



June 4, 2024
AVO 37449.004

Ms. Ramie Hammonds
Development Services Director/Building Official
City of Sanger
201 Bolivar Street
P.O. Box 1729
Sanger, Texas 76266

Re: **Lane Ranch Phase 1 Final Plat -Review #2**

Dear Ms. Hammonds,

Halff Associates, Inc. was requested by the City of Sanger to review the Final Plat for Lane Ranch Phase 1. The submittal was prepared by Middleton and Associates, LLC and was dated May 2024.

We have completed our review and offer the following comments:

Please address comments on attached markups and provide annotated responses on markups. Please note, not all comments are written on letter since some comments are easier to show and explain on the markups. Please annotate markup with responses.

Final Plat Comments

1. Specify a private drainage easement and provide a maintenance agreement for the proposed ditch. The owner shall be responsible for maintenance.
2. Final acceptance is contingent on addressing the civil comments.

Grading Plan/Grading Details Comments

1. For design velocities 6 CFS or greater the channel shall be lined with concrete, rock walls or gabions 10.106(d)(9)(B)(iii).
2. The table does not provide enough information. The closed conduit system will peak sooner than the entire watershed, and therefore we need to review calculations for the coincident flood at 2 yr, 5yr, 10yr etc. including velocity and froude number.
3. What is the velocity at 3'? What is the Critical Depth?

Erosion Control Plan Comments

1. Curlex II is not an approved material for the velocities calculated in the ditch.

If you have any questions or need additional information, please do not hesitate to call me at (214) 937-3928.

Sincerely,

A handwritten signature in black ink, appearing to read "Jamie Akomer".

Jamie Akomer, PE, PMP
HALFF
Firm No. 0312
Attachments: Plan markups

CONSTRUCTION PLANS FOR
PAVING, GRADING, EROSION CONTROL,
STORM DRAINAGE, WATER & SANITARY SEWER
LANE RANCH, PHASE 1
CITY OF SANGER, TEXAS

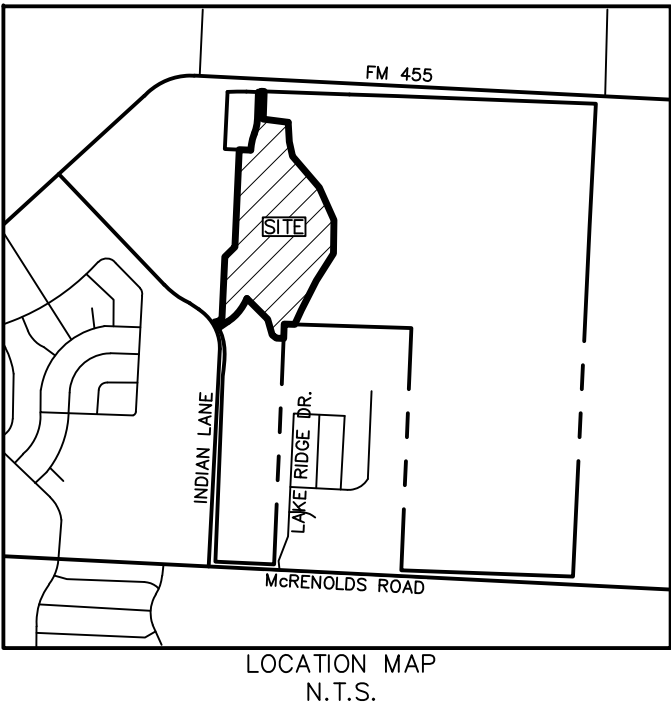
PROJECT DIRECTORY

SURVEYOR
JOHN COWAN & ASSOCIATES, INC.
10147 CR 135
FLINT, TEXAS 75762
903-581-2238

OWNER — DEVELOPER:
SANGER TOWN CENTER LLC
MARION PROPERTY HOLDING LLC
101 FOREST BEND DRIVE
COPPELL, TEXAS 75019
JONATHAN WANG
214-316-2256

GEOTECHNICAL ENGINEER:
TERRADYNE ENGINEERS
1840 HUTTON DRIVE #190
CARROLLTON, TEXAS 75006
817-858-0870

HYDROLOGIST:
CARDINAL STRATEGIES
2770 CAPITAL STREET
WYLIE, TEXAS 75098
BEN McWHORTER
469-547-1281



FOURTH SUBMITTAL
FOR REVIEW ONLY
5-23-24

COVER
PPT1 PRELIMINARY PLAT
PPT2 PRELIMINARY PLAT
PPT3 PRELIMINARY PLAT
PPT4 PRELIMINARY PLAT
NOTE1 GENERAL CONSTRUCTION NOTES

PAVING PLAN & PROFILES
P1 BUTTERFIELD DRIVE STA. 0+00-7+00
P2 BUTTERFIELD DRIVE STA. 7+00-17+00
P3 BUTTERFIELD DRIVE STA. 17+00-END
P4 GAILLARDIA LANE STA. 0+00-6+15
P5 PAINTBRUSH LANE STA. 6+15-14+70
P6 BEE BALM LANE STA. 14+20-END
P7 WINECUP LANE STA. 0+00-6+00
P8 WINECUP LANE STA. 6+00-END

PAVING DETAILS
DT-P1

LOT GRADING PLANS
G1
G2
G3
G4
G5

LOT GRADING DETAILS
DT-GR1

EROSION CONTROL PLAN
ERO1 EROSION CONTROL PLAN
ERO2 EROSION CONTROL PLAN
ERO3 EROSION CONTROL DETAILS
ERO4 EROSION CONTROL DETAILS

DRAINAGE AREA MAP & CALCULATIONS
C7.2 SANGER ISD PROP. DAM
9 PRELIMINARY FLOOD STUDY
DAM1 OVERALL EXISTING CONDITIONS
DAM2 EXISTING CONDITIONS
DAM3 EXISTING CONDITIONS
DAM4 PROPOSED CONDITIONS
DAM5 PROPOSED CONDITIONS
DAM6 PROPOSED CONDITIONS
CALC1 DRAINAGE AREA & INLET CALCS.
CALC2 HYDRAULIC CALCS.

STORM DRAIN PLAN & PROFILE
ST-ALL OVERALL STORM DRAIN PLAN
ST1 ST LINE 1
ST2 ST LINE 2
ST3 ST LINE 3 & 4
ST4 ST LINE 5
ST5 ST LINE 6
ST6 ST LINE 7
ST7 ST LINE 8
ST8 ST LINE 9

STORM DRAIN DETAILS
DT-ST1
DT-ST2
DT-ST3
DT-ST4
DT-ST5
DT-ST6

SANITARY SEWER PLAN & PROFILE
SS-ALL OVERALL SEWER PLAN
SS1 SS LINE A STA. 0+00-8+00
SS2 SS LINE A STA. 8+00-15+00
SS3 SS LINE A STA. 15+00-END
SS4 SS LINE B STA. 0+00-8+00
SS5 SS LINE B STA. 8+00-END
SS6 SS LINE C
SS7 SS LINE D STA. 0+00-4+00
SS8 SS LINE D STA. 4+00-11+00
SS9 SS LINE D STA. 17+00-END

SEWER DETAILS
DT-SS1

WATER PLAN
W-ALL OVERALL WATER PLAN
W1
W2
W3
W4

WATER DETAILS
DT-W1
DT-W2

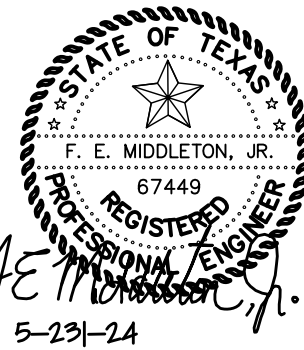
SIDEWALK PLAN
WALK1

STREET LIGHT, & SIGNAGE PLAN
LT1



THE CONTRACTOR SHALL USE THE CITY OF SANGER'S STANDARD CONSTRUCTION DETAILS FOR THIS PROJECT.

CAUTION!!! UNDERGROUND UTILITIES!!!
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. CONTACT ALL POSSIBLE UTILITY AND UNDERGROUND FACILITY OWNERS.

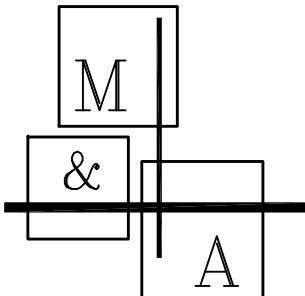


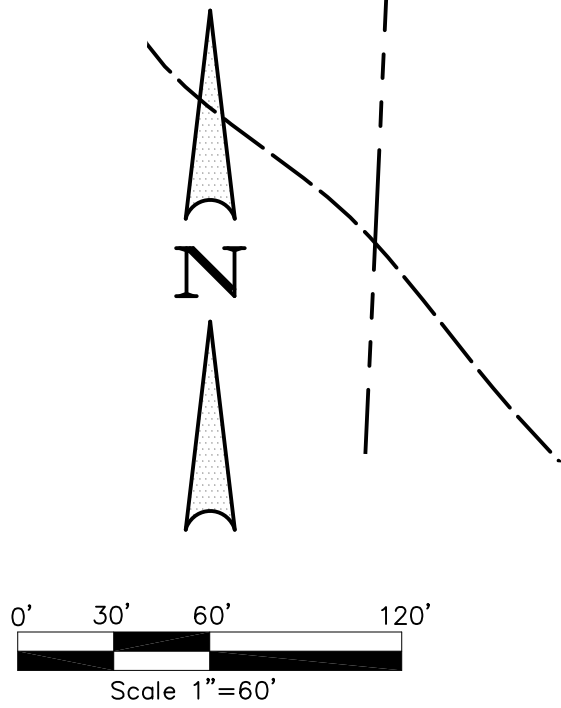
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FLOYD E. MIDDLETON, JR., PE, REGISTRATION #67449 ON 5-23-24. ANY ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

PROJECT ENGINEER:

**Middleton
& Associates, LLC.**

CONSULTING CIVIL ENGINEERS & LAND PLANNERS
TBPE #F-10900 © Copyright 2024
2785 ROCKBROOK DRIVE, SUITE 105
LEWISVILLE, TEXAS 75067 (972) 393-9800

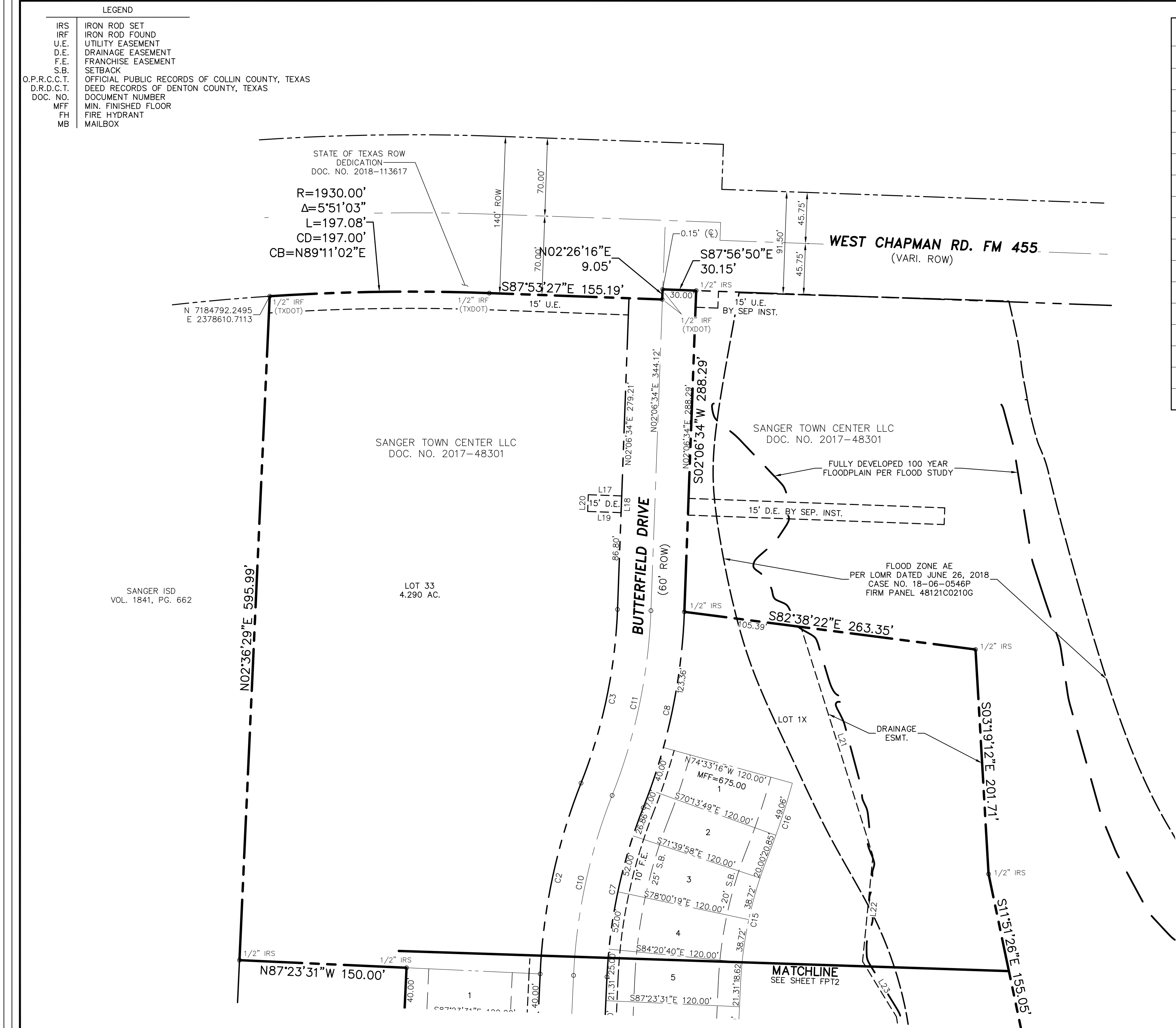




LEGEND	
IRS	IRON ROD SET
IRF	IRON ROD FOUND
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
F.E.	FRANCHISE EASEMENT
S.B.	SETBACK
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS OF DENTON COUNTY, TEXAS
DOC.	DOCUMENT NUMBER
MF	MIN. FINISHED FLOOR
FH	FIRE HYDRANT
MB	MAILBOX

Date: 5-13-24
Dwg Scale: 1"=60'
Dwg File: 0001043FPT.DWG
Project No. 0001043

FPT2



Curve Table					
No.	Delta	Radius	Length	Ch. Dist.	Bearing
C1	53°26'19"	470.00'	438.36'	422.64'	N29°19'38"E
C2	18°59'59"	530.00'	175.75'	174.95'	N12°06'28"E
C3	19°29'53"	470.00'	159.94'	159.17'	N11°51'31"E
C4	53°26'19"	530.00'	494.32'	476.60'	N29°19'38"E
C5	26°00'20"	50.00'	226.90'	76.60'	N52°36'19"E
C6	8°00'20"	10.50'	14.66'	13.50'	N37°23'41"W
C7	18°59'59"	470.00'	155.86'	155.14'	N12°06'28"E
C8	19°29'53"	530.00'	180.36'	179.49'	N11°51'31"E
C9	53°26'19"	500.00'	466.34'	449.62'	N29°19'38"E
C10	18°59'59"	500.00'	165.80'	165.04'	N12°06'28"E
C11	19°29'53"	500.00'	170.15'	169.33'	N11°51'31"E
C12	90°00'00"	35.50'	55.76'	50.20'	S42°23'31"E
C13	90°00'00"	35.50'	55.76'	50.20'	S47°36'29"W
C14	45°31'30"	83.50'	66.35'	64.61'	S20°09'16"E
C15	18°59'59"	350.00'	116.06'	115.53'	N12°06'28"E
C16	6°09'43"	650.00'	69.91'	69.87'	N18°31'36"E

Line Table		
Line #	Bearing	Distance
L1	N47°36'29"E	14.14
L2	S42°23'31"E	14.14
L3	N47°36'29"E	14.14
L4	N42°23'31"W	14.14
L5	N42°23'31"W	14.14
L6	S47°36'29"W	14.14
L7	N47°36'29"E	14.14
L8	S42°23'31"E	14.14
L9	S47°36'29"W	14.14
L10	N42°23'31"W	14.14
L11	S42°23'31"E	14.14
L12	N47°36'29"E	14.14
L13	N63°30'13"W	37.31
L14	S47°36'29"W	56.61
L15	N12°57'46"W	17.22
L16	N47°36'29"E	54.04
L17	S87°53'26"E	30.00
L18	S2°06'34"W	15.00
L19	N87°53'26"W	30.00
L20	N2°06'34"E	15.00
L21	S17°28'09"E	215.21
L22	S5°35'43"W	95.13
L23	S31°28'26"E	58.17
L24	S8°50'24"E	37.80
L25	S9°30'40"W	89.14
L26	S25°43'55"E	43.15
L27	S52°43'10"E	35.42
L28	S89°50'36"E	66.88
L29	S37°30'26"E	18.51
L30	S18°04'52"E	33.95

Line Table		
Line #	Bearing	Distance
L31	S28°18'43"E	52.71
L32	S1°24'50"E	32.26
L33	S78°38'11"E	66.50
L34	S84°03'45"E	82.18
L35	S11°48'36"E	19.01
L36	S87°23'31"E	135.00
L37	S2°36'29"W	570.00
L38	N87°23'31"W	116.16
L39	S2°36'29"W	58.91
L40	S14°06'25"W	96.61
L41	S28°52'25"W	173.99
L42	S39°22'35"W	54.43
L43	S2°36'29"W	141.79
L44	N87°23'31"W	53.15
L45	S2°36'29"W	81.61
L46	N88°11'55"W	183.26
L47	N12°57'46"W	153.01
L48	N14°02'23"W	92.98
L49	N76°36'38"W	49.75
L50	N47°14'10"W	10.36
L51	N21°10'53"W	19.66
L52	N62°42'09"W	63.12
L53	N27°53'47"W	53.85
L54	N80°43'07"W	23.21

FP73 Date: 5-13-24 Dwg Scale: 1"=60' Dwg File: 000104-3PT.DWG Project No. 0001043	FINAL PLAT – LANE RANCH, PHASE 1 <i>43.821 ACRES 143 RES. LOTS</i> <i>1 COMMERCIAL LOT 4.294 AC. – 5 HOA LOTS</i> <i>7.259 AC. RIGHT-OF-WAY DEDICATION</i> <i>REUBEN BEBEE SURVEY, ABST. NO. 29</i> <i>CITY OF SANGER, DENTON COUNTY, TEXAS</i>	SURVEYOR JOHN COWAN & ASSOCIATES, INC. 10147 CR 135 FULTON, TEXAS 76043-6741 TEL: 817-932-8100 WWW.TXSVRS.COM FIRM REGISTRATION CERTIFICATION NO. 10025500	<div style="display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px 5px; margin-right: 5px;">M</div> <div style="margin: 0 5px;">&</div> <div style="border: 1px solid black; padding: 2px 5px; margin-right: 5px;">A</div> </div>	Middleton & Assoc, LLC CONSULTING CIVIL ENGINEERS & LAND PLANNERS TBPE #F-109000 © Copyright 2024 2785 ROCKBROOK DRIVE, SUITE 105 LEWISVILLE, TEXAS 75067 (972) 393-9800	No.	DATE	REVISION	APPROV.

LEGAL DESCRIPTION

All that certain lot, tract, or parcel of land, being part of the Rueben Bebee Survey, Abstract No. 29, Denton County, Texas, and being a part of that certain called 127.61 acre tract described in a deed from E.M.J. Lane, Inc. to Sanger Town Center, LLC on April 20, 2017, recorded in Document No. 2017-48301 of the Official Public Records of Denton, County, Texas (OPRDCT), and being a part of that certain called 25.00 acre tract of land described in a deed from Marion Hills Apartments, LLC to Marion Property Holding, LLC on August 23, 2022, recorded in Document No. 2022-123676, OPRDCT, and being more completely described as follows, to-wit:

BEGINNING at a 1/2" iron rod (set) for the westerly Southwest corner of the above mentioned 25.00 acre tract, in the westerly North line of the above mentioned 127.61 acre tract, in the South line of the Sanger ISD 35,000 acre tract described in Volume 1841, Page 662 of the Deed Records, Denton County, Texas, in the East right of way of Indian Lane;

THENCE South 88°03'30" East with the South line of the 35.00 acre tract, a distance of 21.92 feet to a 1/2" iron rod (set) for the Southeast corner of same, an ell corner of the 25.00, the Southwest corner of the Sanger Independent School District 3.728 acre tract described in Document No. 2022-160016, OPRDCT;

THENCE northerly and easterly with the East line of the 3.278 acre tract, the East line of the Sanger Independent School District 0.772 acre tract, as follows:

North 56°02'48" East a distance of 62.25 feet to a 1/2" iron rod (set) for corner,
North 02°36'29" East a distance of 643.72 feet to a 1/2" iron rod (set) for corner,
North 45°05'54" East a distance of 148.05 feet to a 1/2" iron rod (set) for corner,
and North 02°36'29" East a distance of 1013.28 feet to a 1/2" iron rod (set) the Northeast corner of the 0.772 acre tract;

THENCE North 87°23'31" West a distance of 150.00 feet a 1/2" iron rod (set) the East line of the 35.00 acre tract;

THENCE northerly with the east line of the 35.00 acre tract North 02°36'29" East a distance of 595.99 feet to a 1/2" iron rod (found) the northeast corner of the 35.00 acre tract and the South right of way of West Chapman Road F.M. 455;

THENCE Easterly with the South right of way of West Chapman Road F.M. 455 as follows:

along a curve to the right, having a radius of 1930.00 feet, a chord of North 89° 11' 02" East - 197.00 feet, a distance of 197.08 feet to a 1/2" iron rod (found) for corner;
South 87°53'27" East a distance of 155.19 feet to a 1/2" iron rod (found) for corner;
North 02°26'16" East a distance of 9.05 feet to a 1/2" iron rod (found) for corner;
South 87°56'50" East a distance of 30.15 feet to a 1/2" iron rod (set) for corner;

THENCE South 02°06'34" West a distance of 288.29 feet to a 1/2" iron rod (set) for corner;

THENCE South 82°38'22" East a distance of 263.35 feet to a 1/2" iron rod (set) for corner;

THENCE South 3°19'12" East a distance of 201.71 feet to a 1/2" iron rod (set) for corner;

THENCE South 11°51'26" East a distance of 155.05 feet to a 1/2" iron rod (set) for corner;

THENCE South 40°39'48" East a distance of 430.35 feet to a 1/2" iron rod (set) for corner;

THENCE South 24°13'47" East a distance of 371.11 feet to a 1/2" iron rod (set) for corner;

THENCE South 0°45'33" West a distance of 348.74 feet to a 1/2" iron rod (set) for corner;

THENCE South 32°24'46" West a distance of 333.84 feet to a 1/2" iron rod (set) for corner;

THENCE South 27°00'44" West a distance of 346.28 feet to a 1/2" iron rod (set) for corner;

THENCE South 24°21'53" West a distance of 163.17 feet to a 1/2" iron rod (set) for corner in the corner in the easterly South line of the 127.61 acre tract, the North line of the Marion Hills Apartments, LLC tract described in Document No. 2017-92008, OPRDCT;

THENCE North 88°11'55" West with the North line of the Marion Hills Apartments, LLC tract, the easterly South line of the 127.61 acre tract, a distance of 109.93 feet to a 2" pipe found for an ell corner of same, the Northwest corner of the Marion Hills Apartments, LLC tract;

THENCE South 2°25'03" West with the west line of the Marion Hills Apartments, LLC tract, the southerly East line of the 127.61 acre tract, a distance of 149.43 feet to a 1/2" iron rod (set) for corner;

THENCE North 87°34'57" West a distance of 76.30 feet to a 1/2" iron rod (set) for corner;

THENCE North 52°47'15" West a distance of 53.75 feet to a 1/2" iron rod (set) for corner;

THENCE North 15°47'38" West a distance of 171.25 feet to a 1/2" iron rod (set) for corner;

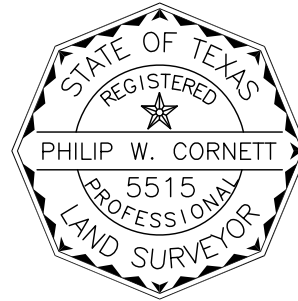
THENCE North 45°08'24" West a distance of 307.06 feet to a 1/2" iron rod (set) for the beginning of a non-tangent curve to the right, having a radius of 530.00 feet, a chord of South 39° 06' 05" West - 308.94 feet, a distance of 313.49 feet to a 1/2" iron rod (set) for corner at p.t of same;

THENCE South 56°02'48" West a distance of 120.23 feet to a 1/2" iron rod (set) for corner in the southerly West line of the 127.61 acre tract, the East right-of-way of Indian Lane, in a curve to the left;

THENCE with the East right-of-way of Indian Lane, with a non-tangent curve to the left, having a radius of 550.39 feet, a chord of North 31° 39' 53" West - 72.91 feet, a distance of 72.96 feet to the place of beginning, containing 43.821 acres, or 1,908,621 square feet of land.

STATE OF TEXAS
COUNTY OF DENTON

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.



REGISTERED PUBLIC LAND SURVEYOR TEXAS R.P.L.S. NO. 5515 _____ DATE _____

NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, Jonathan Wang acting herein by and through its duly authorized officer, does hereby adopt this plat designating the hereinabove described property as LANE RANCH, PHASE 1, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive dials, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public utility entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

WITNESS MY HAND this _____ day of _____, 2024.

_____, Owner

_____, Title and Company

State of Texas
County of Denton

Before me, the undersigned authority, on this day personally appeared Jonathan Wang, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires _____

Approved and Accepted	
Chairman, Planning & Zoning Commission City of Sanger, TX	Date
Mayor City of Sanger, TX	Date
Attested by	
City Secretary City of Sanger, TX	Date

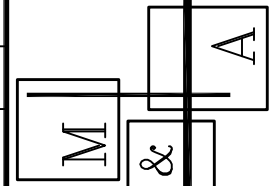
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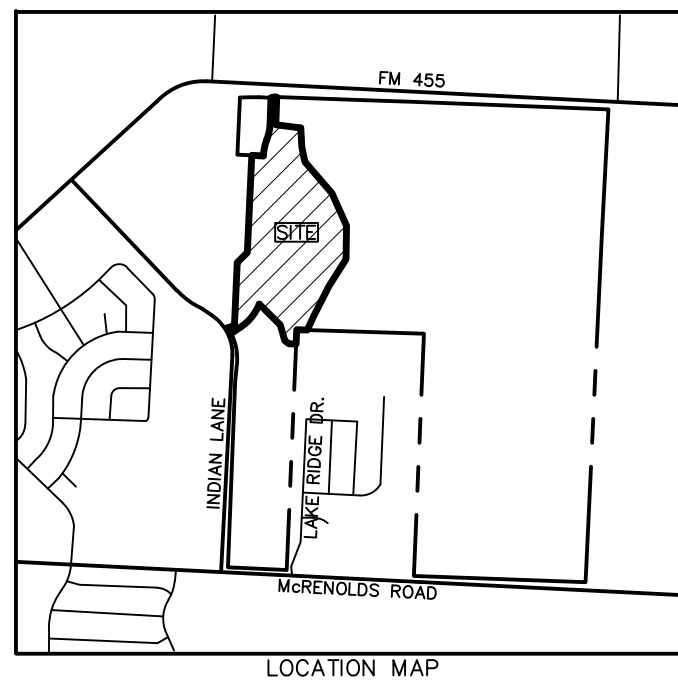
FPT4

SURVEYOR
JOHN COWAN & ASSOCIATES, INC.
10147 CR 135 FLINT, TEXAS 75762 PH: (803) 581-2238
WWW.SURVEYS.COM
FIRM REGISTRATION CERTIFICATION NO. 10025500

FINAL PLAT - LANE RANCH, PHASE 1
43.821 ACRES 143 RES. LOTS
1 COMMERCIAL LOT 4.294 AC. - 5 HOA LOTS
7.259 AC. RIGHT-OF-WAY DEDICATION
REUBEN BEBEE SURVEY, ABST. NO. 29
CITY OF SANGER, DENTON COUNTY, TEXAS

Middleton & Assoc, LLC
CONSULTING CIVIL ENGINEERS & LAND PLANNERS
TBPE #1-10900
2785 ROCKBROOK DRIVE, SUITE 105
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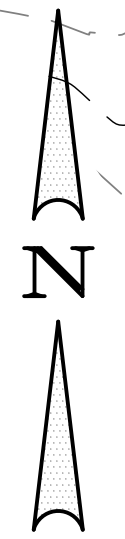


SANGER ISD
VOL. 1841, PG. 662

FULLY DEVELOPED 100 YEAR
FLOODPLAIN PER FLOOD STUDY

OWNER - DEVELOPER:
SANGER TOWN CENTER LLC
MARION PROPERTY HOLDING LLC
101 FOREST BEND DRIVE
COPPELL, TEXAS 75019
JONATHAN WANG
214-316-2256

0' 30' 60' 120'
Scale 1"=60'



POINT OF
BEGINNING
R=550.39'
Δ=7°35'43"
L=72.96'
CD=72.91'
CB=N31°39'53"W

FLOOD ZONE AE
PER LOMR DATED JUNE 26, 2018
CASE NO. 18-06-0546P
FIRM PANEL 48121C0210G

SANGER TOWN CENTER LLC
DOC. NO. 2017-48301

FULLY DEVELOPED 100 YEAR
FLOODPLAIN PER FLOOD STUDY

COSERV ELEC. ESMT.
2018-37404

R=530.00'
Δ=33°53'25"
L=313.49'
CD=308.94'
CB=S39°06'05"W

DRAINAGE ESMT.
BY SEP. INST.

LOT 1X

LOT 1X

LOT 1X

LOT 1X

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OWNER - DEVELOPER:
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COPPELL, TEXAS 75019
JONATHAN WANG
214-316-2256

FLOOD ZONE AE
PER LOMR DATED JUNE 26, 2018
CASE NO. 18-06-0546P
FIRM PANEL 48121C0210G

SANGER TOWN CENTER LLC
DOC. NO. 2017-48301

FULLY DEVELOPED 100 YEAR
FLOODPLAIN PER FLOOD STUDY

COSERV ELEC. ESMT.
2018-37404

R=530.00'
Δ=33°53'25"
L=313.49'
CD=308.94'
CB=S39°06'05"W

DRAINAGE ESMT.
BY SEP. INST.

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OWNER - DEVELOPER:
SANGER TOWN CENTER LLC
MARION PROPERTY HOLDING LLC
101 FOREST BEND DRIVE
COPPELL, TEXAS 75019
JONATHAN WANG
214-316-2256

FLOOD ZONE AE
PER LOMR DATED JUNE 26, 2018
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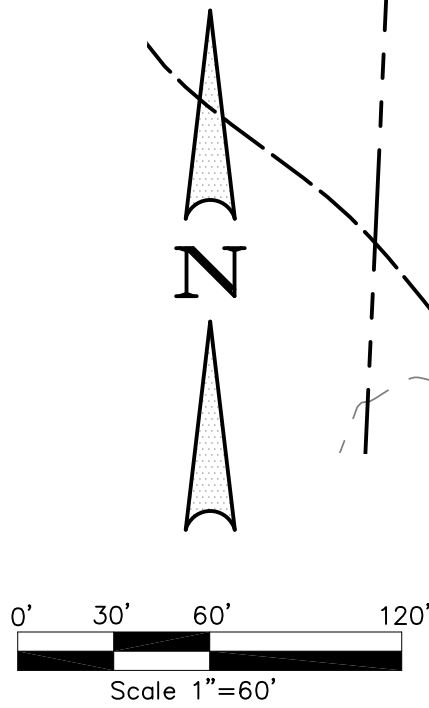
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LEGEND	
IRS	IRON ROD SET
IRF	IRON ROD FOUND
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
F.E.	FRANCHISE EASEMENT
S.B.	SETBACK
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS OF DENTON COUNTY, TEXAS
DOC. NO.	DOCUMENT NUMBER
MFF	MIN. FINISHED FLOOR
FH	FIRE HYDRANT
MB	MAILBOX

Date: 5-2-24
Dwg Scale: 1"=60'
Dwg File: 0001043FPT.DWG
Project No. 0001043

PPT2

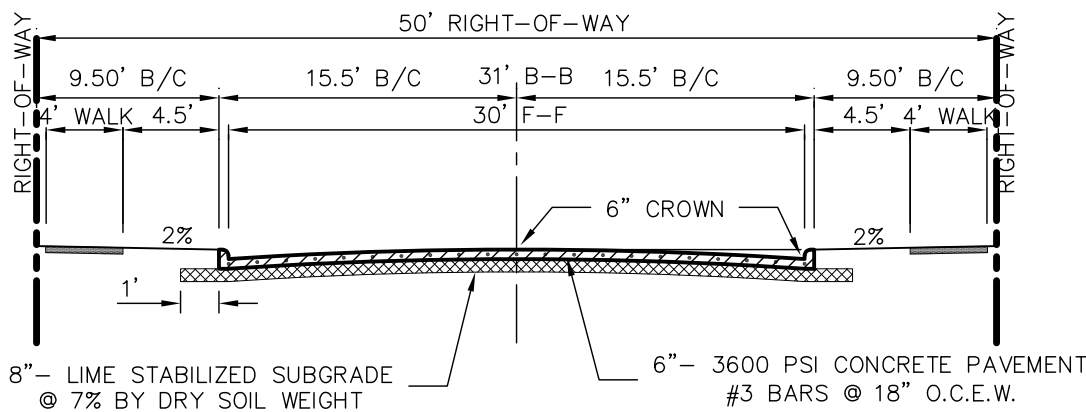
LEGEND
IRS IRON ROD SET
IRF IRON ROD FOUND
U.E. UTILITY EASEMENT
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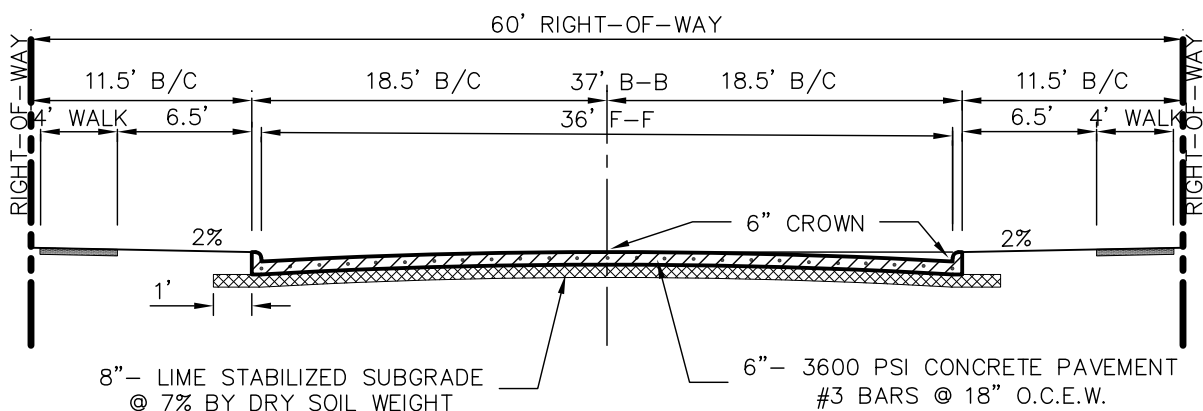
Curve Table					
No.	Delta	Radius	Length	Ch. Dist.	Bearing
C1	53°26'19"	470.00'	438.36'	422.64'	N29°19'38"E
C2	18°59'59"	530.00'	175.75'	174.95'	N12°06'28"E
C3	19°29'53"	470.00'	159.94'	159.17'	N11°51'31"E
C4	53°26'19"	530.00'	494.32'	476.60'	N29°19'38"E
C5	260°00'20"	50.00'	226.90'	76.60'	N52°36'19"E
C6	80°00'20"	10.50'	14.66'	13.50'	N37°23'41"W
C7	18°59'59"	470.00'	155.86'	155.14'	N12°06'28"E
C8	19°29'53"	530.00'	180.36'	179.49'	N11°51'31"E
C9	53°26'19"	500.00'	466.34'	449.62'	N29°19'38"E
C10	18°59'59"	500.00'	165.80'	165.04'	N12°06'28"E
C11	19°29'53"	500.00'	170.15'	169.33'	N11°51'31"E
C12	90°00'00"	35.50'	55.76'	50.20'	S42°23'31"E
C13	90°00'00"	35.50'	55.76'	50.20'	S47°36'29"W
C14	45°31'30"	83.50'	66.35'	64.61'	S20°09'16"E
C15	18°59'59"	350.00'	116.06'	115.53'	N12°06'28"E
C16	6°09'43"	650.00'	69.91'	69.87'	N18°31'36"E

Line Table		
Line #	Bearing	Distance
L1	N47°36'29"E	14.14
L2	S42°23'31"E	14.14
L3	N47°36'29"E	14.14
L4	N42°23'31"W	14.14
L5	N42°23'31"W	14.14
L6	S47°36'29"W	14.14
L7	N47°36'29"E	14.14
L8	S42°23'31"E	14.14
L9	S47°36'29"W	14.14
L10	N42°23'31"W	14.14
L11	S42°23'31"E	14.14
L12	N47°36'29"E	14.14
L13	N63°30'13"W	37.31
L14	S47°36'29"W	56.61
L15	N12°57'46"W	17.22
L16	N47°36'29"E	54.04
L17	S87°53'26"E	30.00
L18	S2°06'34"W	15.00
L19	N87°53'26"W	30.00
L20	N2°06'34"E	15.00
L21	S17°28'09"E	215.21
L22	S5°35'43"W	95.13
L23	S31°28'26"E	58.17
L24	S8°50'24"E	37.80
L25	S9°30'40"W	89.14
L26	S25°43'55"E	43.15
L27	S52°43'10"E	35.42
L28	S89°50'36"E	66.88
L29	S37°30'26"E	18.51
L30	S18°04'52"E	33.95

Line Table		
Line #	Bearing	Distance
L31	S28°18'43"E	52.71
L32	S1°24'50"E	32.26
L33	S78°38'11"E	66.50
L34	S84°03'45"E	82.18
L35	S11°48'36"E	19.01
L36	S87°23'31"E	135.00
L37	S2°36'29"W	570.00
L38	N87°23'31"W	116.16
L39	S2°36'29"W	58.91
L40	S14°06'25"W	96.61
L41	S28°52'25"W	173.99
L42	S39°22'35"W	54.43
L43	S2°36'29"W	141.79
L44	N87°23'31"W	53.15
L45	S2°36'29"W	81.61
L46	N88°11'55"W	183.26
L47	N12°57'46"W	153.01
L48	N14°02'23"W	92.98
L49	N76°36'38"W	49.75
L50	N47°14'10"W	10.36
L51	N21°10'53"W	19.66
L52	N62°42'09"W	63.12
L53	N27°53'47"W	53.85
L54	N80°43'07"W	23.21



50' LOCAL RESIDENTIAL SECTION
N.T.S.



60' MINOR COLLECTOR SECTION
BUTTERFIELD LANE
N.T.S.

REVISION		DATE	APPROVAL
No.			

Middleton & Assoc., LLC
CONSULTING CIVIL ENGINEERS & LAND PLANNERS
TBE #1-10900
2785 ROCKBROOK DRIVE, SUITE 105
LEWISVILLE, TEXAS 75067 (972) 393-9800

JOHN COWAN & ASSOCIATES, INC.
SURVEYOR
10147 CR 135 FLINT, TEXAS 75762 PH: (903) 581-2238
WWW.TX.SURVEYS.COM
FIRM REGISTRATION CERTIFICATION NO. 10025500

PRELIMINARY PLAT - LANE RANCH, PHASE 1
43.821 ACRES 143 RES. LOTS
1 COMMERCIAL LOT 4.294 AC. - 5 HOA LOTS
7.259 AC. RIGHT-OF-WAY DEDICATION
REUBEN BIBBEE SURVEY, ABST. NO. 29
CITY OF SANGER, DENTON COUNTY, TEXAS

Date: 5-2-24
Dwg Scale: 1"=60'
Dwg File: 0001043PPT.DWG
Project No. 0001043

PPT3

LEGAL DESCRIPTION

All that certain lot, tract, or parcel of land, being part of the Rueben Bebee Survey, Abstract No. 29, Denton County, Texas, and being a part of that certain called 127.61 acre tract described in a deed from E.M.J. Lane, Inc. to Sanger Town Center, LLC on April 20, 2017, recorded in Document No. 2017-48301 of the Official Public Records of Denton, County, Texas (OPRDCT), and being a part of that certain called 25.00 acre tract of land described in a deed from Marion Hills Apartments, LLC to Marion Property Holding, LLC on August 23, 2022, recorded in Document No. 2022-123676, OPRDCT, and being more completely described as follows, to-wit:

BEGINNING at a 1/2" iron rod (set) for the westerly Southwest corner of the above mentioned 25.00 acre tract, in the westerly North line of the above mentioned 127.61 acre tract, in the South line of the Sanger ISD 35,000 acre tract described in Volume 1841, Page 662 of the Deed Records, Denton County, Texas, in the East right of way of Indian Lane;

THENCE South 88°03'30" East with the South line of the 35.00 acre tract, a distance of 21.92 feet to a 1/2" iron rod (set) for the Southeast corner of same, an ell corner of the 25.00, the Southwest corner of the Sanger Independent School District 3.728 acre tract described in Document No. 2022-160016, OPRDCT;

THENCE northerly and easterly with the East line of the 3.278 acre tract, the East line of the Sanger Independent School District 0.772 acre tract, as follows:

North 56°02'48" East a distance of 62.25 feet to a 1/2" iron rod (set) for corner,
North 02°36'29" East a distance of 643.72 feet to a 1/2" iron rod (set) for corner,
North 45°05'54" East a distance of 148.05 feet to a 1/2" iron rod (set) for corner,
and North 02°36'29" East a distance of 1013.28 feet to a 1/2" iron rod (set) the Northeast corner of the 0.772 acre tract;

THENCE North 87°23'31" West a distance of 150.00 feet a 1/2" iron rod (set) the East line of the 35.00 acre tract;

THENCE northerly with the east line of the 35.00 acre tract North 02°36'29" East a distance of 595.99 feet to a 1/2" iron rod (found) the northeast corner of the 35.00 acre tract and the South right of way of West Chapman Road F.M. 455;

THENCE Easterly with the South right of way of West Chapman Road F.M. 455 as follows:

along a curve to the right, having a radius of 1930.00 feet, a chord of North 89° 11' 02" East - 197.00 feet, a distance of 197.08 feet to a 1/2" iron rod (found) for corner;
South 87°53'27" East a distance of 155.19 feet to a 1/2" iron rod (found) for corner;
North 02°26'16" East a distance of 9.05 feet to a 1/2" iron rod (found) for corner;
South 87°56'50" East a distance of 30.15 feet to a 1/2" iron rod (set) for corner;

THENCE South 02°06'34" West a distance of 288.29 feet to a 1/2" iron rod (set) for corner;

THENCE South 82°38'22" East a distance of 263.35 feet to a 1/2" iron rod (set) for corner;

THENCE South 3°19'12" East a distance of 201.71 feet to a 1/2" iron rod (set) for corner;

THENCE South 11°51'26" East a distance of 155.05 feet to a 1/2" iron rod (set) for corner;

THENCE South 40°39'48" East a distance of 430.35 feet to a 1/2" iron rod (set) for corner;

THENCE South 24°13'47" East a distance of 371.11 feet to a 1/2" iron rod (set) for corner;

THENCE South 0°45'33" West a distance of 348.74 feet to a 1/2" iron rod (set) for corner;

THENCE South 32°24'46" West a distance of 333.84 feet to a 1/2" iron rod (set) for corner;

THENCE South 27°00'44" West a distance of 346.28 feet to a 1/2" iron rod (set) for corner;

THENCE South 24°21'53" West a distance of 163.17 feet to a 1/2" iron rod (set) for corner in the corner in the easterly South line of the 127.61 acre tract, the North line of the Marion Hills Apartments, LLC tract described in Document No. 2017-92008, OPRDCT;

THENCE North 88°11'55" West with the North line of the Marion Hills Apartments, LLC tract, the easterly South line of the 127.61 acre tract, a distance of 109.93 feet to a 2" pipe found for an ell corner of same, the Northwest corner of the Marion Hills Apartments, LLC tract;

THENCE South 2°25'03" West with the west line of the Marion Hills Apartments, LLC tract, the southerly East line of the 127.61 acre tract, a distance of 149.43 feet to a 1/2" iron rod (set) for corner;

THENCE North 87°34'57" West a distance of 76.30 feet to a 1/2" iron rod (set) for corner;

THENCE North 52°47'15" West a distance of 53.75 feet to a 1/2" iron rod (set) for corner;

THENCE North 15°47'38" West a distance of 171.25 feet to a 1/2" iron rod (set) for corner;

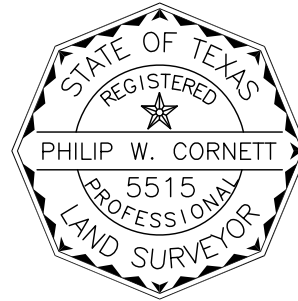
THENCE North 45°08'24" West a distance of 307.06 feet to a 1/2" iron rod (set) for the beginning of a non-tangent curve to the right, having a radius of 530.00 feet, a chord of South 39° 06' 05" West - 308.94 feet, a distance of 313.49 feet to a 1/2" iron rod (set) for corner at p.t of same;

THENCE South 56°02'48" West a distance of 120.23 feet to a 1/2" iron rod (set) for corner in the southerly West line of the 127.61 acre tract, the East right-of-way of Indian Lane, in a curve to the left;

THENCE with the East right-of-way of Indian Lane, with a non-tangent curve to the left, having a radius of 550.39 feet, a chord of North 31° 39' 53" West - 72.91 feet, a distance of 72.96 feet to the place of beginning, containing 43.821 acres, or 1,908,821 square feet of land.

STATE OF TEXAS
COUNTY OF DENTON

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.



REGISTERED PUBLIC LAND SURVEYOR TEXAS R.P.L.S. NO. 5515 _____ DATE _____

NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, Jonathan Wang acting herein by and through its duly authorized officer, does hereby adopt this plat designating the hereinabove described property as LANE RANCH, PHASE 1, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public utility entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

WITNESS MY HAND this _____ day of _____, 2024.

_____, Owner

_____, Title and Company

State of Texas
County of Denton

Before me, the undersigned authority, on this day personally appeared Jonathan Wang, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2024.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires _____

Preliminary Plat for Review Purposes Only

Approved for Preparation of Final Plat

City of Sanger, TX Date
Planning & Zoning Commission

Date: 5-2-24
Dwg Scale: 1"=60'

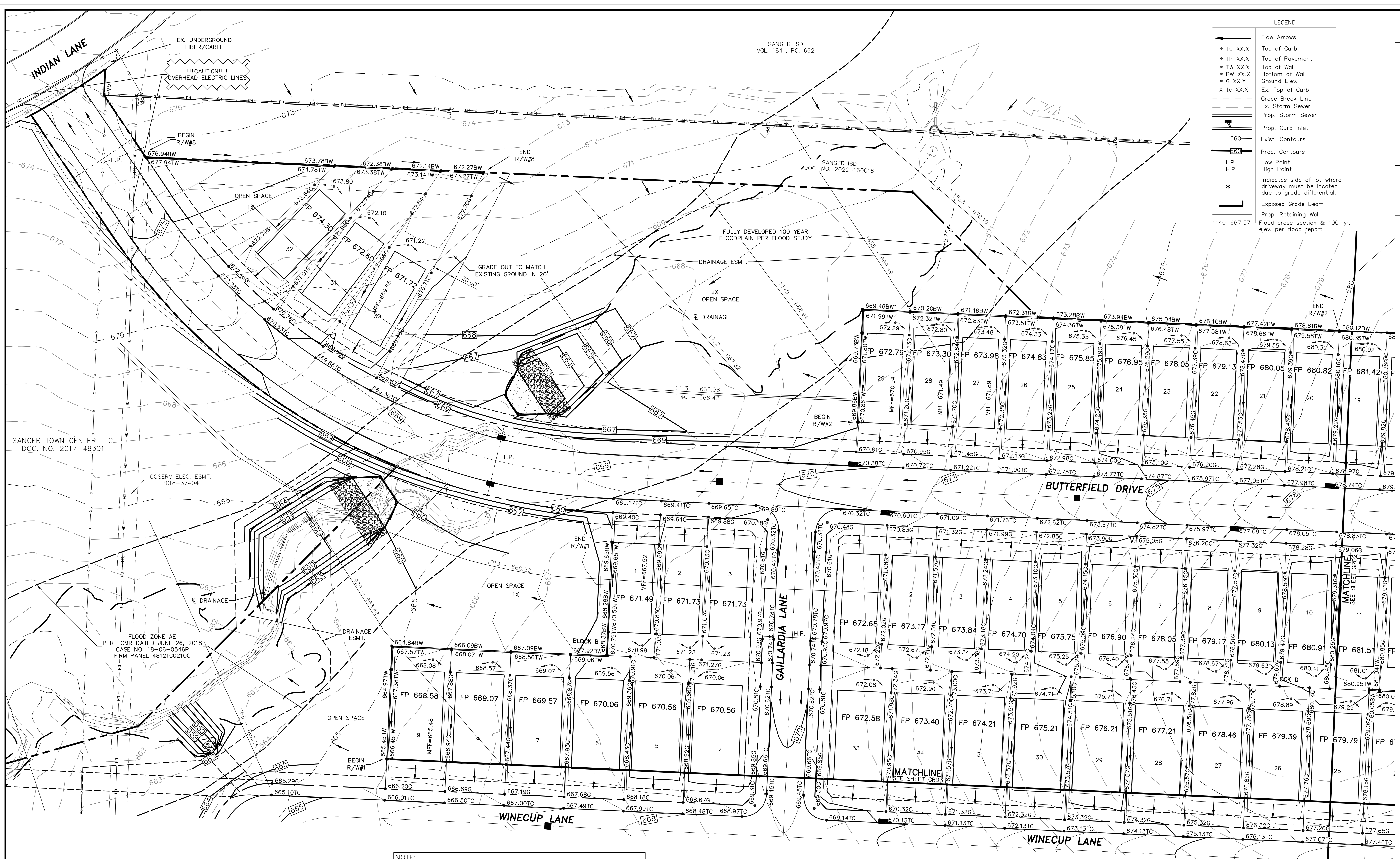
Dwg File: 0001043FPT.DWG
Project No. 0001043

PPT4

JOHN COWAN & ASSOCIATES, INC.
10147 CR 135 ELMT, TEXAS 75762 PH: (803) 581-2238
WWW.TEXASURVEYS.COM
FIRM REGISTRATION CERTIFICATION NO. 10025500

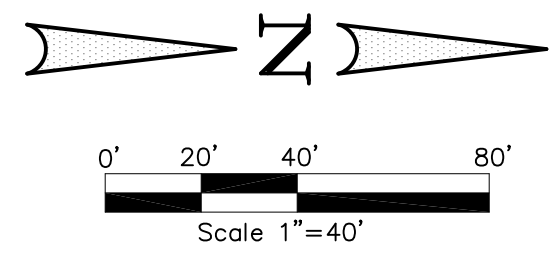
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CITY OF SANGER, DENTON COUNTY, TEXAS

Middleton & Assoc, LLC
CONSULTING CIVIL ENGINEERS & LAND PLANNERS
TBPE #1-10900
2785 ROCKBROOK DRIVE, SUITE 105
LEWISVILLE, TEXAS 75067 (972) 393-9800



LEGEND

- Flow Arrows
- TC XX.X Top of Curb
- TP XX.X Top of Pavement
- TW XX.X Top of Wall
- BW XX.X Bottom of Wall
- G XX.X Ground Elev.
- X to XX.X Ex. Top of Curb
- Grade Break Line
- Ex. Storm Sewer
- Prop. Storm Sewer
- Prop. Curb Inlet
- Exist. Contours
- Prop. Contours
- Low Point
- H.P.
- Indicates side of lot where driveway must be located due to grade differential.
- Exposed Grade Beam
- Prop. Retaining Wall
- Flood cross section & 100-yr. elev. per flood report



BENCHMARK 1
WEST CORNER OF HDWL. SOUTH SIDE OF FM 455, 680' EAST OF THE N/W CORNER OF THE PROPERTY. ELEV.=679.82

BENCHMARK 2
N/E CORNER OF INLET ON EAST SIDE OF INDIAN LANE, 150' SOUTH OF ELEM. SCHOOL DRIVE. ELEV.=653.07

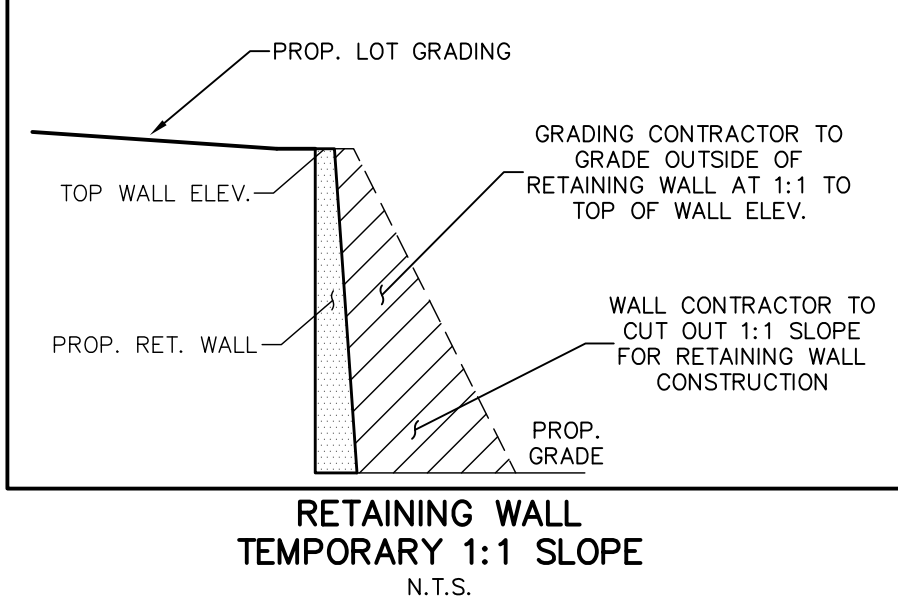
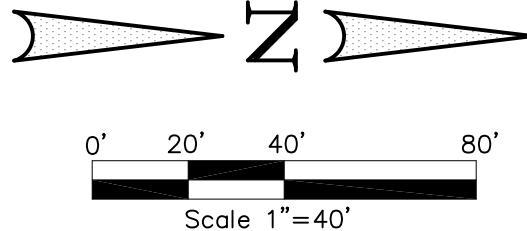
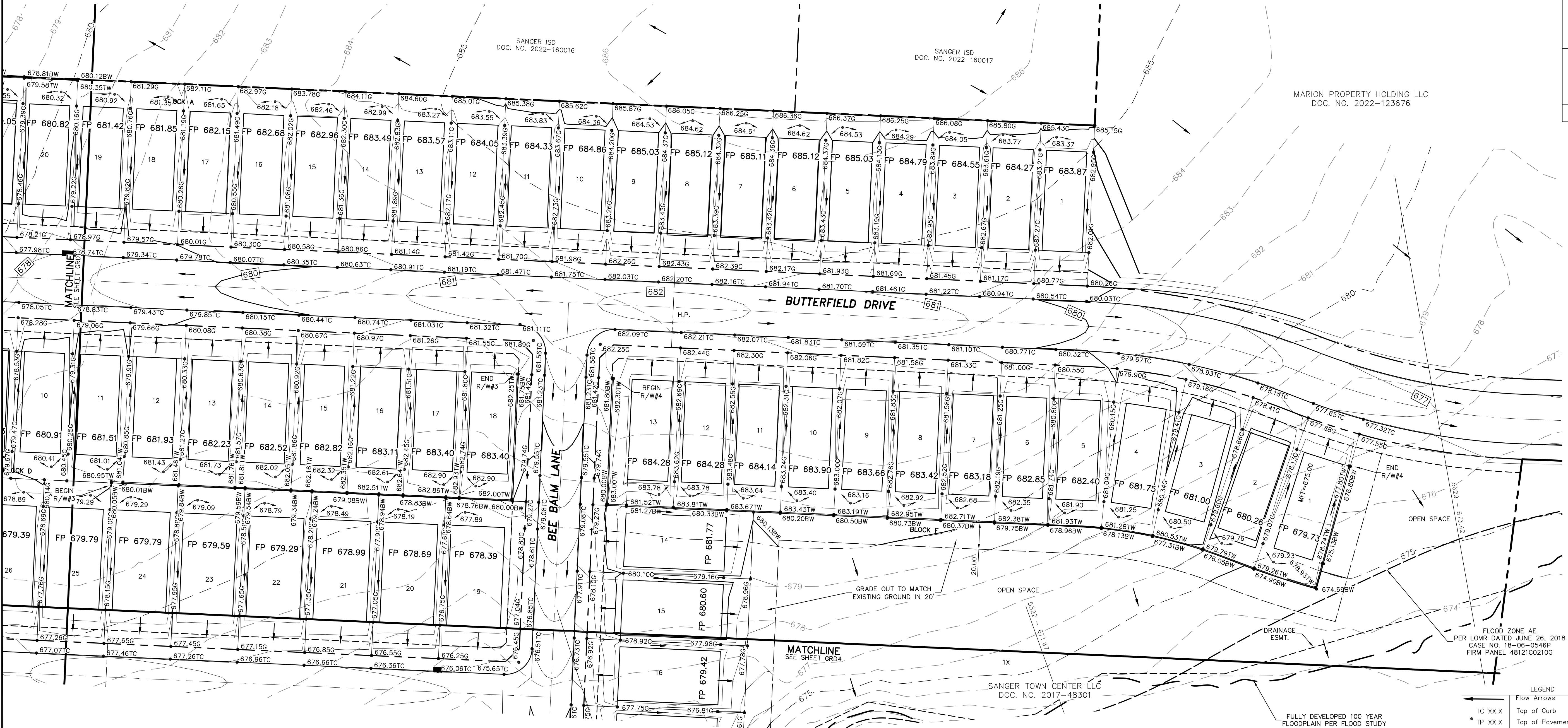
NOTE:

1. FOR RETAINING WALL OVER 2' CONTRACTOR SHALL FURNISH A STRUCTURAL DESIGN FOR ALL WALLS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.
2. NO RETAINING WALLS, INCLUDING FOOTINGS, SHALL BE PLACED IN A RIGHT-OF-WAY, EASEMENT OR OVERLAPPING RESIDENTIAL PROPERTY LINES.
3. REFER TO FLOOD STUDY BY CARDINAL STRATEGIES FOR LANE RANCH DATED 4-22-24 FOR ALL FULLY DEVELOPED FLOODPLAIN AND HYDROLOGY INFORMATION.

DATE		REVISION		APPROV.
No.				
<div>These construction plans were prepared under the responsible supervision of F.E. Middleton Jr., Registered Professional Engineer No. 67443.</div>				
<div>LANE RANCH, PHASE 1 CITY OF SANGER DENTON COUNTY, TEXAS</div>				
<div>SANGER TOWN CENTER LLC & MARION PROPERTY HOLDING LLC 10000 ROCKBROOK DRIVE, SUITE 105 LEWISVILLE, TEXAS 75019 JONATHAN WANG - 214-316-2256</div>				
<div>LANE RANCH, PHASE 1</div>				
<div>LOT GRADING PLAN</div>				
<div>5-1-24 Dwg Scale: Hor. 1"=40' Vert. Dwg File: 0001043SITE.DWG Project No. 0001043</div>				
<div>G1</div>				

BENCHMARK 1
WEST CORNER OF HDWL. SOUTH SIDE OF FM
455, 680' EAST OF THE N/W CORNER OF
THE PROPERTY. ELEV.=679.82

BENCHMARK 2
N/E CORNER OF INLET ON EAST SIDE OF
INDIAN LANE, 150' SOUTH OF ELEM. SCHOOL
DRIVE. ELEV.=653.07



- NOTE:
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LEGEND	
Flow Arrows	
TC XX.X	Top of Curb
TP XX.X	Top of Pavement
TW XX.X	Top of Wall
BW XX.X	Bottom of Wall
G XX.X	Ground Elev.
tc XX.X	Ex. Top of Curb
---	Grade Break Line
---	Ex. Storm Sewer
---	Prop. Storm Sewer
---	Prop. Curb Inlet
---	Exist. Contours
---	Prop. Contours
L.P.	Low Point
H.P.	High Point
*	Indicates side of lot where driveway must be located due to grade differential.
---	Exposed Grade Beam
---	Prop. Retaining Wall
---	Flood cross section & 100-yr elev. per flood report

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF F.E. MIDDLETON JR., REGISTERED PROFESSIONAL ENGINEER NO. 67443.



LANE RANCH, PHASE 1
CITY OF SANGER
DENTON COUNTY, TEXAS
SANGER TOWN CENTER LLC &
MARION PROPERTY HOLDING LLC
10000 ROCKBROOK DRIVE, SUITE 105
LEWISVILLE, TEXAS 75019
JONATHAN WANG - 214-316-2256

LOT GRADING PLAN
LANE RANCH, PHASE 1

Date: 5-1-24
Dwg Scale: Hor. 1"=40'
Vert. 1"=10'
Dwg File: 0001043SITE.DWG
Project No. 0001043

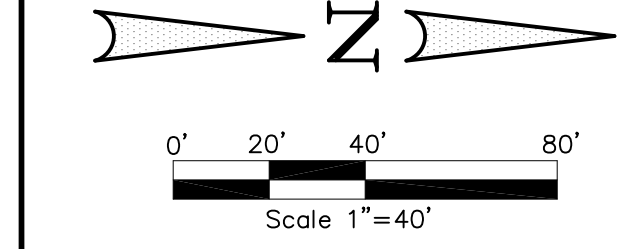
G2

APPROV.
REVISION
DATE
No.
Middleton & Assoc., LLC
CONSULTING CIVIL ENGINEERS & LAND PLANNERS
TSPE #1-19900
2785 ROCKBROOK DRIVE, SUITE 105
LEWISVILLE, TEXAS 75067 (972) 393-9800

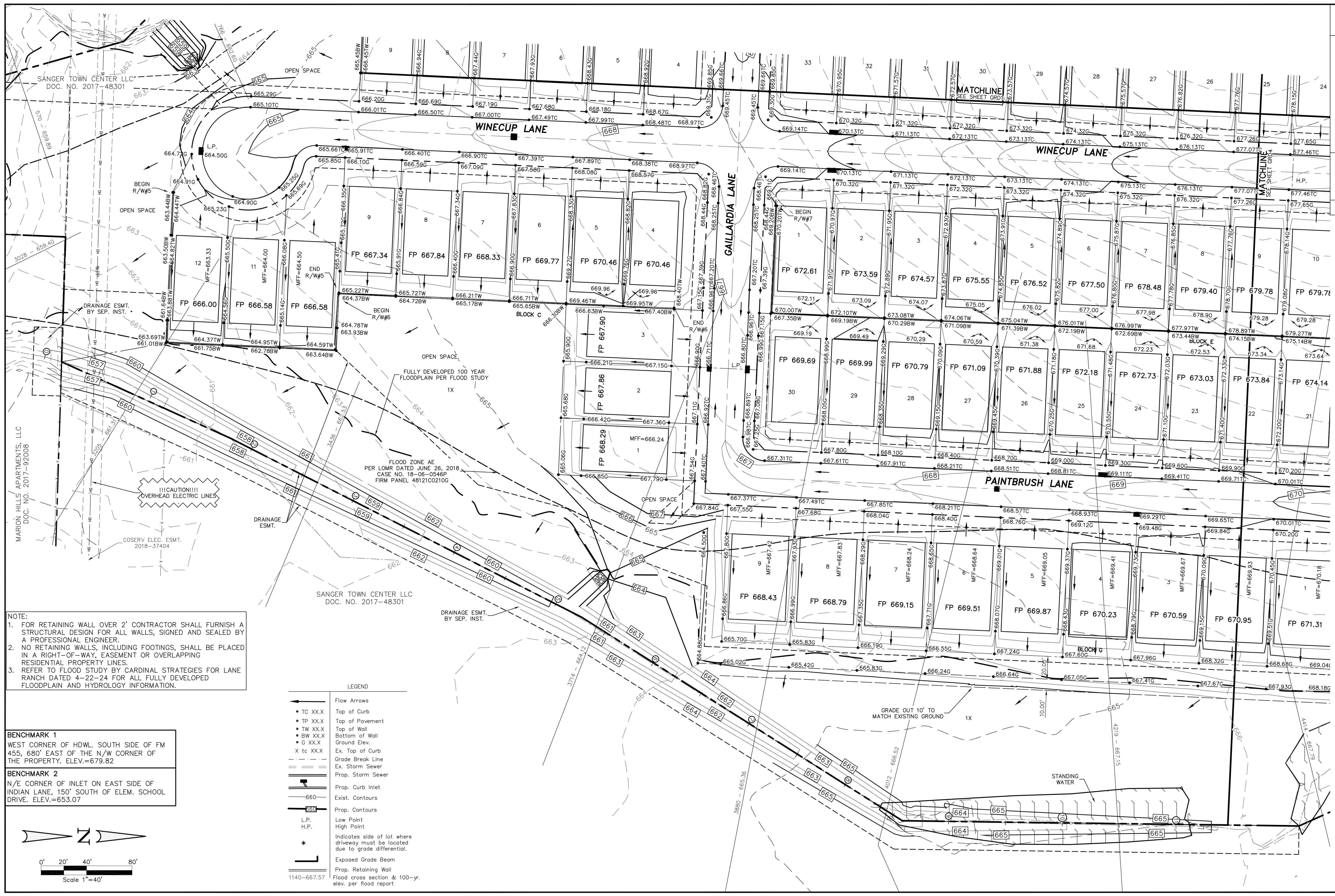
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BENCHMARK 1
WEST CORNER OF HDWL. SOUTH SIDE OF FM 455, 680' EAST OF THE N/W CORNER OF THE PROPERTY. ELEV.=679.82

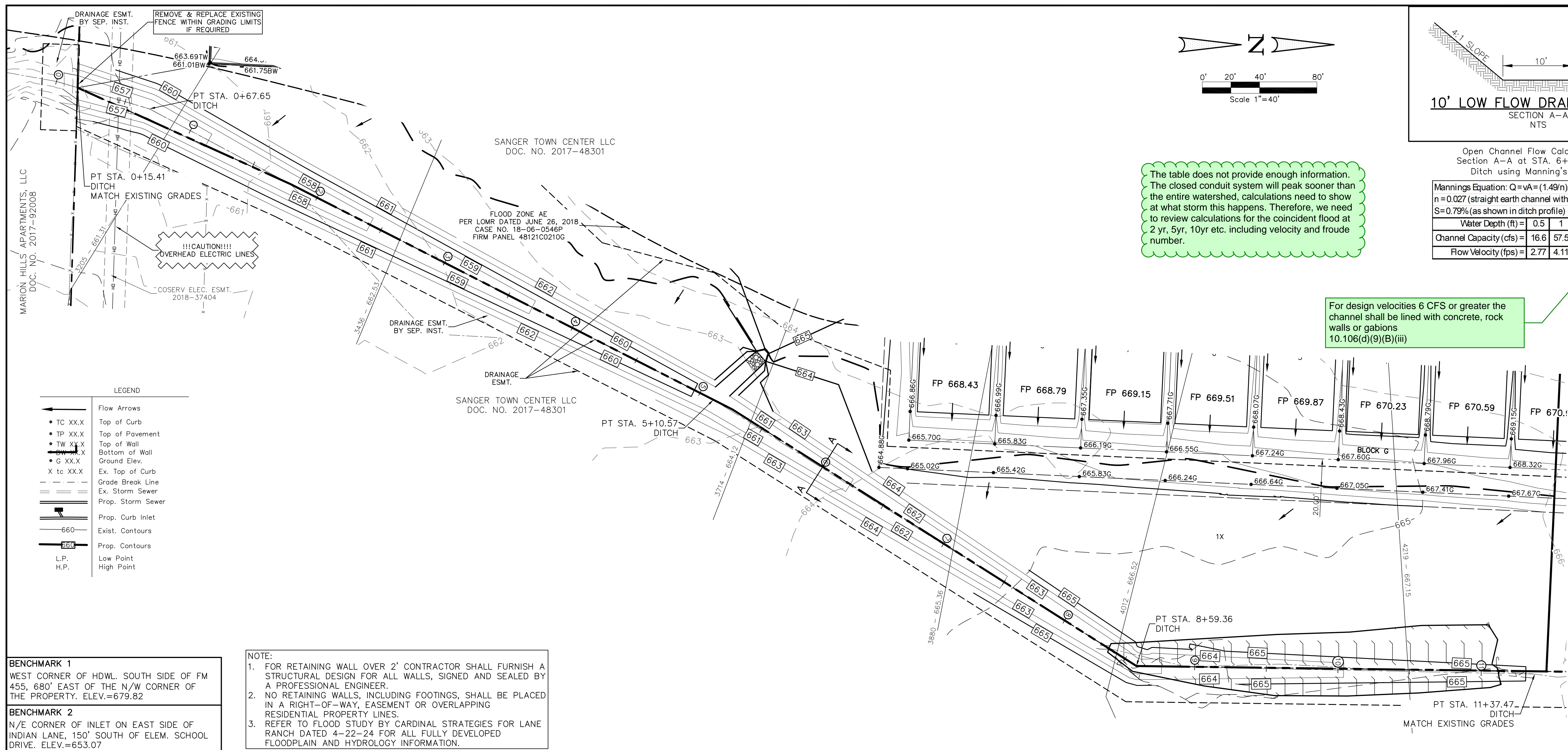
BENCHMARK 2
N/E CORNER OF INLET ON EAST SIDE OF INDIAN LANE, 150' SOUTH OF ELEM. SCHOOL DRIVE. ELEV.=653.07



- LEGEND
- Flow Arrows
 - TC XX.X Top of Curb
 - TP XX.X Top of Pavement
 - TW XX.X Top of Wall
 - BW XX.X Bottom of Wall
 - G XX.X Ground Elev.
 - X to XX.X Ex. Top of Curb
 - - - - - Grade Break Line
 - - - - - Ex. Storm Sewer
 - - - - - Prop. Storm Sewer
 - - - - - Prop. Curb Inlet
 - - - - - Exist. Contours
 - - - - - Prop. Contours
 - L.P. Low Point
 - H.P. High Point
 - * Indicates side of lot where driveway must be located due to grade differential.
 - Exposed Grade Beam
 - Prop. Retaining Wall
 - Flood cross section & 100-yr. elev. per flood report



THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF F.E. MIDDLETON JR., REGISTERED PROFESSIONAL ENGINEER NO. 07449.		
DATE	REVISION	APPROV.
No.		
LOT GRADING PLAN		
LANE RANCH, PHASE 1 CITY OF SANGER DENTON COUNTY, TEXAS SANGER TOWN CENTER LLC & MARION PROPERTY HOLDING LLC 10000 ROCKBROOK DRIVE, SUITE 105 LEWISVILLE, TEXAS 75019 JONATHAN WANG - 214-316-2256		
Middleton & Assoc., LLC CONSULTING CIVIL ENGINEERS & LAND PLANNERS TSPE #1-10900 2785 ROCKBROOK DRIVE, SUITE 105 LEWISVILLE, TEXAS 75067 (972) 393-9800		
Date: 5-1-24	Dwg Scale: Hor. 1"=40'	G3
	Vert.	
Dwg File: 0001043SITE.DWG	Project No. 0001043	



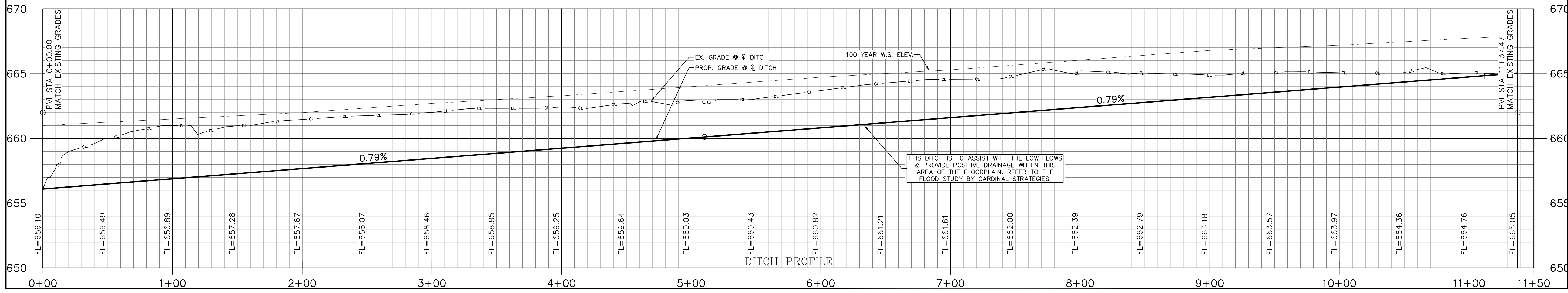
- LEGEND
- Flow Arrows
 - TC XX.X Top of Curb
 - TP XX.X Top of Pavement
 - TW XX.X Top of Wall
 - EW XX.X Bottom of Wall
 - G XX.X Ground Elev.
 - X to XX.X Ex. Top of Curb
 - Grade Break Line
 - - - Ex. Storm Sewer
 - Prop. Storm Sewer
 - Prop. Curb Inlet
 - 660 Exist. Contours
 - 660 Prop. Contours
 - L.P. Low Point
 - H.P. High Point

BENCHMARK 1
WEST CORNER OF HDWL. SOUTH SIDE OF FM 455, 680' EAST OF THE N/W CORNER OF THE PROPERTY. ELEV.=679.82

BENCHMARK 2
N/E CORNER OF INLET ON EAST SIDE OF INDIAN LANE, 150' SOUTH OF ELEM. SCHOOL DRIVE. ELEV.=653.07

NOTE:

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APPROV.
DATE
REVISION
No.

Middleton & Assoc, LLC

CONSULTING CIVIL ENGINEERS & LAND PLANNERS

TSPE #1-19900

2785 ROCKBROOK DRIVE, SUITE 105

LEWISVILLE, TEXAS 75067 (972) 393-9800

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LANE RANCH, PHASE 1

CITY OF SANGER

DENISON COUNTY, TEXAS

SANGER TOWN CENTER LLC & MARION PROPERTY HOLDING LLC

10000 COPPELL

COPELLE, TEXAS 75019

JONATHAN WANG - 214-316-2256

LOT GRADING PLAN

LANE RANCH, PHASE 1

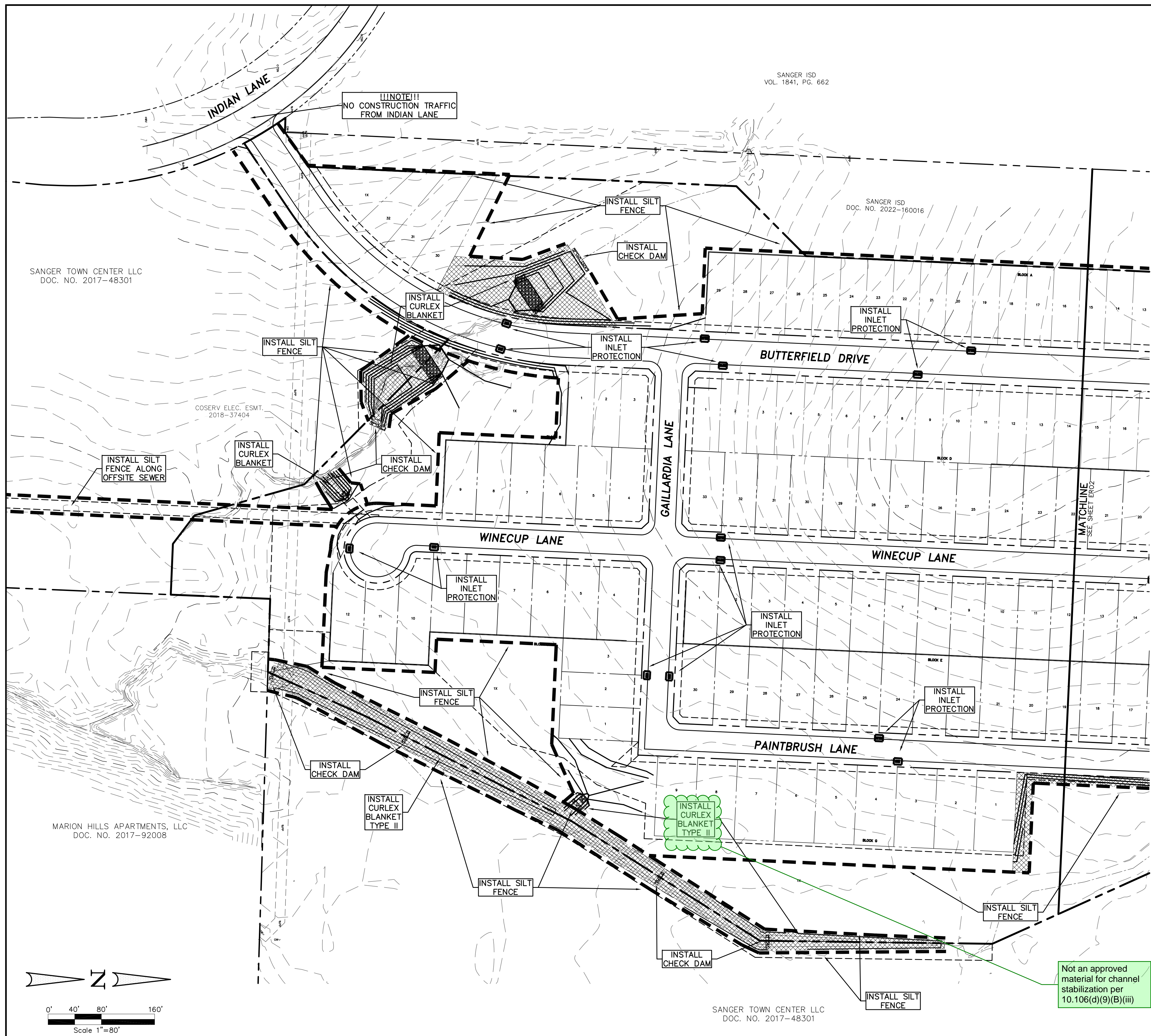
Dates: 5-1-24

Dwg Scale: Hor. 1"=40'

Dwg File: 000104SITE.DWG

Project No. 0001043

G5



EROSION CONTROL SEQUENCING	
PHASE	DEVICES
1.GRADING	SILT FENCE & EXISTING INLET(S) PROTECTION
2.UTILITY INSTALLATION	SILT FENCE
3.DRAINAGE INSTALLATION	SILT FENCE, INLET PROTECTION
4.PAVING OPERATIONS	SILT FENCE, CURB AND DROP INLET PROTECTION
5.LANDSCAPE	SILT FENCE, CURLEX, SEEDING AND SODDING,
INLET(S) PROTECTION	
6.FINAL CLEAN-UP	SILT FENCE

TOTAL DISTURBED AREA = 32.4 ACRES

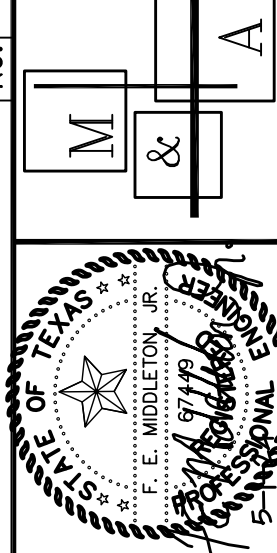
NOTE:
1. A 8' BAND OF CURLEX BLANKET SHALL BE PLACED BEHIND THE CURB ONCE ALL FRANCHISE UTILITIES ARE COMPLETE.
2. ALL LOTS WILL BE SEEDED WITH GRASS AFTER FINAL LOT BENCHING.

- EROSION CONTROL SEQUENCING
1. THE EROSION CONTROL CONTRACTOR SHALL INSTALL SILT FENCE ALONG THE PERIMETER OF THE SITE AND CONSTRUCT THE STABILIZED CONSTRUCTION ENTRANCES AT THE LOCATIONS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
 2. THE GRADING CONTRACTOR SHALL STRIP, CLEAR AND MASS GRADE THE SITE. THE GRADING CONTRACTOR IS TO ASSUME RESPONSIBILITY OF THE EROSION CONTROL DEVICES DURING GRADING OPERATIONS AND ENSURE THAT THESE DEVICES REMAIN IN GOOD WORKING ORDER. AFTER GRADING IS COMPLETE, THE GRADING CONTRACTOR SHALL INSPECT THE DEVICES TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
 3. BEGIN UTILITY INSTALLATION. THE UTILITY CONTRACTOR SHALL ASSUME RESPONSIBILITY OF THE EROSION CONTROL DEVICES DURING UTILITY CONSTRUCTION AND ENSURE THAT THESE DEVICES REMAIN IN GOOD WORKING ORDER. AFTER THE STORM DRAIN INLET INVERT AND WALLS ARE ERECTED, THE CONTRACTOR SHALL PROTECT THE INLET FROM SILTATION BY SURROUNDING IT WITH SILT FENCE OR HAY BALES. AFTER THIS PHASE OF UTILITY INSTALLATION IS COMPLETE, THE UTILITY CONTRACTOR SHALL INSPECT THE DEVICES PRIOR TO MOVING OFF SITE TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
 4. BEGIN PAVING CONSTRUCTION. THE PAVING CONTRACTOR SHALL ASSUME RESPONSIBILITY OF THE EROSION CONTROL DEVICES DURING PAVING CONSTRUCTION AND ENSURE THAT THESE DEVICES REMAIN IN GOOD WORKING ORDER. AFTER PAVING CONSTRUCTION IS COMPLETE, THE PARKWAYS SHALL BE BACKFILLED TO A FINISHED SLOPE OF 1/4" PER FOOT. THE PAVING CONTRACTOR SHALL INSPECT THE DEVICES PRIOR TO MOVING OFF SITE TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
 5. THE UTILITY CONTRACTOR SHALL REMOBILIZE AND FINISH THE STORM DRAIN INLET CONSTRUCTION BY COMPLETING THE ERECTION OF THE WALLS AND TOP. AFTER PUBLIC UTILITY CONSTRUCTION IS COMPLETE, THE UTILITY CONTRACTOR SHALL INSPECT THE DEVICES TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
 6. THE EROSION CONTROL CONTRACTOR SHALL INSTALL THE CURB INLET PROTECTION DETAILED ON THIS PLAN.
 7. BEGIN FRANCHISE UTILITY CONSTRUCTION. EACH FRANCHISE UTILITY CONTRACTOR SHALL ASSUME RESPONSIBILITY OF THE EROSION CONTROL DEVICES DURING FRANCHISE UTILITY CONSTRUCTION AND ENSURE THAT THESE DEVICES REMAIN IN GOOD WORKING ORDER. AFTER FRANCHISE UTILITY CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL INSPECT THE DEVICES TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
 8. AFTER CONSTRUCTION IS COMPLETE, THE EROSION CONTROL CONTRACTOR SHALL SEED ALL DISTURBED AREAS AND PLACE AN 8' BAND OF CURLEX BEHIND THE CURB. WHEN SUFFICIENT GRASS GROWTH HAS BEEN ESTABLISHED, ALL SILT FENCE AND OTHER EROSION CONTROL DEVICES SHALL BE REMOVED FROM THE SITE.

LEGEND	
	Ex. Storm Sewer
	Prop. Storm Sewer
	Prop. Curb Inlet
	Exist. Contours
	Prop. Contours
	Prop. Silt Fence
	Prop. Curb Inlet Protection
	Prop. Drop Inlet Protection
	Prop. Construction Entrance
	Prop. Curlex & Grass Seed
	Prop. Rock Check Dam

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EROSION CONTROL PLAN

Date: 5-1-24
Dwg Scale: Hor. 1"=80'
Vert. 1"=80'
Dwg File: 0001043ERO.DWG
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ERO1