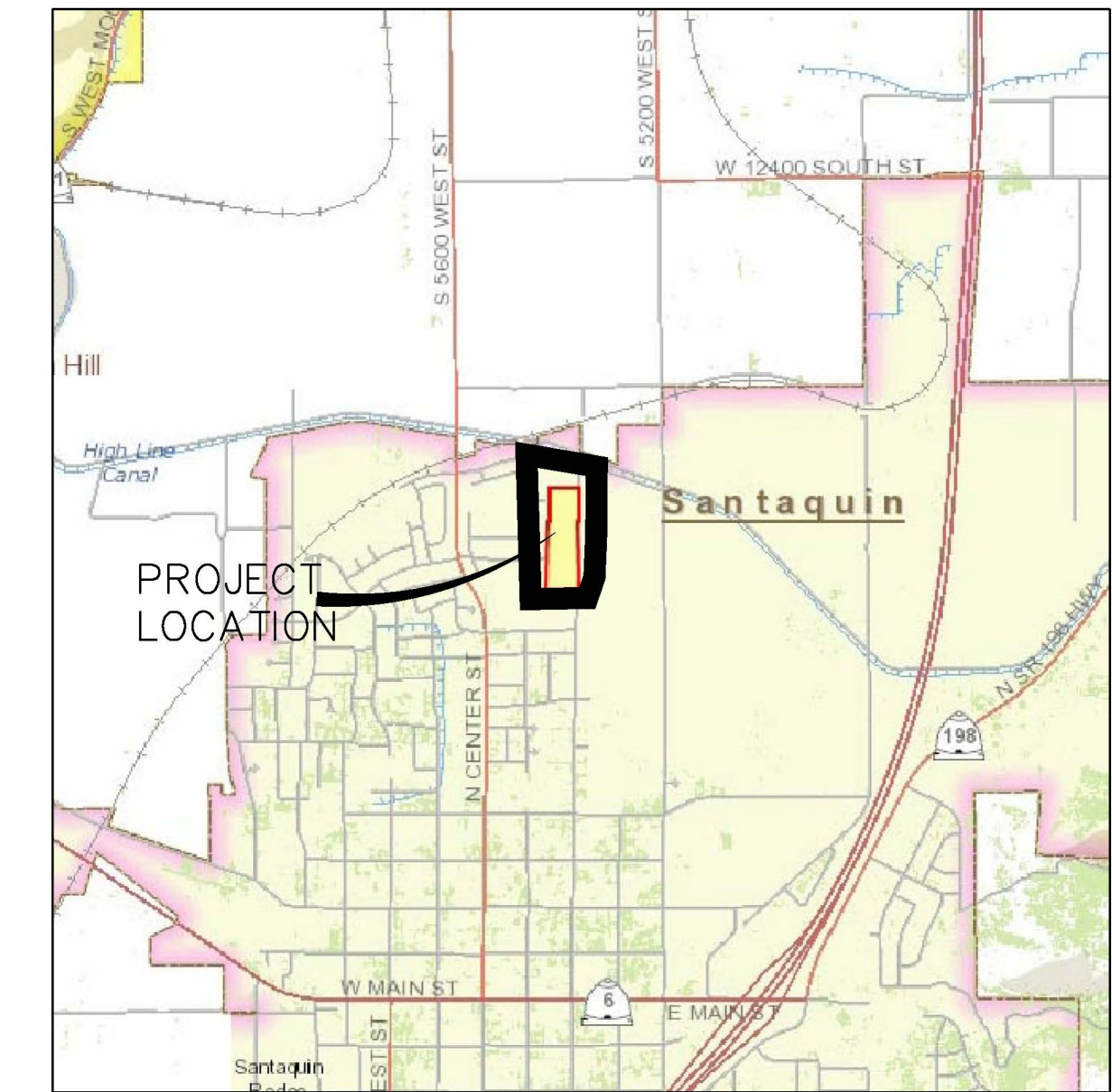
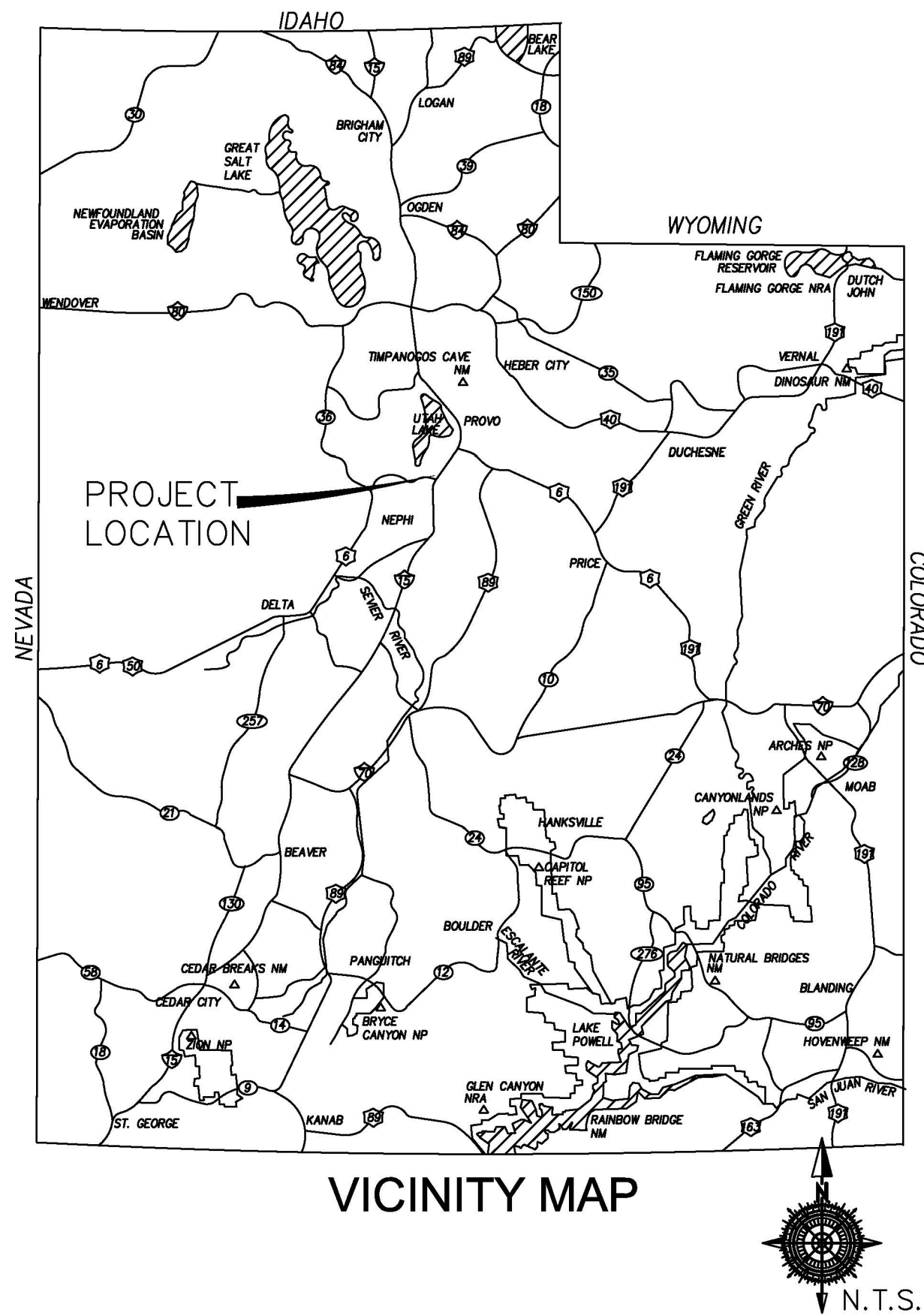
SITE DEVELOPMENT CONSTRUCTION PLANS

# STRATTON ACRES

## SUBDIVISION PHASE 1

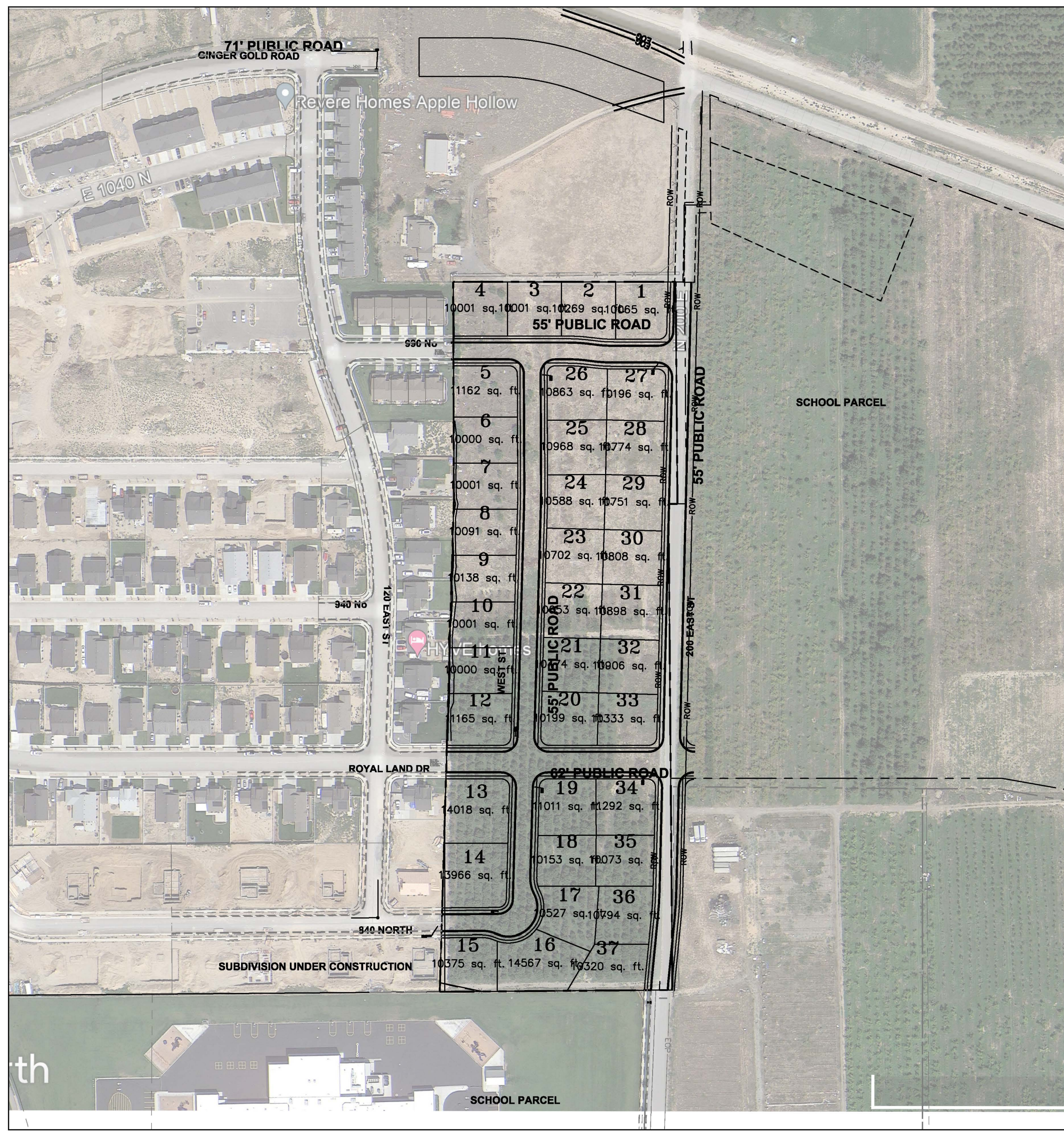
LOCATION  
CENTER OF THE NORTHWEST QUARTER  
OF SECTION 36  
TOWNSHIP 9 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN  
SANTAQUIN, UTAH COUNTY, UTAH

PRELIMINARY  
JUNE 17th, 2022

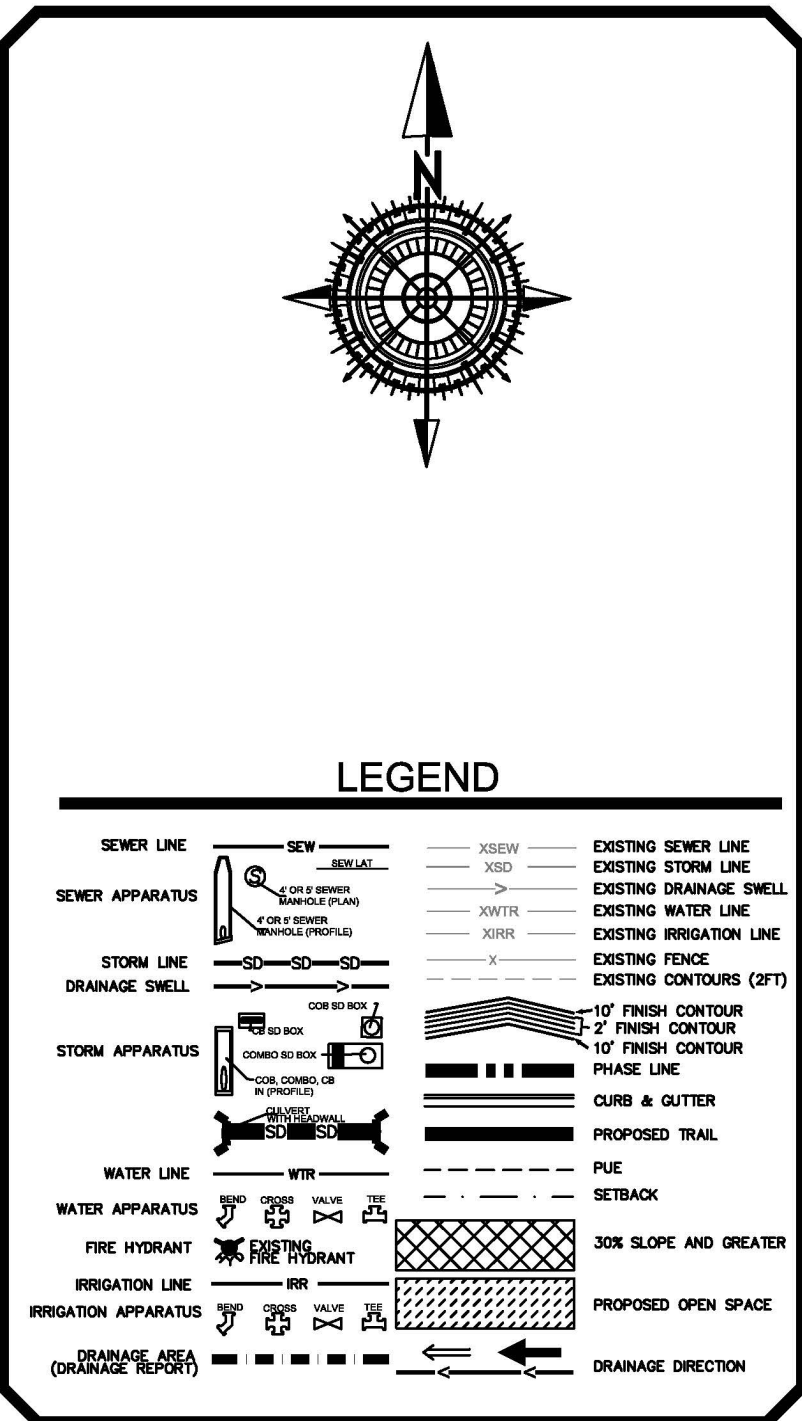


PROPERTY OWNER:  
STRATTON ACRES LLC  
KAMERON SPENCER  
847 E DRAPER MEADOW LANE  
DRAPER, UTAH 84020  
801-330-0546

ENGINEER:  
GATEWAY CONSULTING INC.  
PAUL WATSON  
PO BOX 951005  
RIVERTON, UTAH 84095  
801-694-5848



NOTE:  
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.



REVISIONS			
#	DESCRIPTION	DATE	SHEETS AFFECTED

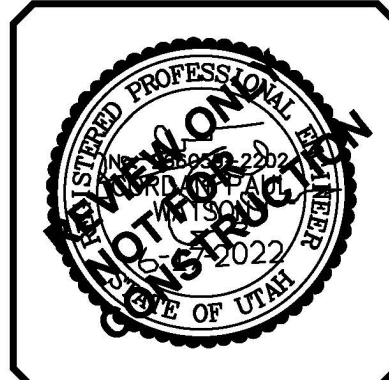
INDEX OF SHEETS	
1	TITLE SHEET
1A	PROJECT NOTES
	BOUNDARY SURVEY
	PLAT
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	OVERALL SITE PLAN
G1-G3	GRADING SHEETS (1"=30')
U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	IRRIGATION UTILITY PLAN
SS1	LIGHTING / SIGNAGE /STRIPING PLAN
PP1	WEST ROAD 0+00 to 8+00
PP2	WEST ROAD 8+00 to 12+00
PP3	EAST ROAD 0+00 to 8+00
PP4	EAST ROAD 8+00 to 16+50
PP5	GINGER ROAD 0+00 to 7+50
PP6	NORTH ROAD 0+00 to 4+75
PP7	SOUTH ROAD 0+00 to 4+50
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ER1-ER2	EROSION CONTROL NOTES AND DETAILS
D1	STREET DETAILS
D2	SANITARY SEWER DETAILS
D3	CULINARY WATER DETAILS
D4	STORM WATER DETAILS
D5	PRESSURIZED IRRIGATION DETAILS
D6	STREET LIGHT AND SIGNAGE DETAILS

ZONE	R-10
LOTS	37
ACREAGE	12.39ac.
ACREAGE LOTS	9.19ac.
ACREAGE ROW	3.20ac.
DENSITY	3 lots to the ac.



**GATEWAY CONSULTING, Inc.**  
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848  
paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
CONSTRUCTION MANAGEMENT



SHEET NO. 1







PARCEL 1: (29-042-0049)

ALSO that portion of land acquired by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

Beginning at a point located North 89°32'33" East along the quarter section line 1, 136.25 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 01°41'33" East 17.18 feet; thence along the arc of a 790.00 foot radius curve (radius bears North 14°48'36" East) 80.27 feet through a central angle of 05°49'18" (Chord: South 78°06'03" East 80.23 feet) to said quarter section line; thence South 89°32'33" West along said quarter section line 79.02 feet to the point of beginning.

ALSO LESS AND EXCEPTING that portion of land deeded to Kenyon L. Farley and Irene Farley aka Irene L. Farley by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

PARCEL 2: (29-042-0046)

## SURVEY DESCRIPTION

[illegible]

Contains: 12.39 Acres

APPLE HOLLOW AT THE  
ORCHARDS PLAT A-11  
ENTRY: 127545:2019 MAP #16860

THE ORCHARDS PLAT G-1  
ENTRY: 1027589:2019 MAP #16746

APPLE VALLEY PLAT A  
ENTRY: 46147:2018 MAP #16048

LOCATED IN THE NORTHWEST QUARTER OF  
SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN.

PARCELS LIE WITHIN FLOOD ZONE X,  
AREA OF MINIMAL FLOOD HAZARD  
COMMUNITY-PANEL NUMBER 49049C0975F,  
EFFECTIVE DATE: JUNE 19, 2020

EAST 1/4 CORNER SECTION 36,  
TOWNSHIP 9 SOUTH, RANGE 1 EAST  
SALT LAKE BASE & MERIDIAN  
NAD83 ELEVATION=4793.24

=====	BOUNDARY LINE
=====	ADJOINING PARCELS
=====	SECTION LINE
=====	EXISTING CURB & GUTTER
=====	EXISTING EDGE OF ASPHALT
-X-----X-	EXISTING FENCE LINE
-----SWR	EXISTING SEWER LINE
-----WTR	EXISTING WATER LINE
-----SD-----	EXISTING STORM DRAIN
SDCB	CATCH BASIN
SSMH	SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
FI	FIRE HYDRANT
ICH	IRRIGATION CONTROL VALVE



Old Republic National Title Insurance Company  
Cottonwood Title Insurance Agency  
File Number: 140882-KIF  
Commitment Date: January 25, 2021 at 7:30 AM

1.-13. {Not a survey matter}

14. Easement Agreement in favor of Qwest Corporation d/b/a CenturyLink QC, its successors, assigns, lessees, licensees, agents and affiliates to construct, operate, maintain, repair, expand, replace and remove a communication system and incidental purposes, by instrument recorded October 7, 2020, as Entry No. 156593:2020.

NOTE: The legal description appears to contain an error. {Affects Parcel 1 as shown hereon}

15. A Deed of Trust to secure an indebtedness in the amount shown below, and any other obligations secured thereby: Trustor: Cascade Shadows, Inc., as to Parcels 6, 7, 8, 11, 13, 14 and 15; C.K. Farms, Inc., as to Parcels 1, 2 and 3; Kimball T. Stratton, as to Parcels 4, 5 and 9; Kimball T. Stratton and Marlene Evans Stratton, husband and wife as joint tenants, as to Parcel 10; Trustee: Bank of Utah; Beneficiary: Bank of Utah; Amount: \$1,315,000.00; Dated: February 5, 2019; Recorded: February 8, 2019 as Entry Number 10996:2019. (covers Parcel 1 and other land) (Not a survey matter)

Request for Copy of Notice of Default and Notice of Sale be mailed to: President Bank of Utah at 2605 Washington Blvd., Ogden, UT 84401 dated February 5, 2019 and recorded February 8, 2019 as Entry No. 11029:2019.

16. Assignment of Rents recorded February 8, 2019 as Entry No. 10997:2019 as additional security for the payment of the indebtedness secured by said Deed of Trust. (covers Parcel 1 and other land) {Not a survey matter}

17. Revolving Credit Deed of trust to secure an indebtedness in the amount shown above, and any other obligations secured thereby: Trustor: Cascade Shadows, Inc., as to Parcels 6, 7, 8, 11, 13, 14 and 15; Kimball T. Stratton, as to Parcels 4 and 9; Kimball T. Stratton and Marlene Evans Stratton, husband and wife as joint tenants, as to Parcel 10; Trustee: Bank of Utah; Beneficiary: Bank of Utah; Amount: \$400,000.00; Dated: February 5, 2019; Recorded: February 8, 2019 as Entry Number 10998:2019. (covers Parcel 1 and other land) (Not a survey matter)

18. Notwithstanding those items described herein-above, the Land is also subject to any additional discrepancies, conflicts in the boundary lines, shortage in area, encroachments, or any other facts which an ALTA/NSPS Survey (made in accordance with the current Minimum Standard Detail Requirements for Land Title Surveys jointly established and adopted by (ALTA) American Land Title Association and (NSPS) National Society of Professional Surveyors) may disclose.

19. {Not a survey matter}

The purpose of this survey is to show the relationship of Survey Parcel with surrounding parcels and improvements, as well as to provide those named in the Surveyors Certificate a ALTA/NSPS survey for their use in evaluating the site.

This Survey does not guarantee title to line, nor is it proof of ownership, nor is it a legal instrument of conveyance. Furthermore, any survey markers set in conjunction with this survey are not intended to represent evidence of ownership of the subject property or its ad joiners. The general intent of this survey is to portray where possible the record title lines of the subject property and to show their relationship to any evidence of use and/or possession.

This survey represents opinions based on facts and evidence. As the evidence changes or if new evidence is discovered or recovered, then the surveyor reserves the right to modify or alter his opinions pertaining to this survey according to this new evidence.

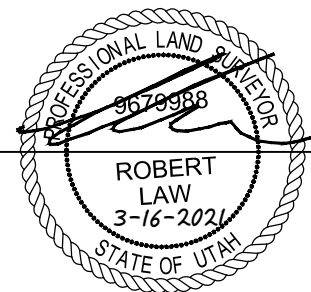
This survey shows all easements of record as disclosed by the title report as shown hereon. The surveyor has made no independent search for record easements or encumbrances. This survey depicts all observable improvements or other indications of easements and utilities. Utilities shown hereon are based on a combination of visual inspection by survey crews and drawings provided by local utility companies during the course of the survey. It is the contractors responsibility to seek blue stake information and verify utility locations prior to any excavation.

Basis of Bearing is North 89°32'33" East between the East Quarter corner and the West Quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian as shown hereon.

To: Cedar Point Capital, Inc., its successor and/or assigns as their respective interests may appear, Old Republic National Title Insurance Company, and Cottonwood Title Insurance Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on: March 9, 2021.

Robert Law  
PLS# 9679988

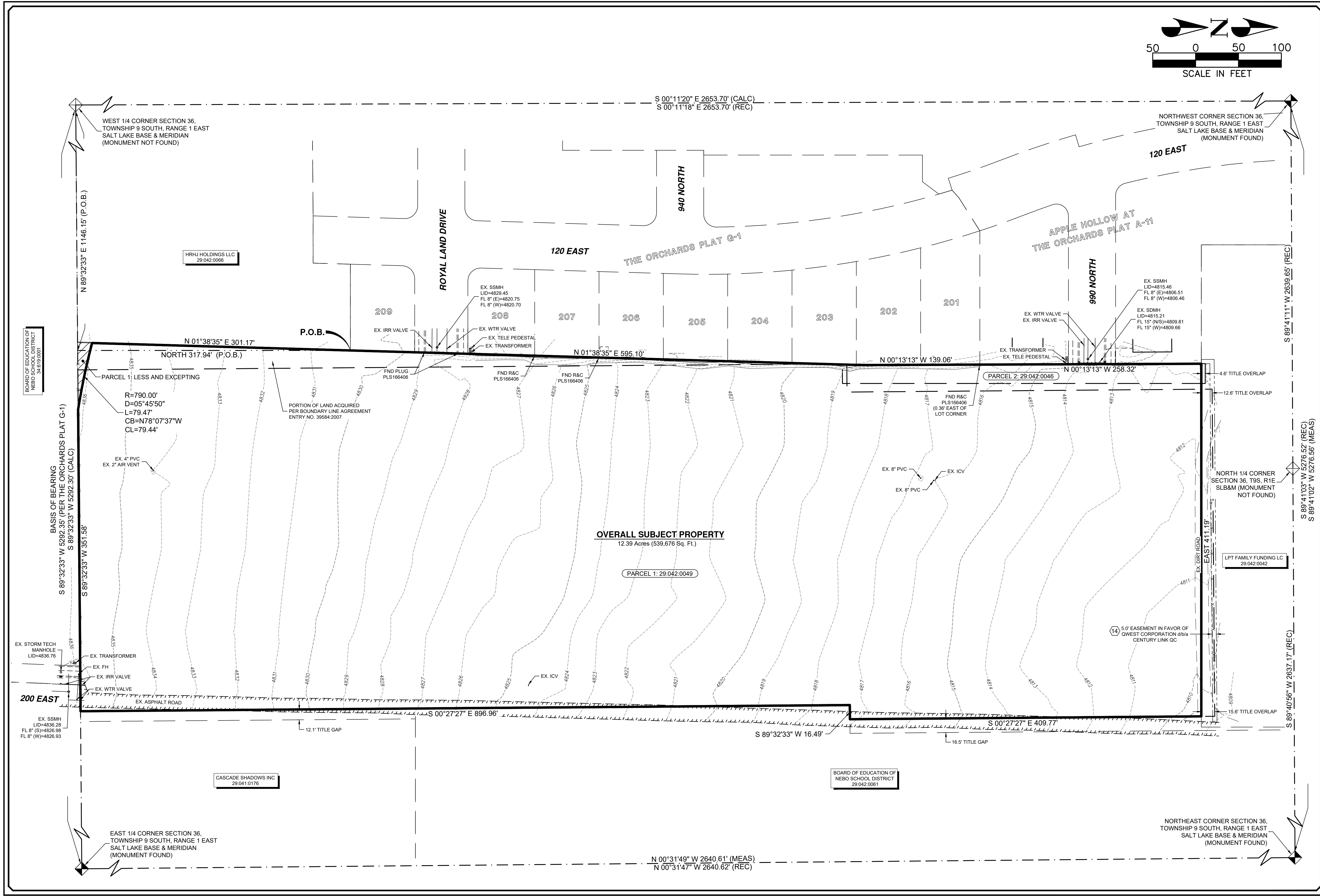


3-16-2021  
Date:

SANTAQUIN  
CITY

SHEET NO. 1/2





SHEET NO. **2/2**

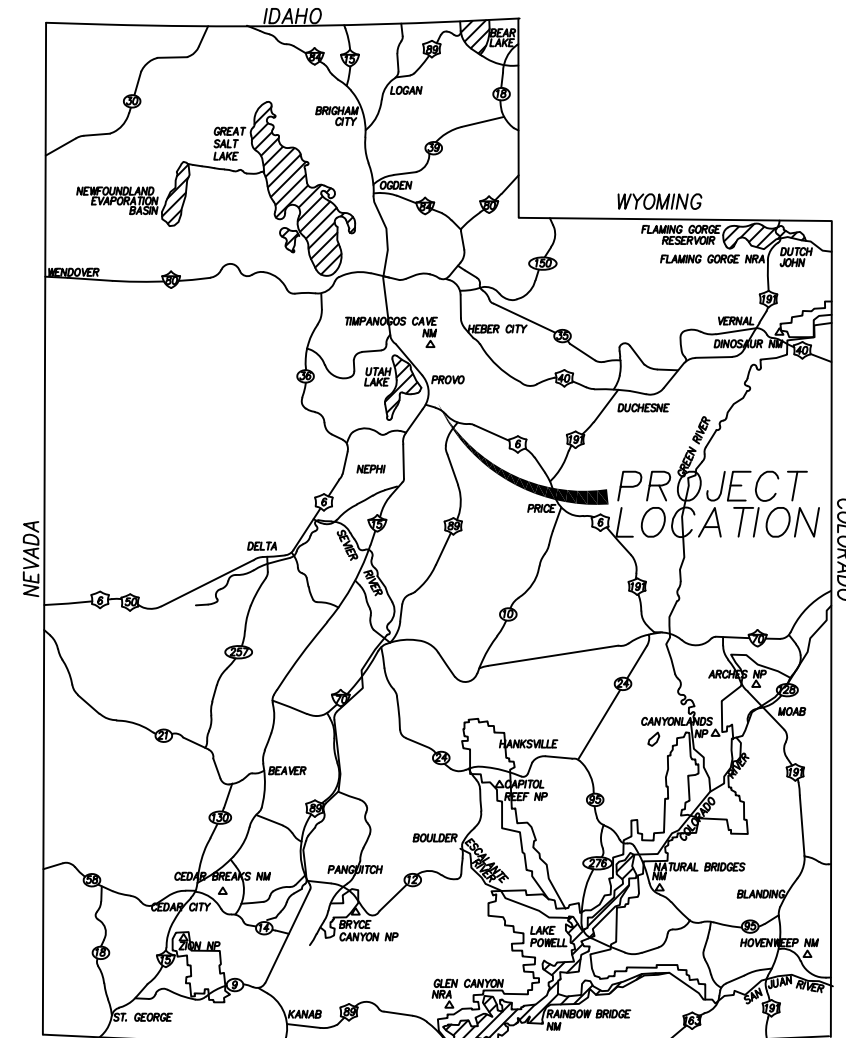
**2/2**



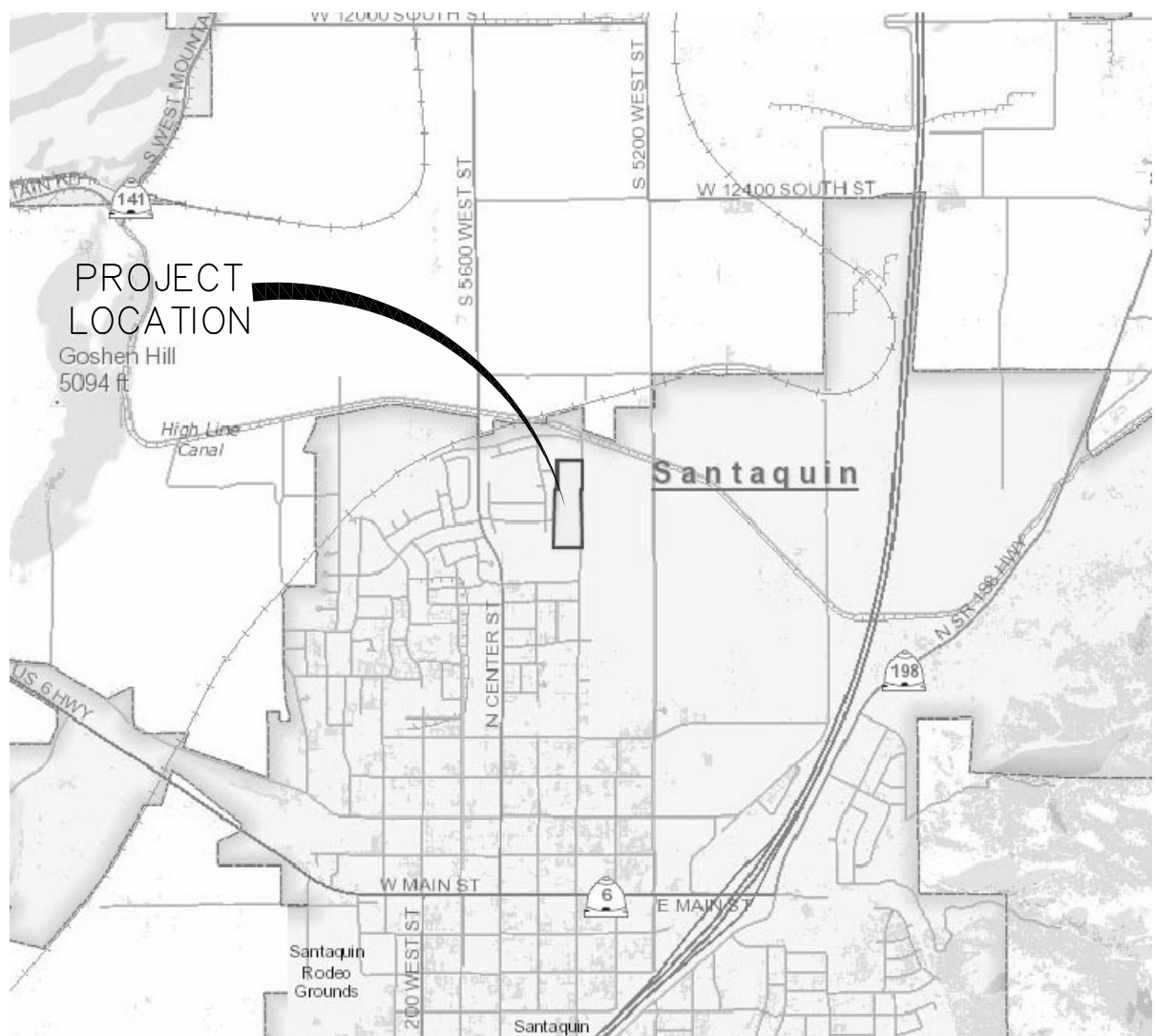
# STRATTON ACRES SUBDIVISION PHASE 1

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER  
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
SANTAQUIN CITY, UTAH COUNTY, UTAH

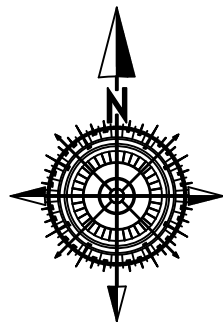
## PRELIMINARY PLAT



VICINITY MAP



VICINITY MAP



### NOTES:

1. TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
2. NDOBU – NEIGHBORHOOD DELIVERY BOX UNIT.
3. ALL FRONT AND SIDE YARD LANDSCAPING MUST BE BONDED OR INSTALLED PRIOR TO RECEIVING CERTIFICATE OF OCCUPANCY.
4. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
5. THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

#### ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.  
2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:  
a. A RECORDED EASEMENT OR RIGHT-OF-WAY  
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS  
c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR  
d. ANY OTHER PROVISION OF LAW

Approved this \_\_\_\_ day of \_\_\_\_ 20\_\_

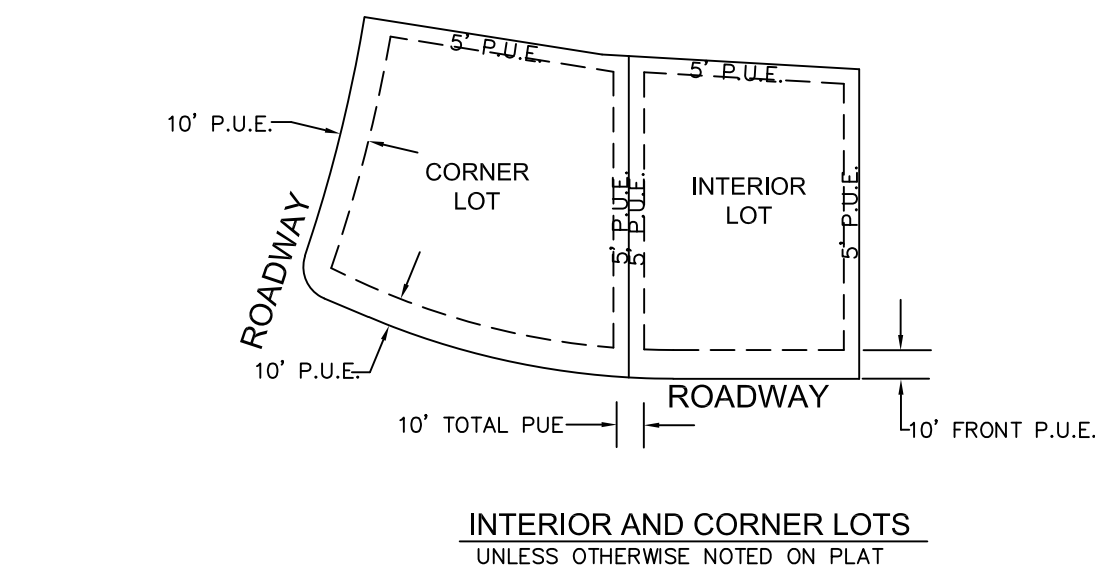
ROCKY MOUNTAIN POWER

#### DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.  
Approved this \_\_\_\_ day of \_\_\_\_ 20\_\_  
QUESTAR GAS COMPANY

By: \_\_\_\_\_  
Title \_\_\_\_\_

#### TYPICAL LOT P.U.E. DETAILS



NOTES:  
1) 10 FEET PUE FRONT AND STREET SIDES.  
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

#### SCHOOL BOARD ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.  
ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_  
FOR AND IN BEHALF OF \_\_\_\_\_  
WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN \_\_\_\_\_ COUNTY

#### LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.  
On the \_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for said County of \_\_\_\_\_ in said State of Utah, \_\_\_\_\_ who after being duly sworn acknowledged to me that \_\_\_\_\_ a Limited Liability Company ( ), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN \_\_\_\_\_ COUNTY

#### UTAH COUNTY RECORDER

NO. \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE \_\_\_\_\_  
STATE OF UTAH, COUNTY OF WASATCH, TIME \_\_\_\_\_, FEE \_\_\_\_\_  
RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_

COUNTY RECORDER

#### SURVEYOR'S CERTIFICATE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH PEPC CONSULTING, LLC AND THAT I HOLD LICENSE NO. 9679988 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 56, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. AND THE PLAT IS STRATTON ACRES SUBDIVISION PHASE 1, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

#### BOUNDARY DESCRIPTION

Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls; thence North 01°38'35" E, 595.10 feet; thence North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 896.96 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 429.81 feet, thence North 01°38'35" East, 318.15 feet to the point of beginning.

Contains: 12.40 Acres

DATE: \_\_\_\_\_

#### OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_

BOARD OF EDUCATION NEBO SCHOOL DISTRICT  
\_\_\_\_\_  
(MANAGER)

LPT FAMILY FUNDING LC  
XXXXXXX (MANAGER)

STRATTON ACRES LLC  
KAMERON SPENCER (MANAGER)

## STRATTON ACRES SUBDIVISION PHASE 1

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF  
SECTION 31,  
TOWNSHIP 1 SOUTH, RANGE 5 EAST  
SALT LAKE BASE AND MERIDIAN.

#### ACCEPTANCE BY ADMINISTRATIVE BODY

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC.  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_

APPROVED BY MAYOR \_\_\_\_\_

APPROVED \_\_\_\_\_  
ENGINEER  
(SEE SEAL BELOW)

ATTEST \_\_\_\_\_  
CLERK- RECORDER  
(SEE SEAL BELOW)

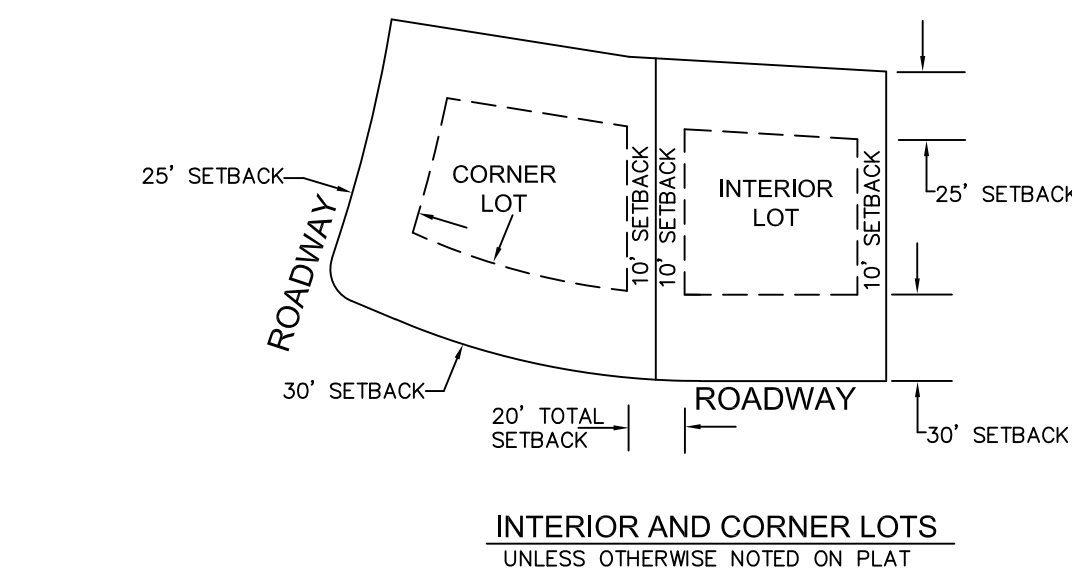
#### CENTRACOM ACCEPTANCE

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_  
CENTRACOM COMPANY  
BY- \_\_\_\_\_ TITLE \_\_\_\_\_

#### CENTURY LINK ACCEPTANCE

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_  
CENTURY LINK COMPANY  
BY- \_\_\_\_\_ TITLE \_\_\_\_\_

#### TYPICAL LOT SETBACK DETAILS



NOTES:  
1) 30FT FRONT SETBACK  
2) 25FT REAR SETBACK  
3) 10FT SIDE LOT SETBACK

NOT TO SCALE

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1  
2



# STRATTON ACRES SUBDIVISION PHASE 1

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER  
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN

BOARD OF EDUCATION OF  
NEBO SCHOOL DISTRICT  
28-042:0061

CASCADE SHADOWS INC.  
28-041:0176

ROADWAY DEDICATION  
ENTRY BOOK  
PAGE

LOT	ADDRESSES
ADDRESS	
1	XXX EAST 990 NORTH
2	XXX EAST 990 NORTH
3	XXX EAST 990 NORTH
4	XXX EAST 990 NORTH
5	XXX NORTH 120 EAST
6	XXX NORTH 120 EAST
7	XXX NORTH 120 EAST
8	XXX NORTH 120 EAST
9	XXX NORTH 120 EAST
10	XXX NORTH 120 EAST
11	XXX NORTH 120 EAST
12	XXX NORTH 120 EAST
13	XXX NORTH 120 EAST
14	XXX NORTH 120 EAST
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16	XXX NORTH 120 EAST
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28	XXX NORTH 200 EAST
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30	XXX NORTH 200 EAST
31	XXX NORTH 200 EAST
32	XXX NORTH 200 EAST
33	XXX NORTH 200 EAST
34	XXX NORTH 200 EAST
35	XXX NORTH 200 EAST
36	XXX NORTH 200 EAST
37	XXX NORTH 200 EAST

LPT FAMILY FUNDING LC  
28-042:0042

50 0 50 100  
SCALE IN FEET  
1"=50' (24"x36" SIZE ONLY)

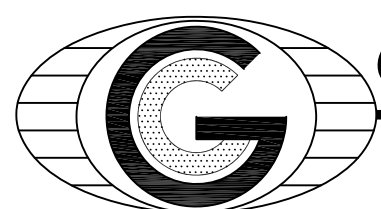
## LEGEND

- PHASE BOUNDARY LINE
- SECTION LINE
- CENTER LINE
- P.U.E. LINE
- SETBACKS
- EXISTING UDOT MONUMENT
- SECTION CORNER
- NEW ROAD MONUMENT
- EXISTING REBAR AND CAP

SURVEYOR OF RECORD:

SURVEYOR LOGO HERE

PROJECT ENGINEER:



**GATEWAY CONSULTING, inc**  
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848  
paul@gatewayconsultingllc.com

## CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	21.48'	50.00'	21.32'	N78°08'53"W	24°37'12"
C2	6.75'	65.50'	6.74'	N68°47'18"W	5°54'01"
C3	80.07'	65.50'	75.18'	S73°14'28"W	70°02'26"
C4	75.27'	65.50'	71.19'	S5°18'04"W	65°50'23"
C5	23.13'	15.00'	20.91'	S45°49'26"W	88°21'41"
C6	16.05'	50.00'	15.98'	S7°33'08"E	18°23'26"
C7	9.49'	50.00'	9.47'	S22°10'59"E	10°52'16"
C8	16.05'	50.00'	15.98'	S7°33'08"E	18°23'26"
C9	23.13'	15.00'	20.91'	S45°49'18"W	88°21'25"
C10	23.99'	15.00'	21.52'	S44°10'42"E	91°38'35"
C11	23.13'	15.00'	20.91'	N45°49'18"E	88°21'25"
C12	23.99'	15.00'	21.52'	N44°10'42"W	91°38'35"
C13	23.93'	15.00'	21.47'	N44°17'39"W	91°24'42"
C14	23.19'	15.00'	20.95'	N45°42'21"E	88°35'18"
C15	34.74'	472.50'	34.73'	N3°31'04"E	41°2'44"

SHEET NO

2

2

SANTAQUIN CITY RECORDER

NO. \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ DATE \_\_\_\_\_  
STATE OF UTAH, COUNTY OF WASATCH, TIME \_\_\_\_\_, FEE \_\_\_\_\_  
RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_

COUNTY RECORDER



# EX SCHOOL

# 840 NORTH

**ROYAL LAND DR**

# 940 NORTH

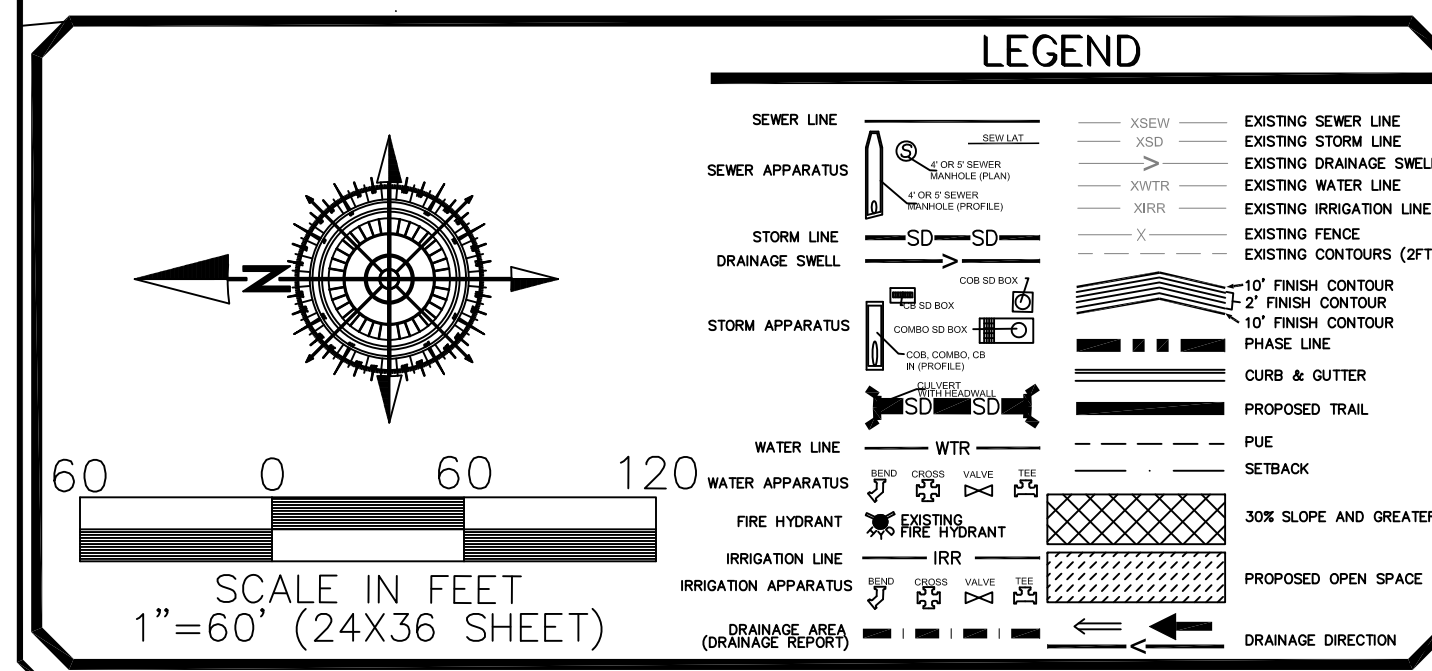
# 120 EAST

# 990 NORTH


# GINGER GOLD ST

**EX FARMLAND**

**EX CANAL**



**NOTE:** The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Sanquiggin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Sanquiggin City Codes, Ordinances and Standards'.



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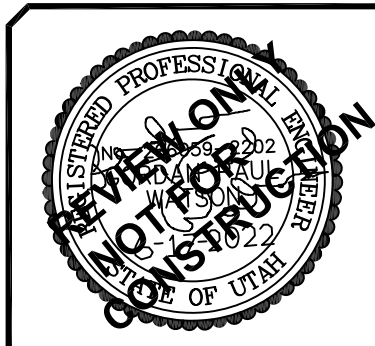
CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT

STRATTON ACRES  
PHASE 1

## EXISTING CONDITIONS AND DEMOLITION SHEET

6-17-2022

SANTAQUIN  
CITY



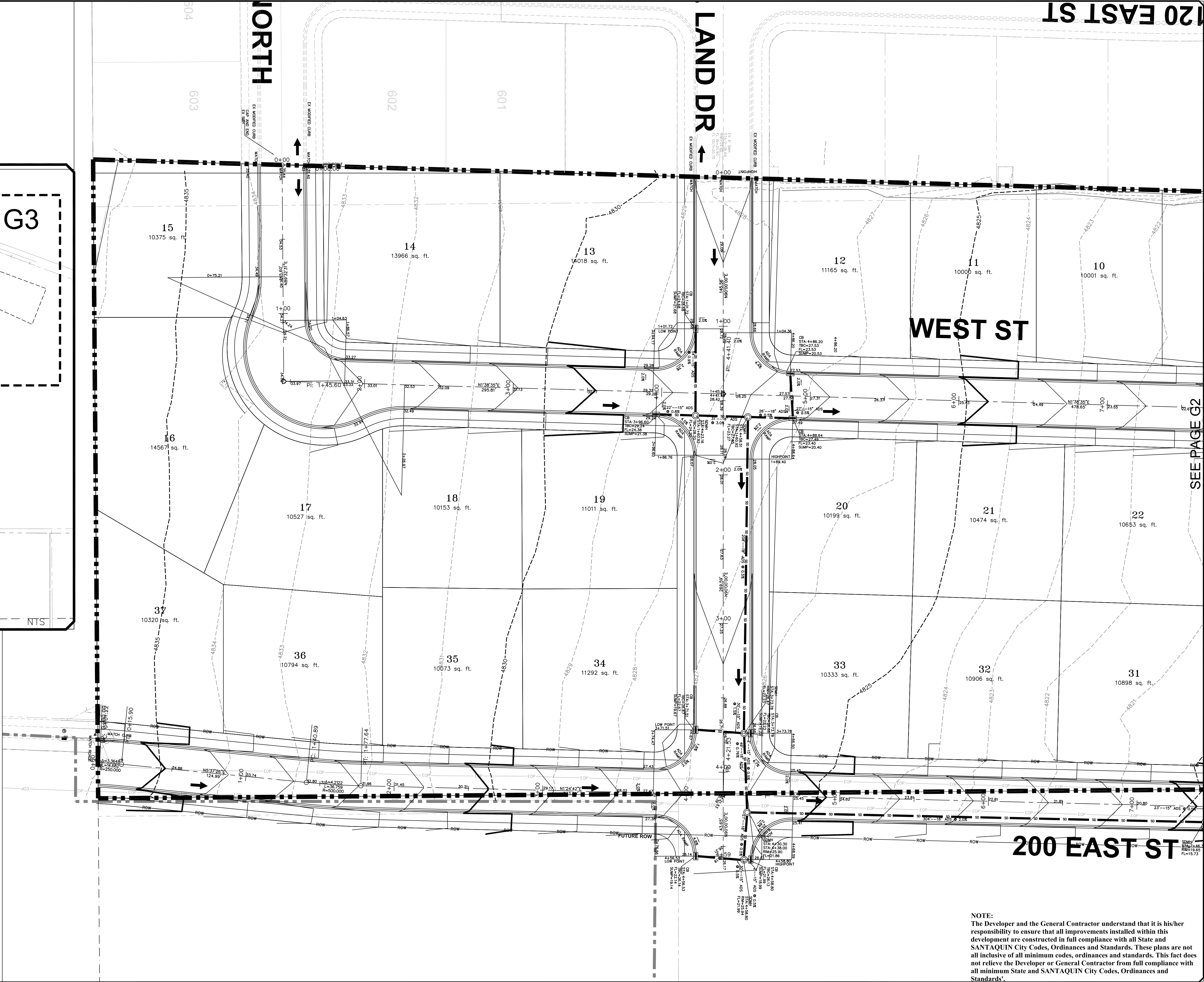
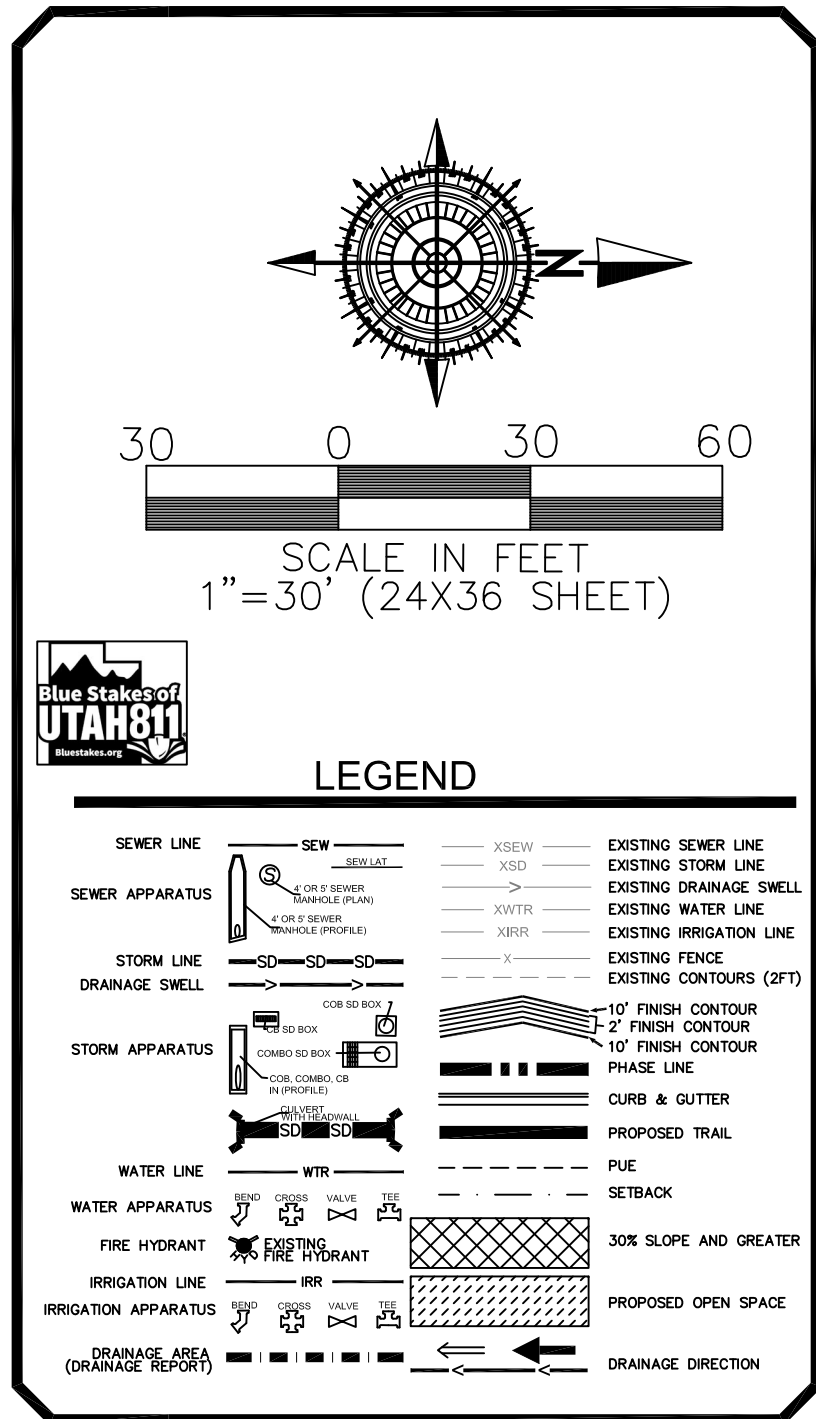
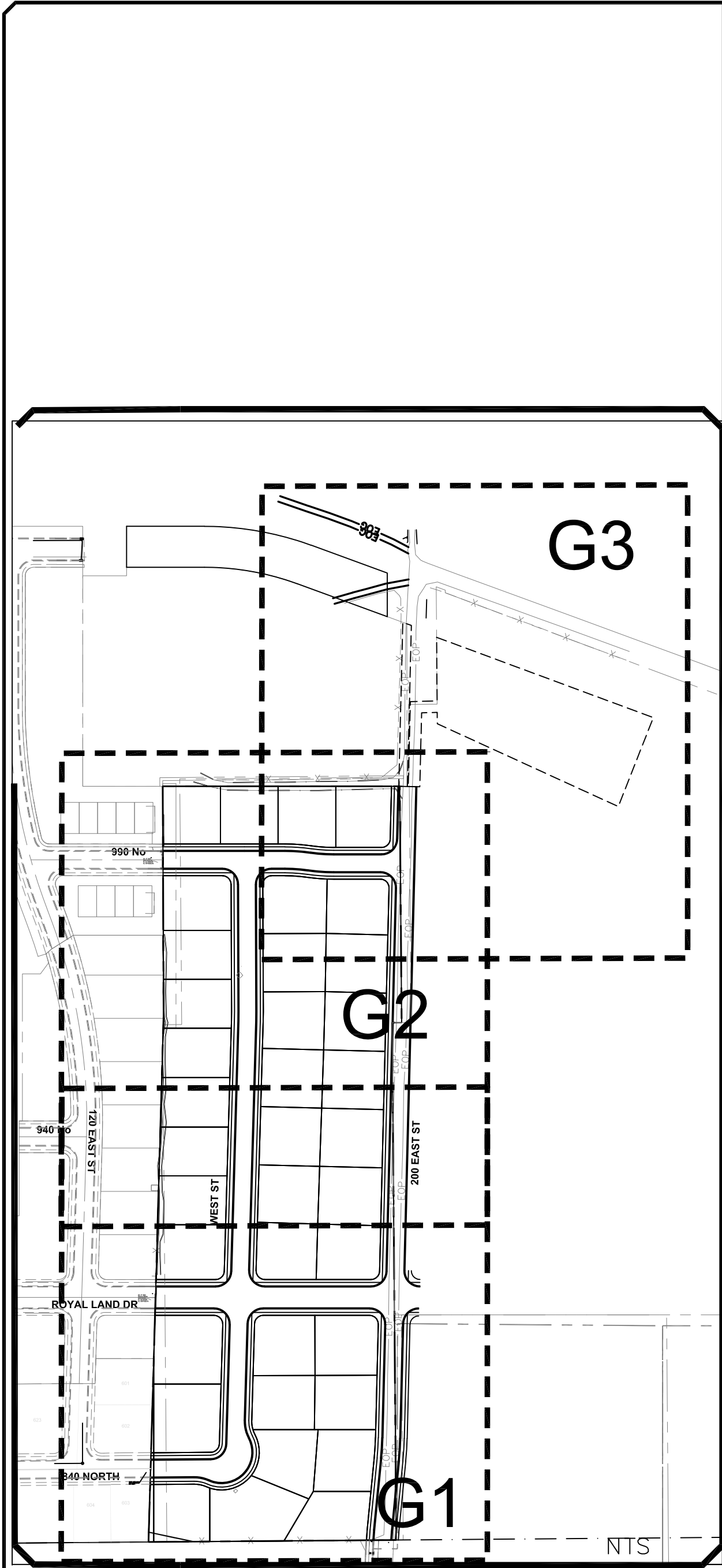
SHEET NO. 2

ORIG. DATE: 2-8-21 SURVEY BY: DRAWN BY: GPM DESIGNED BY: GPM CHECKED BY: GPM SCALE: 1"=60' NO. DESCRIPTION DATE APP'D
--









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STRATTON ACRES  
PHASE 1  
GRADING

6-17-2022

SANTAQUIN CITY

SHEET NO. **G1**

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CONSTRUCTION MANAGEMENT

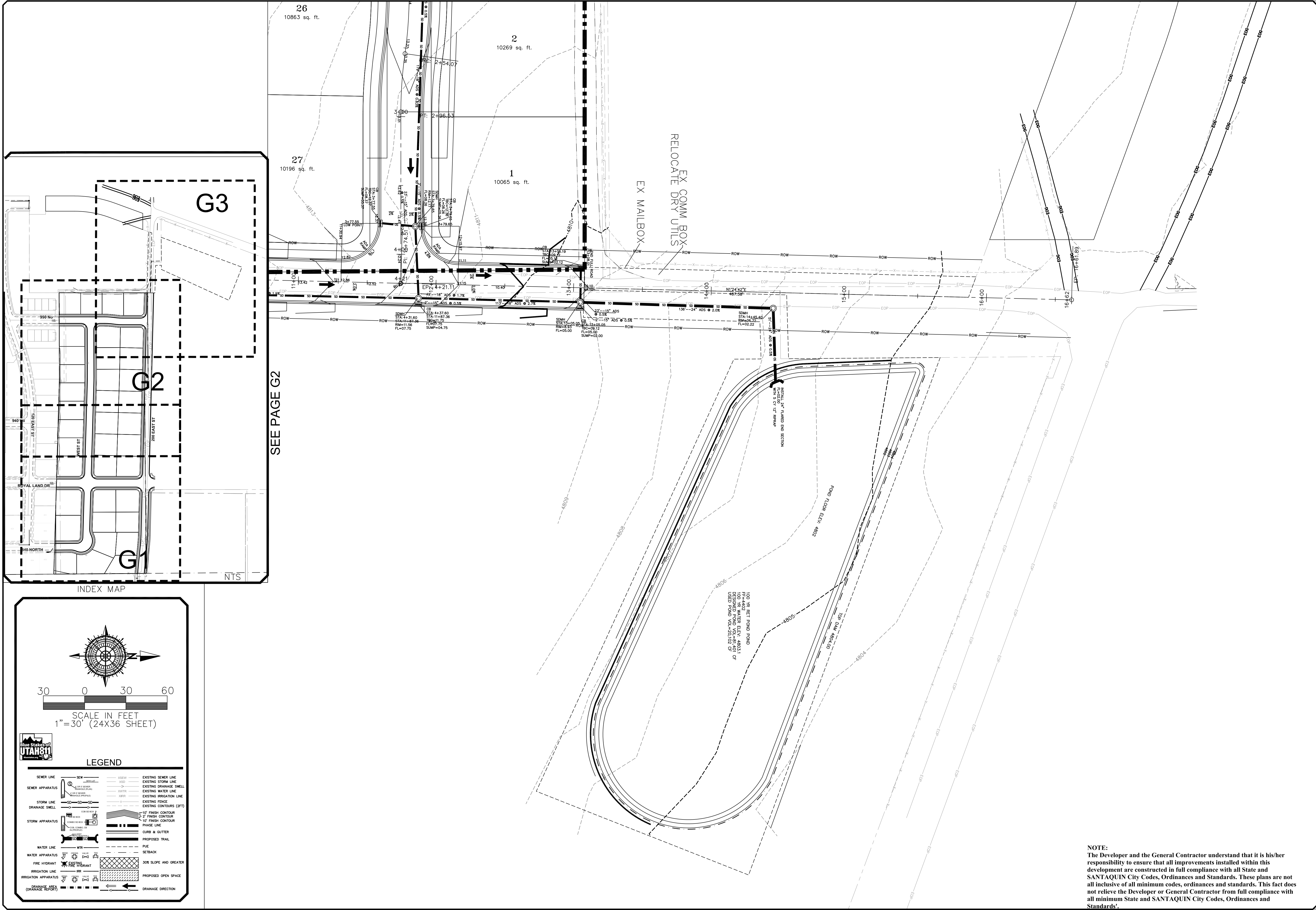
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SURVEY BY: GPW  
DRAWN BY: GPW  
DESIGNED BY: GPW  
CHECKED BY: GPW  
SCALE: 1"=30'

NO. DESCRIPTION DATE APP'D









STRATTON ACRES  
PHASE 1

GRADING

6-17-2022

SANTAQUIN CITY

REVIEWED  
NOT FOR CONSTRUCTION  
DATE OF UTILITY REVIEW

SHEET NO. G3

DATE

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paul@gatewayconsultingllc.com

CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT

ORIG. DATE: 2-8-21

SURVEY BY: GPM

DRAWN BY: GPM

DESIGNED BY: GPM

CHECKED BY: GPM

SCALE: 1"=30'

NO.

DESCRIPTION

DATE

APP'D

NOTE:  
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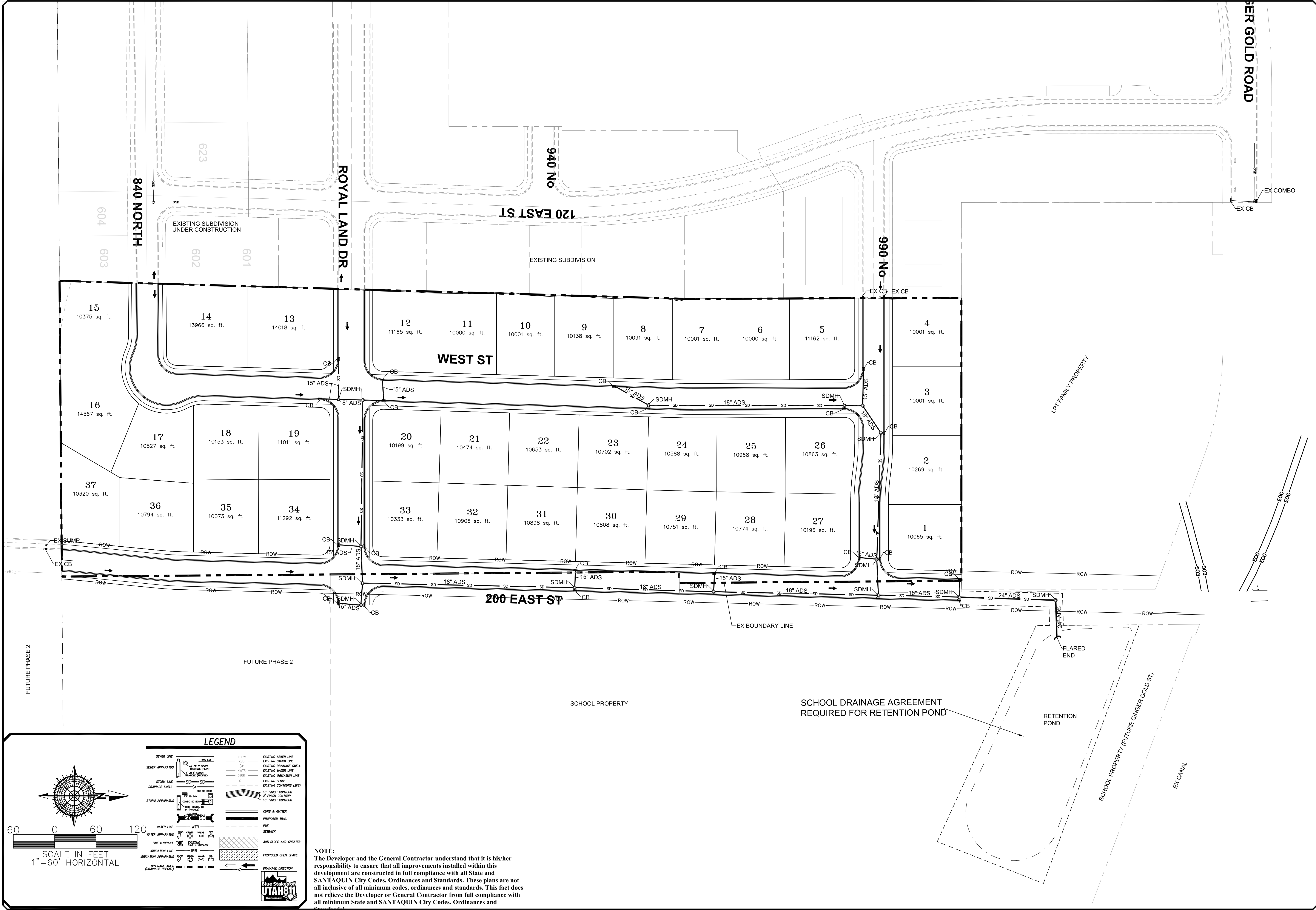













NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=60'



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CONSTRUCTION MANAGEMENT

**STRATTON ACRES  
PHASE 1**

STORM UTILITY SHEET

PRINT DATE: 6-17-2022

SANTAQUIN CITY



SHEET NO. **U3**

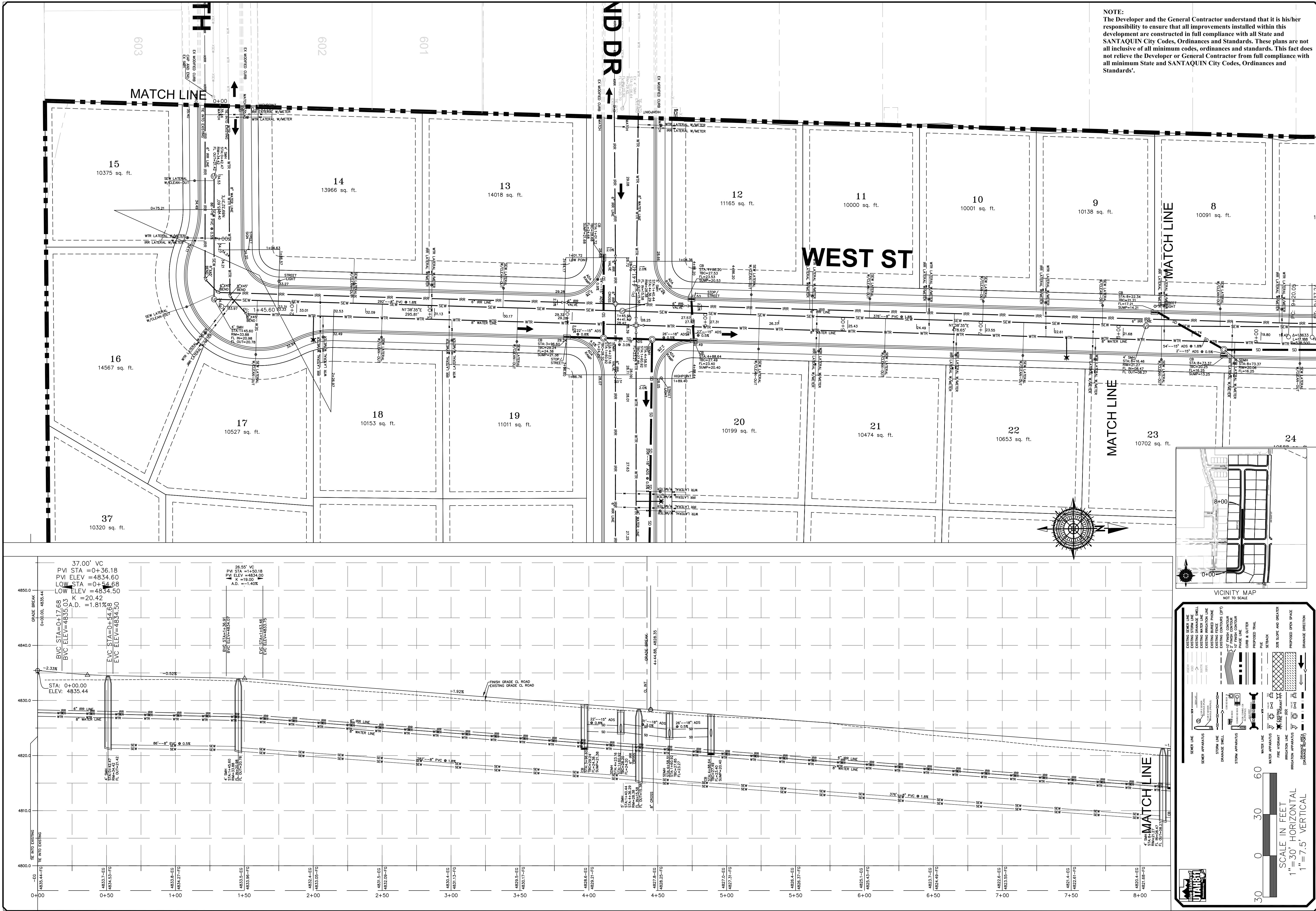












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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
SURVEY BY: GPM
DRAWN BY: GPM
DESIGNED BY: GPM
CHECKED BY: GPM
SCALE: 1"=30'

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CONSTRUCTION MANAGEMENT

STRATTON ACRES  
PHASE 1

PLAN AND PROFILE

WEST RD 0+00 TO 8+00

6-17-2022

SANTAQUIN CITY

PP1

SHEET NO.

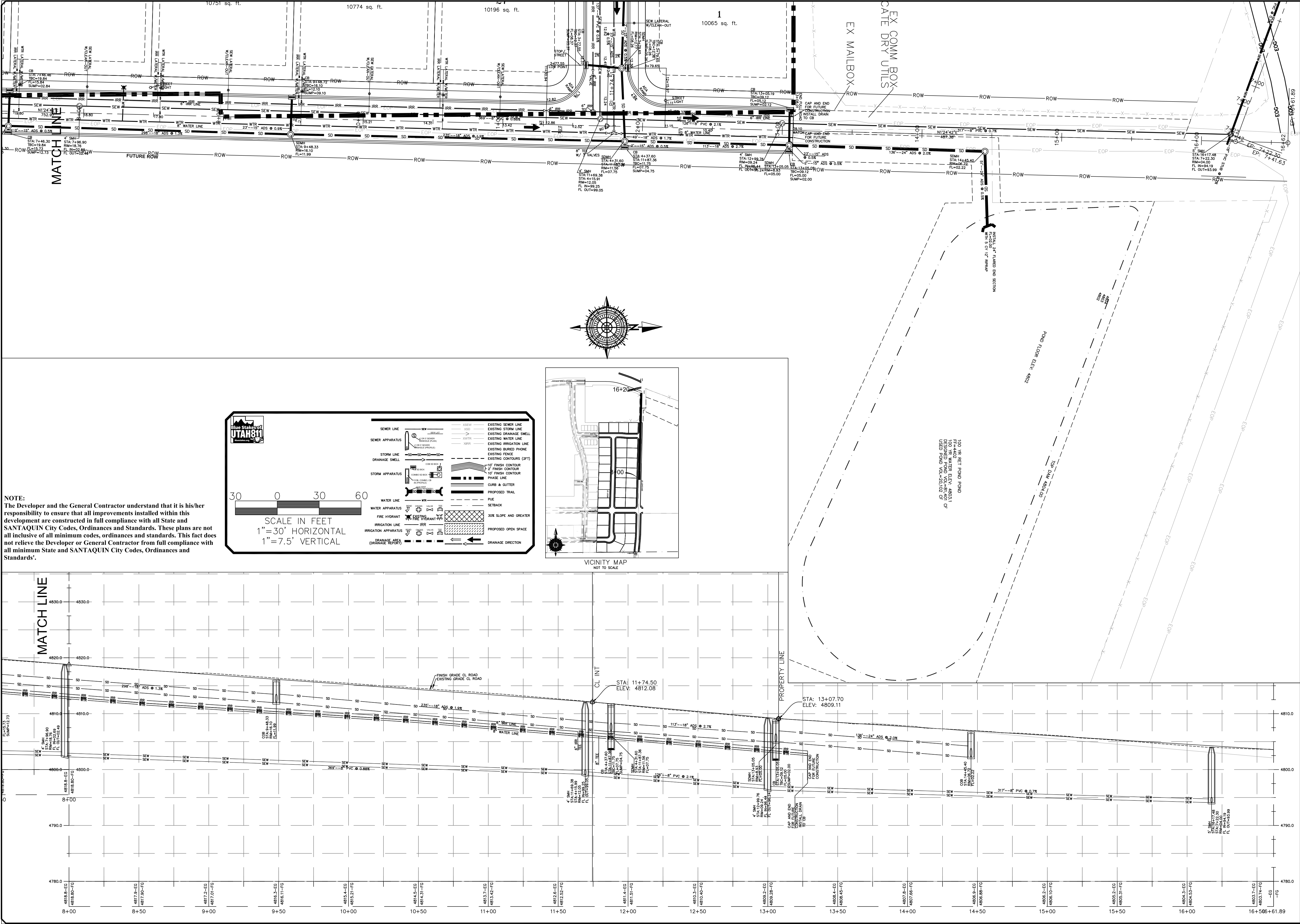













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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
SURVEY BY: GPM
DRAWN BY: GPM
DESIGNED BY: GPM
CHECKED BY: GPM
SCALE: 1"=30'

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CONSTRUCTION MANAGEMENT

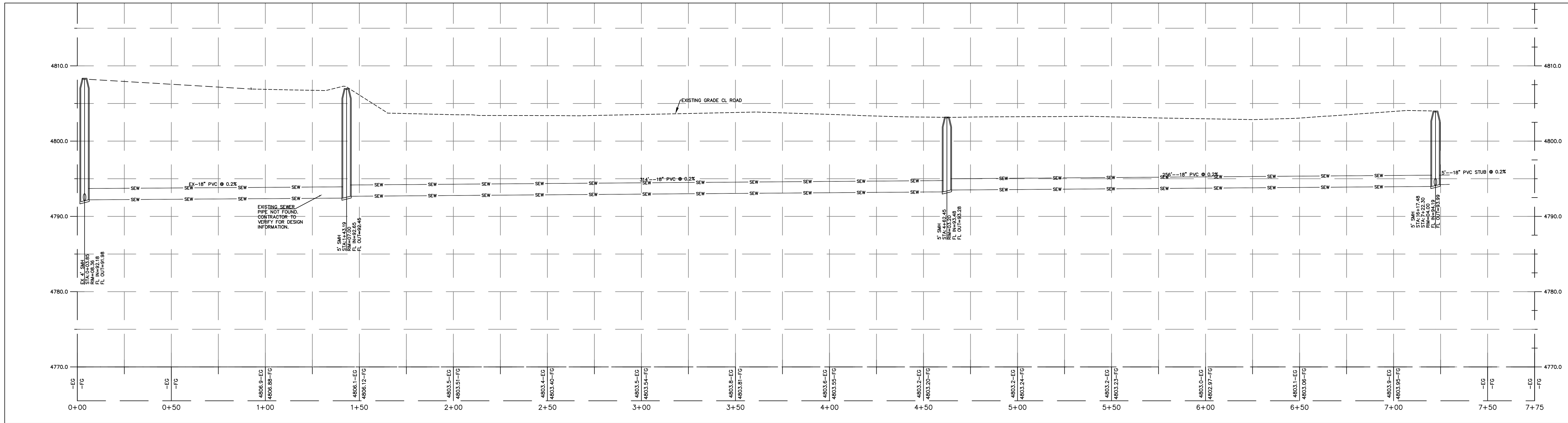
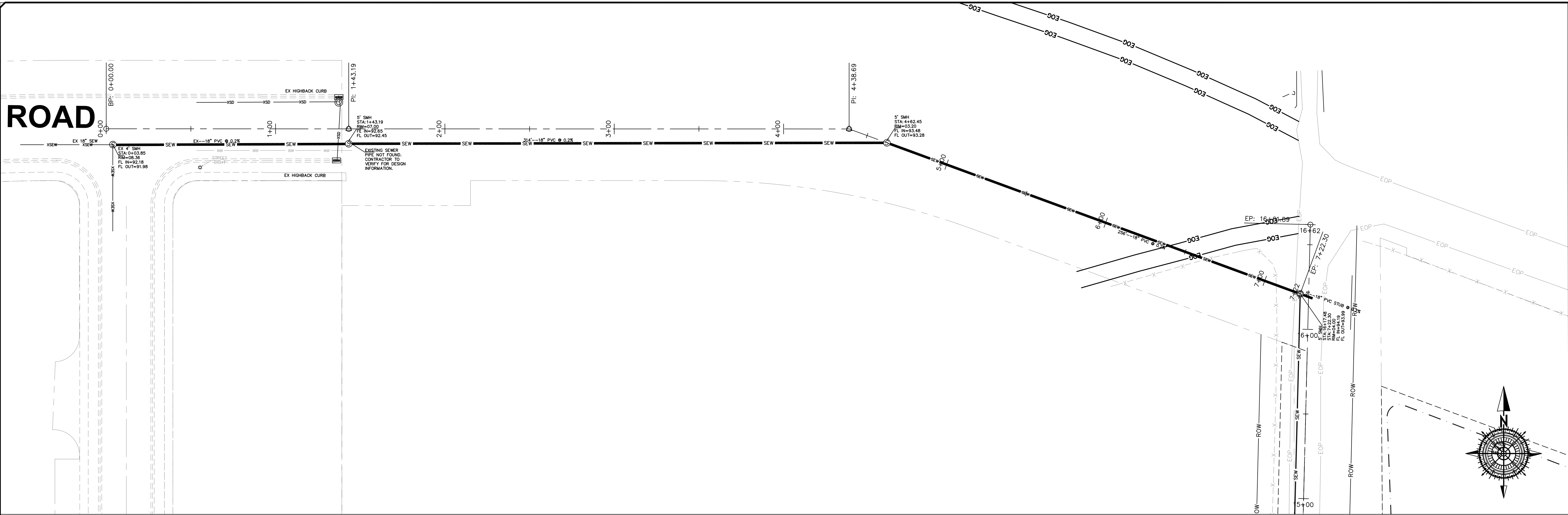
**STRATTON ACRES**  
**PHASE 1**  
**PLAN AND PROFILE**  
**EAST RD 8+00 TO 16+50**

6-17-2022

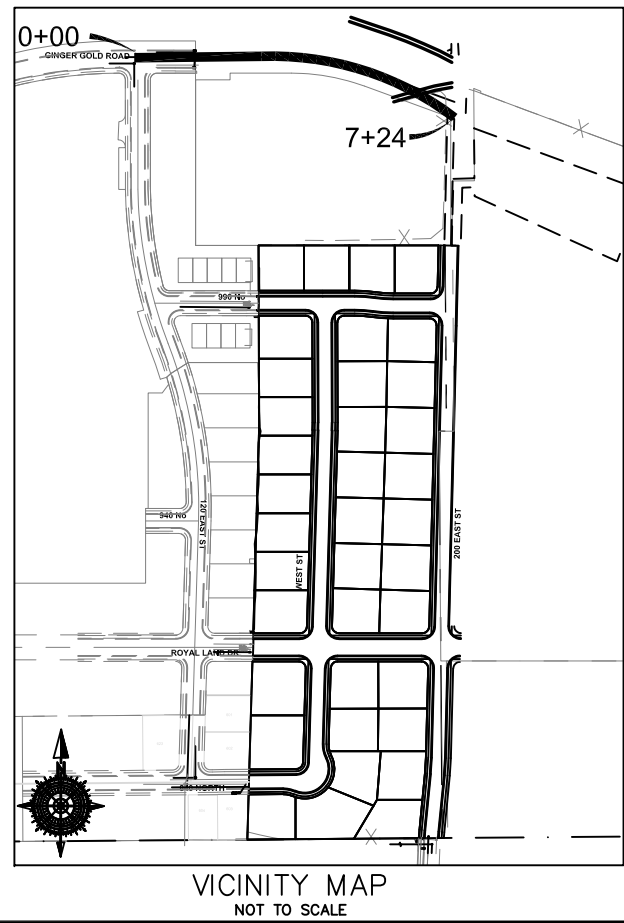
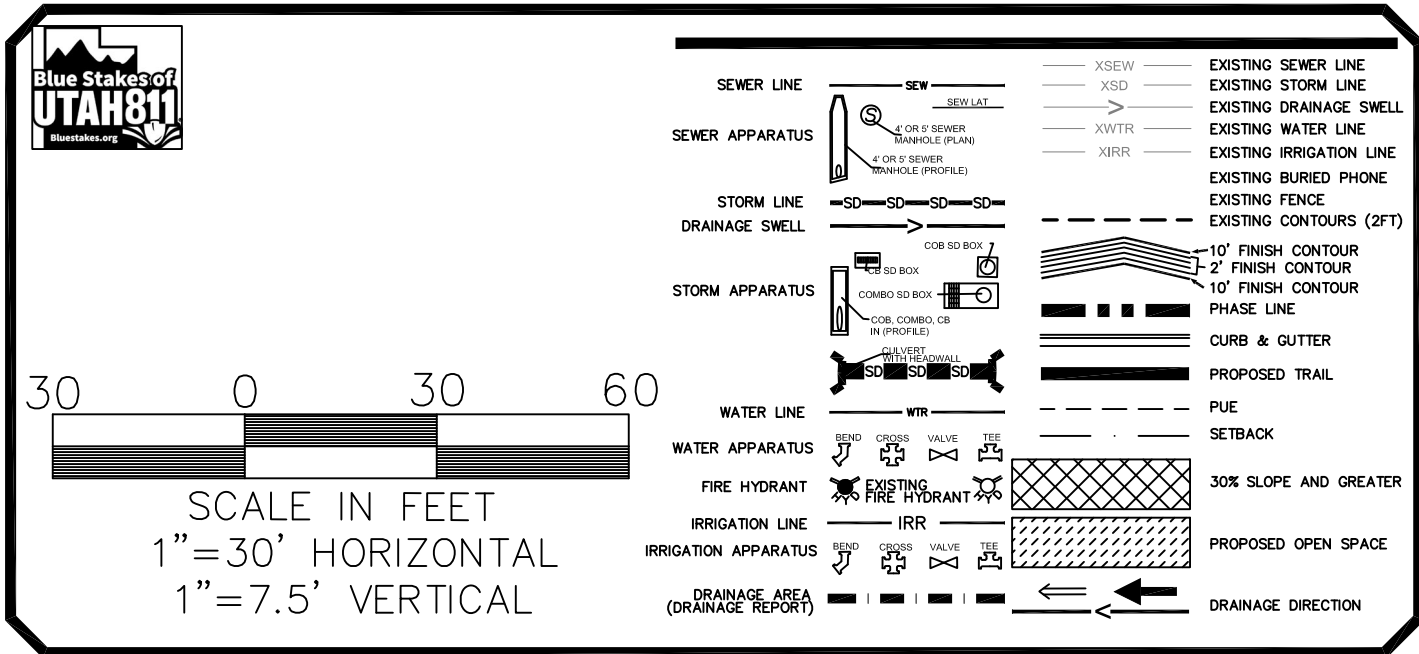
SANTAQUIN  
CITY








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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
SURVEY BY: GPW
DRAWN BY: GPW
DESIGNED BY: GPW
CHECKED BY: GPW
SCALE: 1"=30'



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CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING

CONSTRUCTION MANAGEMENT

STRATTON ACRES

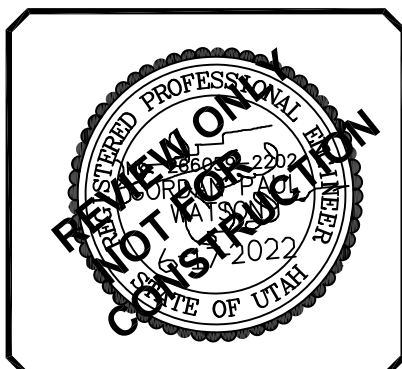
PHASE 1

GINGER GOLD (OFF SITE)

0+00 TO 7+50

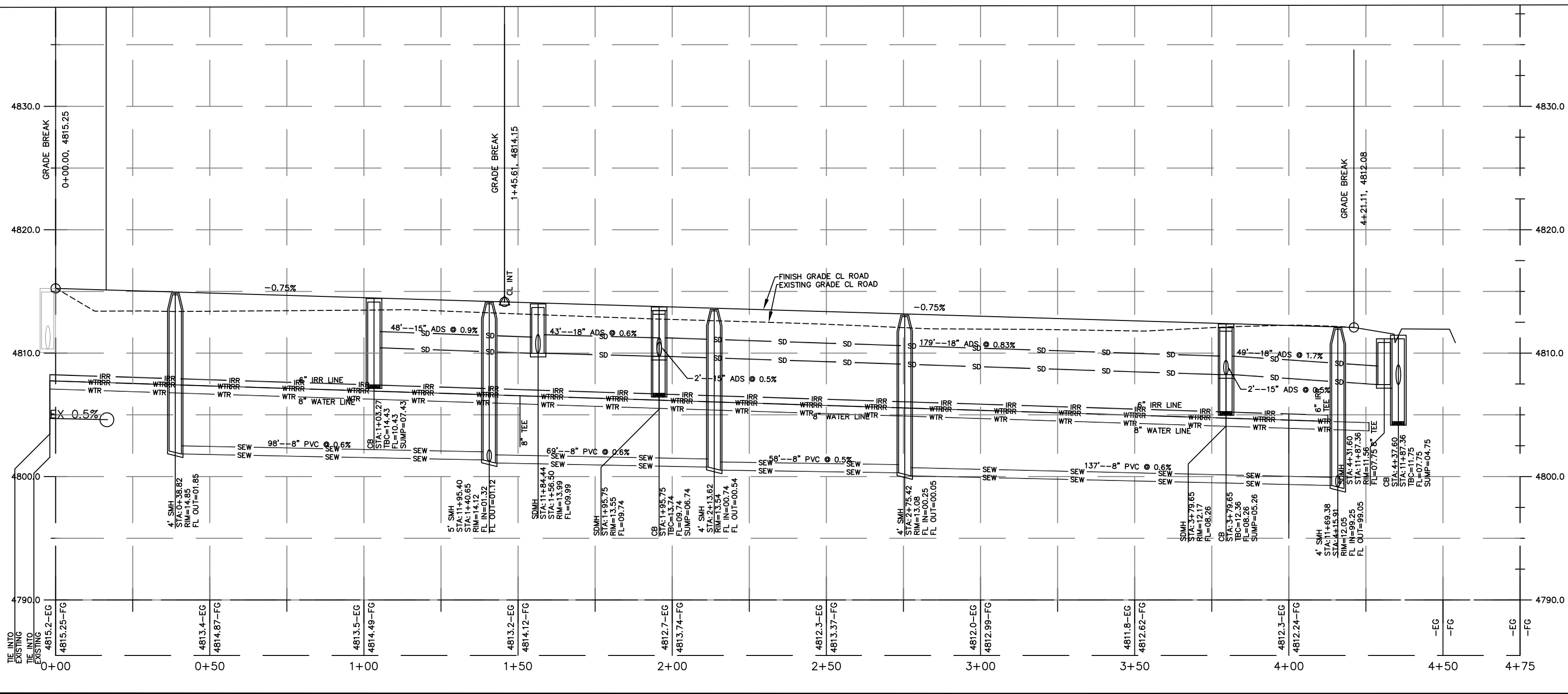
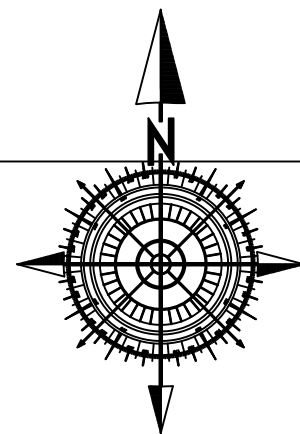
6-17-2022

SANTAQUIN CITY



SHEET NO. PP5



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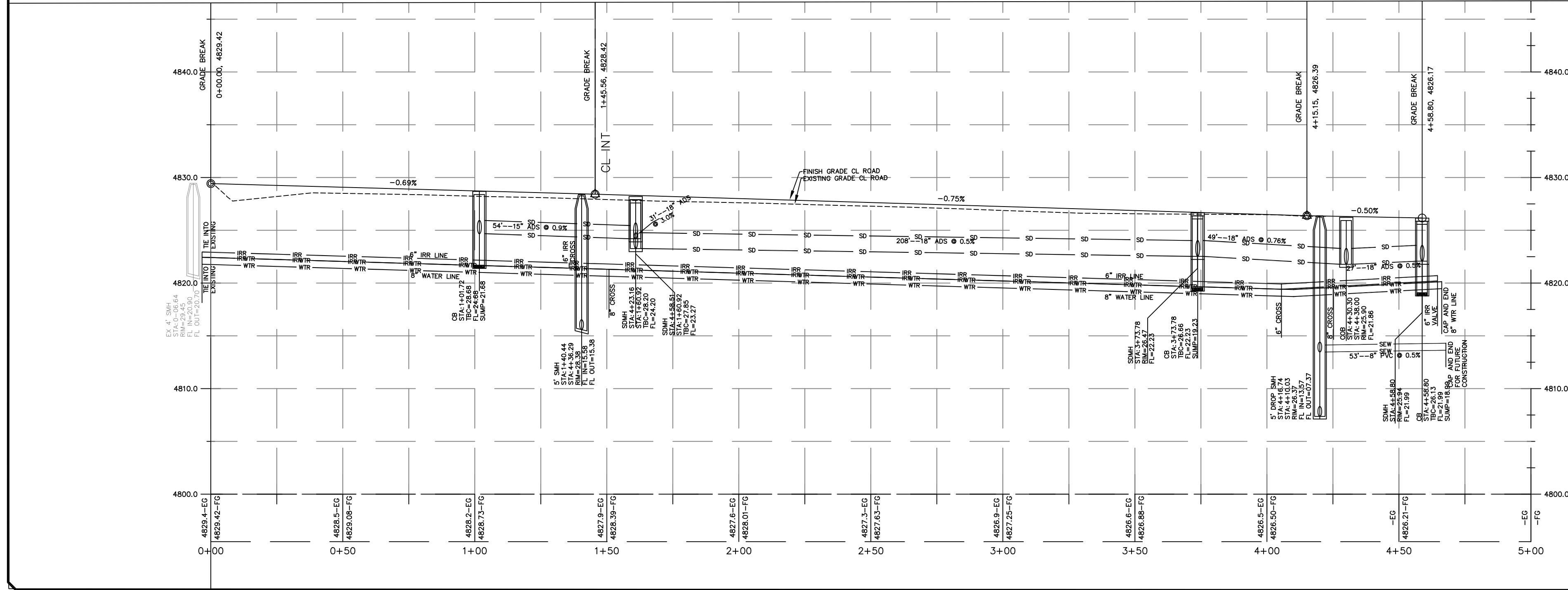
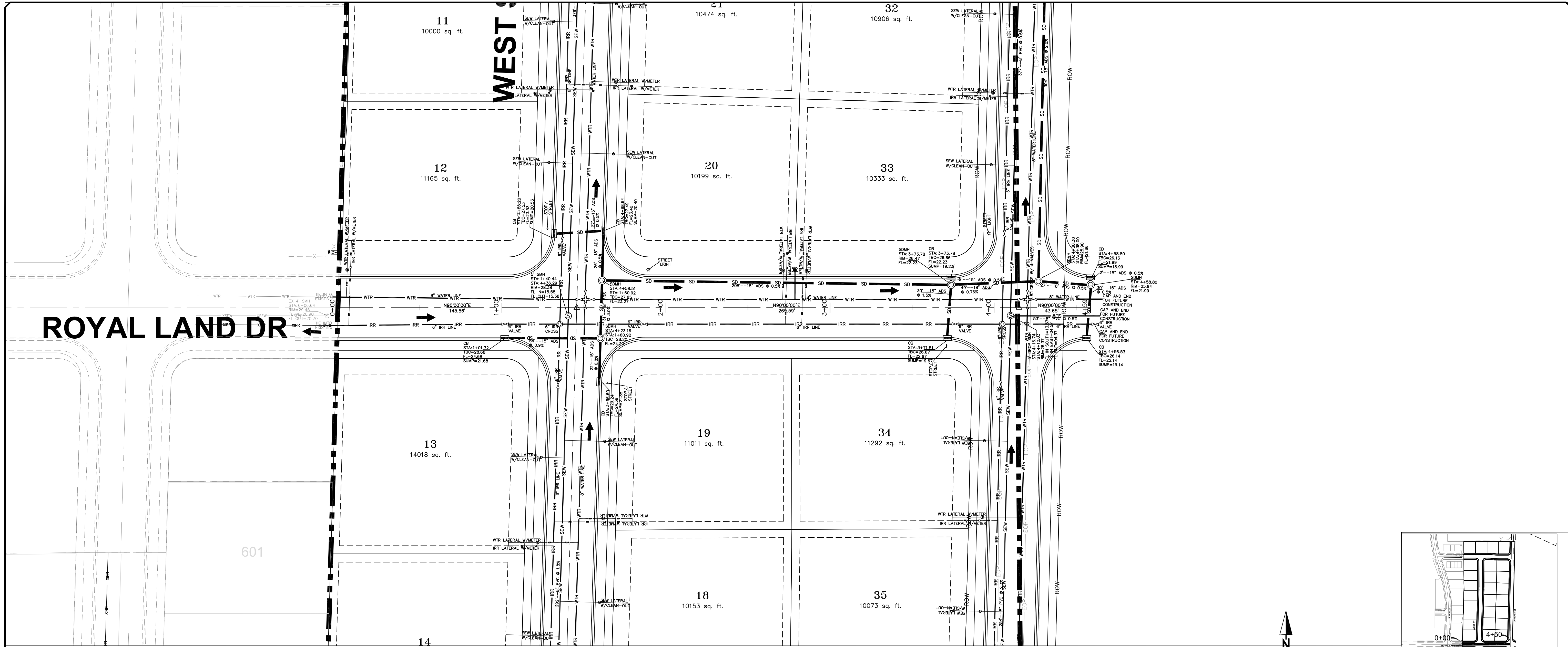
SANTAQUIN CITY

PP6
SHEET NO. _____

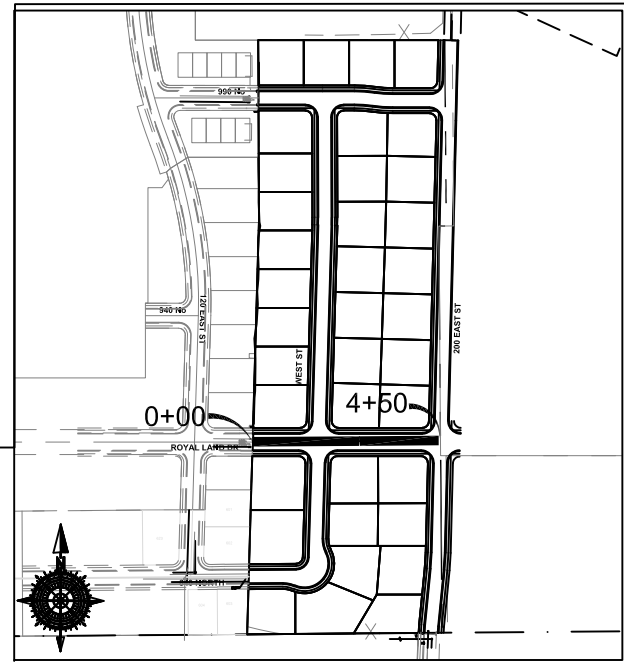
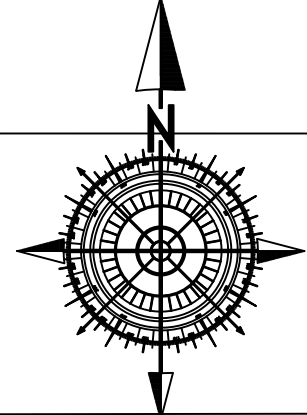


ROYAL LAND DR

WEST



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SCALE IN FEET  
1"=30' HORIZONTAL  
1"=7.5' VERTICAL

STRATTON ACRES  
PHASE 1  
PLAN AND PROFILE  
SOUTH RD 0+00 TO 4+50

6-17-2022

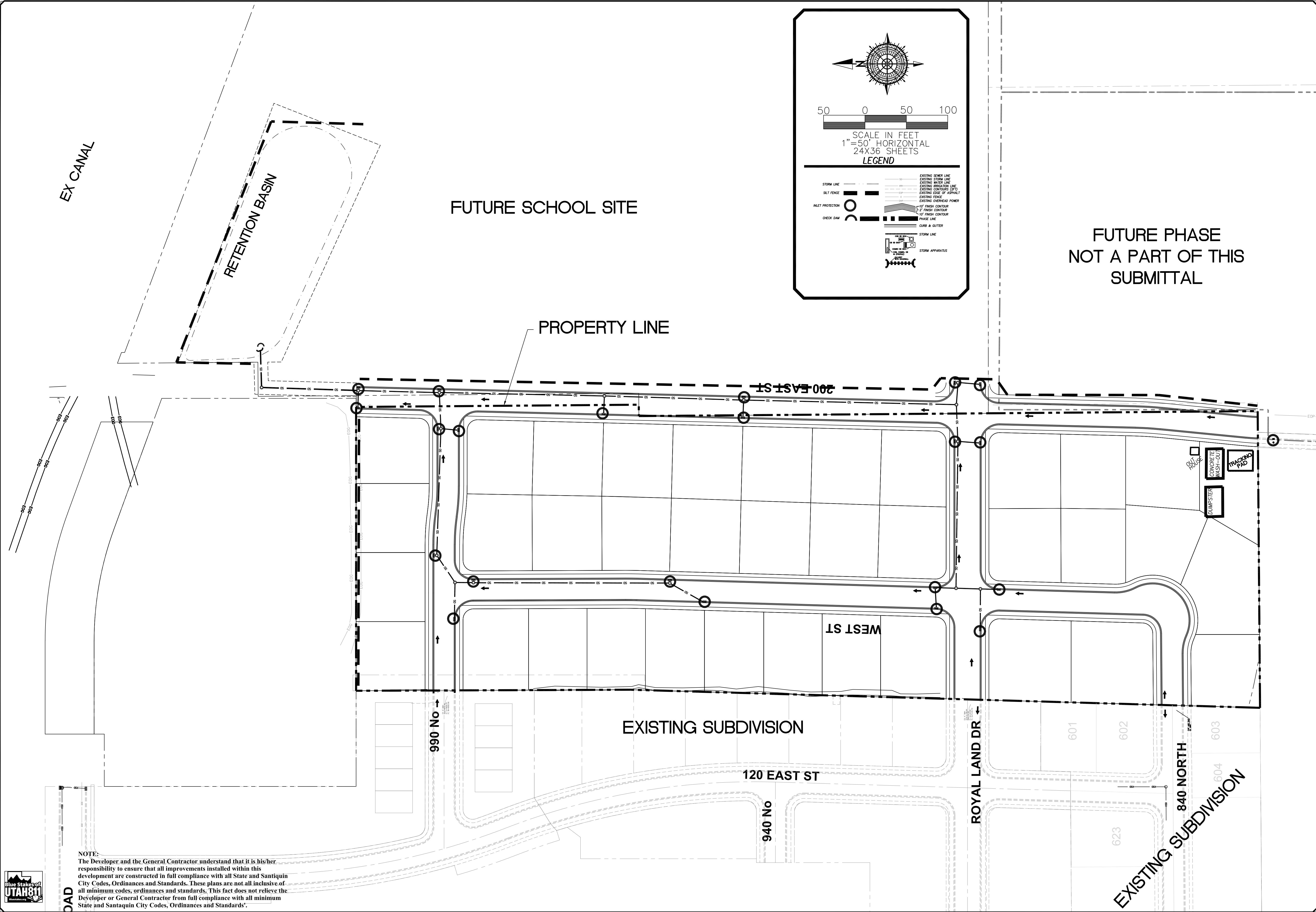
GATEWAY CONSULTING, Inc.  
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848  
paul@gatewayconsultingllc.com

DESIGNED BY: GPH  
CHECKED BY: GPH  
SCALE: 1"=30'

ORIG. DATE: 2-6-21  
SURVEY BY: GPH  
DRAWN BY: GPH

NO.	DESCRIPTION	DATE	APP'D

PP7



NOTE:  
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.



DATE: 2-8-21

SURVEY BY: GPM

DRAWN BY: GPM

DESIGNED BY: GPM

CHECKED BY: GPM

SCALE: 1"=100'

NO.

DESCRIPTION

DATE

APP'D

G

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P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING

CONSTRUCTION MANAGEMENT

STRATTON ACRES

PHASE 1

STORM WATER POLLUTION PREVENTION PLAN

PRINT DATE: 6-17-2022

SANTAQUIN

CITY

MAILED COPY

DATE: 6-17-2022

STATE OF UTAH

SHEET NO. SWPPP



DURING CONSTRUCTION

1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.

3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.

5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX. AND PLANTING SPECIFICATIONS.

7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.

9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.

11. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE. DOWNGRADE LINES MUST BE PROTECTED FROM WASH-WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.

## POST CONSTRUCTION

4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.

7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.

9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 50 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)

NATIVE GRASSES	
% Pure	Grass Type
20.00	Hard fescue
15.00	Pubescent wheat grass
15.00	Orchard grass (sod forming)
15.00	smooth brom grass
20.00	Stream bank wheat grass (sod forming)
15.00	Western wheat grass

12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.

14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.

16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:

- UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING
- UNIFORM FIRE CODE

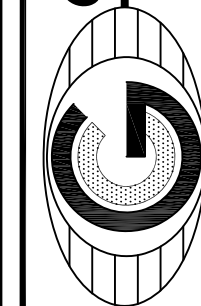
25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

<u>ELEVATION</u>	<u>SEEDING WINDOW</u>
4000 TO 6000 FT	SEPT. 15 TO DEC. 1
ABOVE 6000 FT	SEPT. 1 TO NOV 15

[illegible]

ORIG. DATE:	2-8-21
SURVEY BY:	
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	N/A

**WAY CONSUL**  
BOX 951005 SOUTH JORDAN  
PH: (801) 694-5500



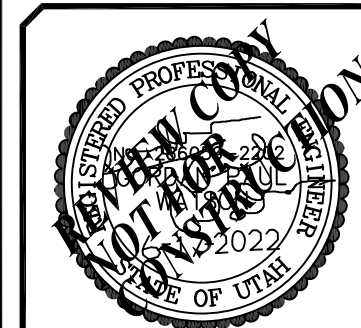
**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT**

# STRATTON ACRES PHASE 1

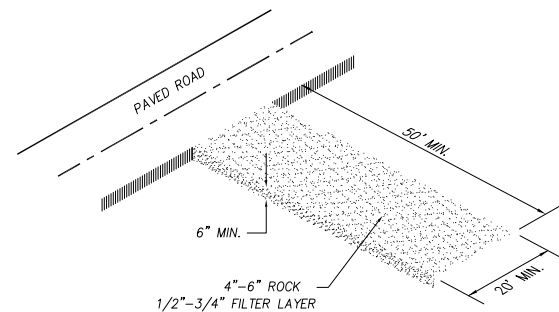
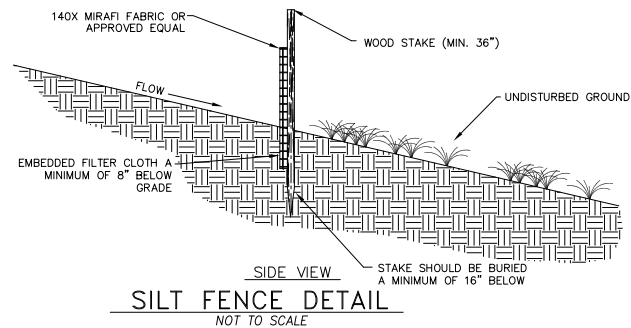
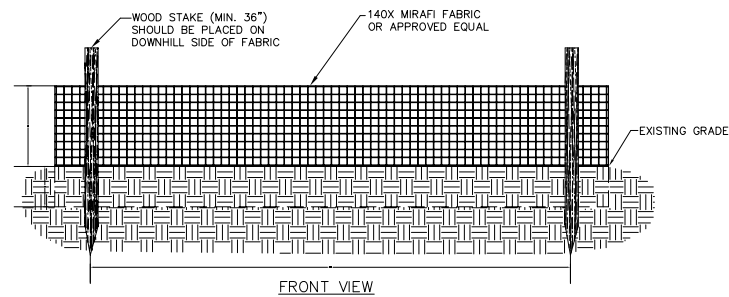
## EROSION CONTROL DETAILS and NOTES

6-17-2022

SATAQUIN  
CITY



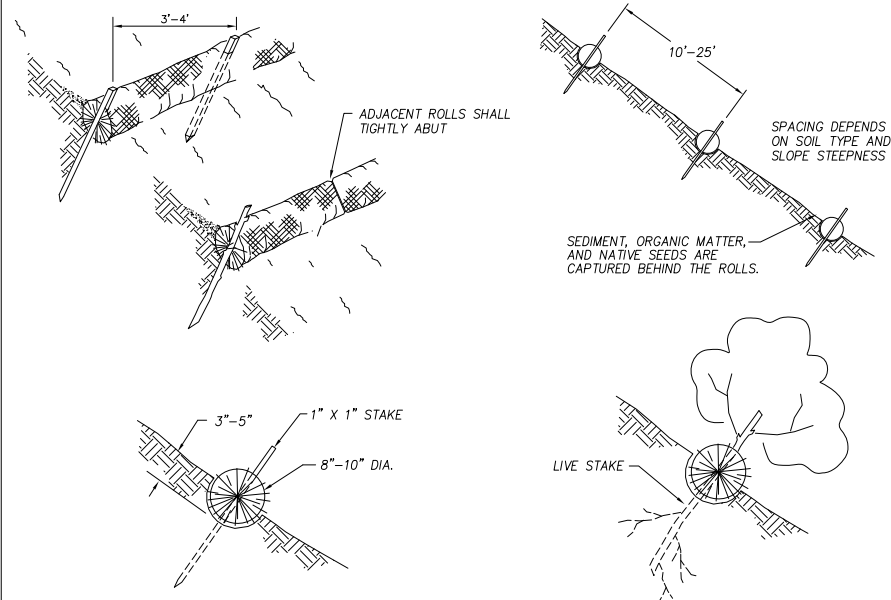
SHEET NO. ER-1



NOTES:

- 1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
- 2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THAN 3 MONTHS)
- 3-PLACE COURSE AGGREGATE 1 TO 2 1/2 INCHES SIZE TO A MINIMUM DEPTH OF 8 INCHES
- 4-DAILY INSPECTION ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

VEHICLE TRACKING DETAIL  
NOT TO SCALE



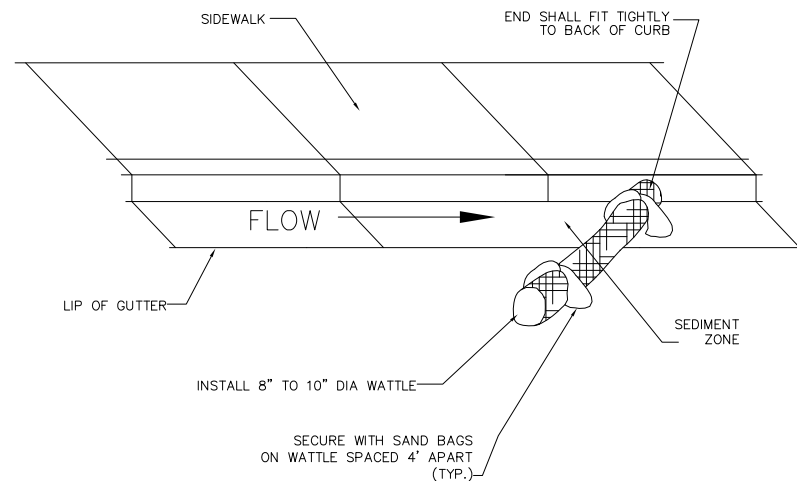
STRAW WATTLE (SILT FENCE ALTERNATIVE)  
NOT TO SCALE

NOTE:  
TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

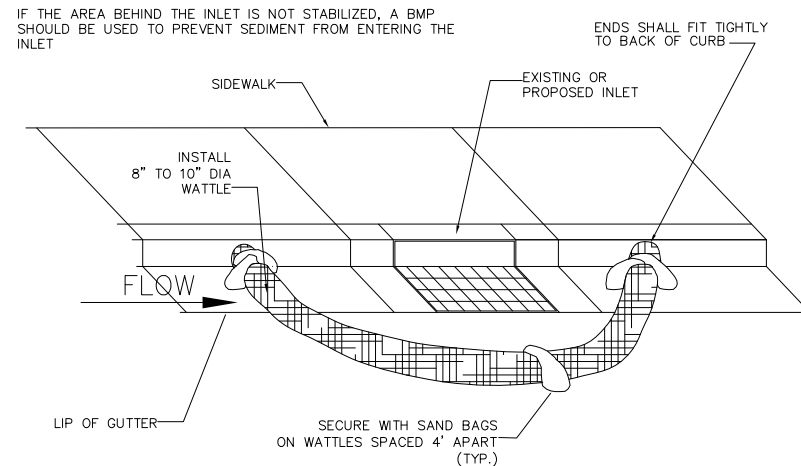
SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

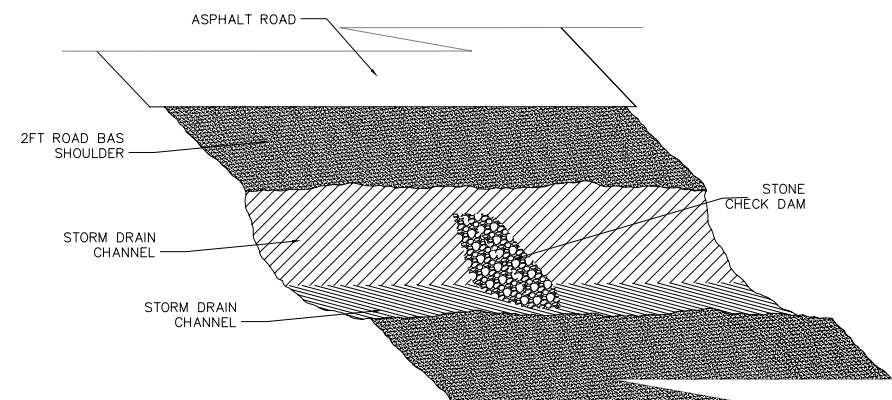


NOTE:  
INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

## GUTTER PROTECTION SETUP



INLET PROTECTION BARRIERS  
NOT TO SCALE

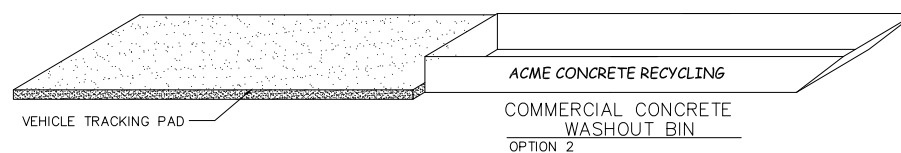
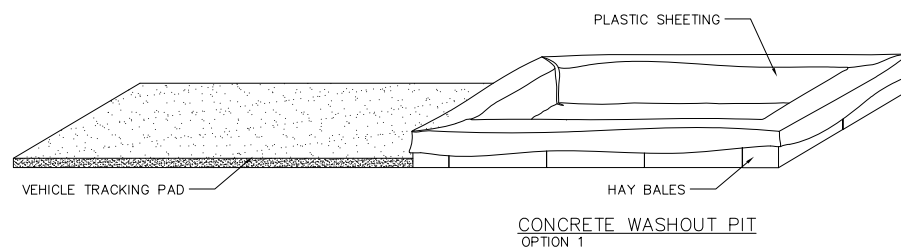


DRAINAGE CHANNEL  
PROTECTION  
*NOT TO SCALE*

NOTE:

1. PLACE A CHECK DAM AT EVERY 100 LINIER FEET OF DRAIN CHANNEL
2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL
3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM
4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.  
See *SATAQUIN CITY* specifications for further information.



BMP

- 1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.  
2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA  
3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS  
4-LOCATE ONSITE WASHOUT AREA MORE THAN 50 FT AWAY FROM NEAREST STORM INLET.  
5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

### USE OF CONCRETE WASHOUT

- 1-IT IS THE CONTRACTOR RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.
- 2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY.
- 3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE END OF EACH WORK DAY.
- 4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS
- 5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

CONCRETE WASHOUT AREA  
NOT TO SCALE

**GATEWAY CONSULTING, Inc.**  
P.O. BOX 951005 SOUTH JORDAN, UT 84095

**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT**

# STRATTON ACRES PHASE 1

EROSION CONTROL  
DETAILS and NOTES

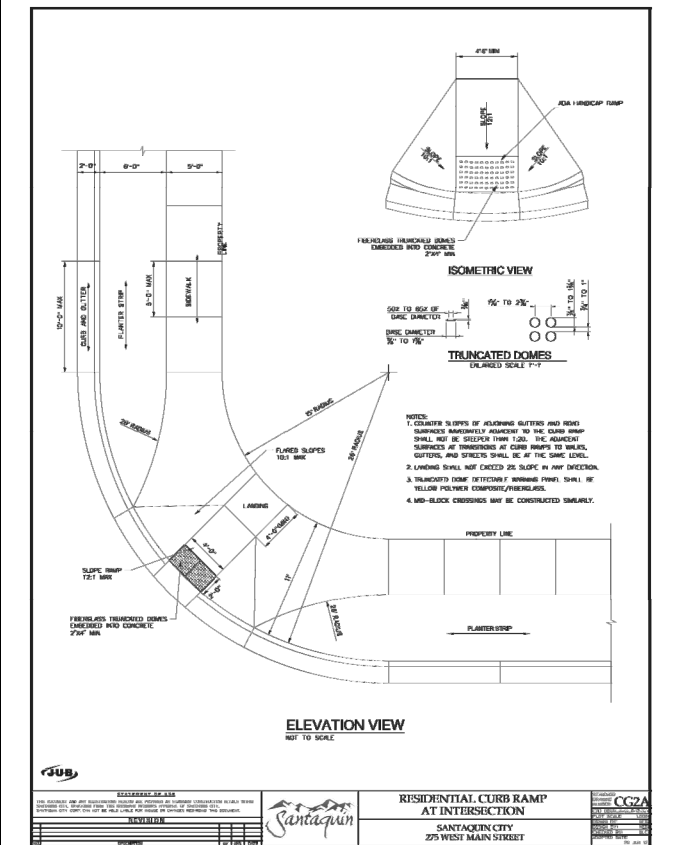
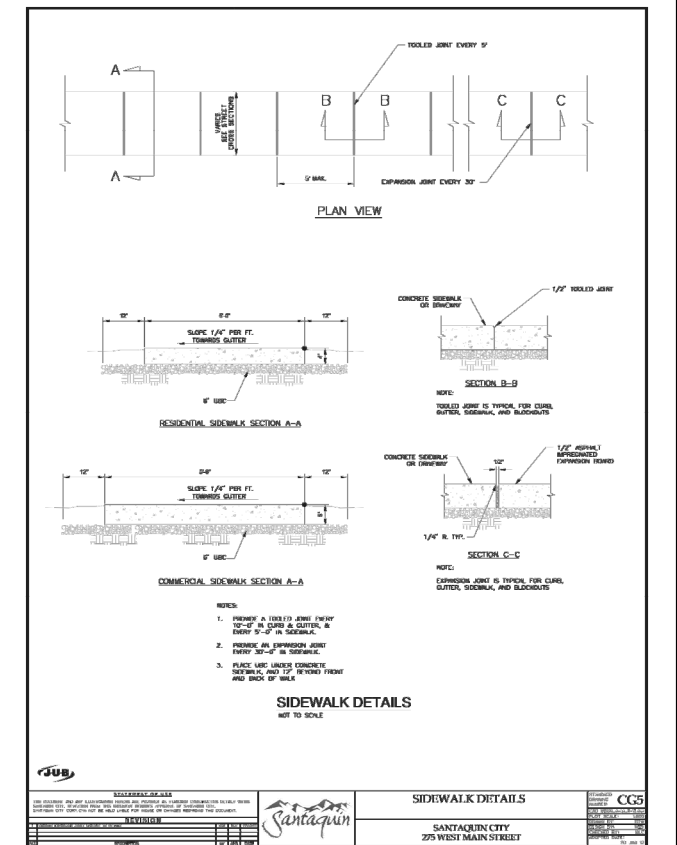
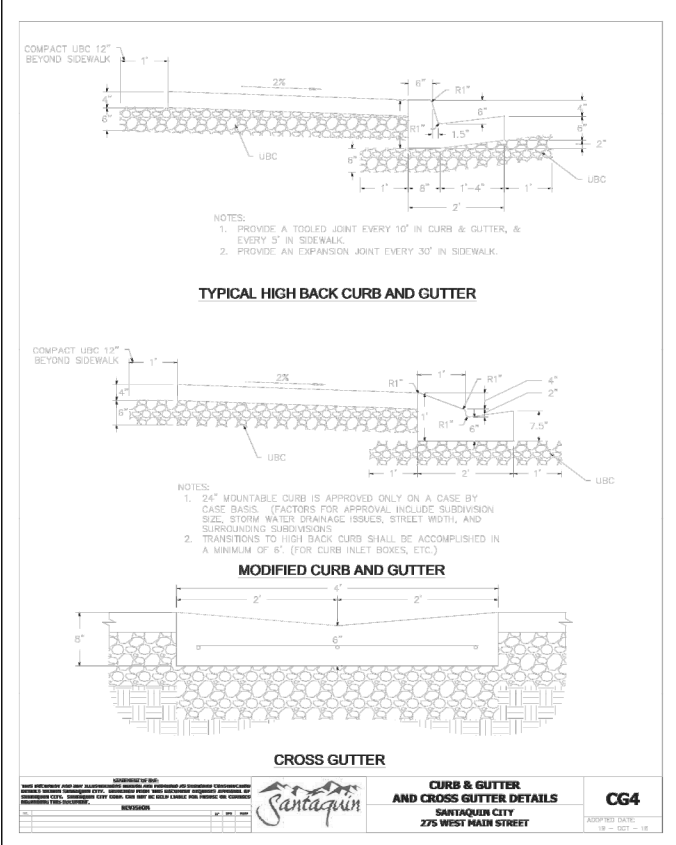
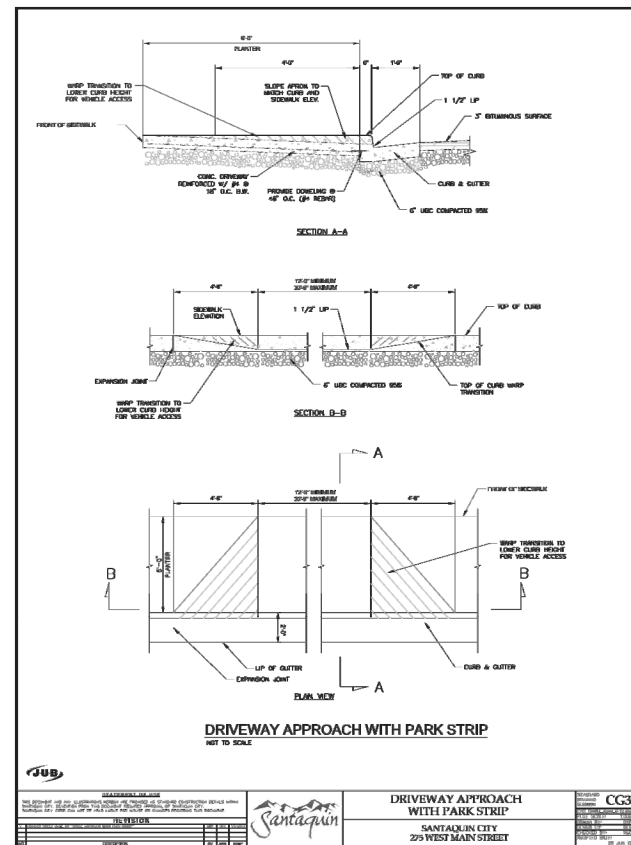
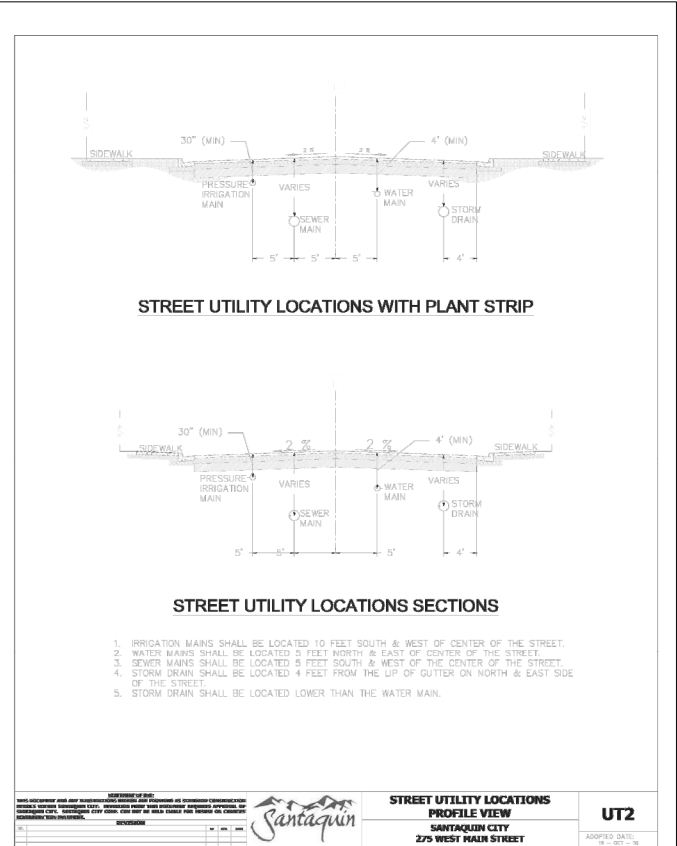
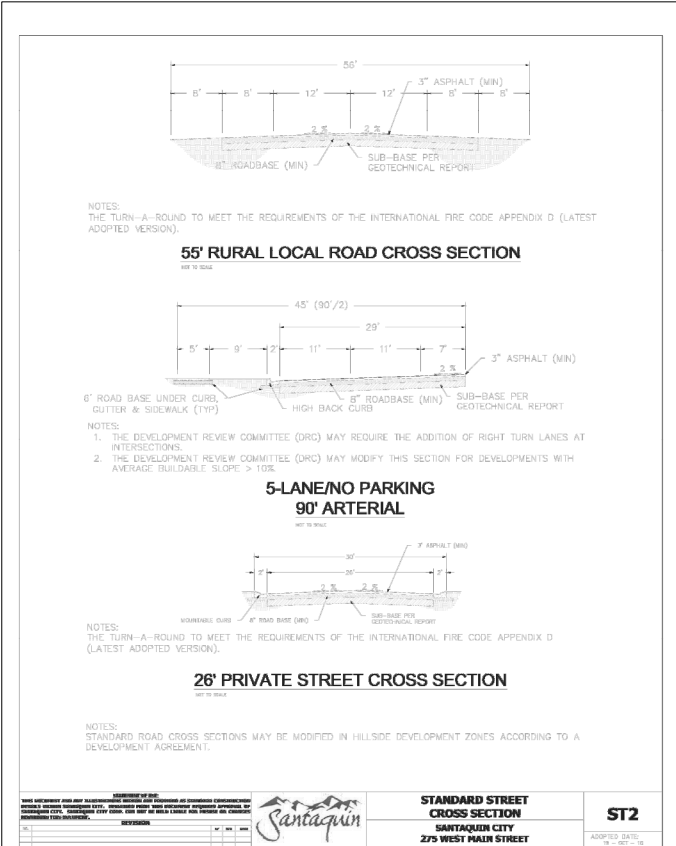
6-17-2022

SATAQUIN  
CITY



SHEET NO. ER-2





ORIG. DATE: 2-8-21

SURVEY BY: GFW

DRAWN BY: GFW

DESIGNED BY: GFW

CHECKED BY: GFW

SCALE: N/A

GATEWAY CONSULTING, Inc.

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PH: (801) 694-5848

paul@gatewayconsulting.com

CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING

CONSTRUCTION MANAGEMENT

STRATTON ACRES

PHASE 1

STREET DETAILS

PRINT DATE: 6-17-2022

SANTAQUIN CITY

REVIEWED FOR PROJECT

APPROVED FOR PROJECT

DATE: 6-17-2022

BY: [Signature]

SHEET NO. D1

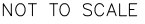
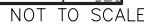
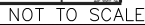
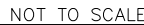
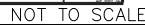
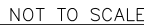


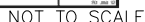
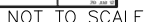
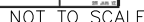
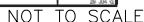












ORIG. DATE:	2-8-21
SURVEY BY:	
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	N/A

STRATTON ACRES  
PHASE 1

LIGHT AND SIGN DETAILS

PRINT DATE: 6-17-2022

SHEET NO. D6