MEMORANDUM



To: Planning Commission

From: Jon Lundell, City Engineer

Date: June 23, 2022

RE: Stratton Acres Subdivision Preliminary Plan Review

Zone: R-10 Size: 12.39 Acres

Lots: 37

The Stratton Acres Subdivision is located at approximately Royal Land Drive and 200 East. The proposed subdivision is in the R-10 zone and consists of 37 single-family lots on 12.39 acres. Each lot is required to be a minimum of 10,000 square feet and have a minimum lot frontage of 80 feet. Corner lots are required to have 95 feet of frontage. The proposed subdivision meets all the R-10 zoning requirements. The lots range from 10,000 square feet (.23 acres) to 14,018 square feet (.31 acres).

The proposed development is adjacent to property owned by Nebo School District and has been working with the district to construct the full roadway width of 200 East. This will provide a full width roadway for the length of the project. Additionally, the developer has worked with the School District to accommodate the storm water that is generated within the proposed roadways in a retention basin on northwest portion of the school district property. This storm water retention basin will be located within an easement on the school district property that will allow Santaquin city to access and maintain the proposed pond.

To adequately serve the proposed development with wastewater collection, the developer must install offsite sewer north of proposed development through the future roadways of 200 East and Ginger Gold Roadway. The sewer line will need to be located within a similar easement as the proposed retention pond, until 200 East and Ginger Gold Road is constructed.

This is a preliminary subdivision application review by the Planning Commission to determine whether the proposed subdivision complies with Santaquin City Code. The Planning Commission will need to make a recommendation regarding the proposed development to the City Council.

Recommended Subdivision Motion: "Motion to recommend approval of the Stratton Acres Subdivision with the following conditions:

- All planning and engineering redlines be addressed.

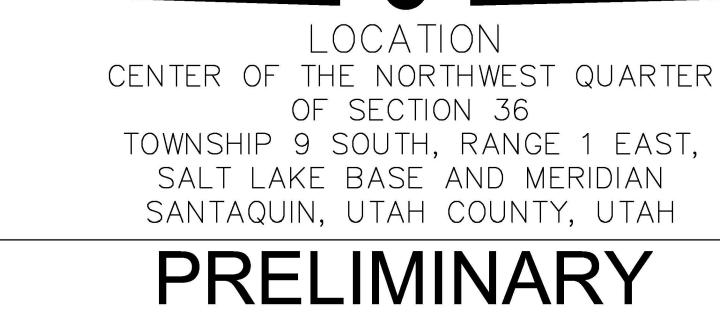
Attachments:

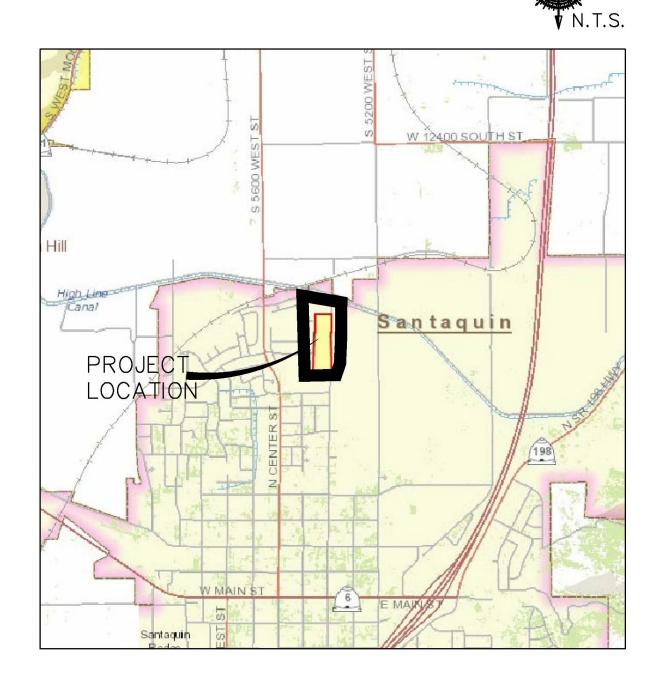
1. Preliminary Plans

SITE DEVELOPMENT CONSTRUCTION PLANS

STRATION ACRES SUBDIVISION PHASE 1

JUNE 17th, 2022



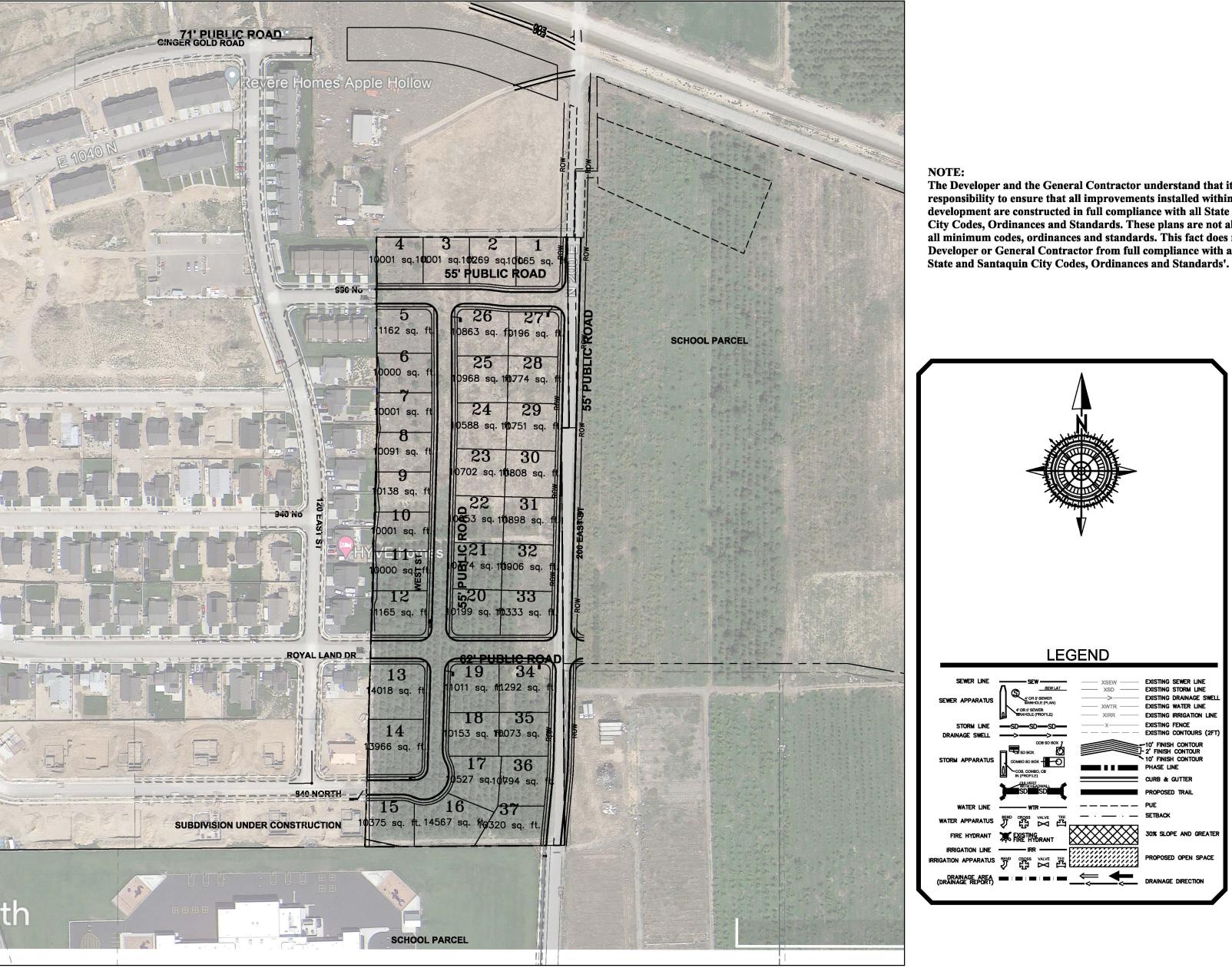


VICINITY MAP

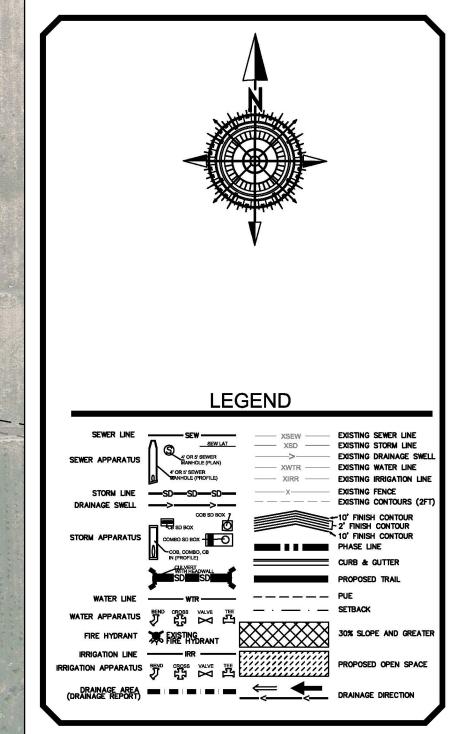
PROPERTY OWNER: STRATTON ACRES LLC KAMERON SPENCER 847 E DRAPER MEADOW LANE DRAPER, UTAH 84020 801-330-0546

LOCATION

ENGINEER: GATEWAY CONSULTING INC. PAUL WATSON PO BOX 951005 **RIVERTON, UTAH 84095** 801-694-5848



The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santiquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum



	REVISI	ONS	
#	DESCRIPTION	DATE	SHEETS AFFECTED

	INDEX OF SHEETS
1	TITLE SHEET
1A	PROJECT NOTES
	BOUNDARY SURVEY
	PLAT
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	OVERALL SITE PLAN
G1-G3	GRADING SHEETS (1"=30')
U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	IRRIGATION UTILITY PLAN
SS1	LIGHTING / SIGNAGE /STRIPING PLAN
PP1	WEST ROAD 0+00 to 8+00
PP2	WEST ROAD 8+00 to 12+00
PP3	EAST ROAD 0+00 to 8+00
PP4	EAST ROAD 8+00 to 16+50
PP5	GINGER ROAD 0+00 to 7+50
PP6	NORTH ROAD 0+00 to 4+75
PP7	SOUTH ROAD 0+00 to 4+50
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ER1-ER2	EROSION CONTROL NOTES AND DETAILS
D1	STREET DETAILS
D2	SANITARY SEWER DETAILS
D3	CULINARY WATER DETAILS
D4	STORM WATER DETAILS
D5	PRESSURIZED IRRIGATION DETAILS
D6	STREET LIGHT AND SIGNAGE DETAILS

ZONE	R-10
LOTS	37
ACREAGE	12.39ac.
ACREAGE LOTS	9.19ac.
ACREAGE ROW	3.20ac.
DENSITY	3 lots to the ac.



PH: (801) 694-5848 paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING **CONSTRUCTION MANAGEMENT**





CONSTRUCTION NOTES

Construction Notes

1. All work to be done in conformity to SATAQUIN CITY standards and specification and as directed by the **SATAQUIN CITY engineer or his representatives.** 2. All sewer and water system construction shall be in accordance with SATAOUIN CITY standards and specifications. Contractor to obtain current standards from the SATAQUIN CITY.

3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities. 4. Contractor responsible for protection of all utilities shown or not shown.

5. Contractor shall be responsible to obtain and pay for necessary permits.

6. Contractors shall attend all pre-construction conferences.

7. Contractor shall be responsible for all public safety and OSHA standards.

8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines. 9. Location and installation of gas, power, telephone, and cable lines to be done in accordance with **SATAQUIN CITY standards.**

10. All culinary water lines shall be per SATAQUIN CITY standards.

11. Minimum depth for culinary waterlines from the final grade to the top of the pipe is 4 feet, unless otherwise noted on the plan and profile sheets. 12. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 12 inches vertically (in

times of crossing the waterline shall be above the sewer line). All other utilities shall be spaced a minimum distance of 12 inches from the waterline. 13. All ductile iron valves, hydrants, and buried fittings

shall be wrapped with 8 mil thick polyethylene film tube or sheet. The film shall be held in place by and approved adhesive tape, equal to scotchrap no. 50. All fittings and valves requiring wrapping shall be wrapped prior to placing concrete thrust blocking. All valves are to be flanged to the adjacent fittings.

and be marked with a 2" by 4" board with the top 12" painted green. 15. All sewer laterals will be marked with a "S" stamped

into the curb above. 16. Culinary water laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12"

14. Sanitary sewer laterals shall extend into each lot 15'

painted blue. 17. All culinary water laterals will be marked with a "W" on the curb above.

18. Contractor to verity as build sewer laterals for building FF design. Existing sewer lateral to govern.

MISC CONSTRUCTION NOTES

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS. THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

GENERAL NOTES:

SATAQUIN CITY STANDARD SPECIFICATIONS, LATEST FOITION, AND ALL AMENDMENTS THERETO UNLESS OTHERWISE STATED. TO DATE, AND THE UTAH PUBLIC WORKS GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION (UPW), THE M.U.T.C.D. MANUAL FOR STRIPING AND LAND

2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT SATAQUIN CITY FOR A PRE-CONSTRUCTION CONFERENCE.

DISTURBANCE AND THE MANUAL FOR FROSION CONTROL WHERE APPLICABLE

MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING 2) CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES THEIR BID. OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.

4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST FIRST QUALITY ARE TO BE USED.

5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL 12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

THE CONTRACTOR SHALL BE COMPETENT. KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. 14) THE CONTRACTOR AGREES THAT: CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.

7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM SATAQUIN CITY AND UDOT CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.

8) THE CONTRACTOR SHALL. AT THE TIME OF BIDDING. AND THROUGHOUT THE PERIOD OF THE CONTRACT. BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.

THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT OF THE OWNER OR THE ENGINEER. THE SITE OF WORK.

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS. THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN OPERATIONS. KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR. OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS I) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL

OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

CONTRACTOR, IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT 13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED

THE FINAL PAYMENT.

LOSS OR DISTURBANCE.

A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH

B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND

ORDERLY MANNER AT ALL TIMES. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE

TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM

THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.

UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.

15) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY 9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK

> 16) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.

17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTROLIERS MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR BACK CHARGE TO THE CONTRACTOR.

SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND THE START OF ACTUAL EXCAVATION. PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL,

5) IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILE. THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.

19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE 9) ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL—SIZE AS—BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND 11) THE CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS STANDARD SPECIFICATIONS. SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MOISTURE. MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

ELEVATION: 4759.858 DESCRIPTION: NORTHWEST CORN SEC 36, T9S, R1E, SLB&M FOUND 3" BRASS CAP

CLEARING AND GRADING NOTES:

24) BENCHMARK:

1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH SATAQUIN CITY STANDARD SPECIFICATIONS, AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE LATEST REPORT OF GEOTECHNICAL INVESTIGATION.

2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY

3) THE OWNER SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND OBTAIN ALL PERMITS REQUIRED BY SATAQUIN CITY CITY, AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE OWNER, CITY OF SATAQUIN, AND POWER CO. TO HAVE THE ELECTRICAL SYSTEM ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND AND ALL STREET LIGHTS ENERGIZED. SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS.

4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA STATE OF T SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION. FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK. SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION

DEWATERING NOTES:

THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION 1) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING:
SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT,
STRICT FOR THE PROJECT OF TH STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.

> THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED. 10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR 3) SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.

11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY 4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION. OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS PREVENT DISTURBANCE OF COMPACTED BACKELL AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR

<u>UNDERGROUND UTILITIES</u>:

THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE FITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES. SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.

?) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD. THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL THE CONTRACTOR SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT

3) THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 — EXCAVATIONS, AND SECTION 69 — TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A

4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO WHERE SUCH UNDERGROUND INSTALLATIONS ARE THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE 18) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS. THE CONTRACTOR AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO

TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET

6) THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS: * TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS * TRENCHES WITH SLOPES > 10% = DAMS AT 100' INTERVALS

7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF SATAQUIN CITY FOR H-20 LOAD REQUIREMENTS.

> 8) ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE SATAQUIN CITY DISTRICT. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN.

SATAQUIN CITY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

(0) WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY TITTINGS AND THRUST BLOCKS

OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY

> 12) ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GÜTTER AND STREET PAVING.

SURFACE IMPROVEMENTS:

1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE CONDUCTED PER THE LATEST GEOTEC REPORT. ONCE ROADWAY EXCAVATION STARTS, THE SUB GRADE SHOULD BE SCARIFIED AND RECOMPACTED AT THE PROPER MOISTURE CONTENT TO 96 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D-1557). THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY 23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS

> ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. IN PAVED AREAS, PROVIDE A 1 FOOT BY 1 FOOT CONCRETE COLLAR . SET CONCRETE COLLAR 3/8 INCH LOWER THAN FINISH GRADE AT OUTER EDGE. PROVIDE CONCRETE COLLAR FOR ALL VALVES AND MONUMENTS PER SATAQUIN CITY STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.

3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK

4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH SATAQUIN CITY DEVELOPMENT GUIDELINES.

5) PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE

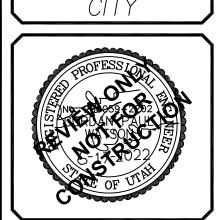
6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO TIE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.



T N N

SE OA S

SANTAQUIN



The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santiquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaguin City Codes, Ordinances and Standards'.

LEGAL DESCRIPTIONS

PARCEL 1: (29-042-0049)

Commencing 17.76 chains East of the Southwest corner of the Northwest quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence East 5.98 chains; thence North 13.59 chains; thence East 25 links; thence North 6.45 chains to a point 20 chains North of the South line of said Northwest quarter; thence West 5.78 chains; thence South 6.45 chains; thence West 50 links; thence South 13.59 chains to the beginning.

ALSO that portion of land acquired by Boundary Line Agreement recorded March 19, 2007 as Entry No.

LESS AND EXCEPTING THEREFROM the following:

Beginning at a point located North 89°32'33" East along the quarter section line 1,136.25 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 01°41'33" East 17.18 feet; thence along the arc of a 790.00 foot radius curve (radius bears North 14°48'36" East) 80.27 feet through a central angle of 05°49'18" (Chord: South 78°06'03" East 80.23 feet) to said quarter section line; thence South 89°32'33" West along said quarter section line 79.02 feet to the point of beginning.

ALSO LESS AND EXCEPTING that portion of land deeded to Kenyon L. Farley and Irene Farley aka Irene L. Farley by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

PARCEL 2: (29-042-0046)

Commencing North 1323.92 feet and East 1184.66 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 423.05 feet; thence West 22.17 feet; thence North 01°41'33" East 21.06 feet; thence North 00°13'13" West 402 feet; thence East 23.09 feet to the beginning.

SURVEY DESCRIPTION

Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls; thence North 01°38'35" E, 595.10 feet; thence North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 896.96 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 351.58 feet to a point on a non-tanget 790.00 foot radius curve to the right; thence 79.47 feet along said curve through a central angle of 05°45'50" (chord bears North 78°07'37" West, 79.44 feet); thence North 01°38'35" East, 301.17 feet to the point of beginning.

Contains: 12.39 Acres

REFERENCE DOCUMENTS

APPLE HOLLOW AT THE ORCHARDS PLAT A-11 ENTRY: 127545:2019 MAP #16860

THE ORCHARDS PLAT G-1 ENTRY: 1027589:2019 MAP #16746

APPLE VALLEY PLAT A ENTRY: 46147:2018 MAP #16048

LOCATION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.

FLOOD ZONE

PARCELS LIE WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD COMMUNITY-PANEL NUMBER 49049C0975F, EFFECTIVE DATE: JUNE 19, 2020

BENCHMARK

EAST 1/4 CORNER SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE & MERIDIAN NAD83 ELEVATION=4793.24

LEGEND

BOUNDARY LINE ----- ADJOINING PARCELS --- · --- SECTION LINE ≡ ≡ ≡ ≡ ≡ ≡ ≡ EXISTING CURB & GUTTER -, TT, TT, TT, TT EXISTING EDGE OF ASPHALT —×— — ×— — EXISTING FENCE LINE —— — — SWR — — EXISTING SEWER LINE — — — — WTR — EXISTING WATER LINE --- SD--- SD- EXISTING STORM DRAIN SDCB CATCH BASIN SSMH SEWER MANHOLE SDMH STORM DRAIN MANHOLE FH FIRE HYDRANT

ICV IRRIGATION CONTROL VALVE



VICINITY MAP (NOT TO SCALE)

TITLE REPORT EXCEPTIONS

Old Republic National Title Insurance Company Cottonwood Title Insurance Agency File Number: 140882-KIF

Commitment Date: January 25, 2021 at 7:30 AM

1.-13. {Not a survey matter}

14. Easement Agreement in favor of Qwest Corporation d/b/a CenturyLink QC, its successors, assigns, lessees, licensees, agents and affiliates to construct, operate, maintain, repair, expand, replace and remove a communication system and incidental purposes, by instrument recorded October 7, 2020, as Entry No. 156593:2020.

NOTE: The legal description appears to contain an error. {Affects Parcel 1 as shown hereon}

15. A Deed of Trust to secure an indebtedness in the amount shown below, and any other obligations secured thereby: Trustor: Cascade Shadows, Inc., as to Parcels 6, 7, 8, 11, 13, 14 and 15; C.K. Farms, Inc., as to Parcels 1, 2 and 3; Kimball T. Stratton, as to Parcels 4, 5 and 9; Kimball T. Stratton and Marlene Evans Stratton, husband and wife as joint tenants, as to Parcel 10; Trustee: Bank of Utah; Beneficiary: Bank of Utah; Amount: \$1,315,000.00; Dated: February 5, 2019; Recorded: February 8, 2019 as Entry Number 10996:2019. (covers Parcel 1 and other land) {Not a survey matter}

Request for Copy of Notice of Default and Notice of Sale be mailed to: President Bank of Utah at 2605 Washington Blvd., Ogden, UT 84401 dated February 5, 2019 and recorded February 8, 2019 as Entry No. 11029:2019.

16. Assignment of Rents recorded February 8, 2019 as Entry No. 10997:2019 as additional security for the payment of the indebtedness secured by said Deed of Trust. (covers Parcel 1 and other land) {Not a survey matter}

17. Revolving Credit Deed of Trust to secure an indebtedness in the amount shown below, and any other obligations secured thereby: Trustor: Cascade Shadows, Inc., as to Parcels 6, 7, 8, 11, 13, 14 and 15; Kimball T. Stratton, as to Parcels 4 and 9; Kimball T. Stratton and Marlene Evans Stratton, husband and wife as joint tenants, as to Parcel 10; Trustee: Bank of Utah; Beneficiary: Bank of Utah; Amount: \$400,000.00; Dated: February 5, 2019; Recorded: February 8, 2019 as Entry Number 10998:2019. (covers Parcel 1 and other land) {Not a survey matter}

18. Notwithstanding those items described herein-above, the Land is also subject to any additional discrepancies, conflicts in the boundary lines, shortage in area, encroachments, or any other facts which an ALTA/NSPS Survey, (made in accordance with the current Minimum Standard Detail Requirements for Land Title Surveys jointly established and adopted by (ALTA) American Land Title Association and (NSPS) National Society of Professional Surveyors) may disclose.

19. {Not a survey matter}

NARRATIVE

The purpose of this survey is to show the relationship of Survey Parcel with surrounding parcels and improvements, as well as to provide those named in the Surveyors Certificate a ALTA/NSPS survey for their use in evaluating the site.

This Survey does not guarantee title to line, nor is it proof of ownership, nor is it a legal instrument of conveyance. Furthermore, any survey markers set in conjunction with this survey are not intended to represent evidence of ownership of the subject property or its ad joiners. The general intent of this survey is to portray where possible the record title lines of the subject property and to show their relationship to any evidence of use and/or possession.

This survey represents opinions based on facts and evidence. As the evidence changes or if new evidence is discovered or recovered, then the surveyor reserves the right to modify or alter his opinions pertaining to this survey according to this new evidence.

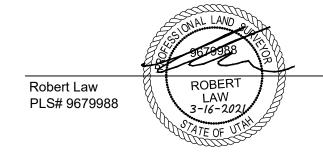
This survey shows all easements of record as disclosed by the title report as shown hereon. The surveyor has made no independent search for record easements or encumbrances. This survey depicts all observable improvements or other indications of easements and utilities. Utilities shown hereon are based on a combination of visual inspection by survey crews and drawings provided by local utility companies during the course of the survey. It is the contractors responsibility to seek blue stake information and verify utility locations prior to any excavation.

Basis of Bearing is North 89°32'33" East between the East Quarter corner and the West Quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian as shown hereon.

SURVEYORS CERTIFICATE

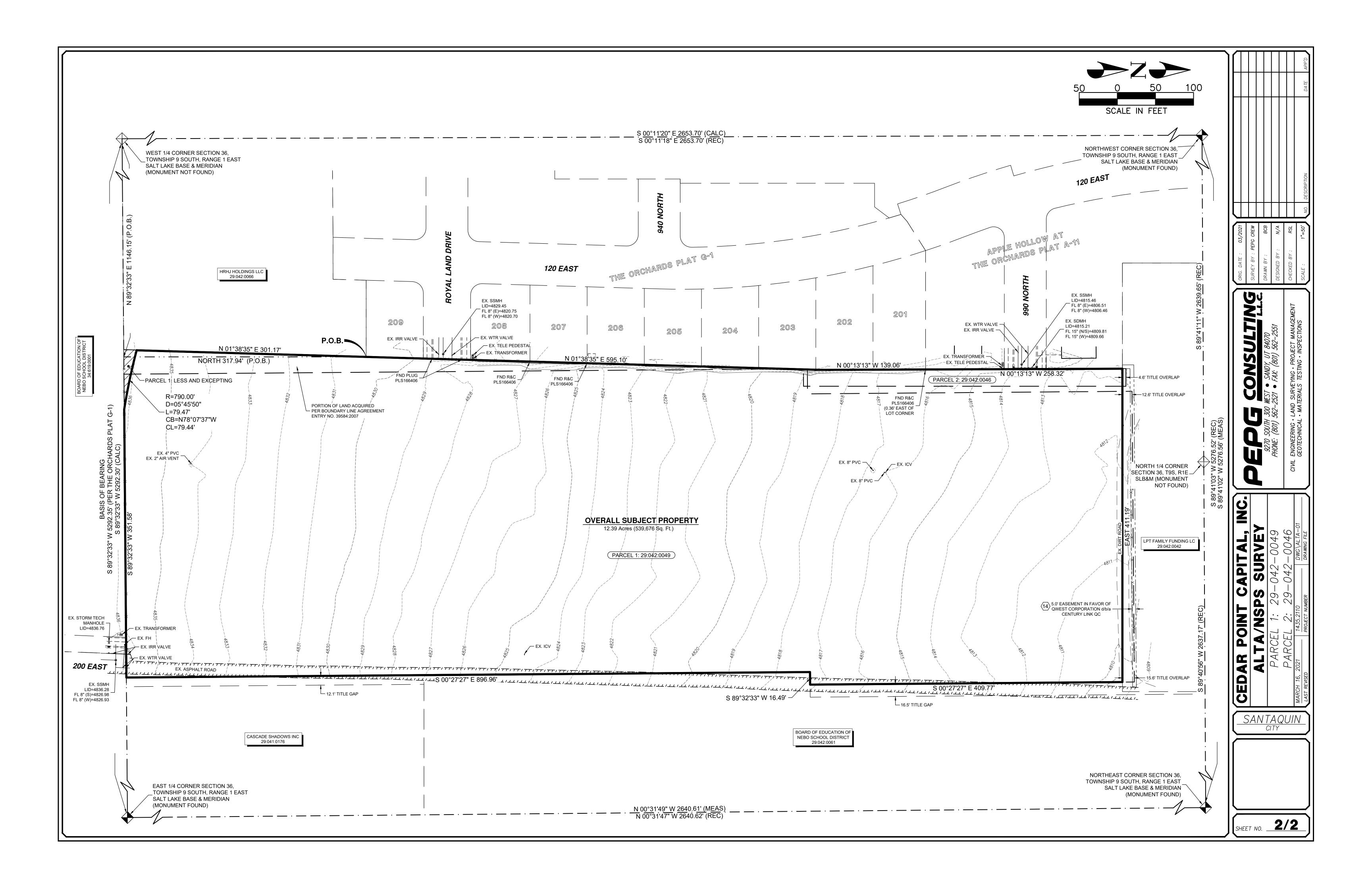
To: Cedar Point Capital, Inc., its successor and/or assigns as their respective interests may appear, Old Republic National Title Insurance Company, and Cottonwood Title Insurance Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on: March 9, 2021.



3-16-2021

SANTAQUIN



STRATTON ACRES SUBDIVISION PHASE 1

OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT

NOTES:

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNÈRS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- 2. ⊠ NDCBU NEIGHBORHOOD DELIVERY BOX UNIT. ALL FRONT AND SIDE YARD LANDSCAPING MUST BE BONDED OR INSTALLED PRIOR TO
- RECEIVING CERTIFICATE OF OCCUPANCY. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE
- SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION. THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND
- PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN. 2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION, ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN

POWER HAS UNDER: a. A RECORDED EASEMENT OR RIGHT-OF-WAY b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS c. TITLE 54, CHAPTER 8a, DAMAGE TO

Approved this _____ day of _____20___

APPROVED THIS _

d. ANY OTHER PROVISION OF LAW

ROCKY MOUNTAIN POWER

UNDERGROUND UTILITY FACILITIES OR

DOMINION ENERGY QUESTAR CORPORATION

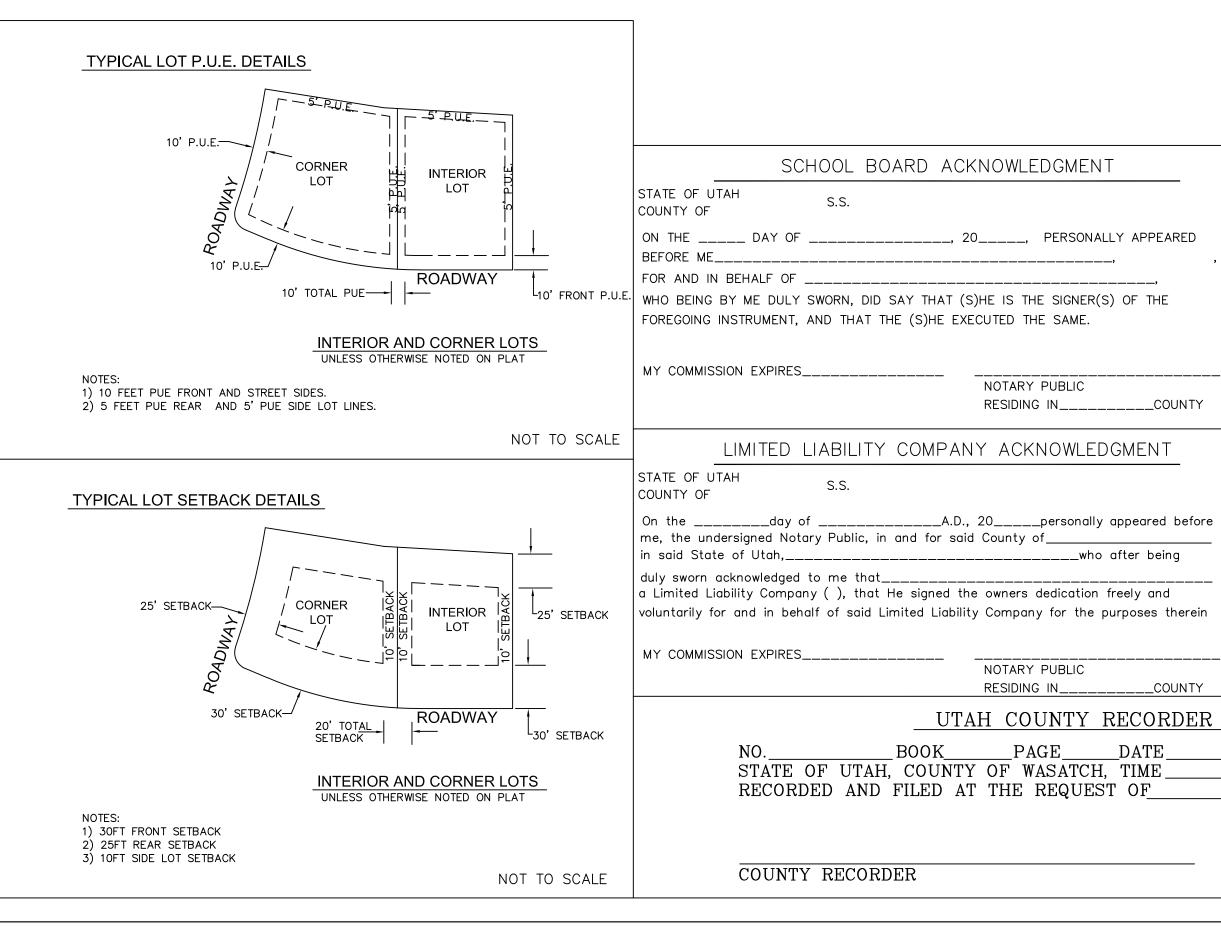
DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDE BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE, FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this _____ day of_____ 20____ QUESTAR GAS COMPANY

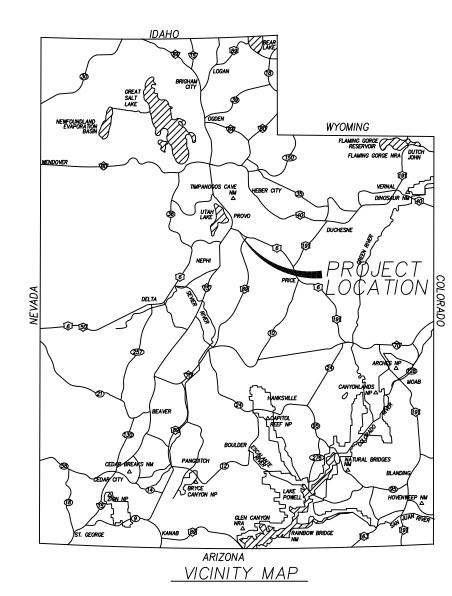
CENTRACOM ACCEPTANCE

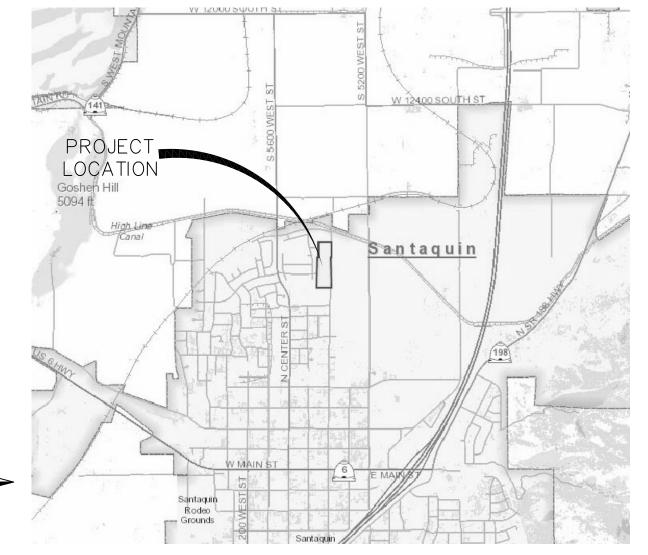
_____DAY OF ______, A.D. 20_____

BY-_____TITLE_____ CENTURY LINK ACCEPTANCE APPROVED THIS ______DAY OF _____, A.D. 20_____, CENTURY LINK COMPANY

BY-_____TITLE_____







VICINITY MAP

SURVEYOR LOGO HERE

PROJECT ENGINEER:

SCHOOL BOARD ACKNOWLEDGMENT

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

COUNTY RECORDER

NOTARY PUBLIC

NOTARY PUBLIC

RESIDING IN_____COUNTY

RESIDING IN_____COUNTY

SURVEYOR OF RECORD:



	LIMITED	LIABILITY	COMPANY	ACKNOWLEDGMENT
STATE OF U	TAH	S.S.		

paul@gatewayconsultingllc.com

RESIDING IN_

CITY CLERK SEAL

On the _____day of ______A.D., 20____personally appeared before me, the undersigned Notary Public, in and for said County of_____ in said State of Utah,_____who after being duly sworn acknowledged to me that______

voluntarily for and in behalf of said Limited Liability Company for the purposes therein MY COMMISSION EXPIRES_____ NOTARY PUBLIC

a Limited Liability Company (), that He signed the owners dedication freely and

COUNTY RECORDER SEAL UTAH COUNTY RECORDER _BOOK_____PAGE____DATE_ STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _ RECORDED AND FILED AT THE REQUEST OF

SURVEYOR'S CERTIFICATE

DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH PEPG CONSULTING, LLC AND THAT I HOLD LICENSE NO. 9679988 AS PRESCRIBED UNDER THE BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS ACRES SUBDIVISION PHASE 1, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls; thence North 01°38'35" E, 595.10 feet; thence North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 896.96 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 429.81 feet, thence North 01°38'35" East, 318.15 feet to the point of beginning.

Contains: 12.40 Acres

 DATE:
-

OWNER'S DEDICATION AND CONSENT TO RECORD KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS

OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____, A.D. 20_____

BOARD OF EDUCATION NEBO SCHOOL DISTRICT

LPT FAMILY FUNDING LC XXXXXXXX (MANAGER)

STRATTON ACRES LLC KAMERON SPENCER (MANAGER)

STRATTON ACRES SUBDIVISION
PHASE 1

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 31,

TOWNSHIP 1 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.

	ACCEPTANCE	BY	ADMINISTRATIVE	BODY
_				

COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS

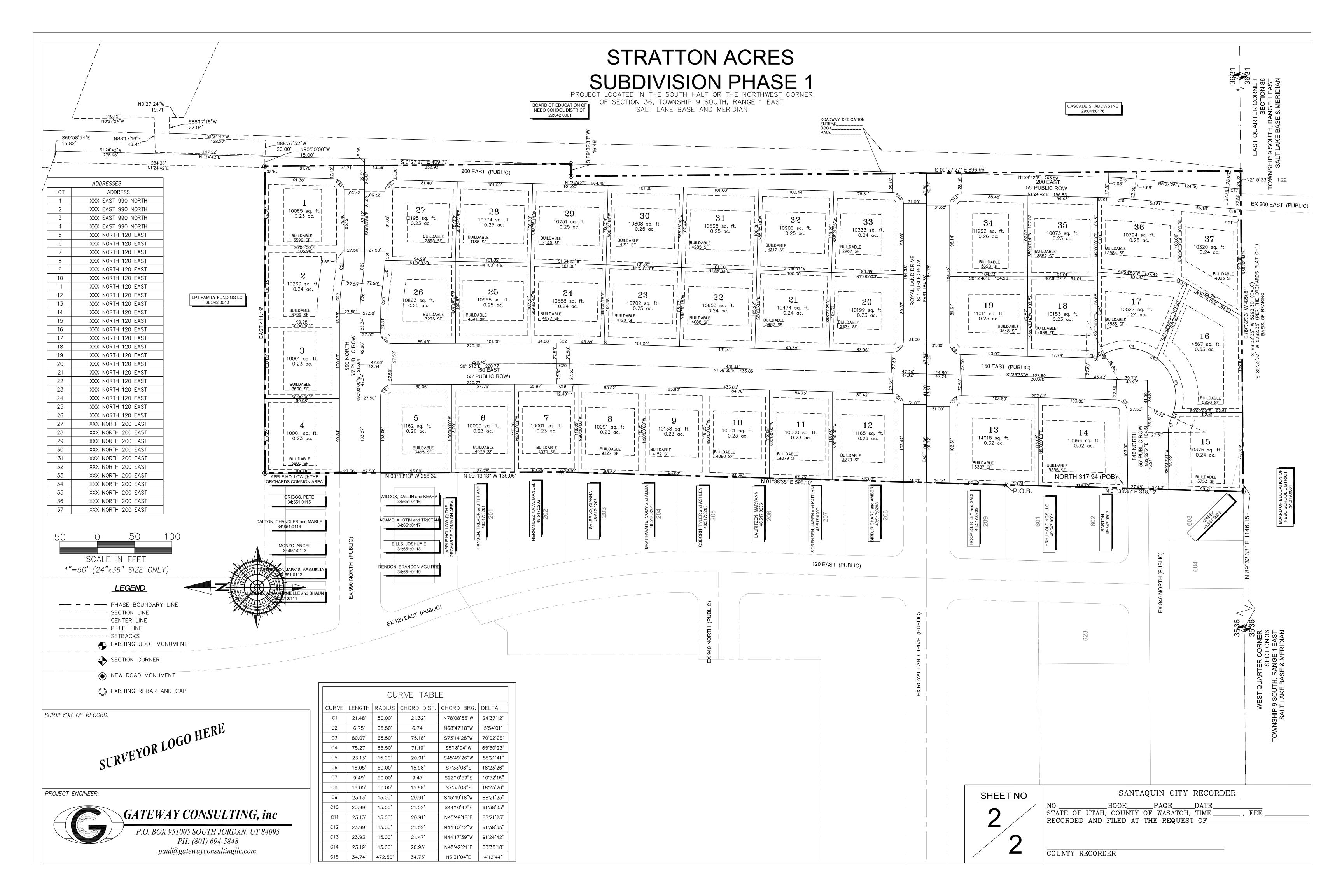
THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF

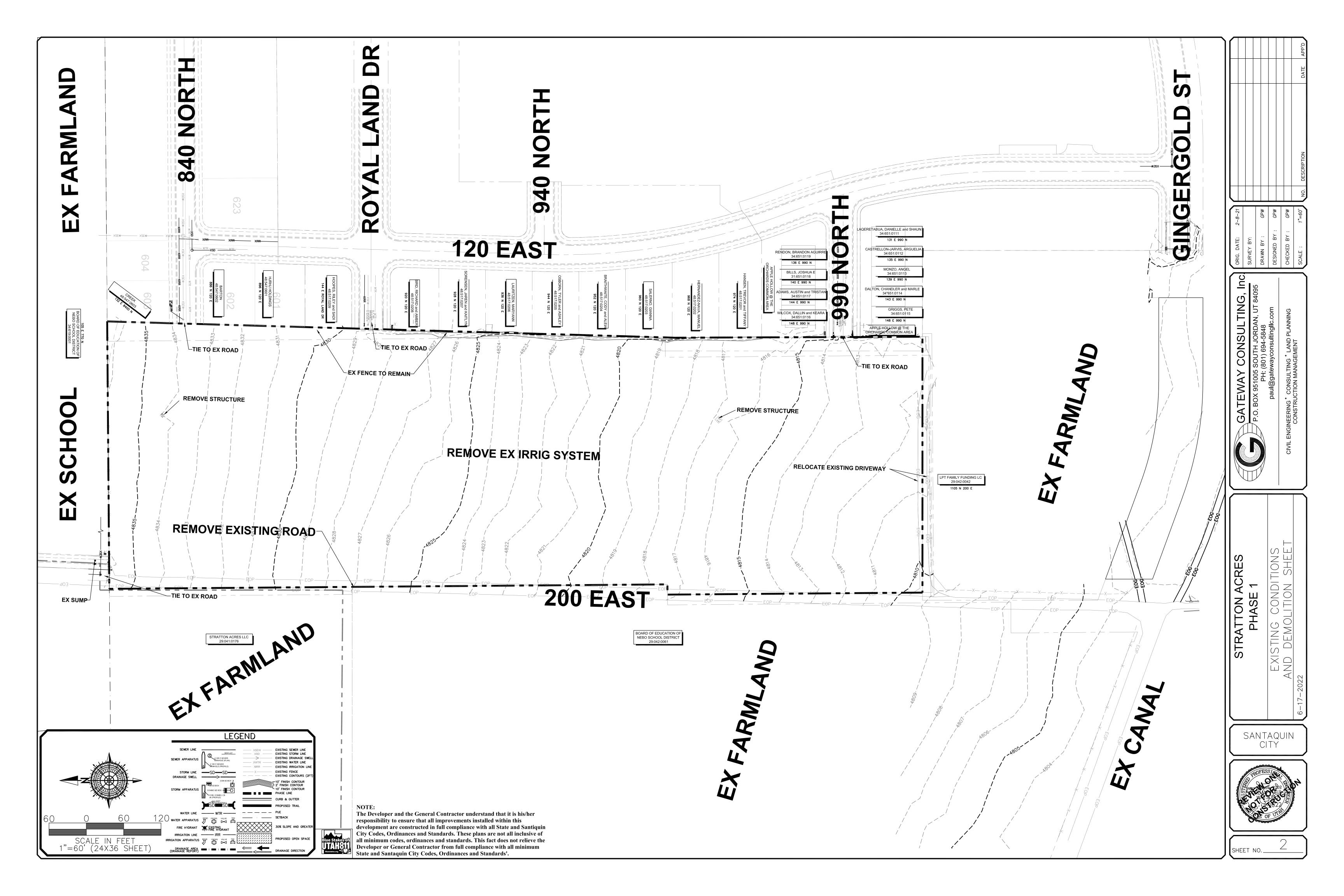
DAY OF	, A.D. 20	
AYOR		
ENGINEER	ATTEST	CLERK-RECORDER
	AYOR	ATTEST

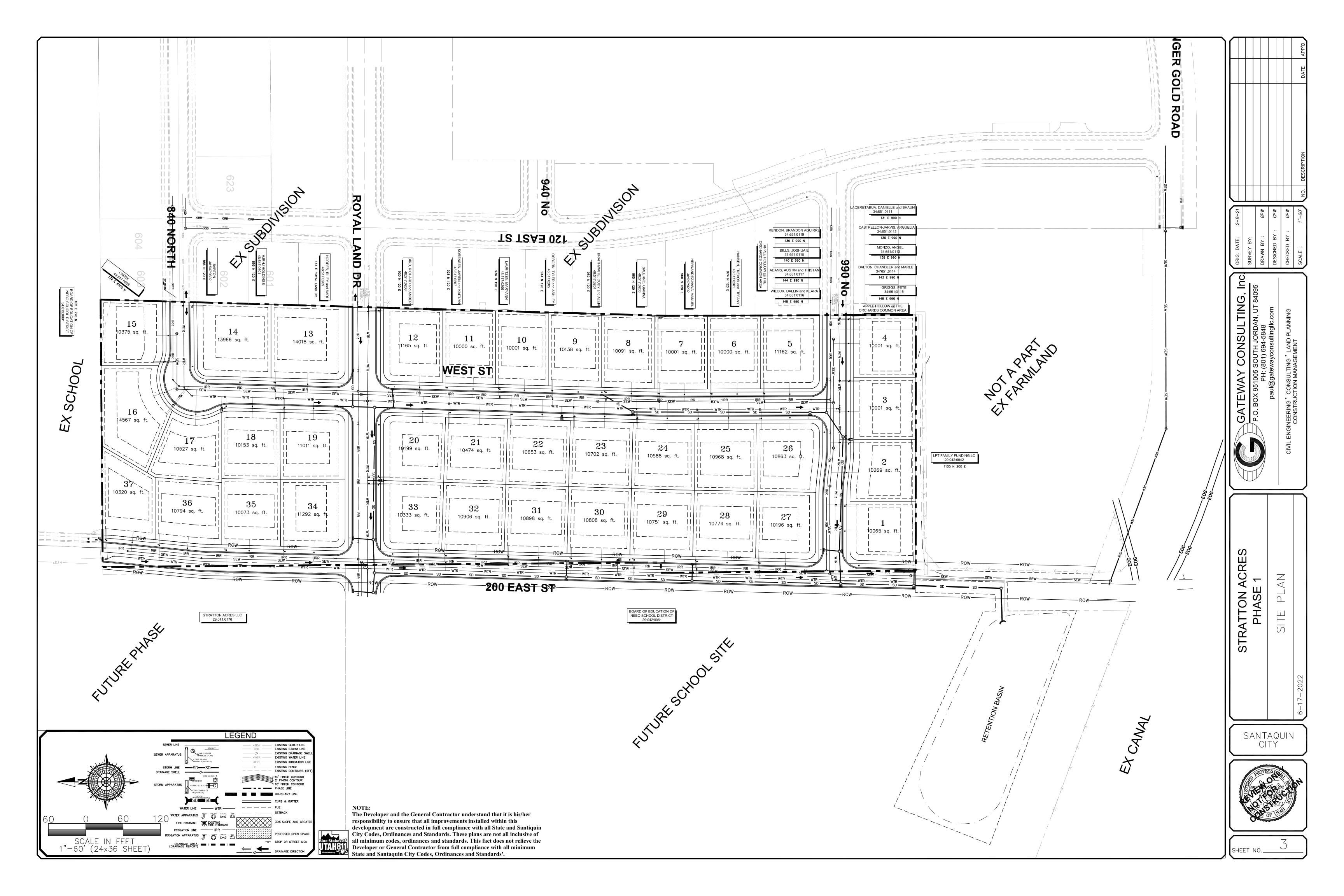
SURVEYORS SEAL CITY ENGINEER SEAL

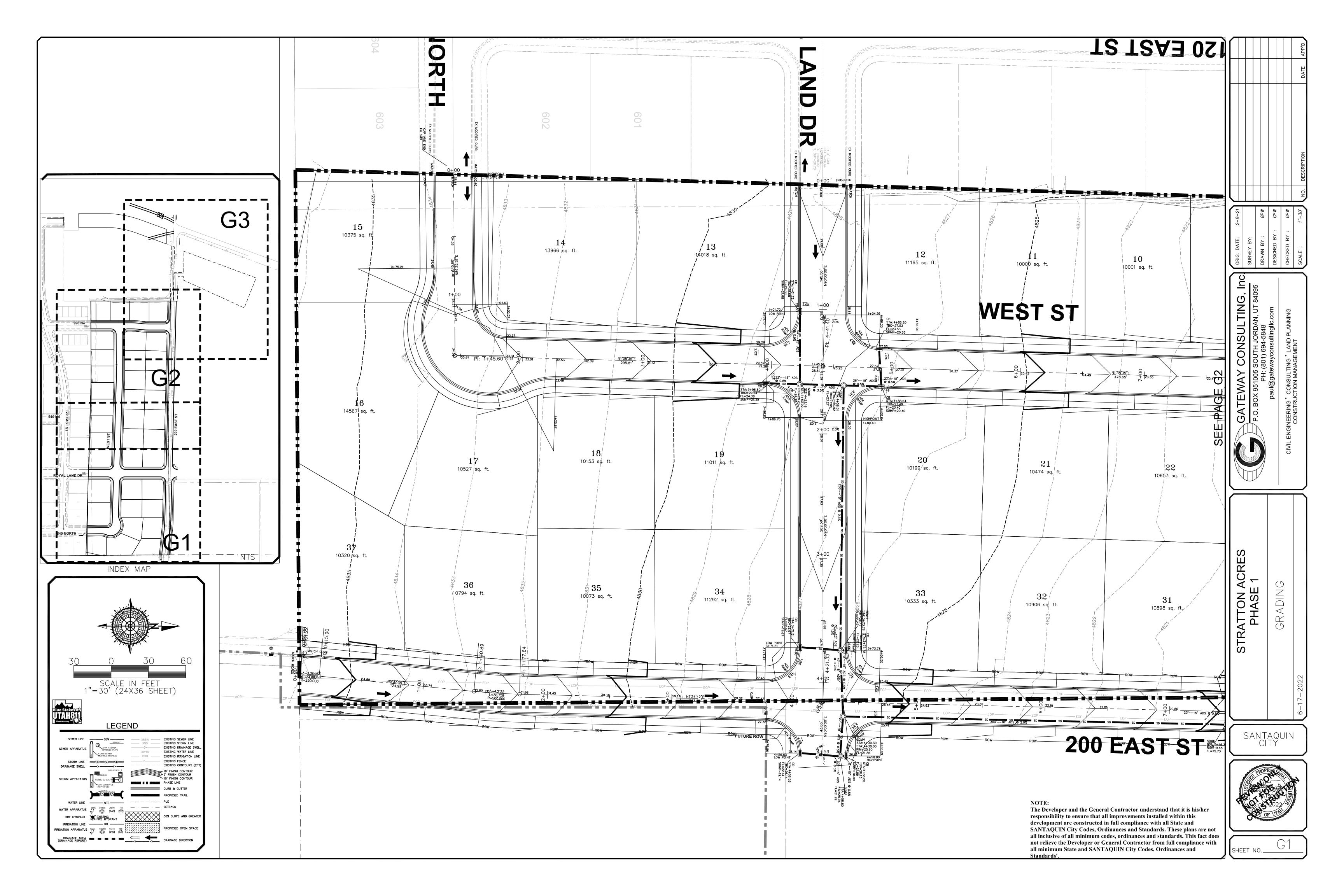
SHEET NO

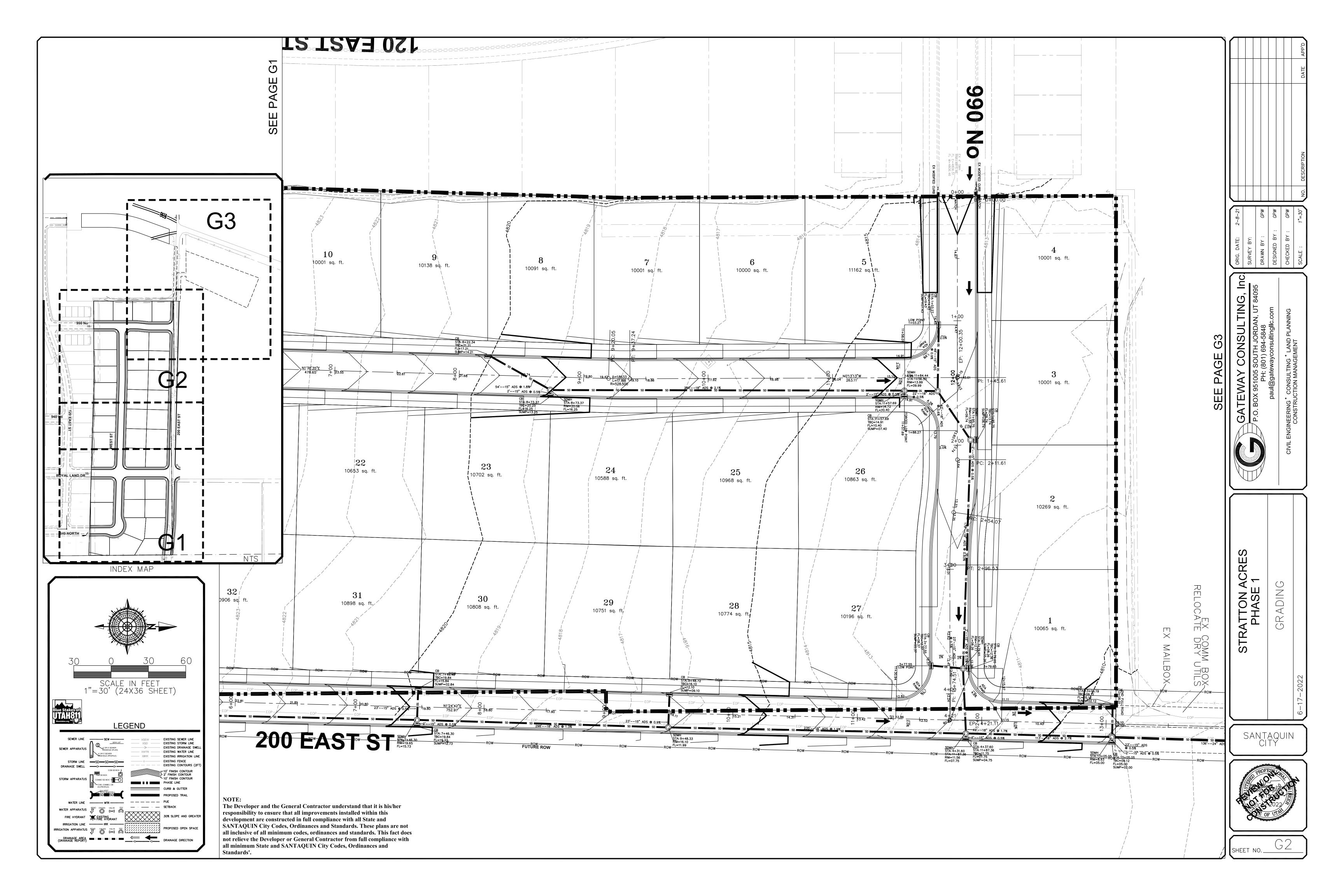
Date 6-17-2022 File: STRATTON ACRES

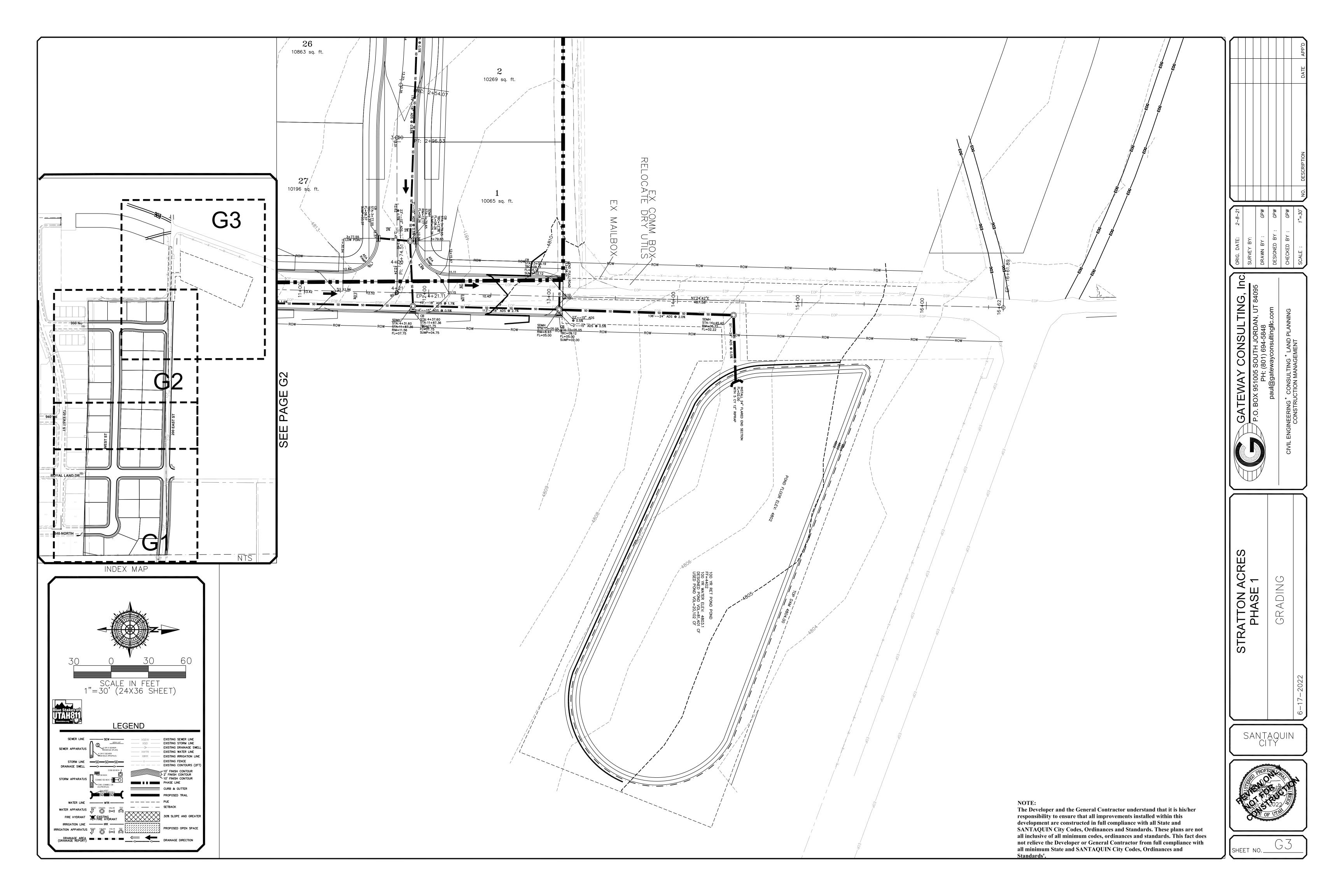


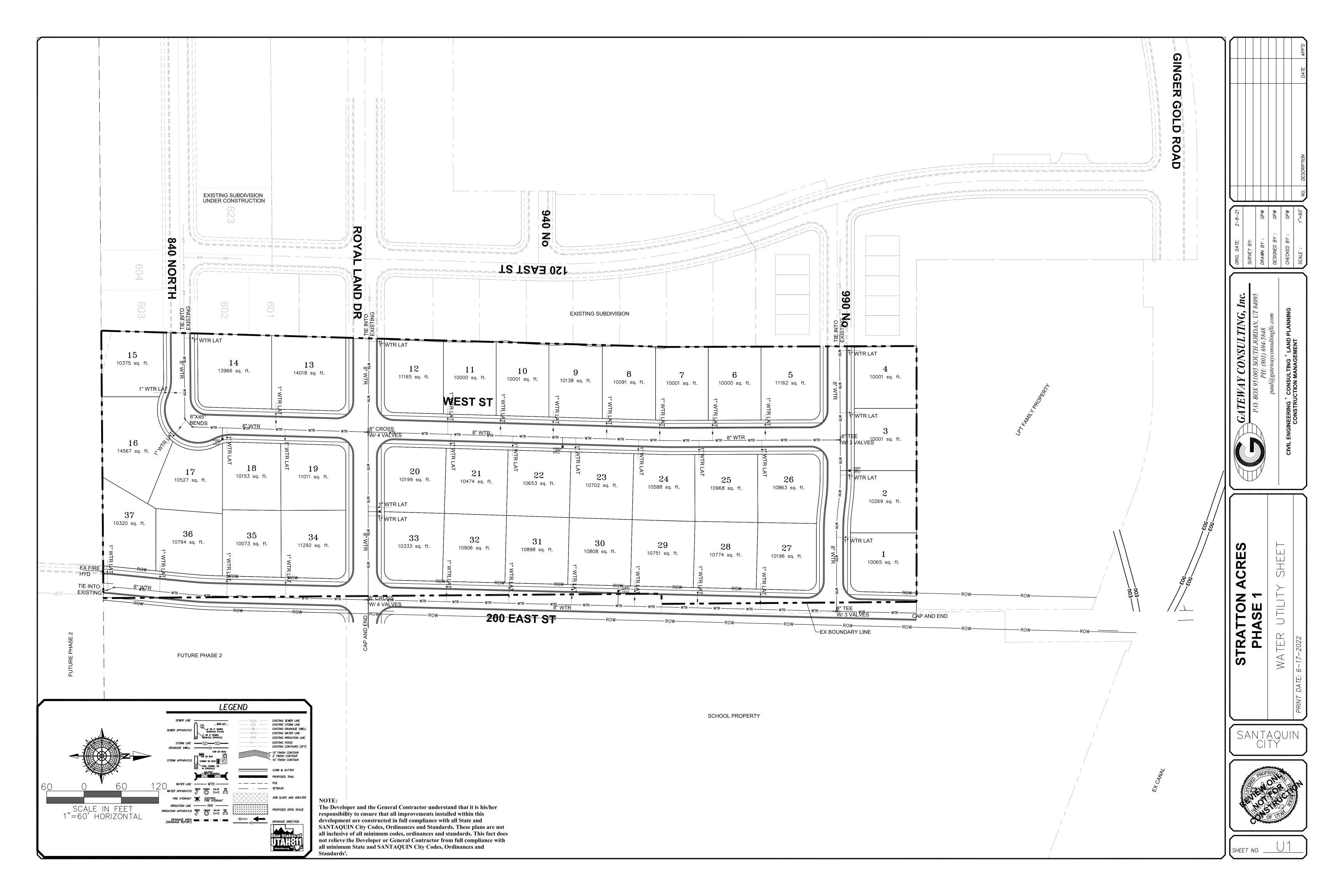


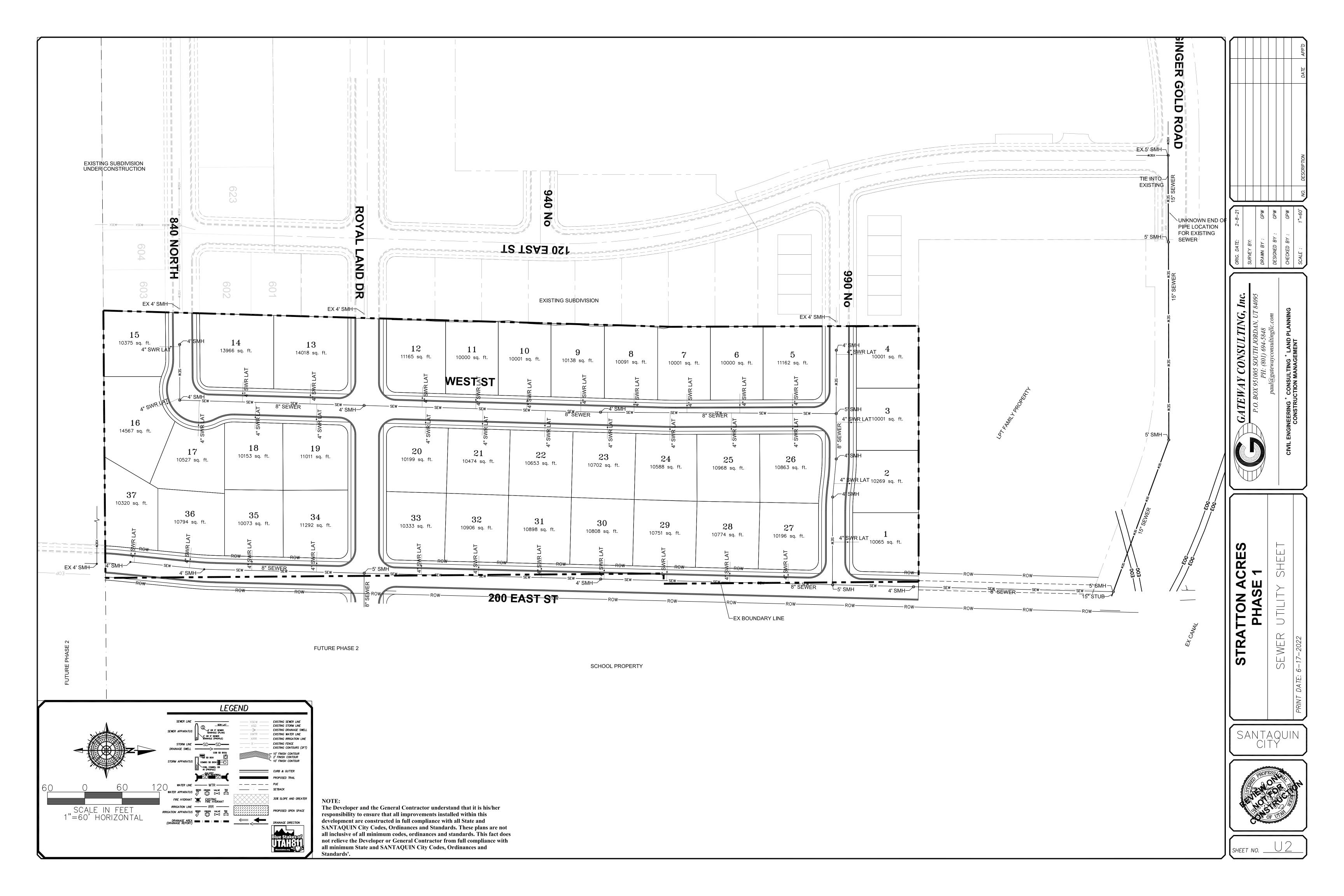


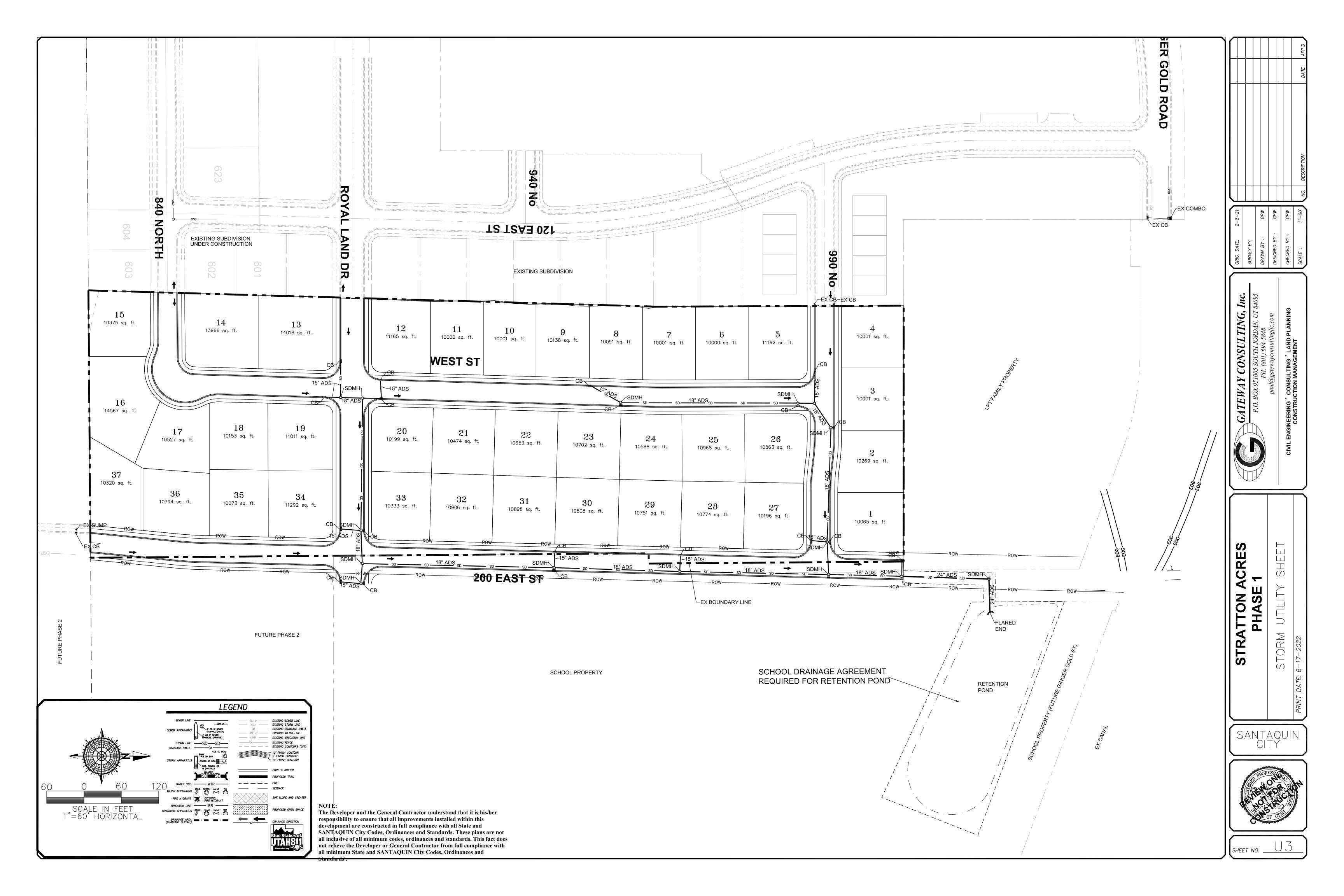


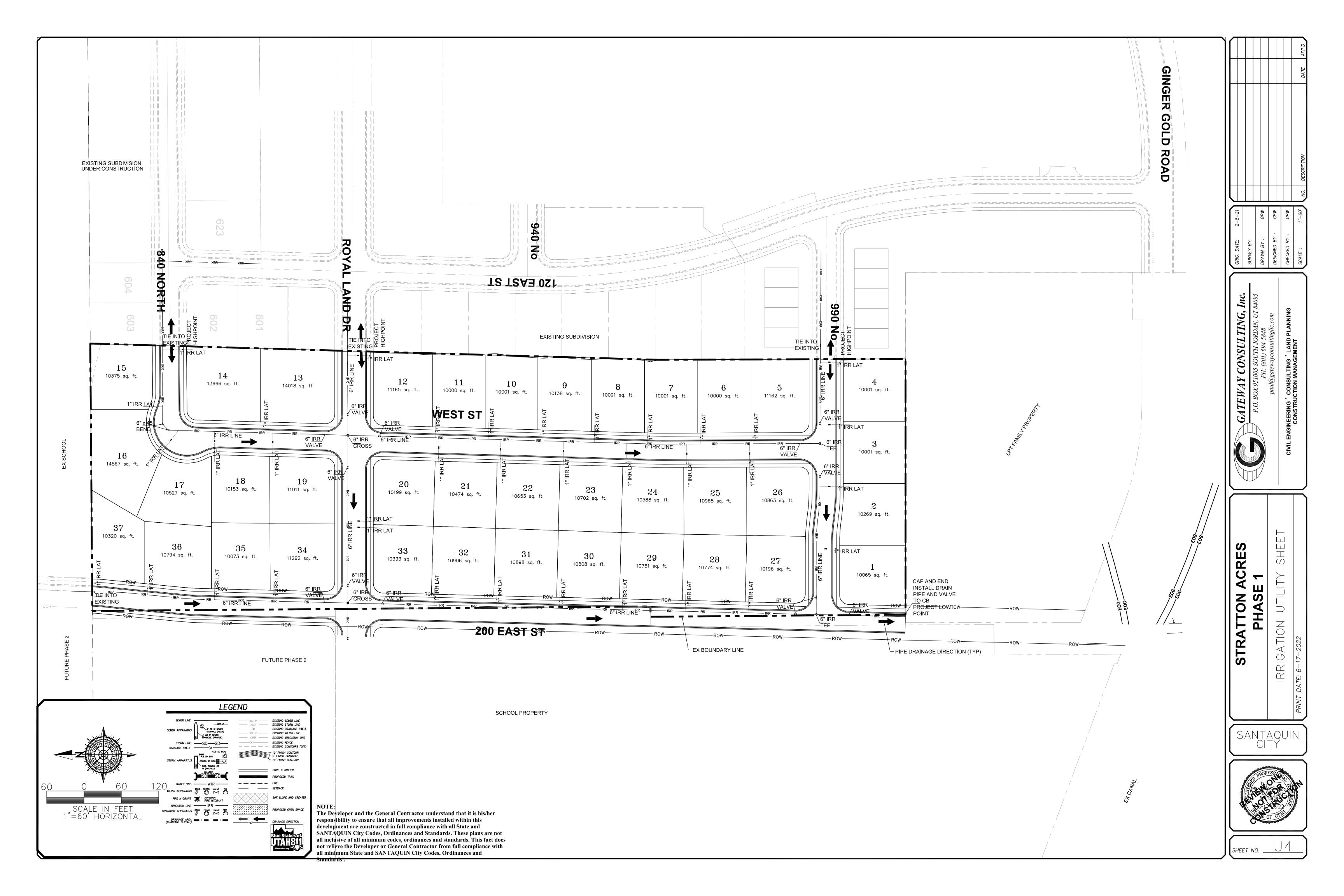


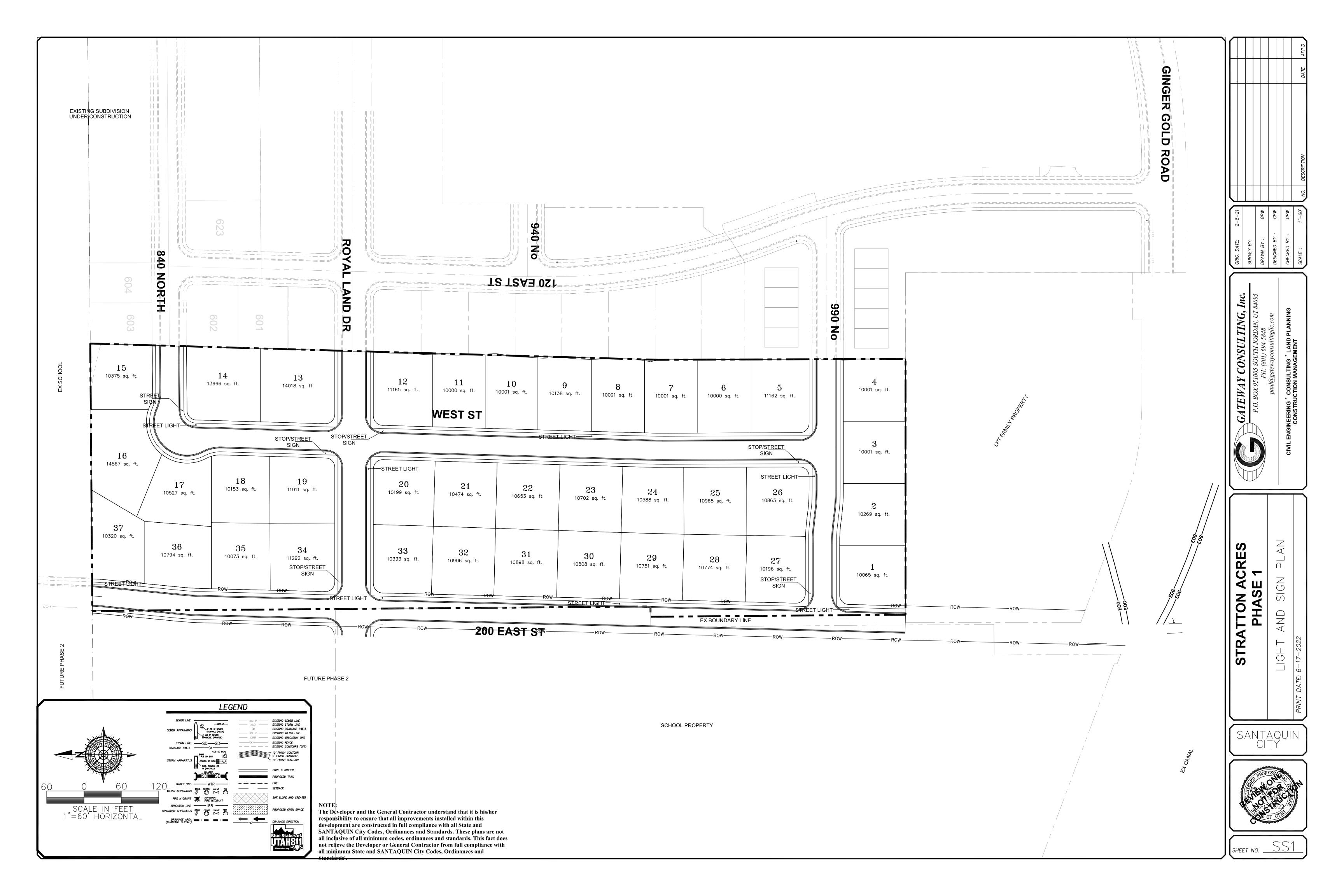


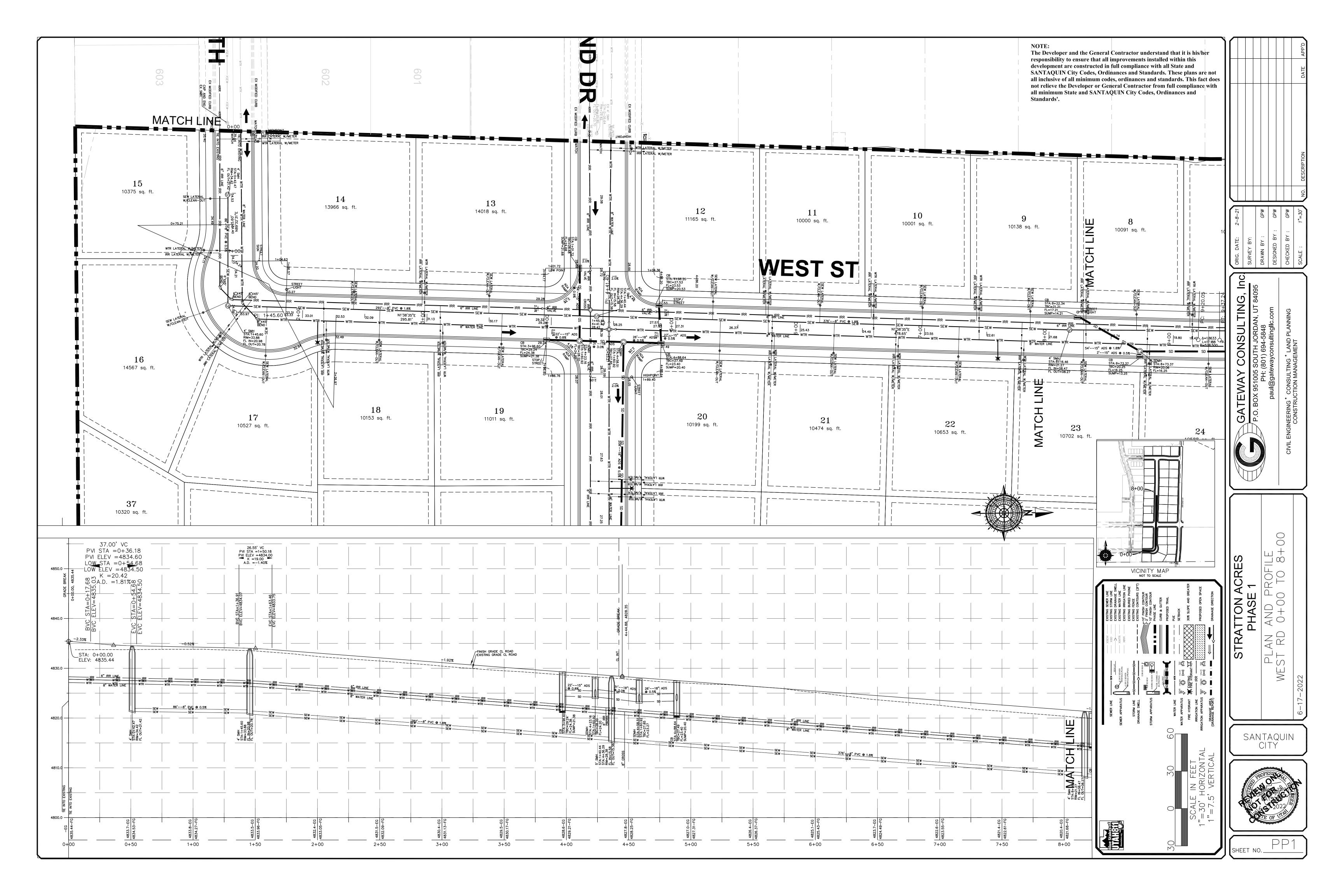


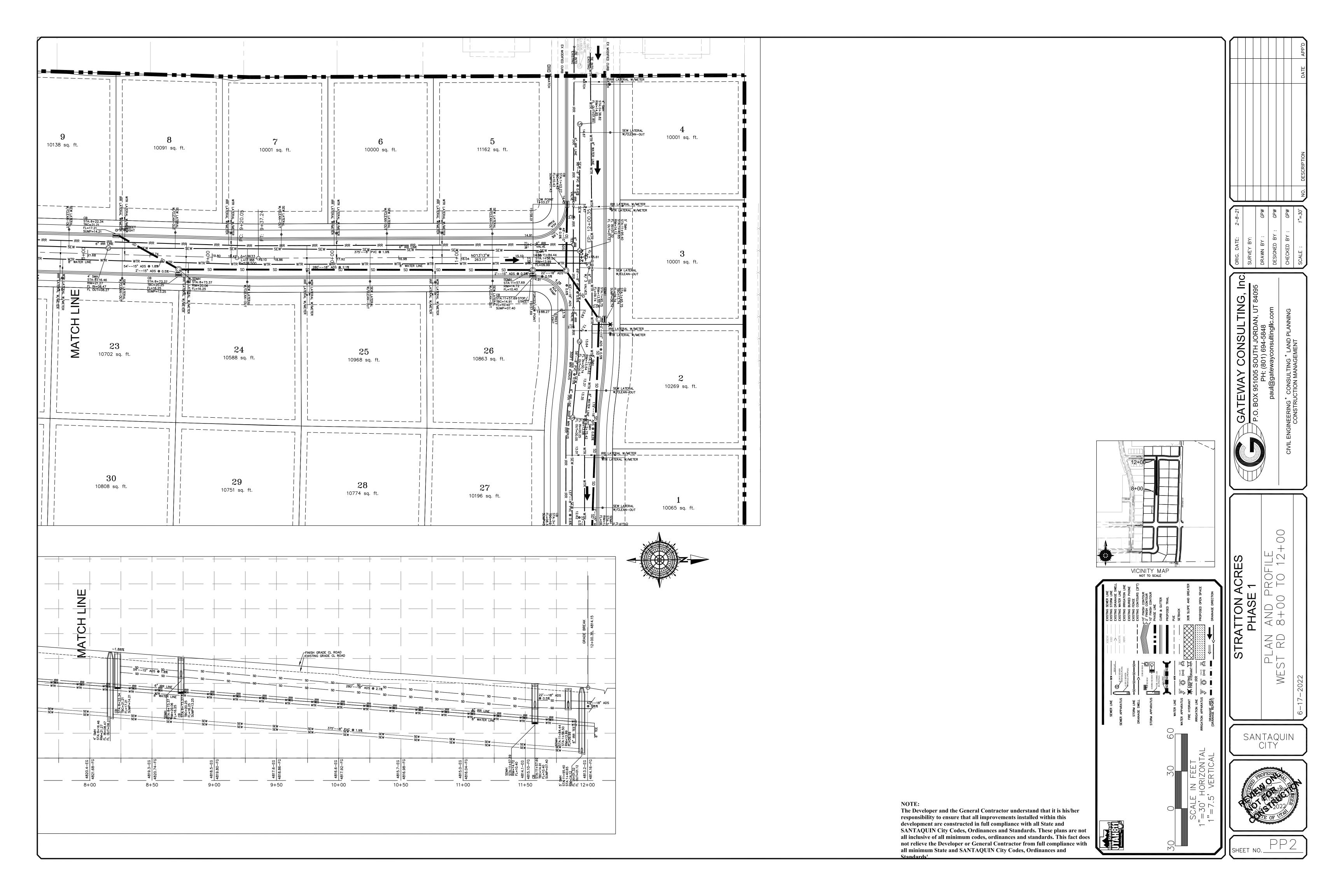


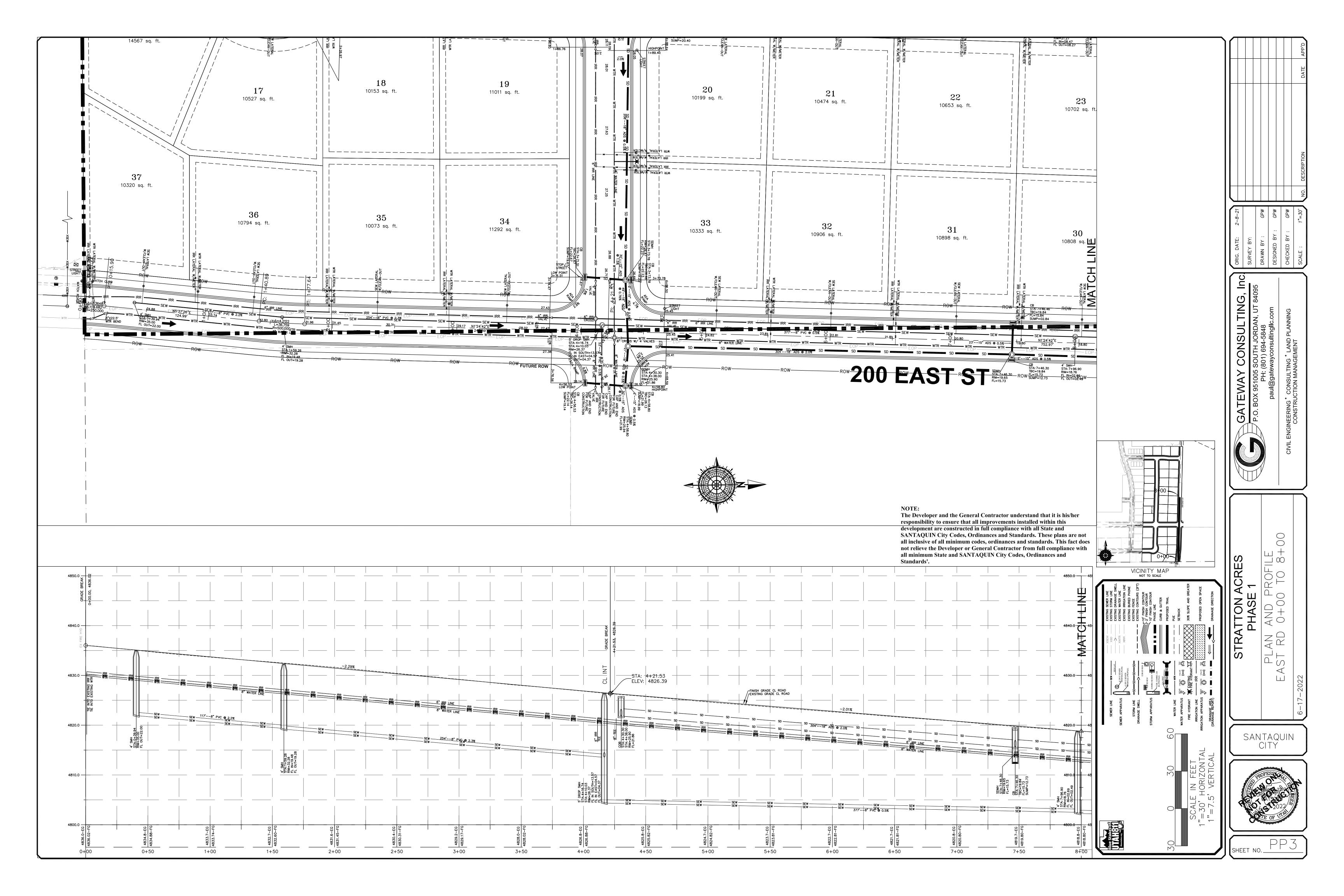


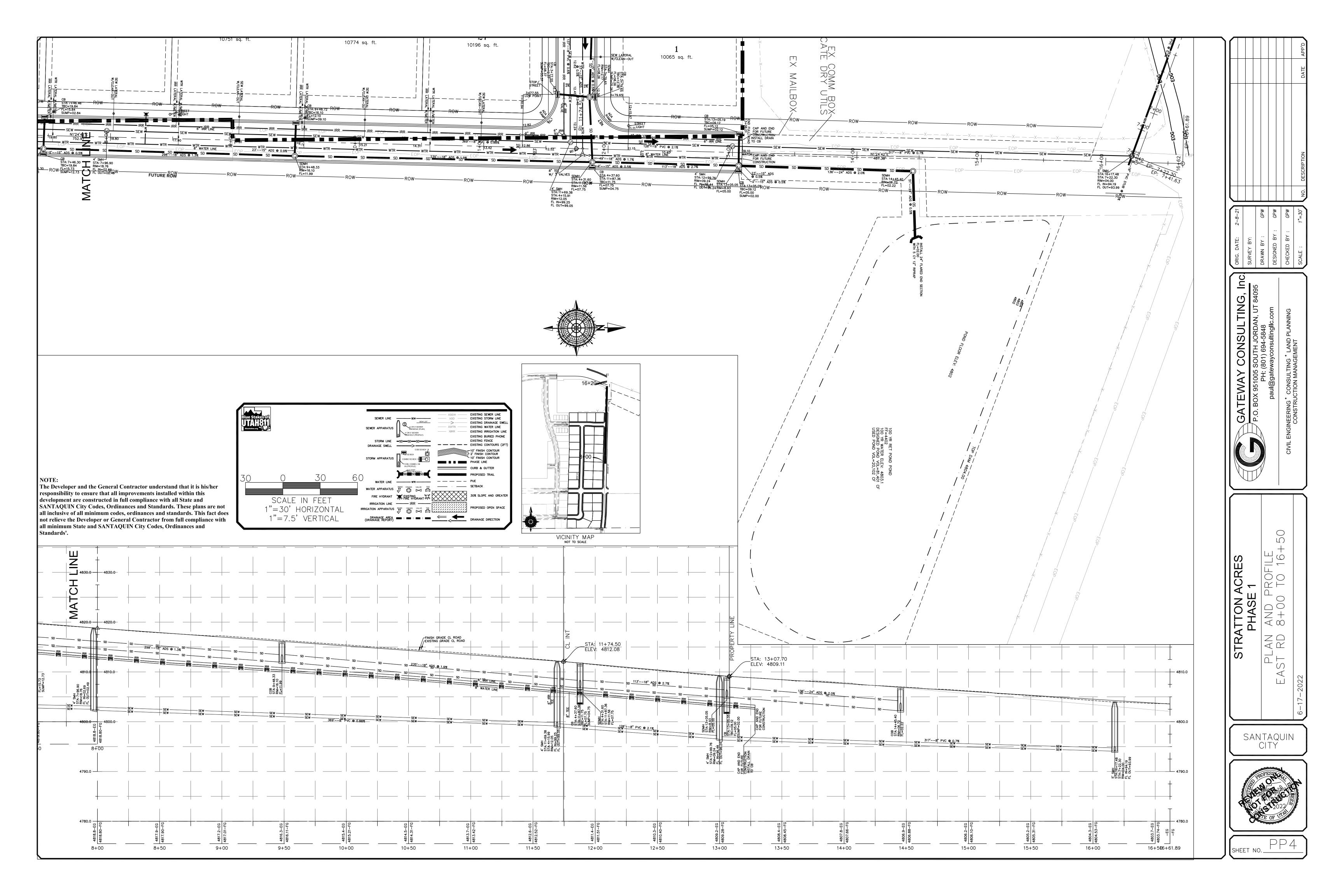


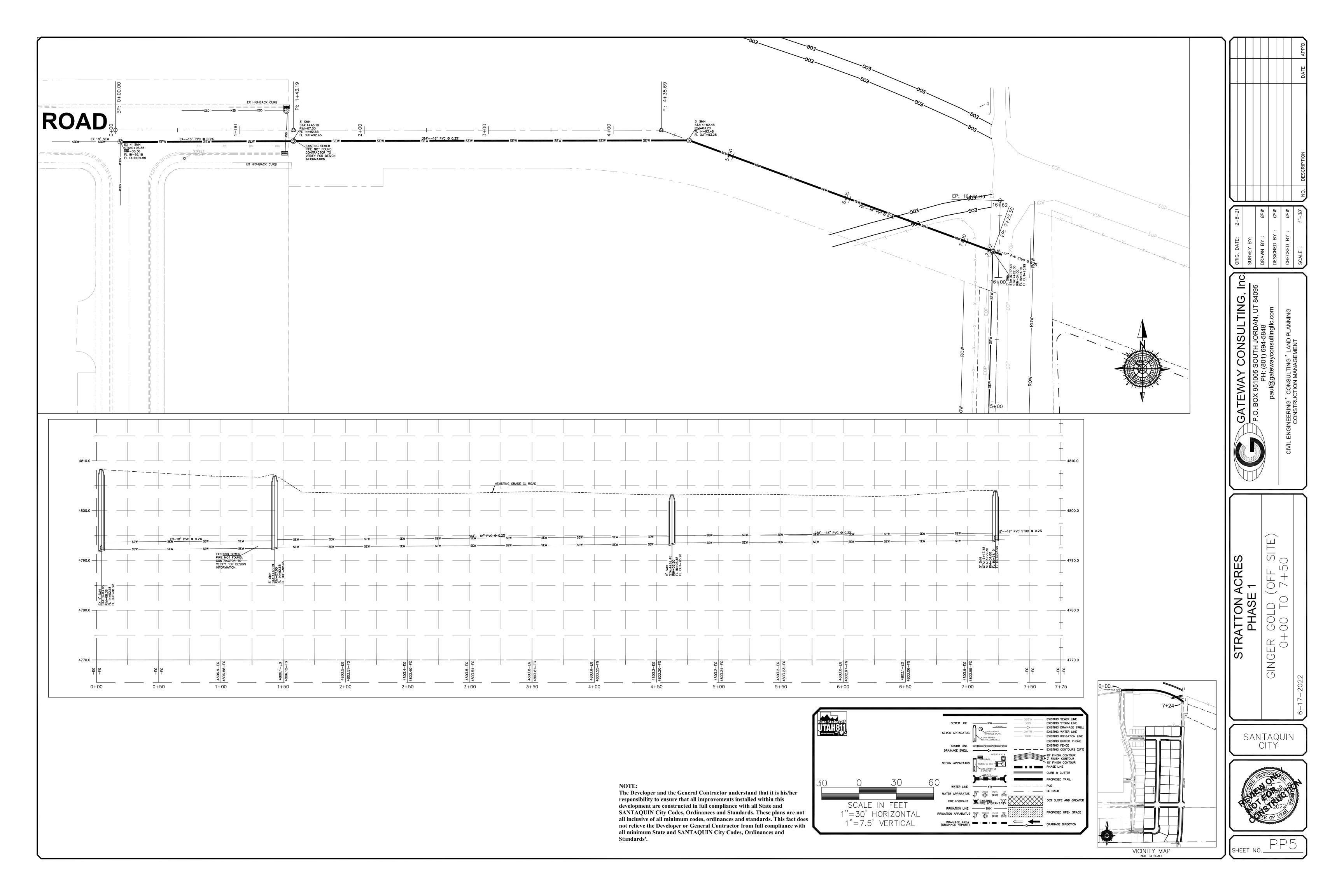


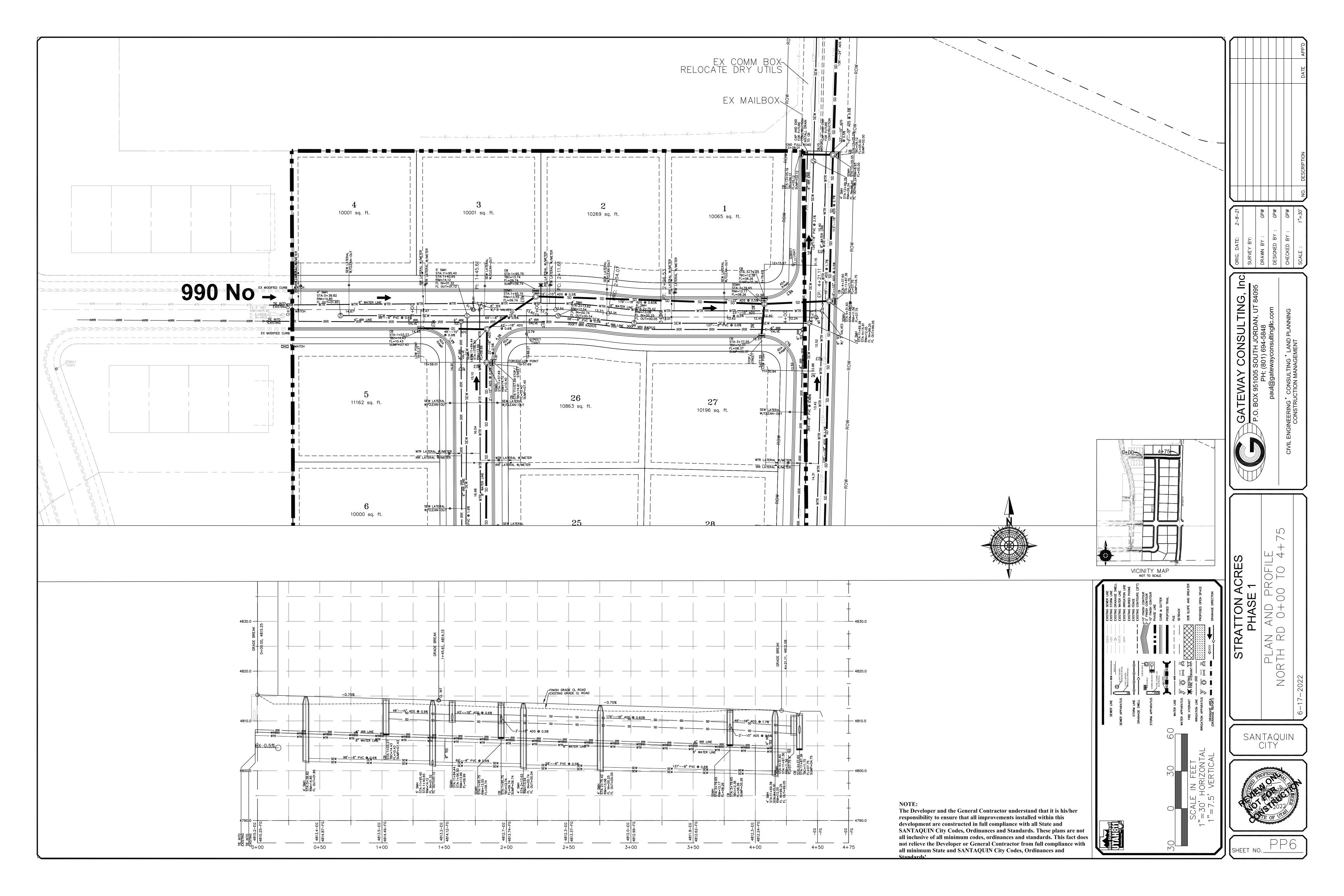


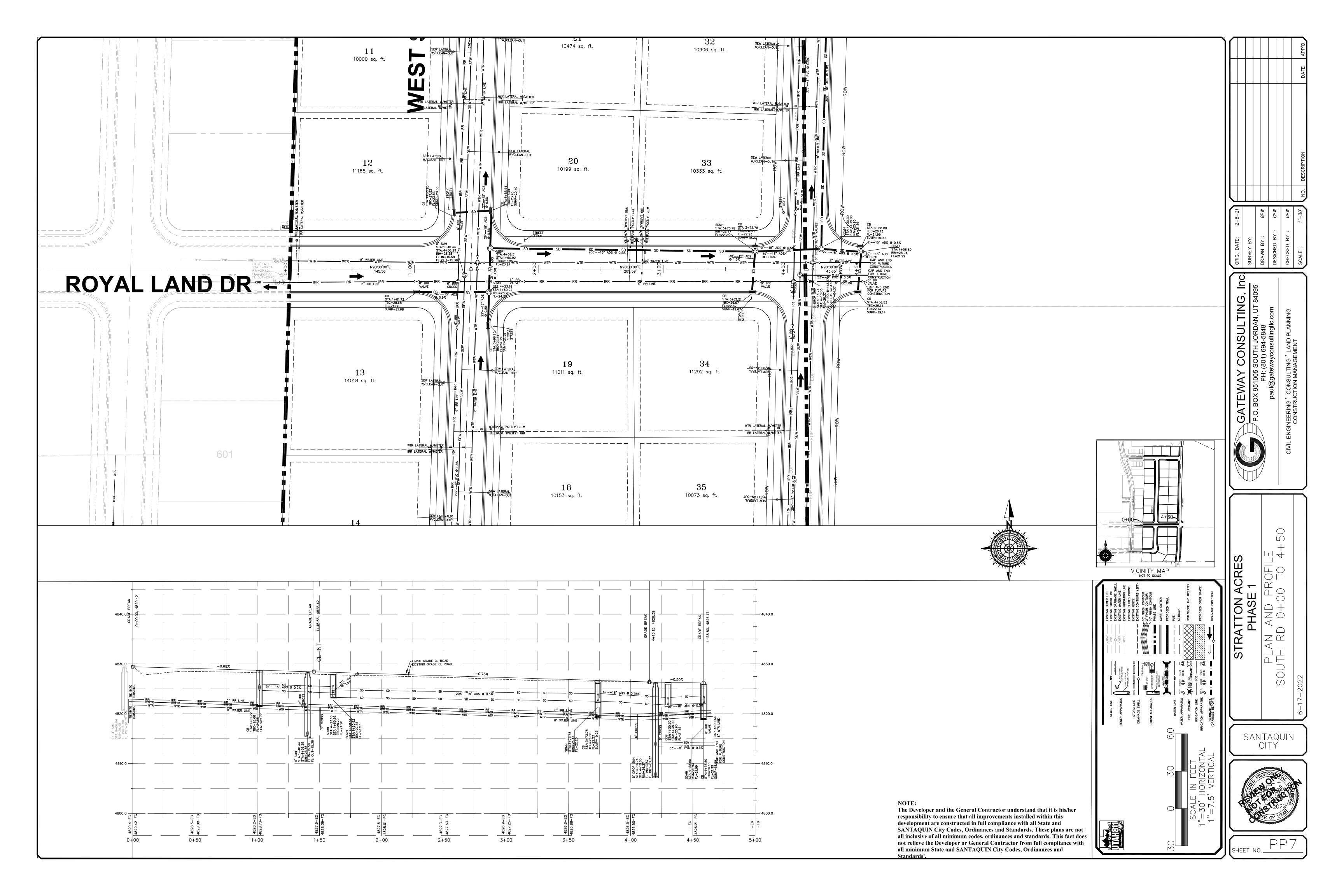


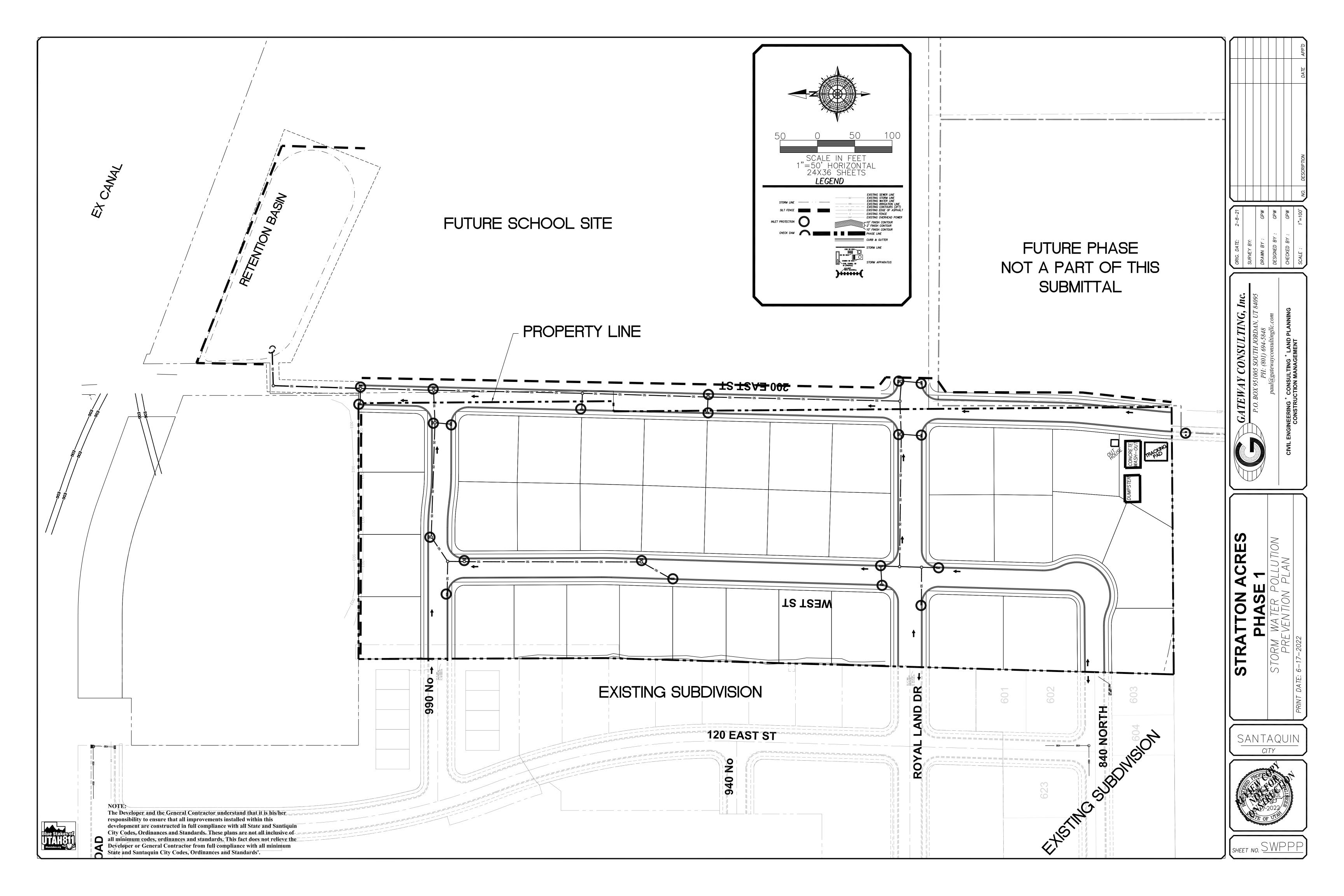












GENERAL EROSION CONTROL NOTES

DURING CONSTRUCTION

GENERAL EROSION CONTROL NOTES: 1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.

2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE SATAQUIN CITY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVISES UPON INSPECTION OF PROPOSED FACILITIES.

3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.

4. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.

5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX. AND PLANTING SPECIFICATIONS.

6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATIONS. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN N PLACE UNTIL PAVEMENT IS COMPLETE. 7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.

8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.

9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST, THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE. DEVELOPMENT OF THE PROJECT.

11. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

12. ALL MEASURES CONTAINED IN THIS PLAN MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY.

13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE. DOWNGRADE LINES MUST BE PROTECTED FROM WASH-WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.

ADDITIONAL EROSION CONTROL NOTES

POST CONSTRUCTION

1. THE CUT SLOPES ARE PROGRAMMED AS SHOWN. TOPS OF 3:1 & 2:1 CUTS THAT OCCUR IN TOP SOIL WILL BE ROUNDED TO BLEND INTO NATURAL TERRAIN.

2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR.

3. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AND WITHIN FIELD DESIGNATED STORAGE, STAGING ACCESS. CONSTRUCTION AND MATERIAL WASTE AREAS AS APPROVED BY THE CITY ENGINEER.

4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.

5. ORGANIC MATERIALS WILL BE SEPARATED. REMOVED FROM THE ROAD BEDS AND STOCKPILED IN LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND COUNTY INSPECTOR. NO ORGANIC MATERIAL WILL BE PLACED IN THE STRUCTURAL FILLS AREA.

6. AFTER CLEARING AND GRUBBING OPERATIONS, TOPSOIL IS TO BE STOCKPILED IN AREAS TO BE DETERMINED IN FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR. NO ORGANIC MATERIAL OR ROCK LARGER THAN 24" WILL BE PLACED IN ROADWAY FILLS. 12" MINUS IN TOP 1' OF ROADWAY.

7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.

8. ALL FILL SLOPES WILL BE GRADED AS SHOWN OR AS DETERMINED BY A GEOTECHNICAL ENGINEER. COMPACTION OF EMBANKMENT FILLS WILL BE CONSTRUCTED TO SATAQUIN CITY ROADWAY STANDARDS. FILL AREAS SHALL BE CLEARED, GRUBBED, STRIPPED OF SOIL AND SCARIFIED PRIOR TO PLACEMENT OF SUITABLE EMBANKMENT MATERIAL.

9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 50 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)

> NATIVE GRASSES % Pure Grass Type Hard fescue Pubescent wheat grass 15.00 Orchard grass (sod forming) 15.00 smooth brom grass 20.00 Stream bank wheat grass (sod forming) 15.00 Western wheat grass

TOPSOIL SHALL BE PLACED TO A DEPTH OF 6" ON ALL CUT AND FILL SLOPES 3:1 OR FLATTER. REVEGETATION AREAS WILL BE SEEDED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION COMPLETION.

10. SILT FENCING WILL BE HELD IN PLACE WITH 2 X 2 STAKES AND WILL BE PLACED ON THE DOWNHILL SIDES OF ALL DISTURBED AREAS AND AREAS USED FOR STOCKPILING AND TRENCHED INTO GROUND.

11. THE SILT FENCING SHALL BE INSTALLED BEFORE CLEARING AND GRUBBING AT THE TOE OF THE DISTURBED DOWNHILL SLOPE. NO GRUBBED AREA SHALL BE WITHOUT SILT FENCE PROTECTION FOR LONGER THAN 24 HOURS. THE SILT FENCE SHALL BE MONITORED AND REPLACED IF NECESSARY.

12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.

13. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE AND VEGETATION REMOVAL WILL BE MINIMIZED.

14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.

15. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF THE PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED WITH FIELD LOCATION OF ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. SHOULD THE CONTRACTOR EXPERIENCE A FAILURE BY THE UTILITY COMPANIES TO COMPLY WITH THEIR RESPONSIBILITY OF RELOCATING OR ADJUSTING THEIR FACILITIES, IF ANY, THE OWNER MUST BE NOTIFIED IN WRITING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:

- UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING

UNIFORM FIRE CODE

17. FINISH GRADES ARE AT ROADWAY CENTERLINE, UNLESS OTHERWISE SPECIFICALLY NOTED.

18. NATIVE MATERIAL CAN BE CRUSHED AND PROCESSED ON SITE FOR

19. TEMP. DEBRIS PILES WILL BE LOCATED EVERY 200' AS NEEDED.

20. ALL ROADWAYS, TRENCHES, DETENTION PONDS AND/OR EXCAVATIONS OF ANY KIND REQUIRING FILL MATERIAL WILL BE INSPECTED AND APPROVED BY THE OWNERS QUALITY CONTROL FIRM PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL.

21. ALL FILL OR BACK FILL, WHETHER IMPORT OR NATIVE SOILS, WILL BE TESTED FOR DENSITY, MOISTURE AND BEARING AT REGULAR INTERVALS THROUGH THE COURSE OF THE FILL PLACEMENT. ALL FILLS WILL BE PLACED IN LIFTS AS PER THE PLANS AND SATAQUIN CITY SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE THE GEOTECH 24 HOURS IN ADVANCE OF SCHEDULED FILL PLACEMENT.

22. IN THE EVENT OF DISCREPANCIES BETWEEN BID DOCUMENTS AND EXISTING ONSITE CONDITIONS, CONTRACTOR WILL 1) IMMEDIATELY HALT WORK ACTIVITY AND NOTIFY DESIGN ENGINEER OF ANY SUCH DISCREPANCIES 2) UPON RESOLUTION OF DISCREPANCIES, CONTRACTOR WILL SUBMIT COST OF CHANGED CONDITION, IF ANY. 3) PROCEED WITH WORK AFTER RECEIPT OF WRITTEN NOTICE TO COMMENCE WORK.

23. CONTRACTOR WILL, PRIOR TO INSTALLATION PREPARE AND SUBMIT PRODUCT DATA AND DETAILS FOR MATERIAL USED IN CONJUNCTION WITH THIS PRODUCT IE. OVERFLOW STRUCTURES, DRAINAGE PIPE, FILTER FABRICS, EROSION BLANKETS, GROUT, GUARDRAILS, ROAD SIGNS, ETC.

24. CUT AND FILL SLOPES MATTING TO BE SEEDED AND TOPSOILED PRIOR TO PLACEMENT OF EROSION BLANKETS.

EROSION CONTROL BLANKET - ALL REQUIRED GRADING AND SEEDING IN AREAS TO RECEIVE EROSION CONTROL BLANKET SHOULD BE COMPLETED AND APPROVED BEFORE PLACING THE PRODUCT. APPLY THE BLANKET WITHIN 24 HOURS AFTER SEEDING OR BEFORE PRECIPITATION FALLS. IF THE BLANKET IS NOT INSTALLED AND A PRECIPITATION EVENT OCCURS, CREATING SOIL EROSION, REPLACE ERODED MATERIAL, REWORK THE SOIL, AND RESEED BEFORE INSTALLING THE BLANKET. INSTALL THE EROSION CONTROL BLANKET OR CHANNEL LINER STRICTLY FOLLOWING MANUFACTURER'S SPECIFICATIONS. ALLOW THE BLANKET OR LINER TO LAY LOOSELY ON THE SOIL TO ACHIEVE MAXIMUM SOIL CONTACT. REMOVE ROOTS, BRANCHES, OR OTHER LOOSE OBJECTS THAT CAUSE THE BLANKET OR CHANNEL LINER TO "TENT". PLACE ROOTS AND BRANCHES ON AREAS ALREADY BLANKETED. DO NOT STRETCH THE BLANKET DURING INSTALLATION. STAPLE THE BLANKET OR LINER USING MANUFACTURER'S SPECIFICATIONS. STAPLE REQUIREMENTS VARY ACCORDING TO THE STEEPNESS AND LENGTH OF THE SLOPE. PLACE ADDITIONAL STAPLES IN AREAS SUCH AS: SWALES, BASE OF HUMPS, AGAINST ROCK OUTCROPS AND AS REQUIRED TO ACHIEVE MAXIMUM CONTACT BETWEEN THE BLANKET AND THE SOIL.

TOPSOIL - PLACE TOPSOIL JUST BEFORE SEEDING TO ELIMINATE COMPETITION FROM WEEDS, COORDINATE TOPSOIL PLACEMENT WITH THE

SEEDING WINDOW - COMPLETE ALL GENERAL DISTURBED AREA SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW. IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW, POSTPONE SEEDING UNTIL THE FOLLOWING YEAR. UNDER CERTAIN CONDITIONS, AN EXCEPTION TO THIS WINDOW MAY BE OBTAINED THROUGH THE REGION LANDSCAPE ARCHITECT. THE ENGINEER APPROVES EXCEPTIONS.

ELEVATION SEEDING WINDOW 4000 TO 6000 FT SEPT. 15 TO DEC.

ROAD BASE MATERIAL.

25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

SEEDING WINDOW.

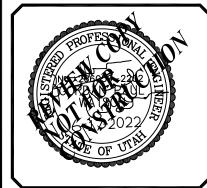
SEPT. 1 TO NOV 15 ABOVE 6000 FT

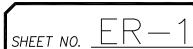


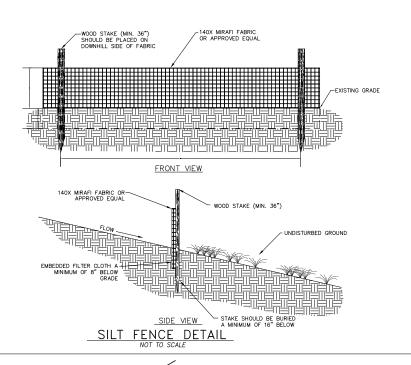


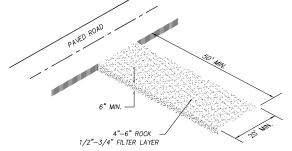
CRE Z W 0 4 1

SATAQUIN CITY









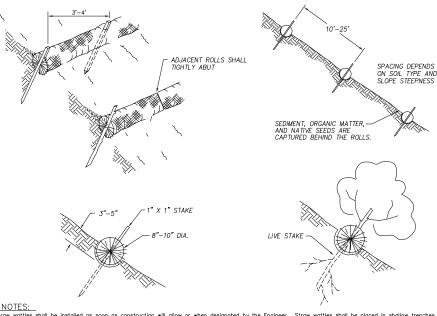
NOTES:

1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%

2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)

3-PLAGE COURSE AGGREGATE, 170 2-3 INCHES SIZE TO A MINIMUM DEPTH OF 8 INCHES 4-DAILY INSPECTIONS ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

VEHICLE TRACKING DETAIL NOT TO SCALE



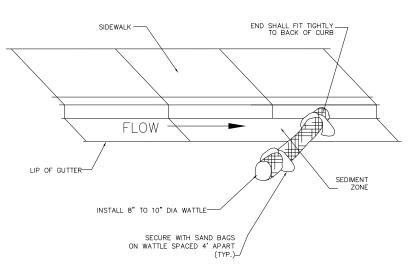
STRAW WATTLE (SILT FENCE ALTERNATIVE)

NOTE: TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF. SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

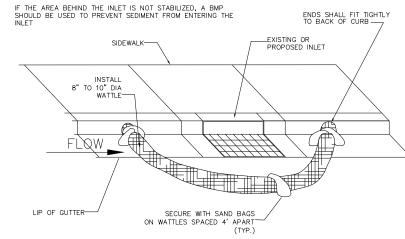
INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THI TRAVELED WAY IMMEDIATELY.

PLASTIC SHEETING



NOTE: INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

GUTTER PROTECTION SETUP



INLET PROTECTION BARRIERS

2FT ROAD BAS CHECK DAM STORM DRAIN STORM DRAIN

See SATAQUIN CITY specifications for further information.

NOTE:

1. PLACE A CHECK DAM AT EVERY 100 LINIER FEET OF DRAIN CHANNEL

2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL

3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM

4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

DRAINAGE CHANNEL PROTECTION NOT TO SCALE

GATEWAY CONSULTING,

ACRE

STRATTON A

SHEET NO. <u>ER</u>-

SATAQUIN

"I—AVDID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.
2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA
3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITOHES, STREETS OR STREAMS
4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.
5-WASHOUT CONCRETE WASTE INTO WASHOUT PIN OWNEROAL WASHOUT BIN ONLY.

USE OF CONCRETE WASHOUT

1—IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.

2—WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP
AND DISPOSED OF PROPERTY

3—NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN
AT THE

END OF EACH WORK DAY.

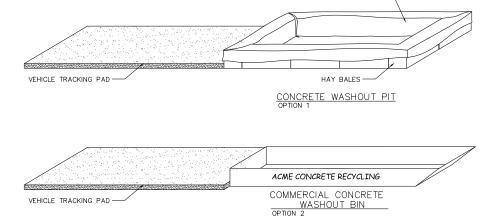
4—INSTALL A PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS

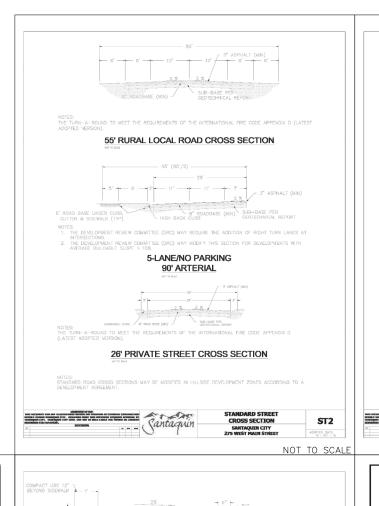
5—INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS.

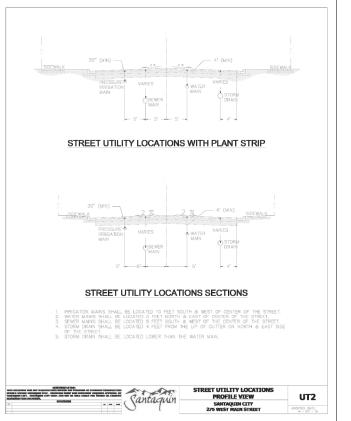
MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON

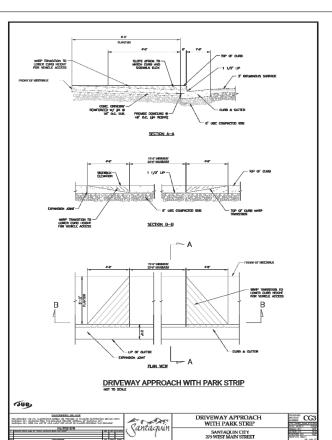
STREETS.

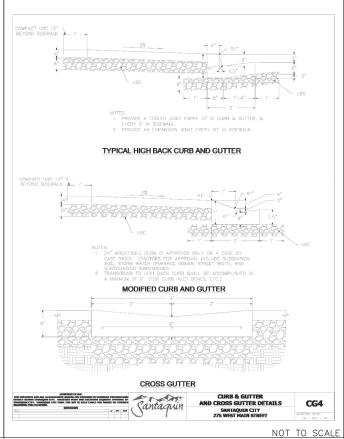
CONCRETE WASHOUT AREA

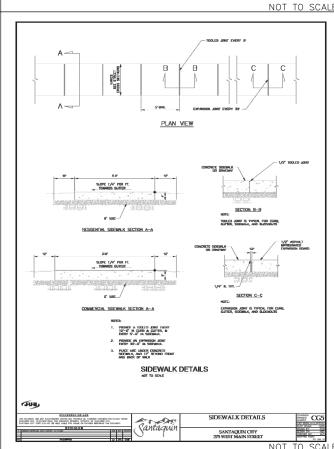


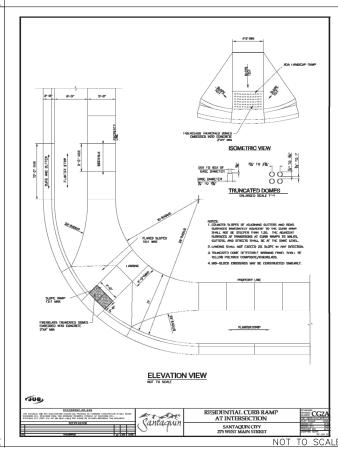


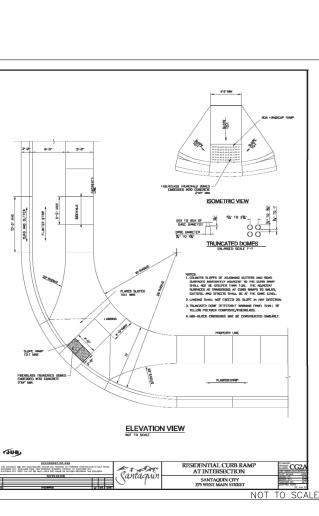














CONSCIENCE INC.		
	CUDINEY DV.	
1005 SOLITH LOBOLAN LIT 84005	2007421 201.	
UCO SOCIET SONDAIN, CT 040X2		
PH: (801) 694-5848	DRAWN BY:	Md9
oatewayconsultinolle com		
	DESIGNED BY :	MdS
ULTING "LAND PLANNING	CHECKED BY:	Md9
MANAGEMENT		

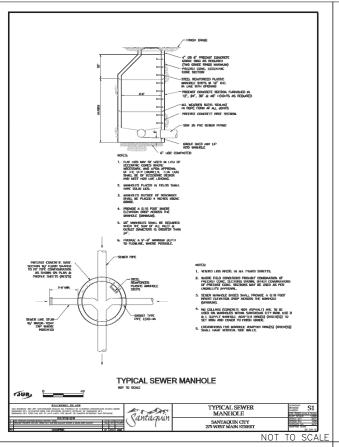


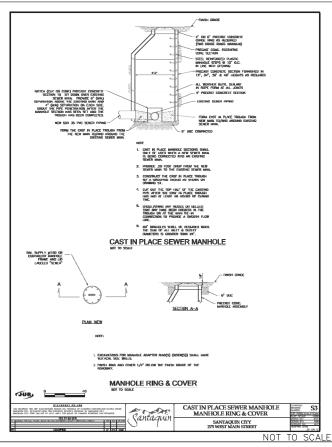
RATTON ACRE PHASE 1 DETAILS ST

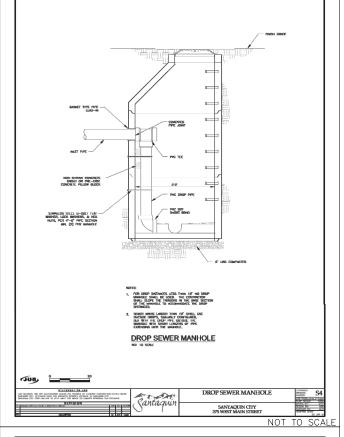


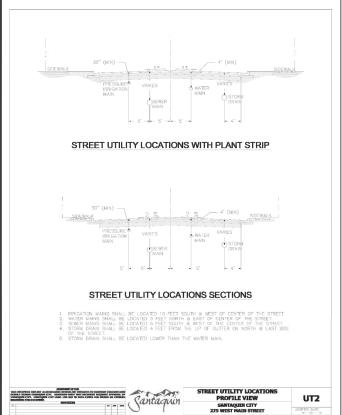
SANTAQUIN

SHEET NO. _

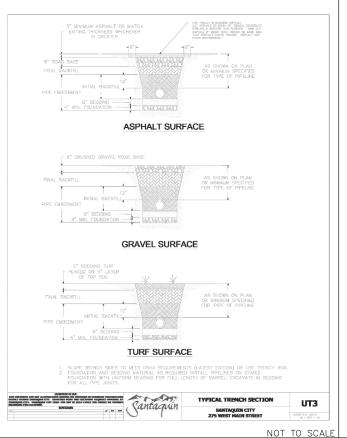


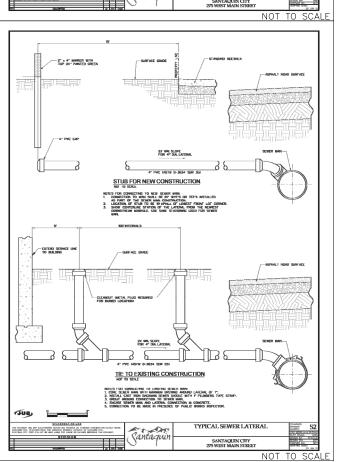




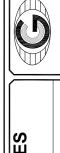


NOT TO SCALE









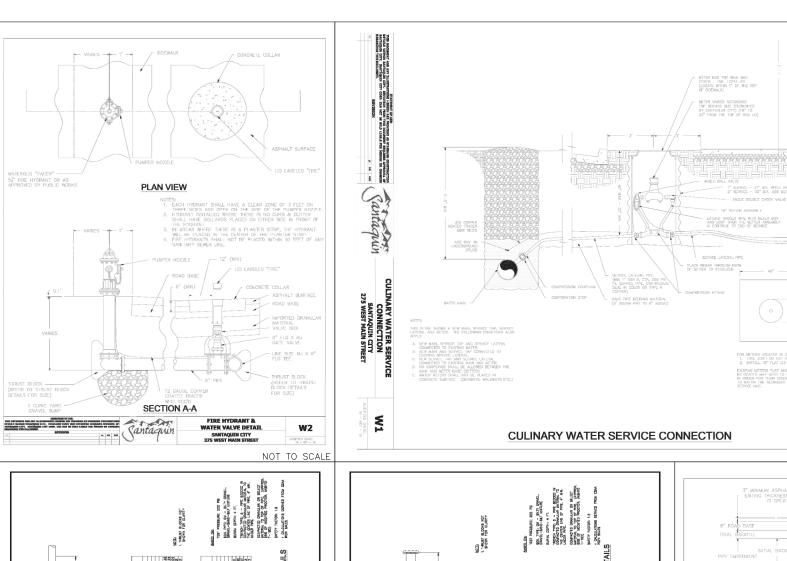
STRATTON ACRES
PHASE 1

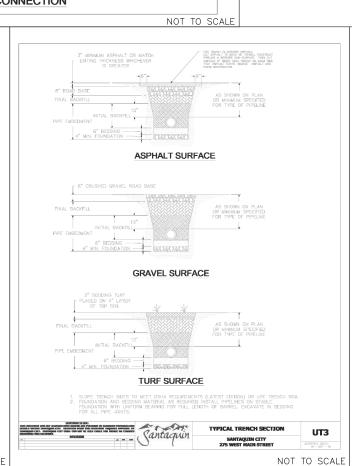
SEWER DETAILS

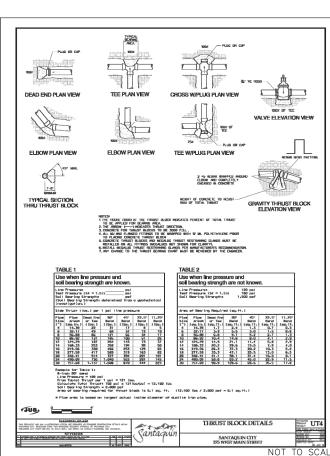


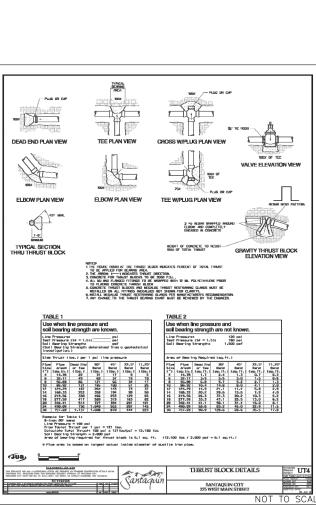


SHEET NO. D2









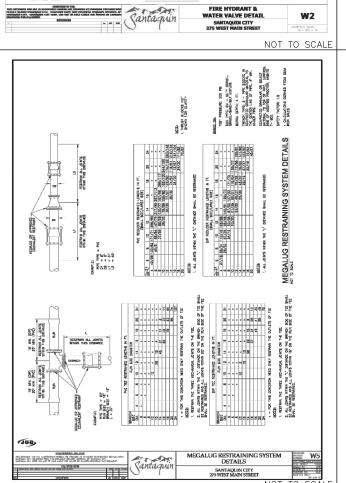


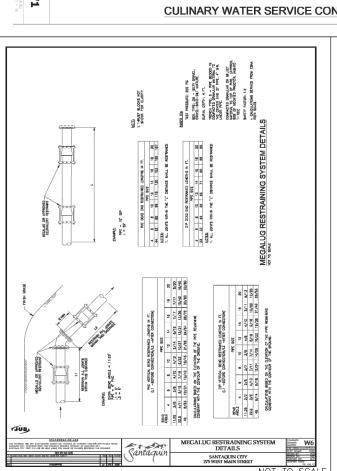
ഗ STRATTON ACRES
PHASE 1 DETAIL WA TER S

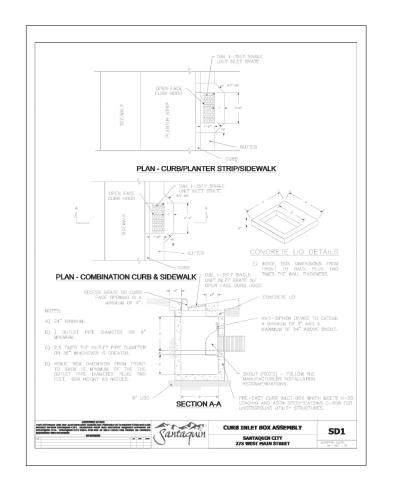
CITY

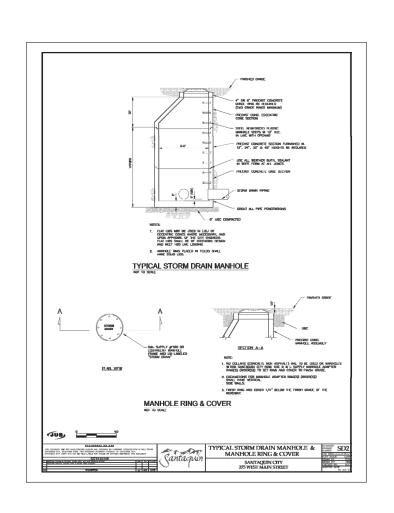
SANTAQUIN

SHEET NO. _











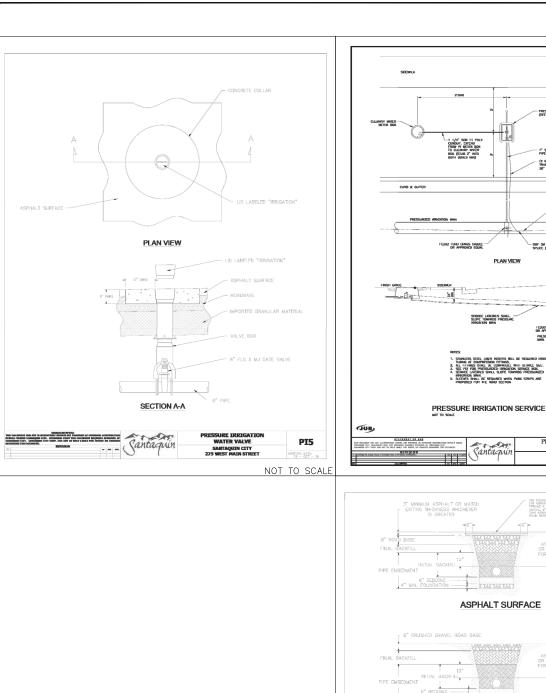


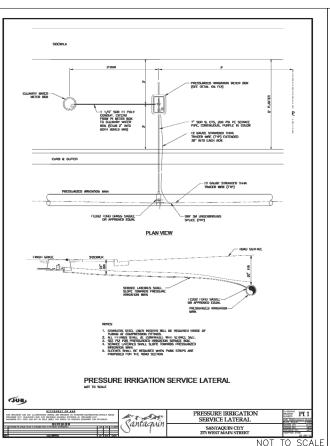
STORM DETAIL

SANTAQUIN



SHEET NO. _______4



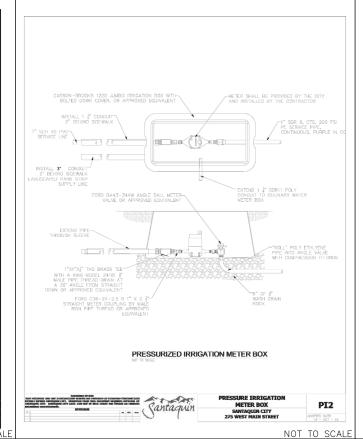


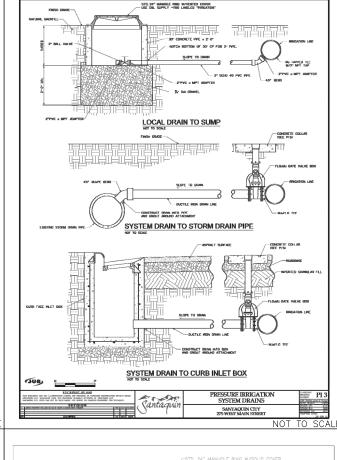
GRAVEL SURFACE

TURF SURFACE

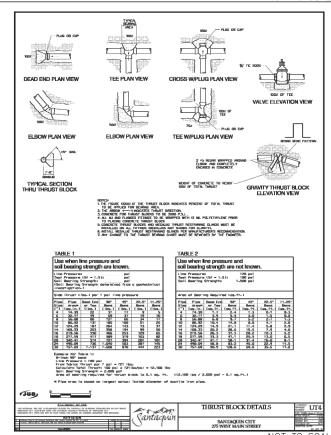
6" BEDDING - 2852/652/852/8

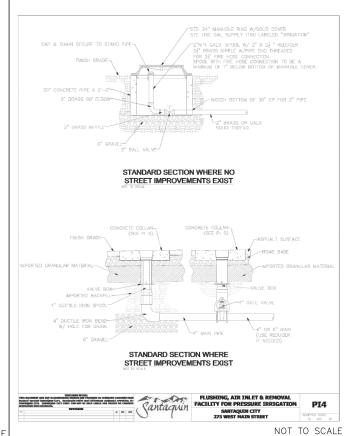
- Santaquin













Inc.

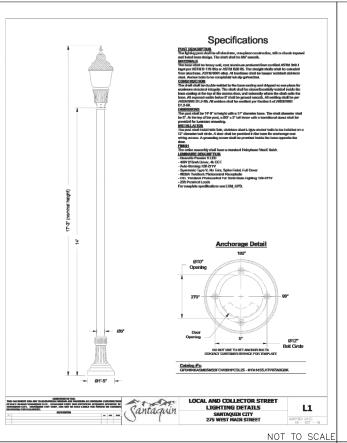


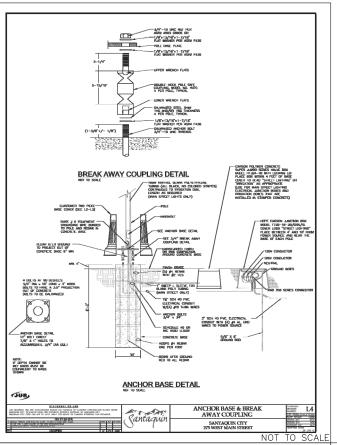
WA TER STRATTON IRRIGA TION

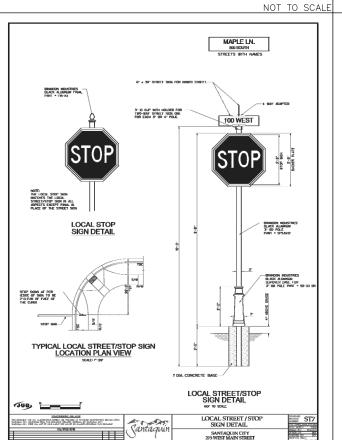
SANTAQUIN

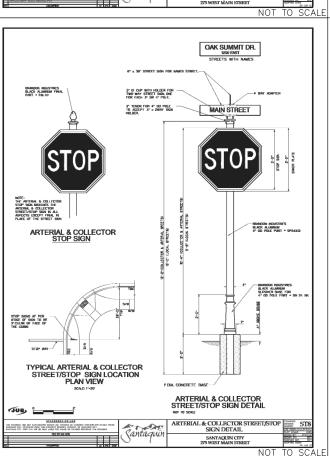


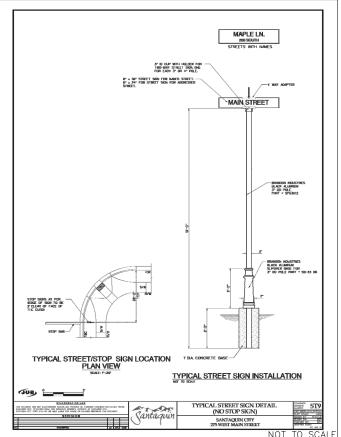
SHEET NO. <u>D5</u>













STRATTON ACRES
PHASE 1

DETAILS

SIGN

AND

LIGHT

GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848

