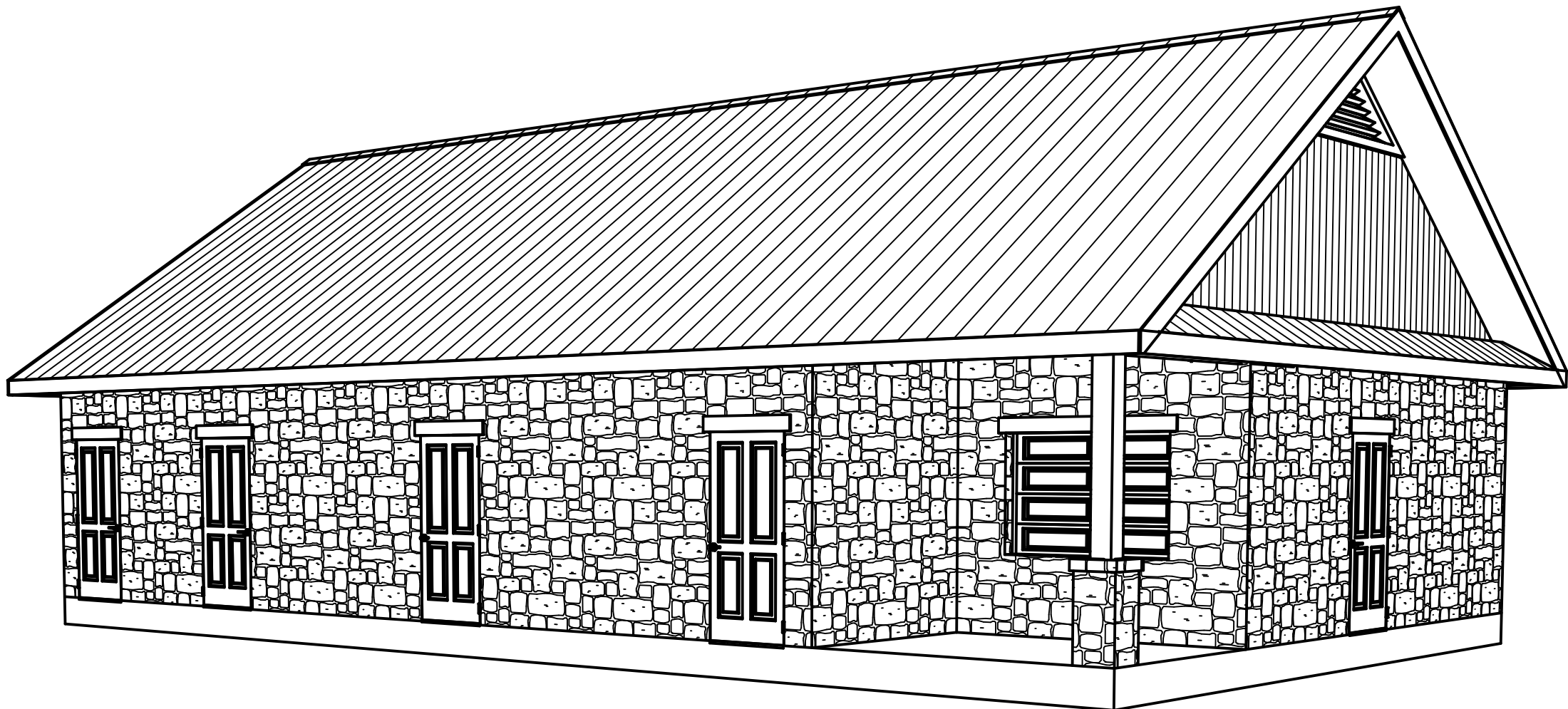


LOCATION MAP

MIRACLE LEAGUE
FIELD
TIN TOP ROAD
WEATHERFORD, TEXAS



GENERAL NOTES:

- 1) THE PROJECT WILL INVOLVE THE CONSTRUCTION OF A NEW COMMERCIAL OFFICE BUILDING, PARKING, SITEWORK AND UTILITIES PERTAINING TO THE BUILDING. CITY WATER, GAS AND SANITARY SEWER ARE AVAILABLE.
- 2) FURNISH ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO CONSTRUCT THE WORK IN ITS ENTIRITY WITH GOOD WORKMANSHIP AND WITH QUALITY MATERIALS AS SPECIFIED IN THE DRAWINGS AND OTHERWISE DIRECTED BY THE OWNER. ALL WORK SHALL MEET ACCEPTABLE STANDARDS FOR THE INDUSTRY.
- 3) NO CONCRETE SLAB POURING SHALL BE ALLOWED PRIOR TO APPROVAL AND RELEASE BY OWNER OF ALL TENANT FIT-OUT PLANS AND DETAILS AND ISTALLATION OF REQUIRED UNDER-SLAB UTILITIES.
- 4) ALL ELECTRICAL WORK SHALL BE INSTALLED PER THE REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
- 5) THE FOLLOWING CODES HAVE BEEN ADOPTED FOR THIS PROJECT AND ARE IN EFFECT PER CITY ORDINANCE TITLE IV, CHAPTER 1, SECTION 4-1-1: 2003 IBC, 2003 IRC, 2003 IFM, 2003 IEC, 2003 IPC, 2003 IMC, 2003 IFC, AND 2002 NEC. A BUILDING PERMIT AND CODE COMPLIANCE WILL BE USED FOR THIS PROJECT.
- 6) CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIAL TYPES AND QUALITY REQUIREMENTS WITH THE OWNER PRIOR TO BIDDING, ORDERING MATERIAL AND BEGINNING OF CONSTRUCTION.
- 7) PROJECT MUST BE KEPT CLEAN FROM RUBBISH AND DEBRIS AT ALL TIMES. ALL EXCESS TRASH AND DEBRIS SHALL BE DISPOSED OF OFF SITE UNLESS OTHER WISE DIRECTED BY THE OWNER.

BUILDING DESIGNER:



MEP:
POINTSWEST DESIGN
BENBROOK, TEXAS
(817)676-2306

CIVIL & STRUCTURAL ENGINEER:

WASTELINE ENGINEERING, INC.
208 S. FRONT STREET
ALEDO, TEXAS 76008
(817) 441-1300

SURVEYOR:

CARTER SURVEYING AND MAPPING
208 SOUTH FRONT STREET
ALEDO, TX 76008
(817) 441-1742

TAS # :

DRAWING INDEX

PROJECT COVER SHEET

CIVIL

- PLAT
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 - C2 DRAINAGE PLAN
 - C3 PAVING PLAN
 - C4 PAVING DETAILS
 - C5 UTILITY PLAN

STRUCTURAL

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- S2 FIELD SURFACE PLAN
- S3 FIELD SURFACE DETAILS

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- A4 CONCESSION ELECTRICAL PLAN
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NOTES

1) PROPERTY IS NOT LOCATED WITHIN A FLOOD ZONE OR FLOOD HAZARD ZONE, ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) MAP NO. 48367C0385E, DATED SEPTEMBER 26, 2008.

2) ALL CORNERS ARE SET 1/2" IRON RODS, CAPPED - "CARTER-WFORD", UNLESS OTHERWISE NOTED.

3) SPECIAL NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, AND IS SUBJECT TO FINES AND WITH HOLDING OF UTILITIES AND BUILDING PERMITS.

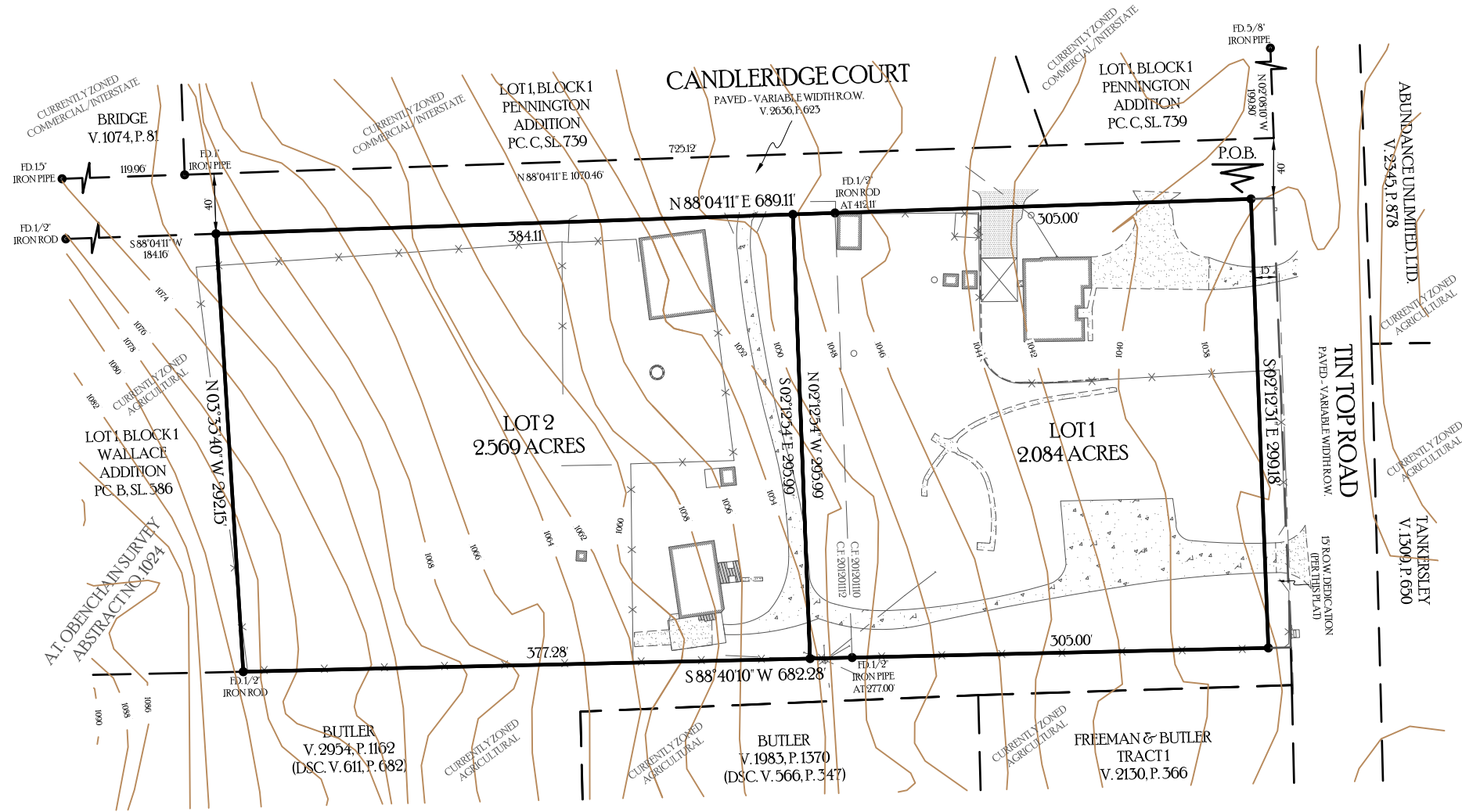
4) UTILITY EASEMENTS MAY BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLICS AND THE CITY OF WEATHERFORD'S USE THEREOF. THE CITY OF WEATHERFORD AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDING, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENT. THE CITY OF WEATHERFORD AND PUBLIC UTILITY ENTITIES SHALL, AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS, WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.

5) UNDERGROUND UTILITIES WERE NOT LOCATED DURING THIS SURVEY. CALL 1-800-DIG-TESS AND/OR UTILITY PROVIDERS BEFORE EXCAVATION OR CONSTRUCTION.

6) NO ABSTRACT OF TITLE OR TITLE COMMITMENT WAS PROVIDED TO THIS SURVEYOR. RECORD RESEARCH DONE BY THIS SURVEYOR WAS MADE ONLY FOR THE PURPOSE OF DETERMINING THE BOUNDARY OF THIS PROPERTY AND OF THE ADJOINING PARCELS. RECORD DOCUMENTS OTHER THAN THOSE SHOWN ON THIS SURVEY MAY EXIST AND ENCUMBER THIS PROPERTY.

7) BEFORE CONSTRUCTION PLEASE CONSULT ALL APPLICABLE GOVERNING ENTITIES REGARDING RULES & REGULATIONS, THAT MAY AFFECT CONSTRUCTION ON THIS PROPERTY. (IE, ARCHITECTURAL CONTROL COMMITTEE, MUNICIPAL DEPARTMENTS, HOME OWNERS ASSOC., ETC.)

8) THIS TRACT IS CURRENTLY ZONED AGRICULTURAL DISTRICT.



STATE OF TEXAS
COUNTY OF PARKER

WHEREAS, MERCER REAL ESTATE INVESTMENT 4, L.L.C. BEING THE SOLE OWNER OF A CERTAIN 4.653 ACRES (202,669+ SQ. FT.) TRACT OF LAND OUT OF THE A.T. OBENCHAIN SURVEY, ABSTRACT NO. 1024, PARKER COUNTY, TEXAS, SAME BEING ALL OF THOSE CERTAIN TRACTS OF LAND CONVEYED TO MERCER REAL ESTATE INVESTMENT 4, L.L.C. IN DOCUMENT NO. 201201110 AND DOCUMENT NO. 201201112, REAL RECORDS, PARKER COUNTY, TEXAS, AND BEING FURTHER DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A SET CAPPED 1/2" IRON ROD AT THE INTERSECTION OF THE CALLED SOUTH RIGHT OF WAY LINE OF CANDLERIDGE COURT (A PAVED SURFACE) AND THE DEDICATED WEST RIGHT OF WAY LINE OF TIN TOP RD. (A PAVED SURFACE) FOR THE NORTHEAST AND BEGINNING CORNER OF THIS TRACT, WHENCE THE NORTHWEST CORNER OF SAID A.T. OBENCHAIN SURVEY IS CALLED TO BEAR N 88°04'11" E 19.00 FEET AND NORTH 130.19 FEET AND WEST 113.99 FEET.

THENCE S 02°12'31" E 299.18 FEET ALONG THE DEDICATED WEST RIGHT OF WAY LINE OF SAID TIN TOP RD. TO SET CAPPED 1/2" IRON ROD AT THE NORTH BOUNDARY LINE OF THAT CERTAIN TRACT OF LAND CONVEYED TO BUTLER IN VOLUME 2994, PAGE 1162, R.R.P.C.T., FOR THE SOUTH EAST CORNER OF THIS TRACT.

THENCE S 88°40'10" W PASSING A FOUND 1/2" IRON PIPE AT THE SOUTHWEST CORNER OF SAID MERCER REAL ESTATE INVESTMENT, L.L.C. (DOC. NO. 201201110) TRACT AT 277.00 FEET AND IN ALL 682.28 FEET TO A FOUND 1/2" IRON ROD AT THE SOUTHWEST CORNER OF SAID MERCER REAL ESTATE INVESTMENT, L.L.C. (DOC. NO. 201201112) TRACT AND AT THE SOUTHEAST CORNER OF LOT 1, BLOCK 1, WALLACE ADDITION, AS RECORDED IN PLAT CABINET B, SLIDE 386, PLAT RECORDS, PARKER COUNTY, TEXAS, FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE N 03°33'40" W 292.15 FEET TO A SET CAPPED 1/2" IRON ROD AT THE NORTHWEST CORNER OF SAID MERCER REAL ESTATE INVESTMENT, L.L.C. (DOC. NO. 201201112) TRACT, AT THE NORTHEAST CORNER OF SAID LOT 1, BLOCK 1, WALLACE ADDITION, AND IN THE CALLED SOUTH RIGHT OF WAY LINE OF SAID CANDLERIDGE CT. FOR THE NORTHWEST CORNER OF THIS TRACT.

THENCE N 88°04'11" E ALONG THE CALLED SOUTH RIGHT OF WAY LINE OF SAID CANDLERIDGE CT. PASSING A FOUND 1/2" IRON ROD AT THE NORTHEAST CORNER OF SAID MERCER REAL ESTATE INVESTMENT, L.L.C. (DOC. NO. 201201112) TRACT AT 412.11 FEET AND IN ALL 689.11 FEET TO THE POINT OF BEGINNING.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT MERCER REAL ESTATE INVESTMENT 4, L.L.C., ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICER(S), DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS LOT 1 & LOT 2, MIRACLE LEAGUE ADDITION, AN ADDITION TO THE CITY OF WEATHERFORD, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, RIGHTS-OF-WAY, AND OTHER PUBLIC IMPROVEMENTS SHOWN THEREON, THE STREETS AND ALLEYS, IF ANY, ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED, FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY COUNCIL OF THE CITY OF WEATHERFORD. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME, UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLICS AND CITY OF WEATHERFORD'S USE THEREOF. THE CITY OF WEATHERFORD AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WEATHERFORD AND PUBLIC UTILITY ENTITIES SHALL, AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF WEATHERFORD, TEXAS.

WITNESS, MY HAND, THIS THE _____ DAY OF _____, 2014.
BY: _____

NAME, TITLE _____

STATE OF TEXAS
COUNTY OF PARKER

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE ____ DAY OF _____, 2014.

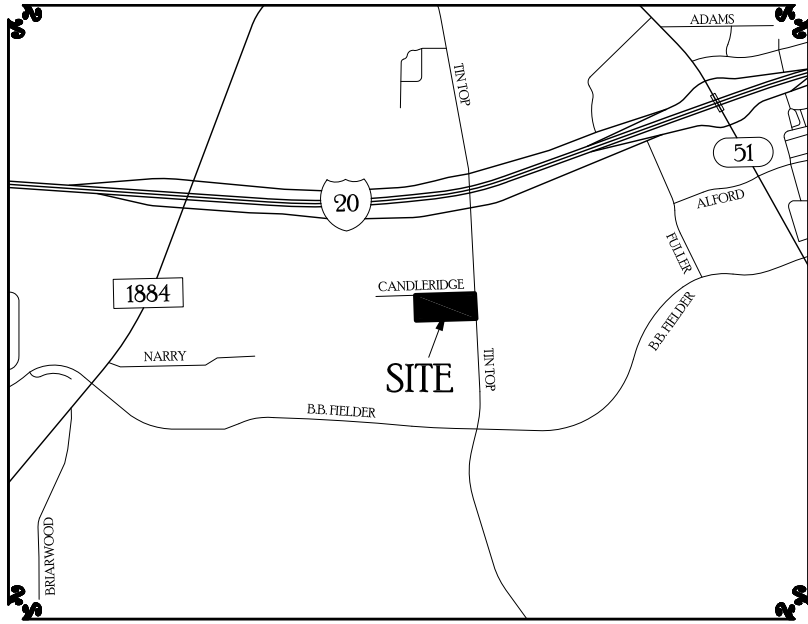
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

SURVEYORS CERTIFICATE

THIS IS TO STATE THAT I, PATRICK CARTER, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO STATE THAT THIS PLAT REPRESENTS AN ACTUAL ON THE GROUND SURVEY, AND THAT ALL CORNER MONUMENTS SET WERE PROPERLY PLACED IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF WEATHERFORD. THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME, OR UNDER MY DIRECT SUPERVISION.

PRELIMINARY - DO NOT RECORD

PATRICK CARTER, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5691
CARTER SURVEYING AND MAPPING, 110A PALO PINTO ST. WEATHERFORD, TX 76086
OCTOBER 2014 - JN141021-PLAT



PRELIMINARY PLAT
LOT 1 & LOT 2
MIRACLE LEAGUE ADDITION

BEING A 4.756 ACRES ADDITION TO THE CITY OF WEATHERFORD OUT OF THE A.T. OBENCHAIN SURVEY, ABSTRACT NO. 1024, PARKER COUNTY, TEXAS, BEING ALL OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DOC. NO. 201201110 AND DOC. NO. 201201112, REAL RECORDS, PARKER COUNTY, TEXAS.

OCTOBER 2014

CARTER SURVEYING
& MAPPING

110 PALO PINTO ST. - WEATHERFORD, TX - 76086
(P) 817-594-0400 - (F) 817-594-0403

STATE OF TEXAS

COUNTY OF PARKER

APPROVED BY THE CITY OF WEATHERFORD FOR FILING AT THE OFFICE OF THE COUNTY CLERK, PARKER COUNTY, TEXAS.

RECOMMENDED BY: PLANNING AND ZONING BOARD
CITY OF WEATHERFORD, TEXAS

CHAIRPERSON DATE OF RECOMMENDATION

APPROVED BY: CITY COUNCIL
CITY OF WEATHERFORD, TEXAS

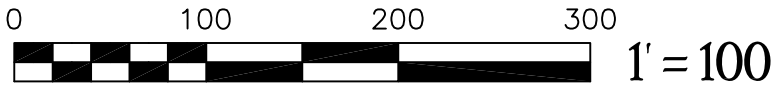
MAYOR DATE OF APPROVAL

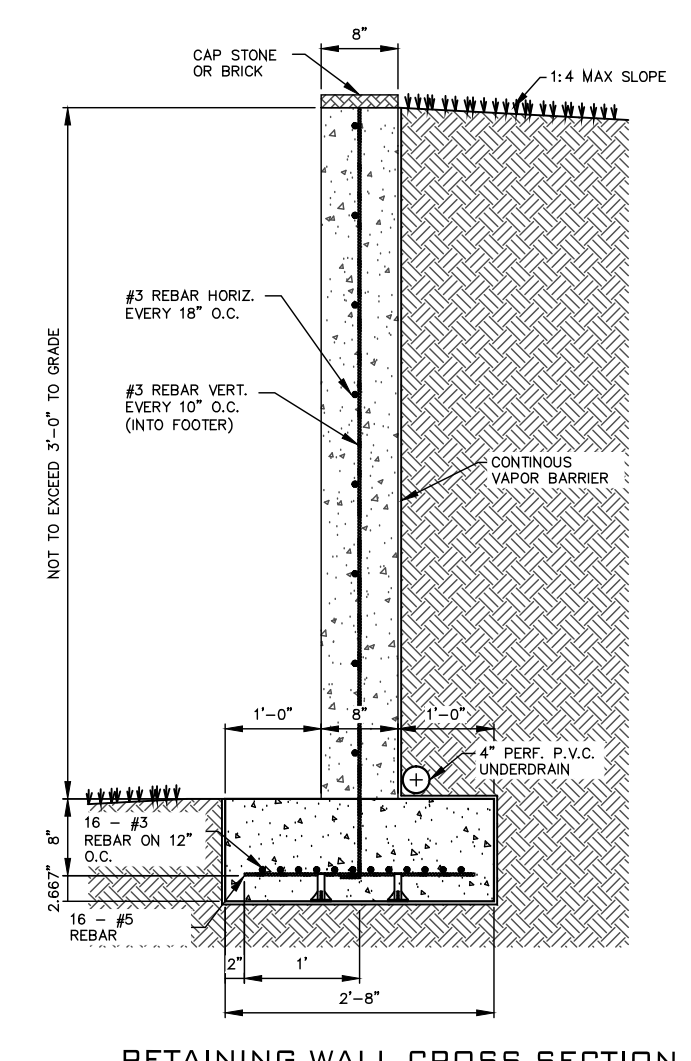
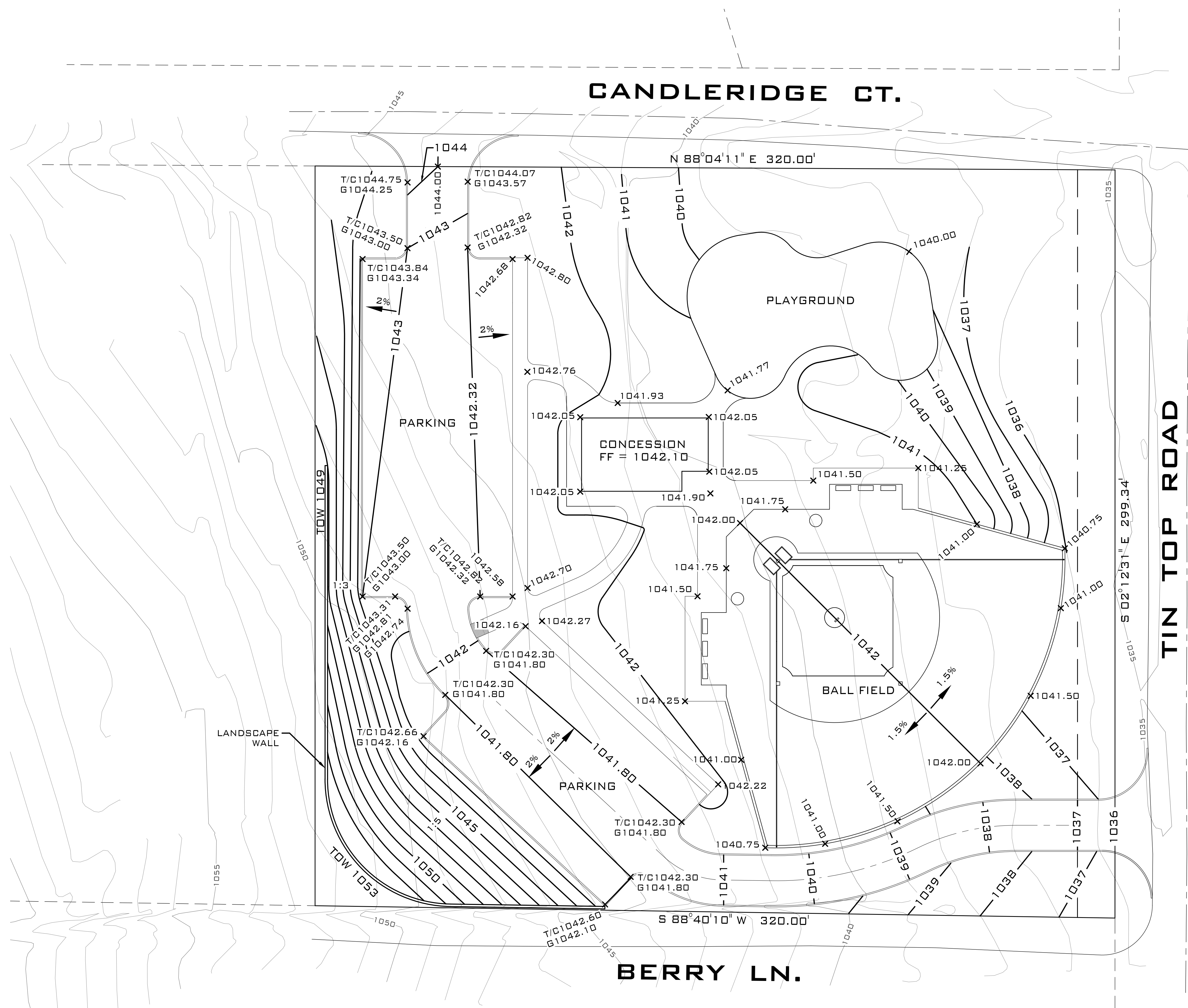
ATTEST:

CITY SECRETARY DATE

SURVEYOR:
PATRICK CARTER, R.P.L.S.
110 A PALO PINTO
WEATHERFORD, TEXAS, 76086
817-594-0400

OWNER/DEVELOPER:
MERCER REAL ESTATE
INVESTMENT 4, L.L.C.
130 EL CHICO TRAIL
WILLOW PARK, TX, 76087

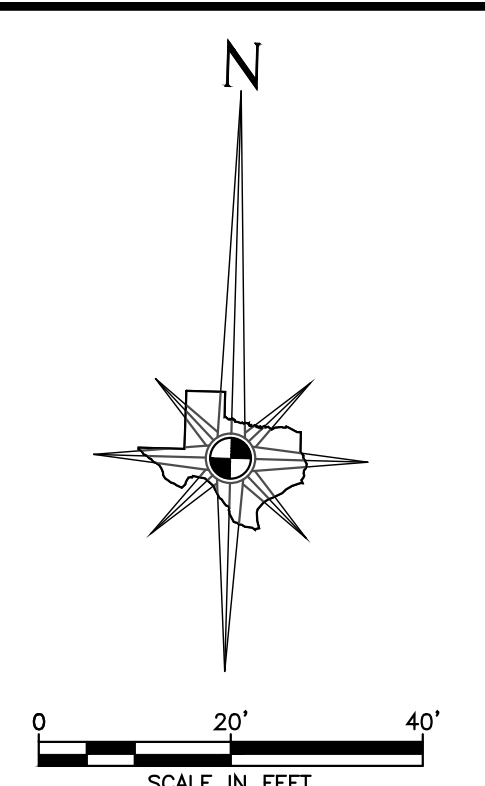




RETAINING WALL CROSS SECTION

NOT TO EXCEED 3'-0" TO GRADE

NOTE:
STONE/ROCK TO BE AFFIXED TO CONCRETE
RETAINING WALL AT A LATER DATE.



PIERTECH
DESIGN CONSULTANTS

208 S. FRONT ST., ALEDD, TX, 76008
(817) 441-1742, FAX: (817) 441-1033

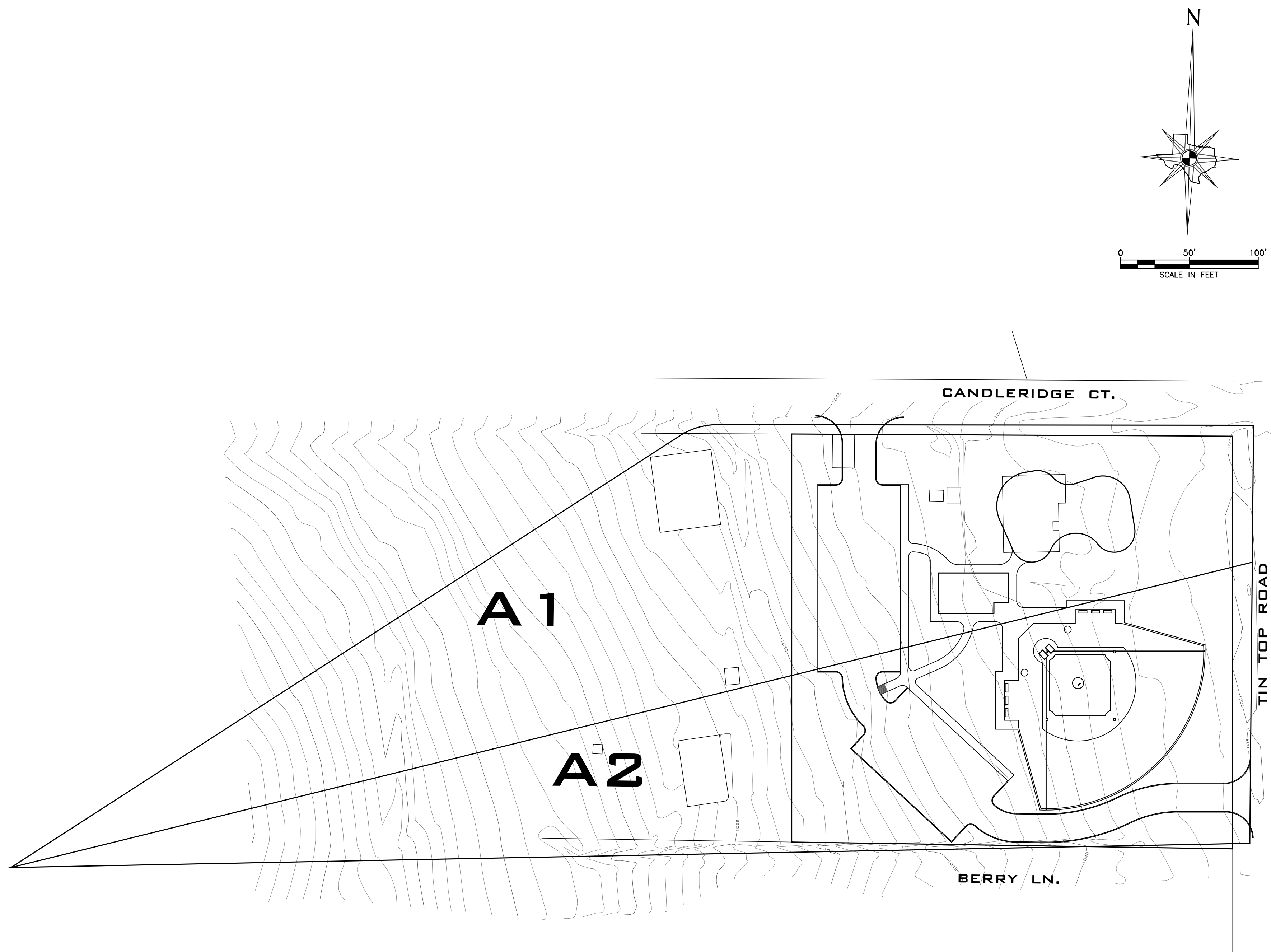
MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS

SCALE: 1" = 20'
DATE: 01-05-15
DRAWN BY: JAS

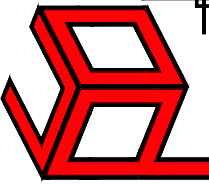
SHEET
NUMBER
C1

GRADING
PLAN

AR - 14263

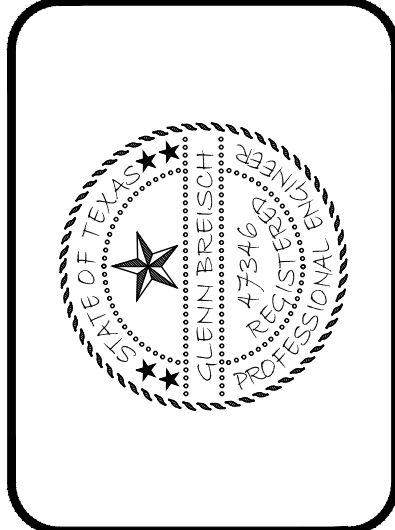


DRAINAGE COMPUTATIONS									
D.A.	AREA	RUNOFF COEFFICIENT		CA	Tc	I25	I100	Q25	Q100
A1	2.49	0.35 UN-PAVED	0.9 PAVED	0.99	10	7.50	9.60	7.43	9.50*
		2.28	0.21						
A2	2.08	0.35 UN-PAVED	0.9 PAVED	1.08	10	7.50	9.60	8.10	10.37*
		1.44	0.64						
*PROPOSED 100 YR. DISCHARGE IS LESS THAN SINGLE FAMILY RATE									
SINGLE FAMILY: 4.57 (0.5) 9.6=21.94 CFS					RAINFALL INTENSITIES BASED ON HYDRO-35				



PIERTECH
DESIGN CONSULTANTS

208 S. FRONT ST., ALEDD, TX, 76008
(817) 441-1742, FAX: (817) 441-1033



DRAINAGE
PLAN

MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS

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SCALE: 1"= 50'

DATE:01-05-15

DRAWN BY: JAS


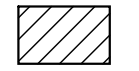
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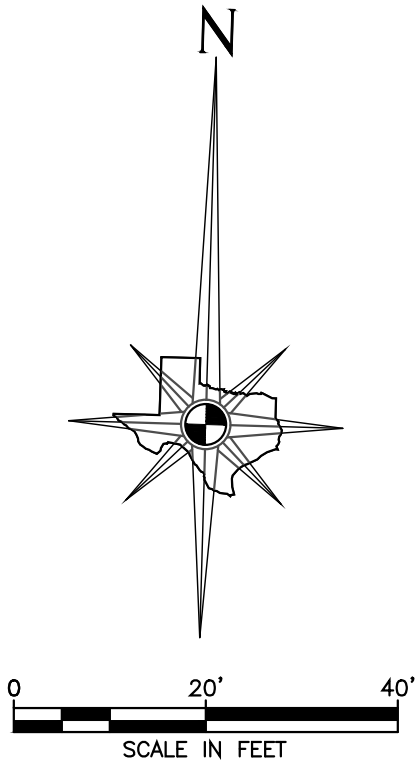
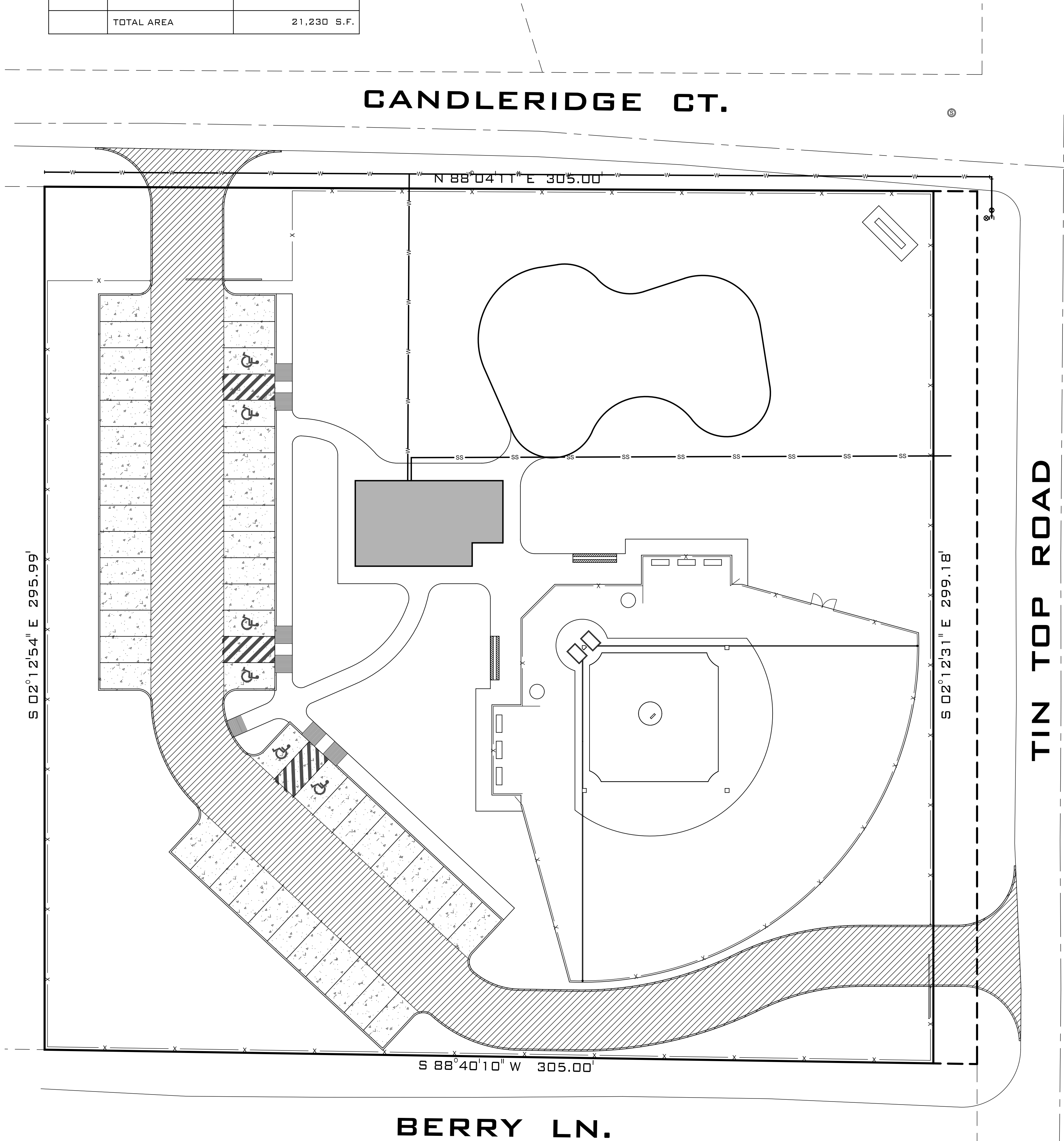
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NUMBER

C2

PAVING NOTES

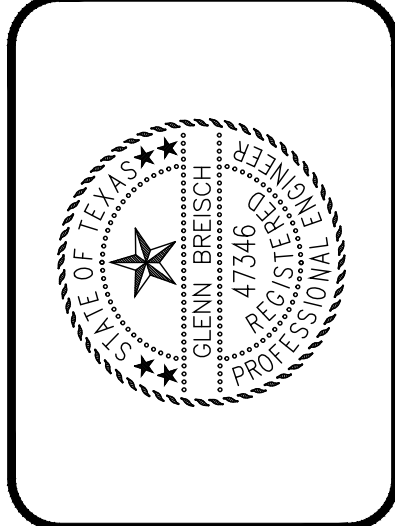
- A MINIMUM OF 7 PERCENT (7%) HYDRATED LIME SHALL BE USED TO STABILIZE THE CLAY SUBGRADE SOILS. THE HYDRATED LIME SHALL BE THOROUGHLY MIXED AND BLENDED WITH THE UPPER 6 INCHES OF THE SUBGRADE. THE HYDRATED LIME SHALL MEET THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS (TXDOT ITEM 260) STREETS AND BRIDGES, 2004 EDITION. LIME TREATMENT SHALL EXTEND BEYOND EXPOSED PAVEMENT EDGES.
- SUBGRADE STABILIZATION SHALL EXTEND TO AT LEAST ONE FOOT BEYOND PAVEMENT EDGES. EACH CONSTRUCTION AREA SHALL BE SHAPED TO ALLOW DRAINAGE OF SURFACE WATER DURING EARTHWORK OPERATIONS, AND SURFACE WATER SHALL BE PUMPED IMMEDIATELY FROM EACH CONSTRUCTION AREA AFTER EACH RAIN AND A FIRM SUBGRADE CONDITION MAINTAINED. WATER SHALL NOT BE ALLOWED TO POND, AND LIME SHALL BE ADDED TO THE SUBGRADE AFTER REMOVAL OF ALL SURFACE VEGETATION AND DEBRIS. SAND SHALL BE SPECIFICALLY PROHIBITED BENEATH PAVEMENT AREAS. LIME STABILIZED SOIL WILL BE ALLOWED FOR FINE GRADING. AFTER FINE GRADING EACH AREA IN PREPARATION FOR PAVING, THE SUBGRADE SURFACE SHALL BE LIGHTLY MOISTENED, AS NEEDED, AND RECOMPACTED TO OBTAIN A TIGHT NON-YIELDING SUBGRADE.
- LIGHT-DUTY PARKING AREAS ARE THOSE AREAS SUBJECTED EXCLUSIVELY TO PASSENGER CARS, WITH AN OCCASIONAL LIGHT- TO MEDIUM-DUTY TRUCK (2 TO 3 PER WEEK)
- MEDIUM TO HEAVY-DUTY DRIVES ARE THOSE DRIVES SUBJECTED TO A VARIETY OF LIGHT TO HEAVY-DUTY VEHICLES. THESE PAVEMENTS INCLUDE AREAS SUBJECT TO SIGNIFICANT TRUCK TRAFFIC OR TRASH VEHICLES.
- ASPHALTIC CONCRETE PAVEMENT SHALL NOT BE USED ON THIS SITE.
- A MINIMUM THICKNESS OF 5 INCHES OF CONCRETE SHALL BE USED FOR LIGHT-DUTY PARKING AREAS, AND 6 INCHES SHALL BE USED FOR MEDIUM TO HEAVY-DUTY AREAS.
- PAVEMENT MATERIAL REQUIREMENTS
 - REINFORCED PORTLAND CEMENT CONCRETE: CONCRETE PAVEMENT SHALL BE EQUAL TO ITEM 360, TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS, AND BRIDGES, 2004 EDITION.
 - THE DESIGN RECOMMENDATIONS ARE BASED ON A LIMITED AMOUNT OF INFORMATION ABOUT THE SUBSURFACE CONDITIONS. IN THE ANALYSIS, THE GEOTECHNICAL ENGINEER HAS ASSUMED THE SUBSURFACE CONDITIONS ARE SIMILAR TO THE CONDITIONS ENCOUNTERED IN THE BORINGS. HOWEVER, QUITE OFTEN DURING CONSTRUCTION ANOMALIES IN THE SUBSURFACE CONDITIONS ARE REVEALED.
 - IF REQUIRED AND, WHEN NECESSARY, ALTERNATIVE SOLUTIONS TO UNANTICIPATED CONDITIONS MAY BE REQUIRED.

AREA CALCULATIONS		
	5" CONCRETE PAVING	8,477 S.F.
	6" CONCRETE PAVING	12,753 S.F.
	TOTAL AREA	21,230 S.F.



PIERTECH
DESIGN CONSULTANTS

208 S. FRONT ST., ALEDO, TX, 76008
(817) 441-1742, FAX: (817) 441-1033



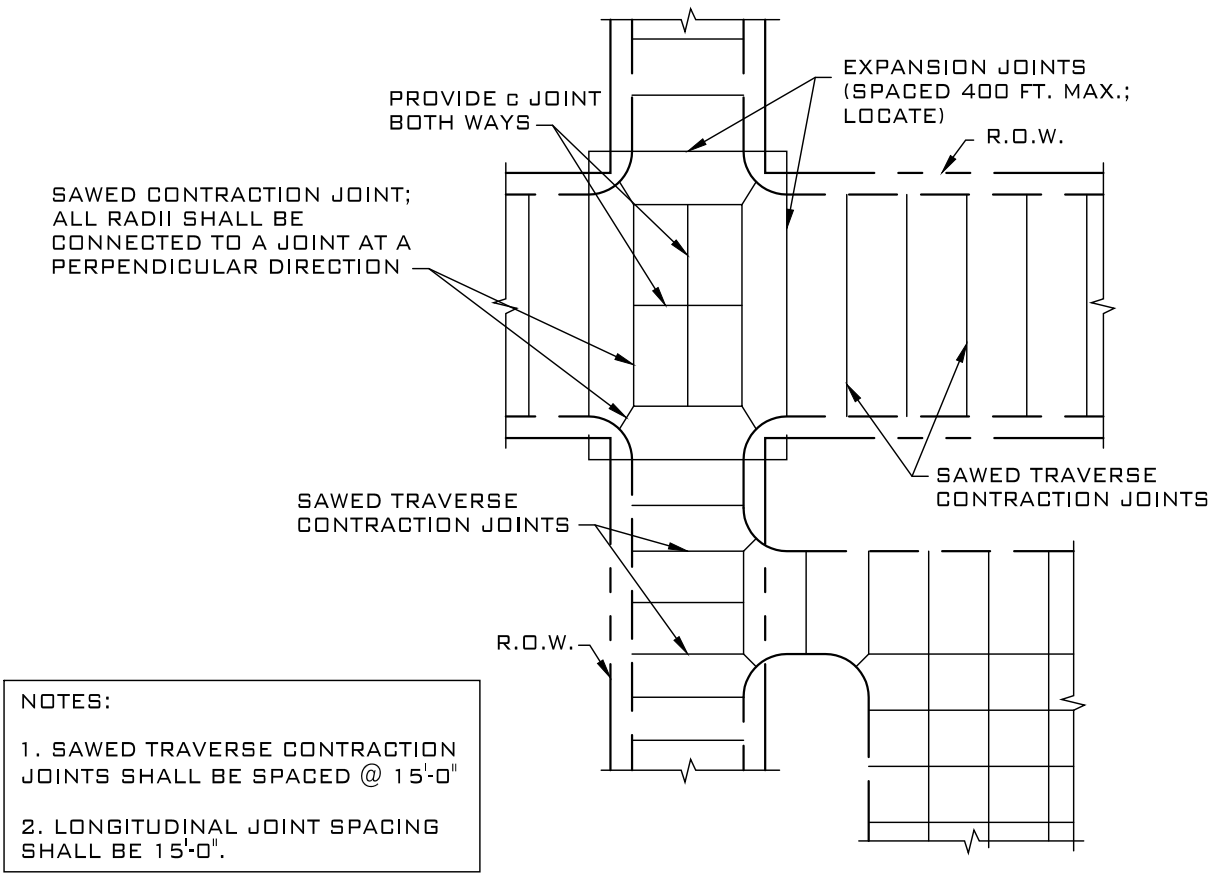
PAVING PLAN

MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS

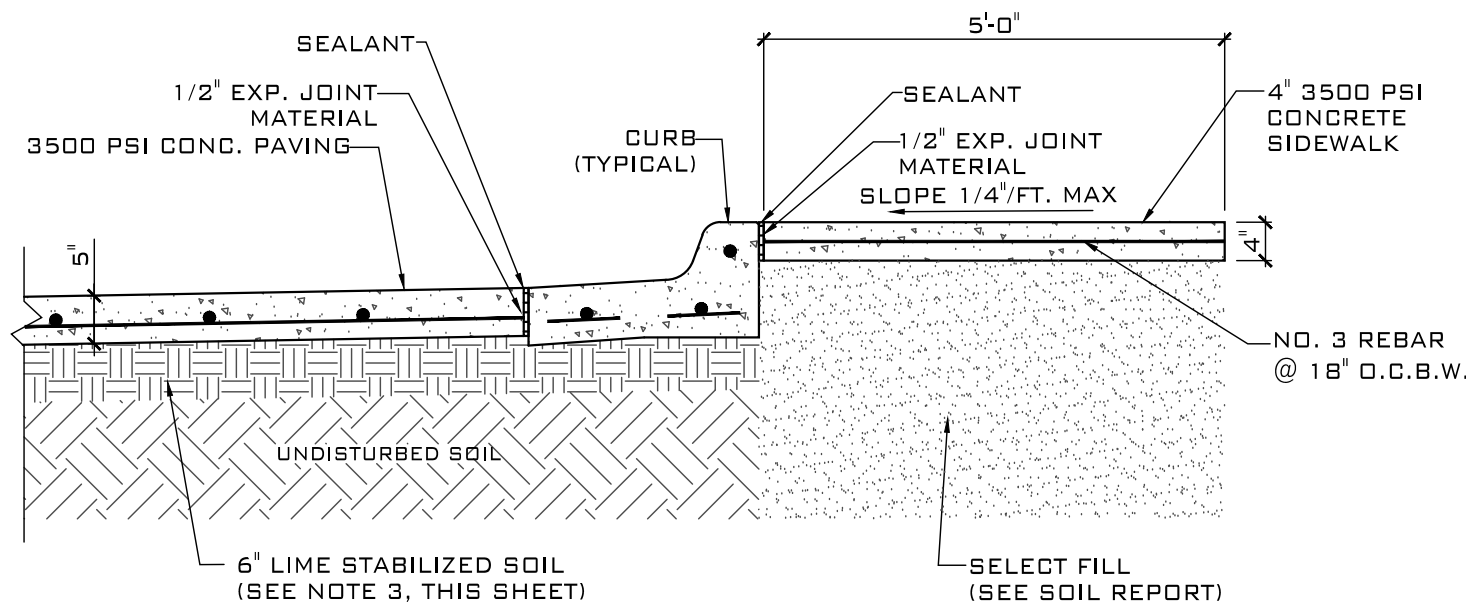
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DRAWN BY: JAS
AR - 14263

SHEET NUMBER
C3

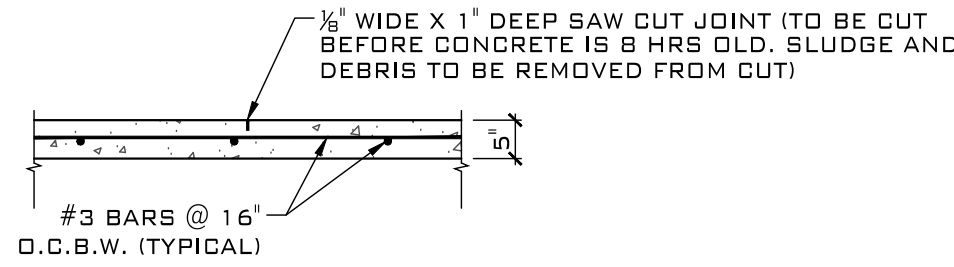
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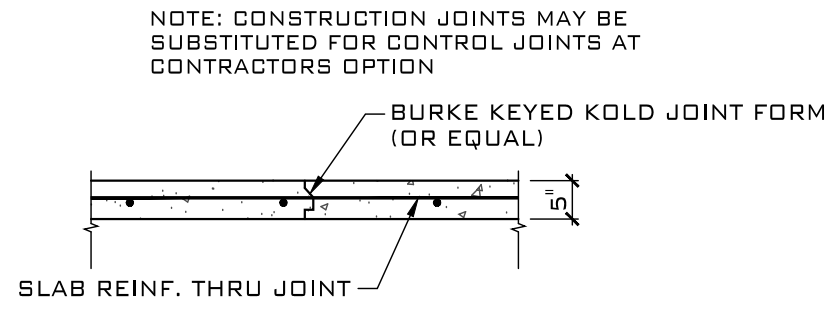
TYPICAL SPACING DIAGRAM
FOR TRANSVERSE JOINTS
NTS



CONCRETE PAVING
AND SIDEWALK DETAIL
NTS



TYP. CONTROL JOINT
NTS



TYP. CONSTRUCTION JOINT
NTS

PAVING
DETAILS

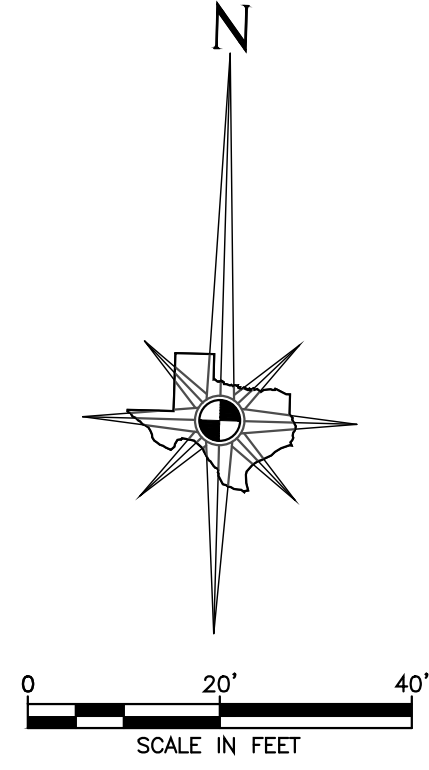
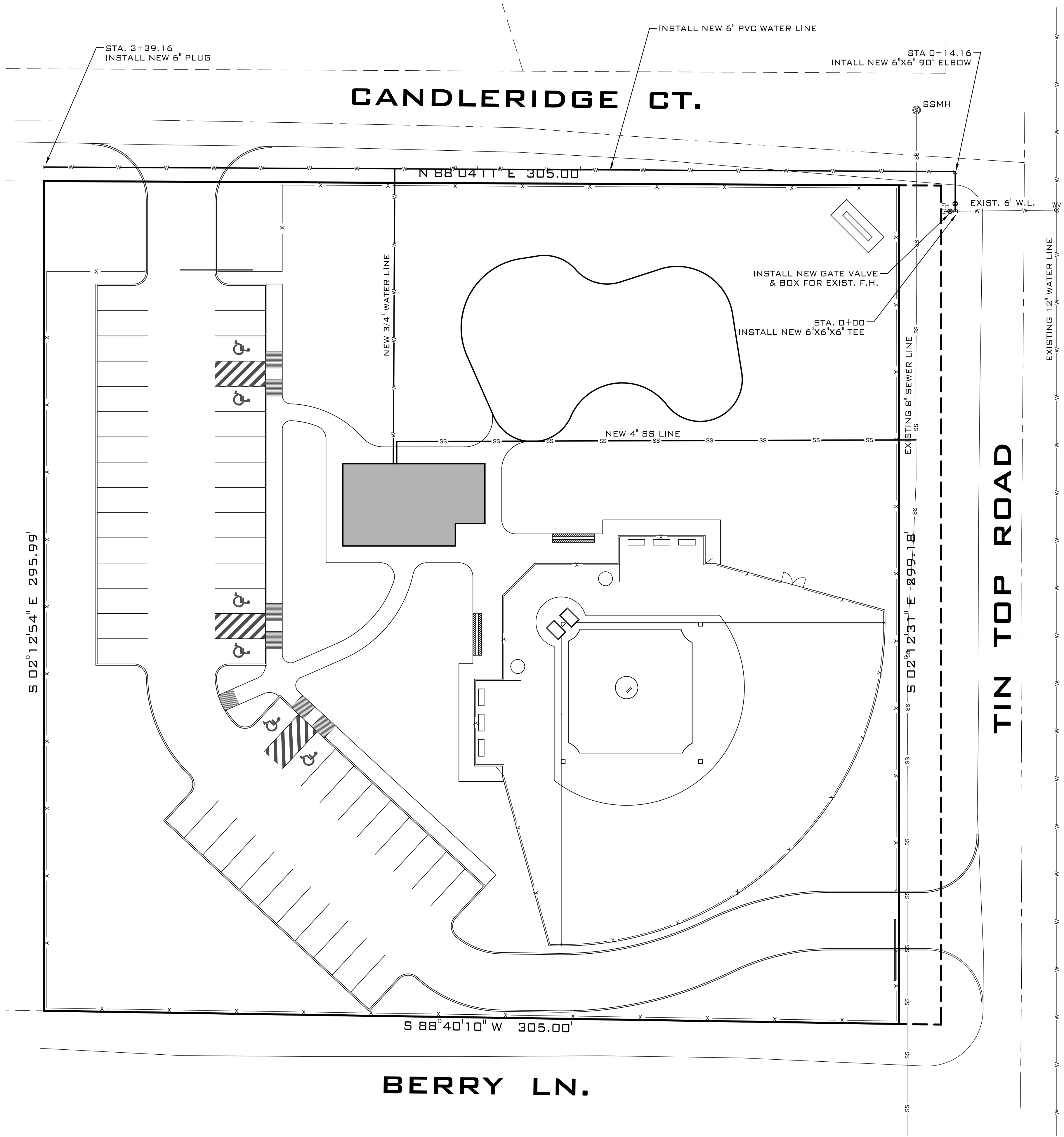
MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS

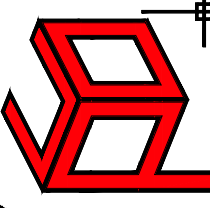
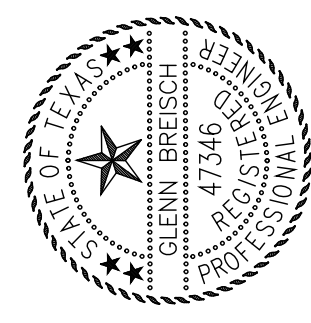
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NUMBER
C4

AR - 14263

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SHEET NUMBER	C5	MIRACLE LEAGUE FIELD WEATHERFORD, TEXAS			 PIERTECH DESIGN CONSULTANTS 208 S. FRONT ST., ALEDD, TX, 76008 (817) 441-1742, FAX: (817) 441-1033
		SCALE: 1" = 20' DATE: 11-08-14 DRAWN BY: JAS AR - 14263	 UTILITY PLAN		<p>THIS PLAN IS PROPERTY OF PIERTECH DESIGN CONSULTANTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF PIERTECH DESIGN CONSULTANTS, LLC. THE USER SHALL BE RESPONSIBLE FOR PROVIDING THE INFORMATION NECESSARY TO BUILD THE S&D STRUCTURE. BUILDER AND OWNER OR OWNER'S AGENT SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. LIABILITY OF PIERTECH ENGINEERING & CONSULTING IS LIMITED TO THE INVOICE VALUE OF THESE PLANS.</p>

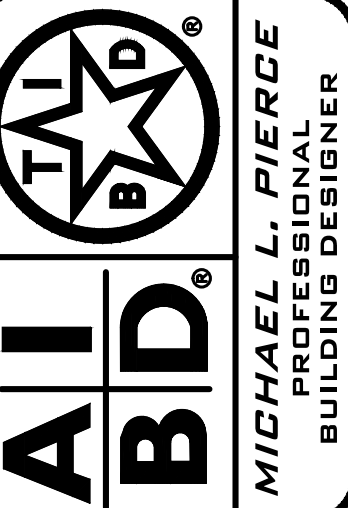
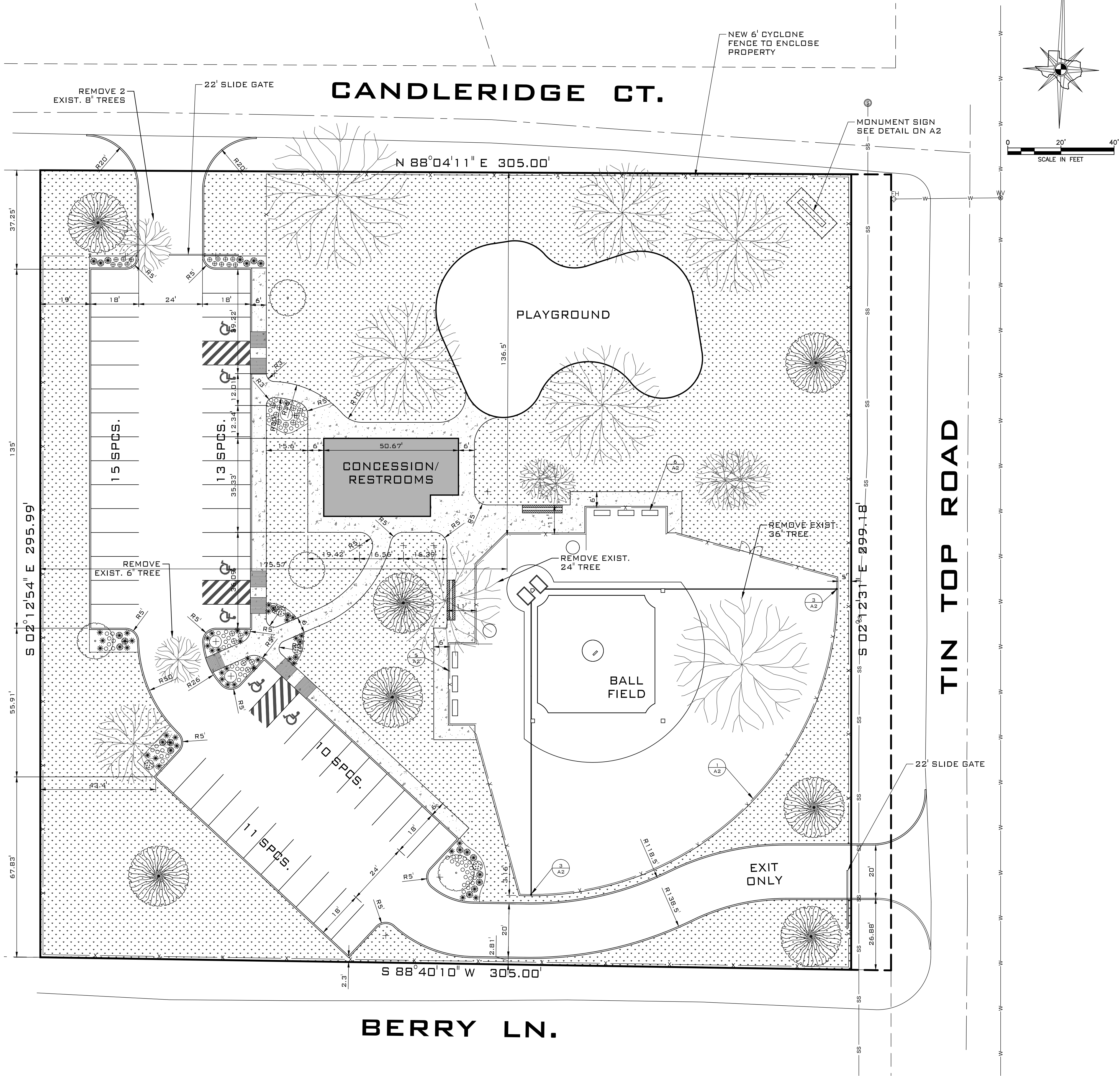
GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF WEATHERFORD.
- IT IS RECOMMENDED THAT CONTRACTOR VISIT THE JOB SITE PRIOR TO BIDDING.
- THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND THERE MAY BE OTHER UNKNOWN UTILITIES EXISTING NOT SHOWN ON THE PLANS THAT SHOULD BE VERIFIED AND PROTECTED BY THE CONTRACTOR PRIOR TO THE START OF THE CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO:
 - PREVENT ANY DAMAGE TO PROPERTY OWNER'S POLES, FENCES, SHRUBS, ETC. ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO REMOVING THAT ITEM OR IT SHALL BE REPLACED AT THE CONTRACTOR'S OWN EXPENSE. ANY TREE, SHRUB OR GRASSED AREAS DAMAGED BY THE CONTRACTOR'S WORK SHALL BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - PROTECT ALL UNDERGROUND UTILITIES.
 - NOTIFY ALL UTILITY COMPANIES AND VERIFY LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE SUBMISSION OF HIS PROPOSAL, THE CONTRACTOR SHALL HAVE MADE A CAREFUL EXAMINATION OF THE WORK SITE, THE CONTRACT DOCUMENTS AND ALL MATTERS THAT MAY AFFECT THE COST AND COMPLETION OF THE WORK.
- IN THE PREPARATION OF PLANS AND SPECIFICATIONS, THE ENGINEER HAS ENDEAVORED TO INDICATE THE LOCATION OF EXISTING UNDERGROUND UTILITIES. IT IS NOT GUARANTEED THAT ALL LINES OR STRUCTURES HAVE BEEN SHOWN ON THE PLANS.
- ALL FENCES, SIGNS, PROPERTY MONUMENTS, WATER AND SANITARY SEWER SERVICES OR CULVERTS REMOVED OR DAMAGED DURING CONSTRUCTION WILL BE REPLACED OR REPAIRED TO AS GOOD AS CONDITION OR BETTER THAN THE EXISTING.
- THE CONTRACTOR SHALL CONTACT THE CITY OF WEATHERFORD WATER DIVISION FOR THE OPERATION OF ALL WATER VALVES.
- FIELD ADJUSTMENTS MAY BE NECESSARY, AND WILL BE CARRIED OUT AS DIRECTED BY THE ENGINEER.
- THE LOCATION FOR THE DISPOSAL OF CONSTRUCTION MATERIAL SHALL BE APPROVED BY THE CITY OF WEATHERFORD ENGINEERING DIVISION PRIOR TO THE START OF CONSTRUCTION.
- THE COST OF REPLACING ALL PAVEMENT MARKERS, TRAFFIC BUTTONS, STRIPING, ETC. DISTURBED DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN, REPAIR OR REPLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION OUTSIDE THE DESIGNATED WORK AREA WITH EQUAL OR BETTER QUALITY MATERIAL AT HIS/HER EXPENSE.
- ALL PHASES OF CONSTRUCTION MUST BE COORDINATED WITH THE ENGINEER. ALSO, THE CONTRACTOR IS REQUIRED TO COORDINATE WITH THE PROPERTY OWNERS IN ORDER TO MINIMIZE CONFLICTS.
- CURB RETURNS AT ALL STREET INTERSECTIONS IN THE IMMEDIATE CONSTRUCTION AREA SHALL BE PROVIDED WITH WHEELCHAIR RAMPS CONFORMING TO CURRENT ADA REQUIREMENTS. RAMPS SHALL BE CONSTRUED WHERE SHOWN ON THE PLANS ACCORDING TO THE CITY OF WEATHERFORD STANDARDS.
- THE CONTRACTOR SHALL MAINTAIN THE EXISTING WATER MAINS IN SERVICE DURING ALL PHASES OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN, REPAIR, OR REPLACE TRAFFIC SIGNALS AND CONDUITS IF IN CONFLICT INCLUDING THE INSTALLATION OF TEMPORARY SIGNAGE.
- WATER LINES SHALL BE CLASS 150, AWWA C-900, DR18.
- WHEN A WATER MAIN CROSSES OVER A SANITARY SEWER MAIN AND THE VERTICAL SEPARATION IS LESS THAN NINE FEET, THEN THE SANITARY SEWER SHALL HAVE A JOINT (20 FEET) OF PVC PIPE CONFORMING TO ASTM D-3034, SDR-26 INSTALLED CENTERED ON THE WATER LINE. IN ADDITION, THE JOINT SHALL HAVE A MINIMUM OF 12 INCHES OF CEMENT STABILIZED (TWO-SACK MINIMUM) BACKFILL DIRECTLY ABOVE THE SANITARY SEWER PIPE.
- THE MINIMUM WATER LINE DEPTH OF COVER SHALL BE 42 INCHES.
- PROVIDED PARKING:
 - STANDARD 9' X 18' SPACES = 45 SPACES
 - ACCESSIBLE SPACES = 4 SPACES INCL. 2 VAN & 2 STANDARD LANDING.
 - TOTAL PARKING = 49 SPACES

AREA CALCULATIONS	
GRASS AREA	43,170 S.F.
LANDSCAPE AREA	1,355 S.F.
PLAYGROUND AREA	4,735 S.F.
FIELD AREA	15,315 S.F.
CONCRETE AREA	19,892 S.F.
SIDEWALK AREA	4,888 S.F.
BUILDING AREA	1,402 S.F.
TOTAL AREA	90,757 S.F.

LEGEND:

	GRASS AREA
	BUILDING AREA
	SIDEWALK AREA
	5" CONCRETE AREA



SITE PLAN

MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS

SCALE: 1"= 20'
DATE: 11-08-14

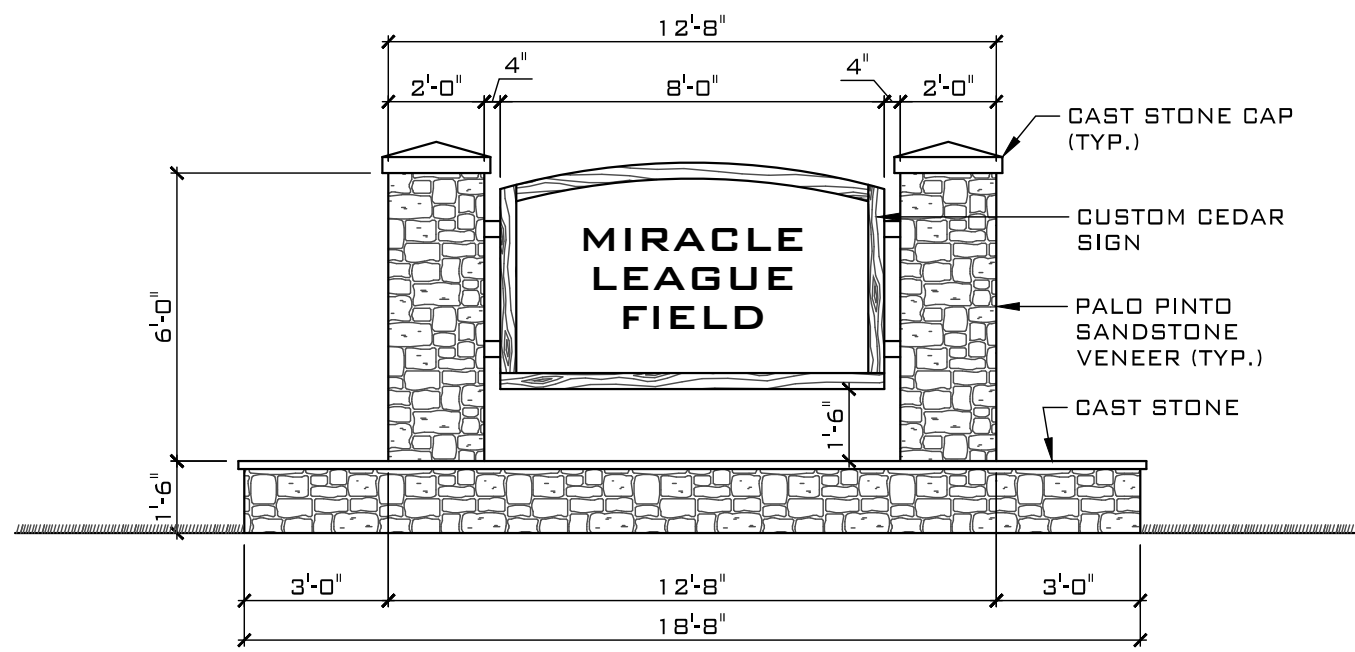
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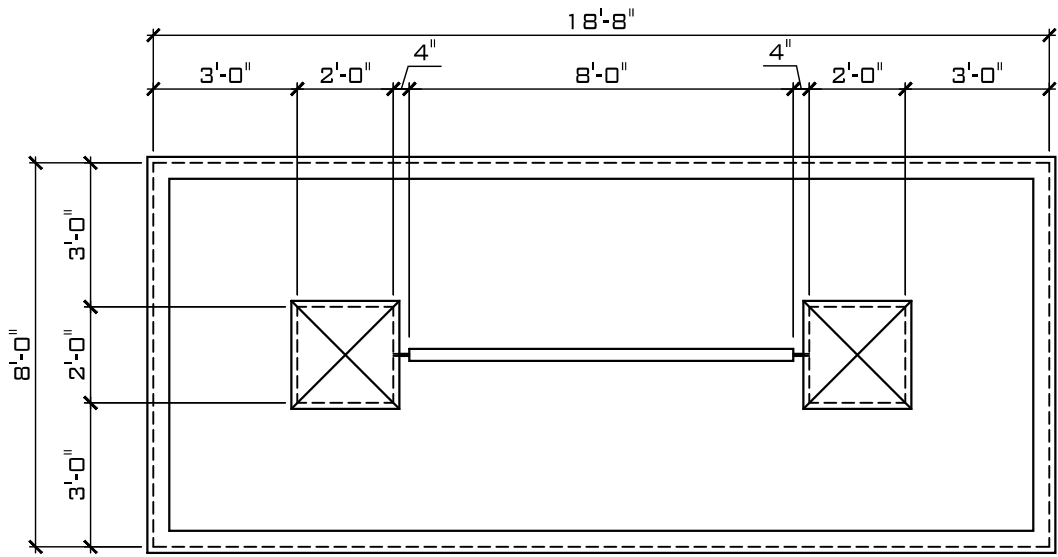
SHEET
NUMBER

A1

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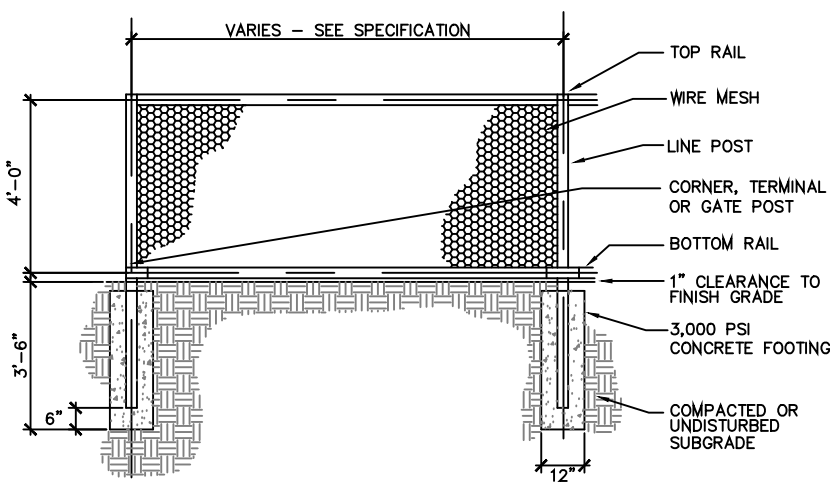


SIGN ELEVATION
SCALE: 1/4" = 1'-0"

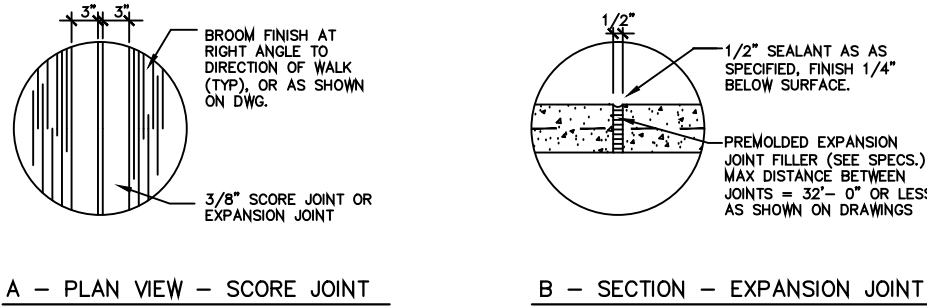


SIGN PLAN
SCALE: 1/4" = 1'-0"

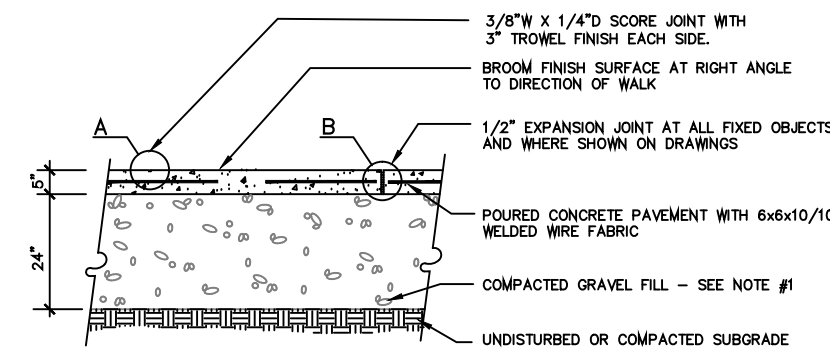
- NOTES:
1. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. INSTALL TOP OF CONCRETE FOOTING 2-1/2" BELOW FINISHED GRADE.
 3. REFER TO SPECIFICATIONS FOR SIZE OF CORNER, END, TERMINAL AND GATE POSTS.
 4. INSTALL MID-RAIL IN LAST PANEL BEFORE/AFTER TERMINAL OR CORNER.
 5. INSULATED SELVAGE TOP AND BOTTOM.
 6. INSTALL GATES AS SHOWN ON PLANS AND AS SPECIFIED.
 7. SEE PLANS FOR SPECIFIC FENCE LENGTH.



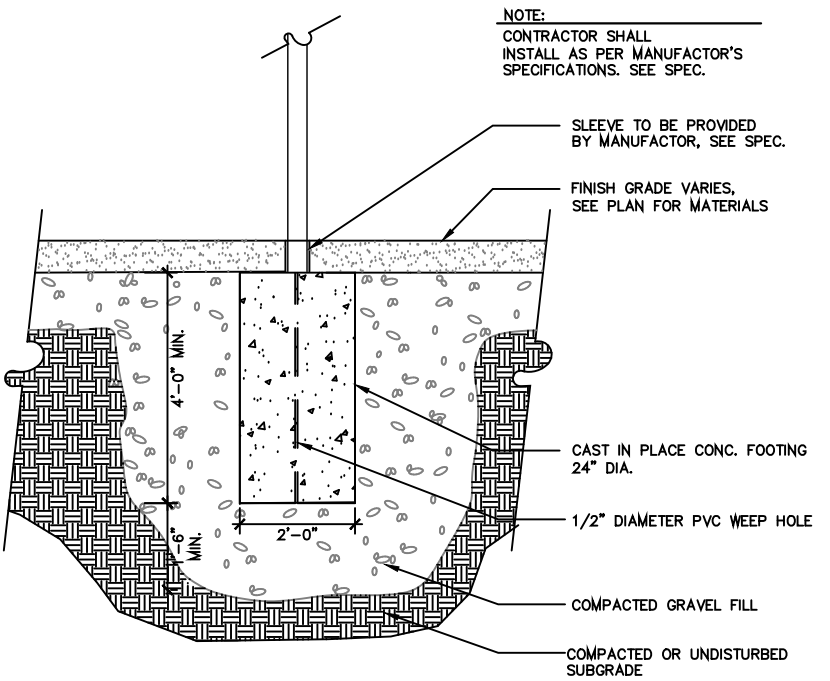
4'-0" HIGH CHAIN LINK FENCE
SCALE: 3/8" = 1'-0"



- NOTES:
1. EXTEND GRAVEL BASE 6" BEYOND WIDTH OF WALK, EACH SIDE.
 2. SCORE JOINT SPACING: MIN. = 4'-0", MAX. = 6'-0", UNLESS OTHERWISE SHOWN ON DWGS.
 3. EQUAL SPACING BETWEEN EXPANSION JOINTS, 32'-0" MAX., UNLESS OTHERWISE SHOWN ON DWGS.

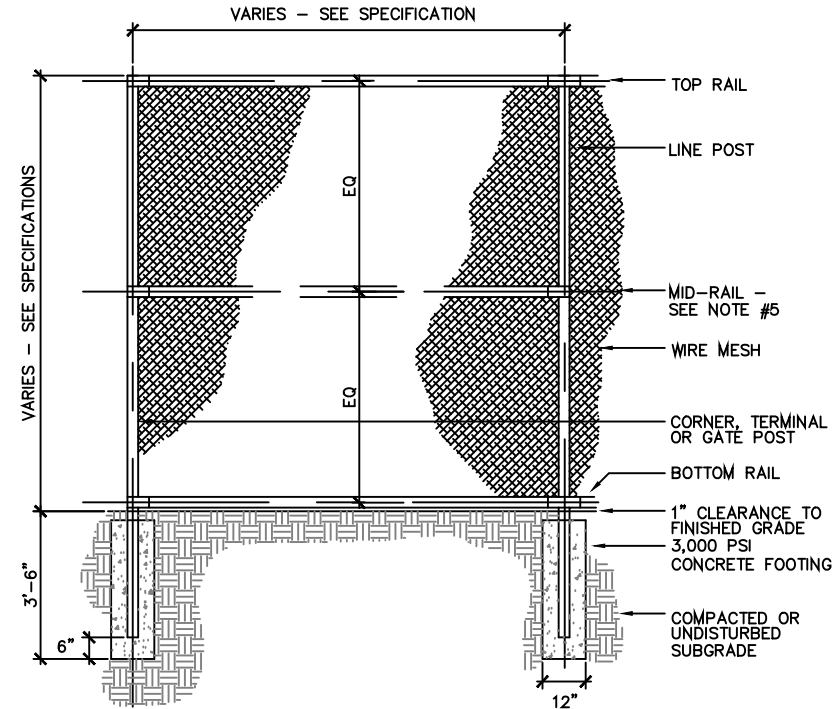


CONCRETE WALK PAVEMENT
SCALE: 1/2" = 1'-0"

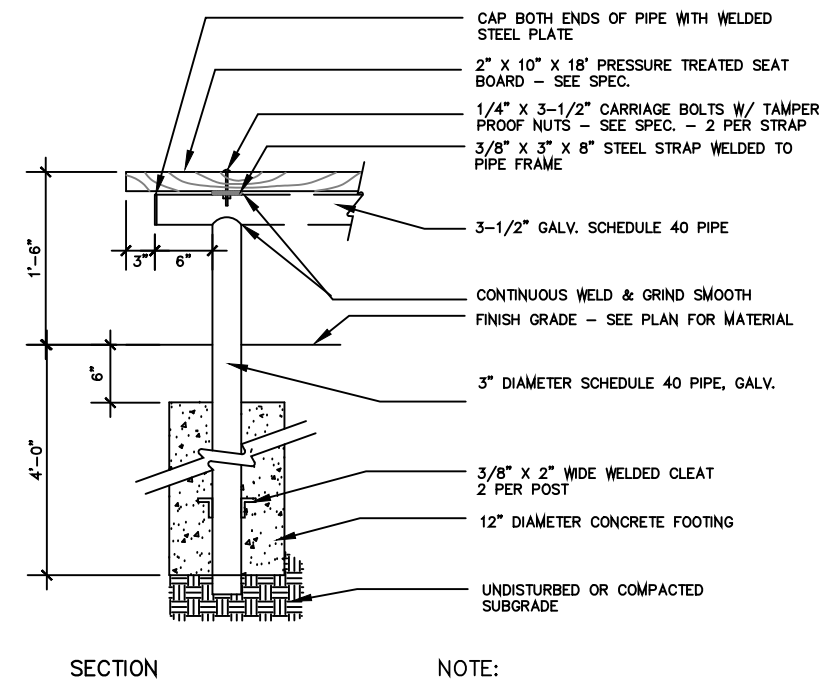
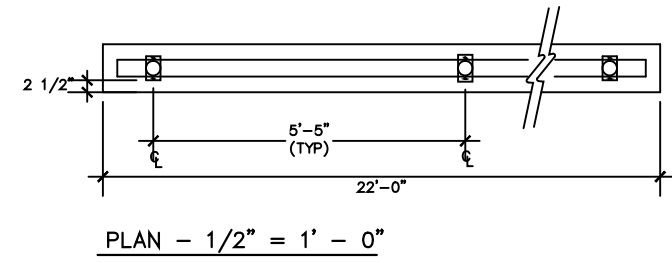


FOUL POLE FOOTING
SCALE: 1/2" = 1'-0"

- NOTES:
1. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. INSTALL GATES AS SHOWN ON PLANS AND AS SPECIFIED.
 3. INSTALL CONCRETE FOOTING 2-1/2" BELOW FINISHED GRADE.
 4. REFER TO SPECIFICATIONS FOR SIZE OF CORNER, END, TERMINAL AND GATE POSTS.
 5. INSTALL MID-RAIL IN LAST PANEL BEFORE/AFTER TERMINAL, CORNER OR GATE POSTS. IF FENCE IS 8' OR HIGHER, INSTALL MID-RAIL CONTINUOUSLY.
 6. KNUCKLED SELVAGE TOP AND BOTTOM.



CHAIN LINK FENCE
SCALE: 3/8" = 1'-0"



PLAYERS BENCH
SCALE: 1" = 1'-0"

SITE & SIGN DETAILS

**MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS**

SCALE: 1" = 20'
DATE: 01/07/14
DRAWN BY: JAS

AR - 14263

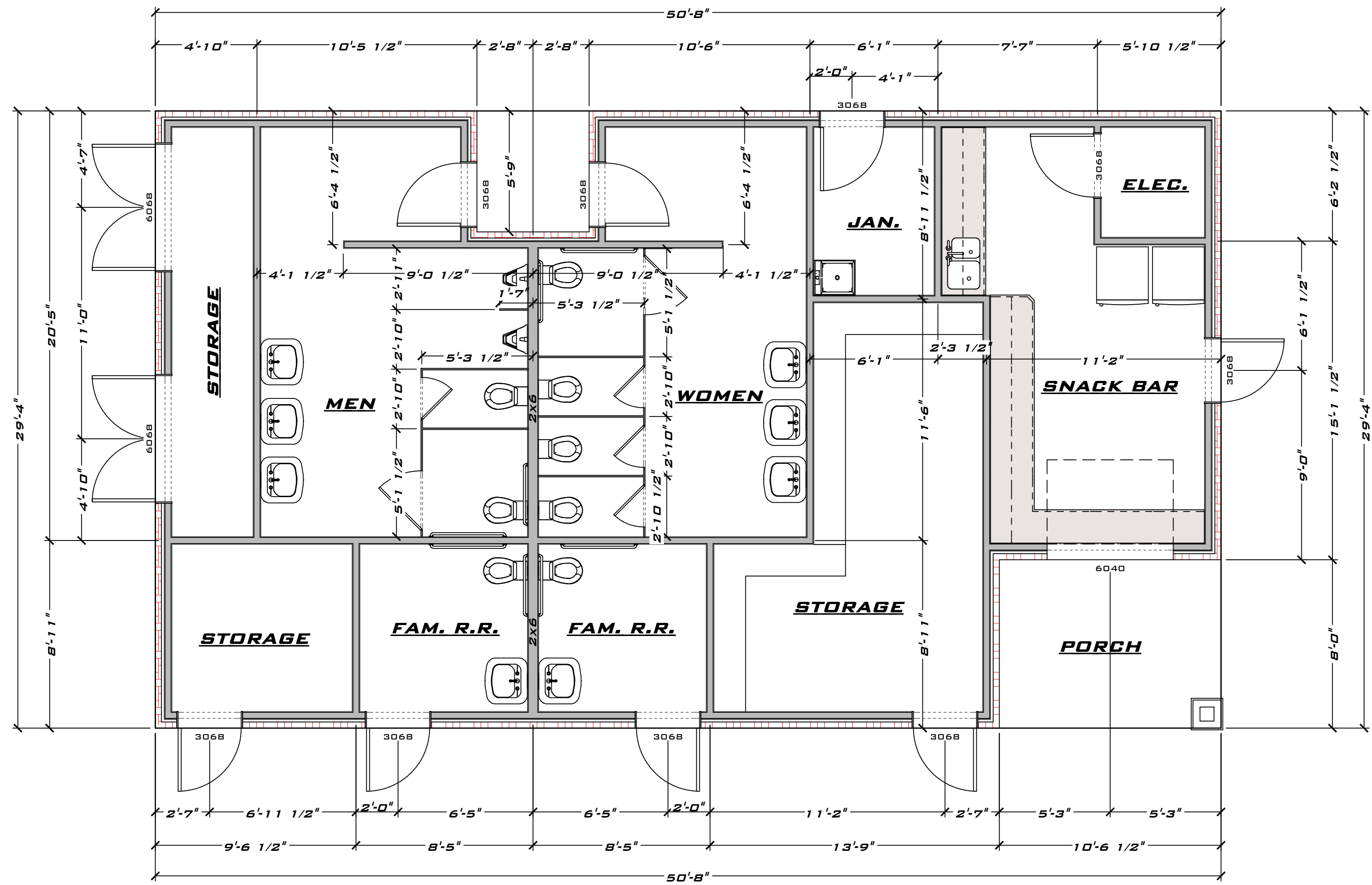
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NUMBER

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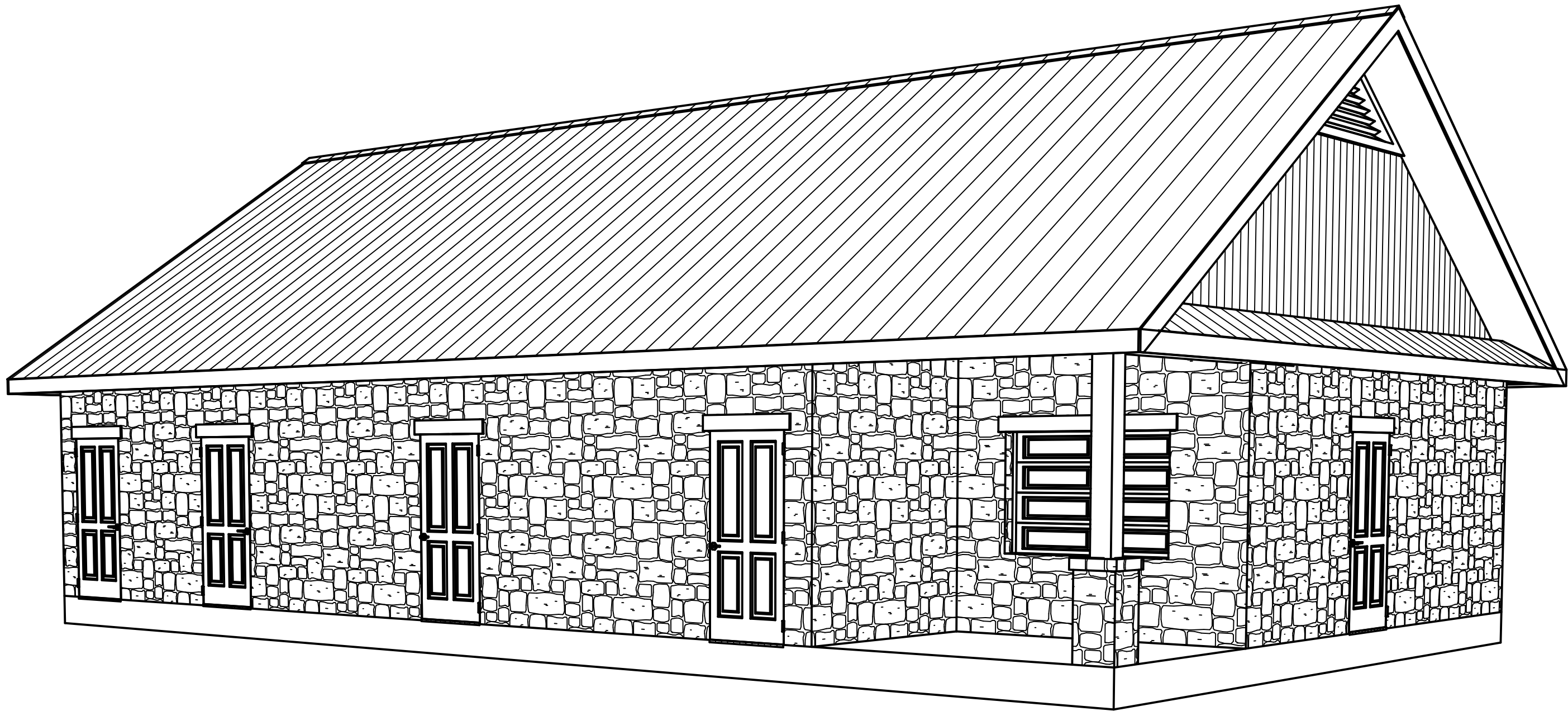
PIERTECH
DESIGN CONSULTANTS
208 S. FRONT ST., ALEDDO, TX, 76008
(817) 441-1742, FAX: (817) 441-1033

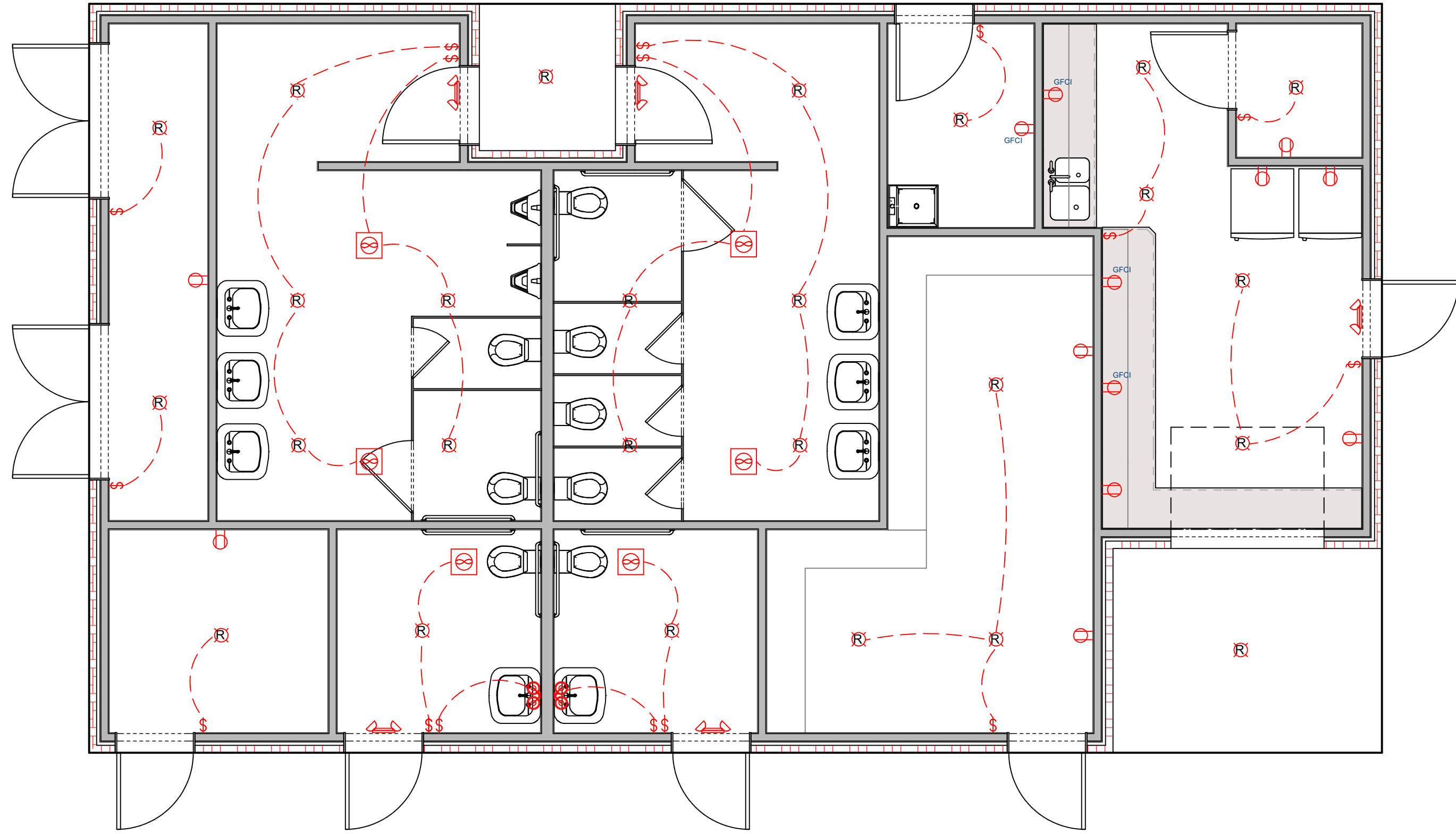
AI BD
MICHAEL L. PIERCE
PROFESSIONAL
BUILDING DESIGNER

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DIMENSIONAL FLOOR PLAN





ELECTRICAL PLAN

ELECTRICAL SYMBOLOGY			
	CEILING FAN		CEILING MOUNTED HANGING LIGHT
	FLUORESCENT		WALL MOUNTED VANITY LIGHT
	CHANDELIER		CEILING MOUNTED HEAT LAMP
	EXHAUST FAN		CEILING MOUNTED GLOBE LIGHT
	WALL MOUNTED PORCH LIGHT		CEILING MOUNTED RECESSED CAN LIGHT
	WALL MOUNTED SPOT LIGHT		QUAD 110 OUTLET
	WALL MOUNTED UP LIGHT		220 OUTLET
			GROUND FAULT CIRCUIT INTERRUPTER 110 OUTLET
			110 OUTLET
			WEATHER PROOF 110 OUTLET
			CEILING OUTLET
			FLOOR OUTLET
			SWITCH
			3-WAY SWITCH
			EMERGENCY LIGHT & EXIT SIGN

ELECTRICAL PLAN

MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS

SCALE: 1/4" = 1'
DATE: 11/14/14
DRAWN BY: JAS

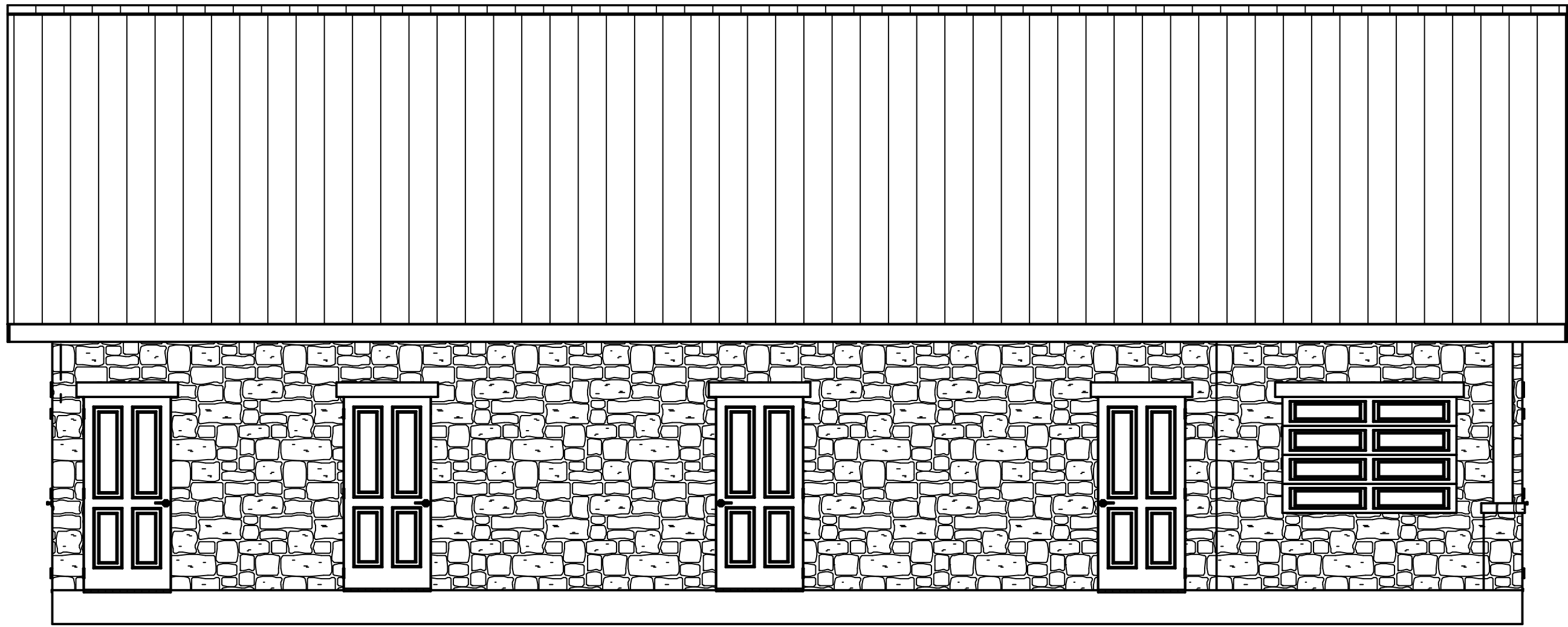
SHEET NUMBER
A4

AI BD
MICHAEL L. PIERCE
PROFESSIONAL
BUILDING DESIGNER

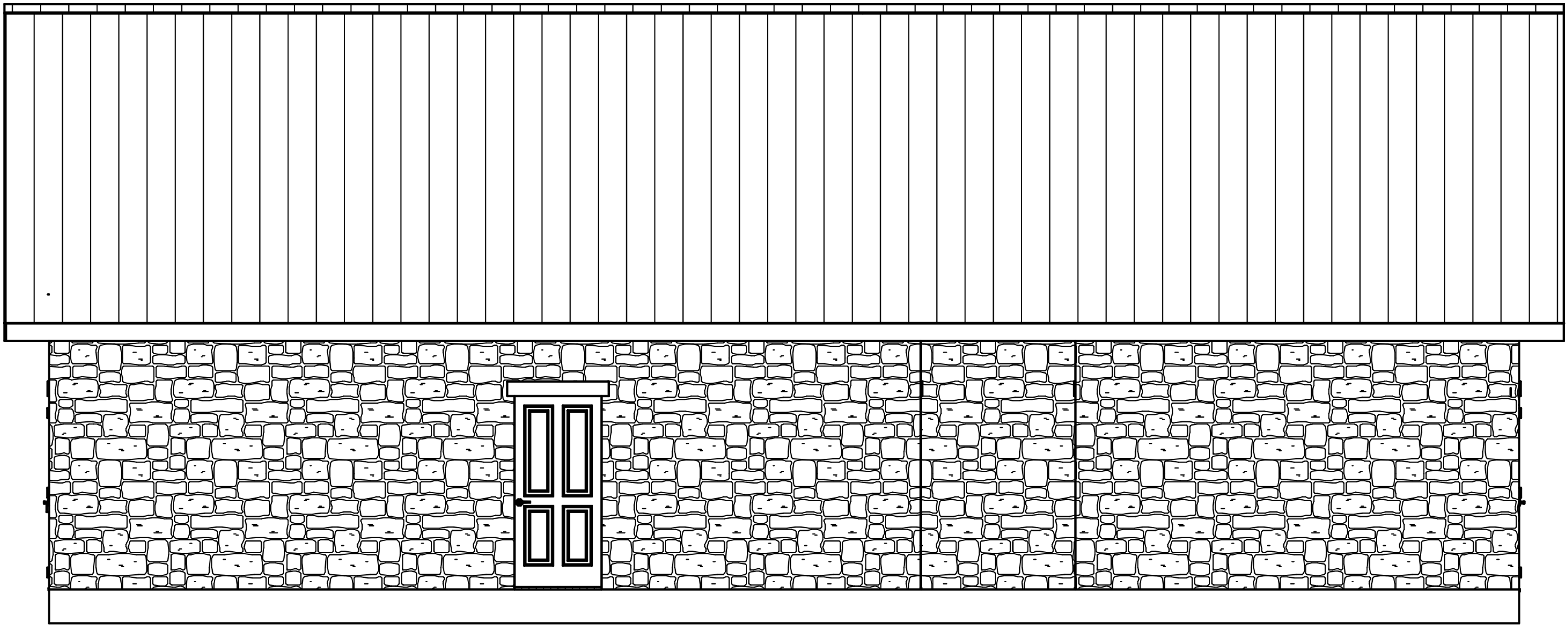
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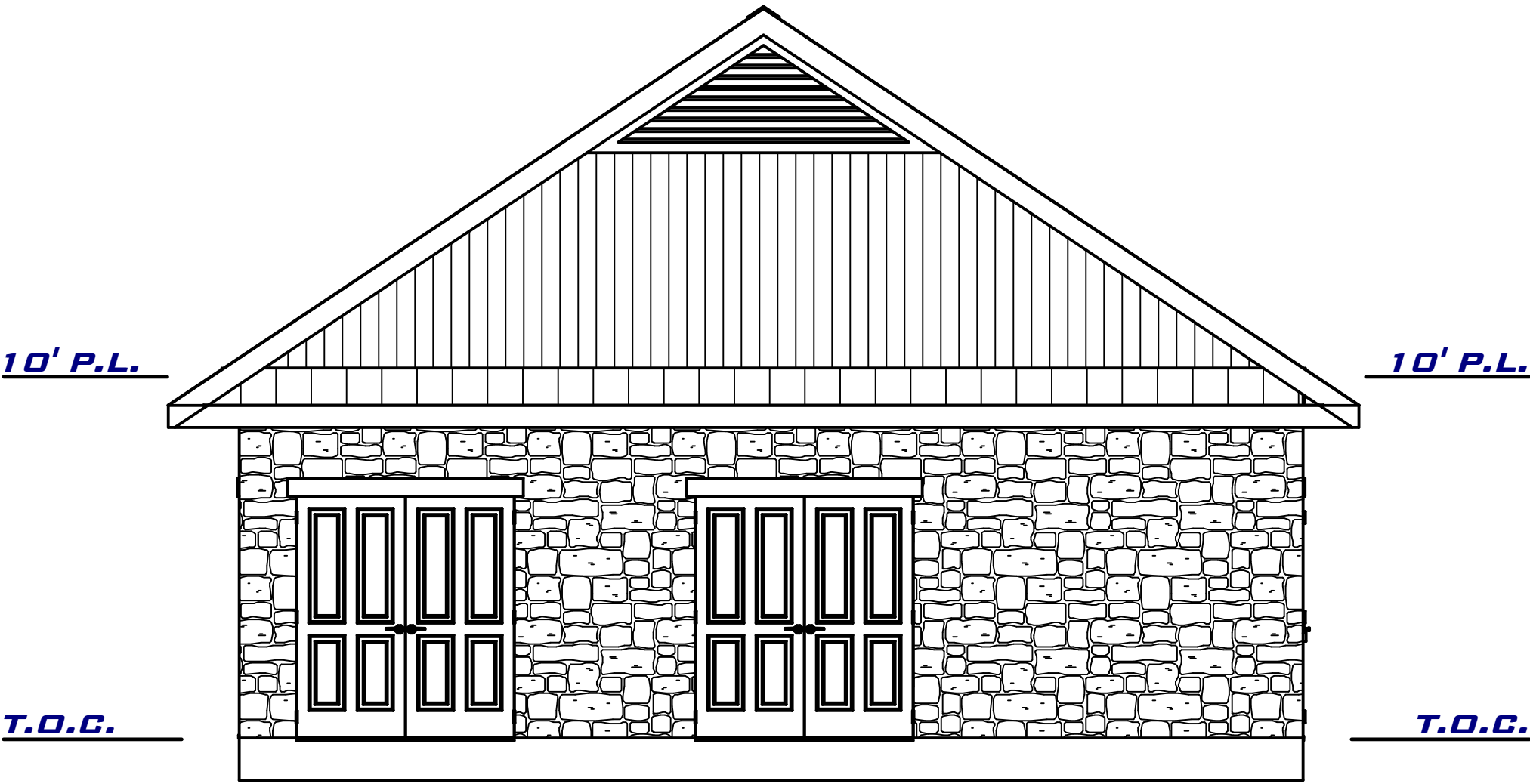
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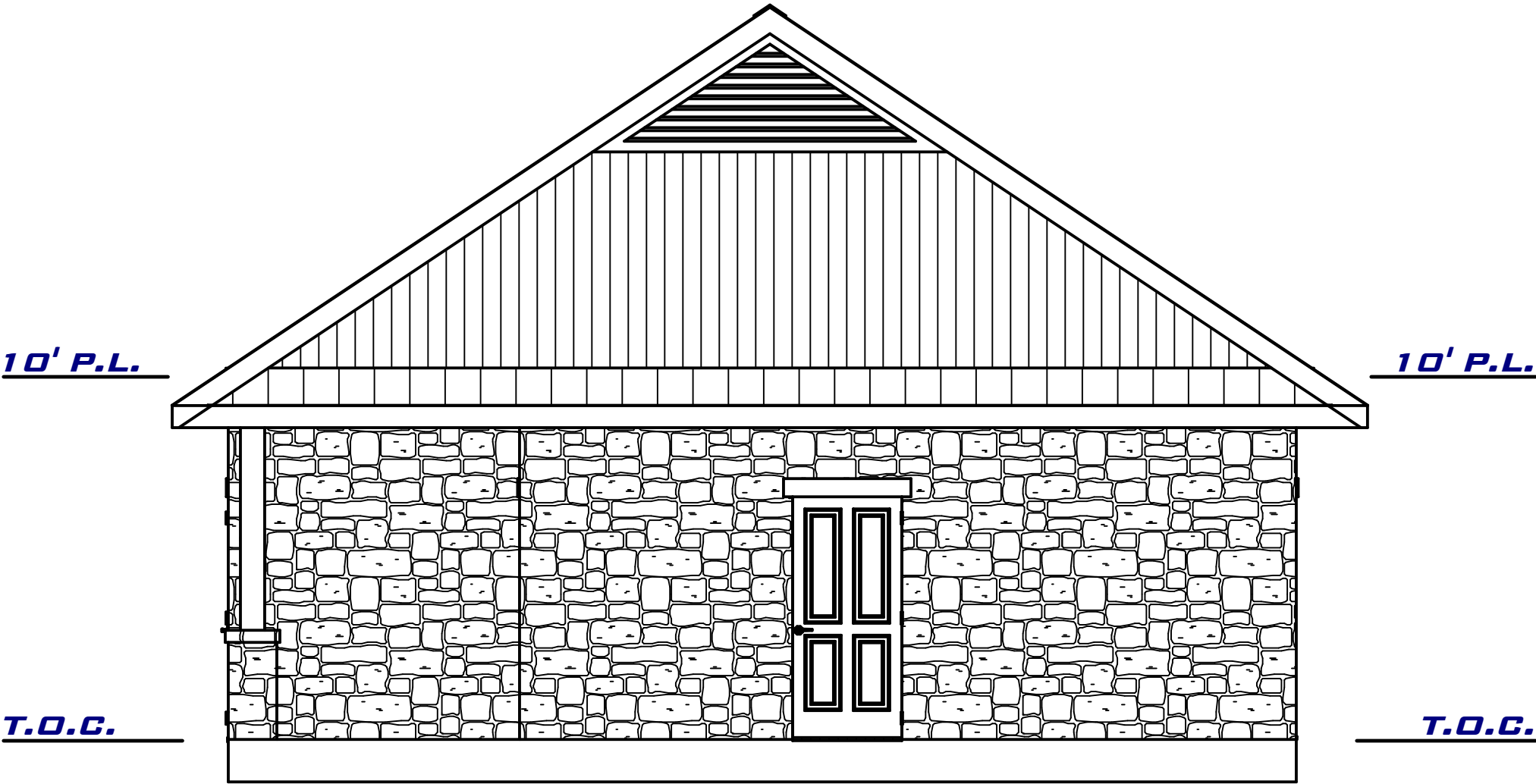
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

PIERTECH

DESIGN CONSULTANTS

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AI

BD

MICHAEL L. PIERCE
PROFESSIONAL
BUILDING DESIGNER

ELEVATIONS

MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS

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SCALE: 1/4" = 1'

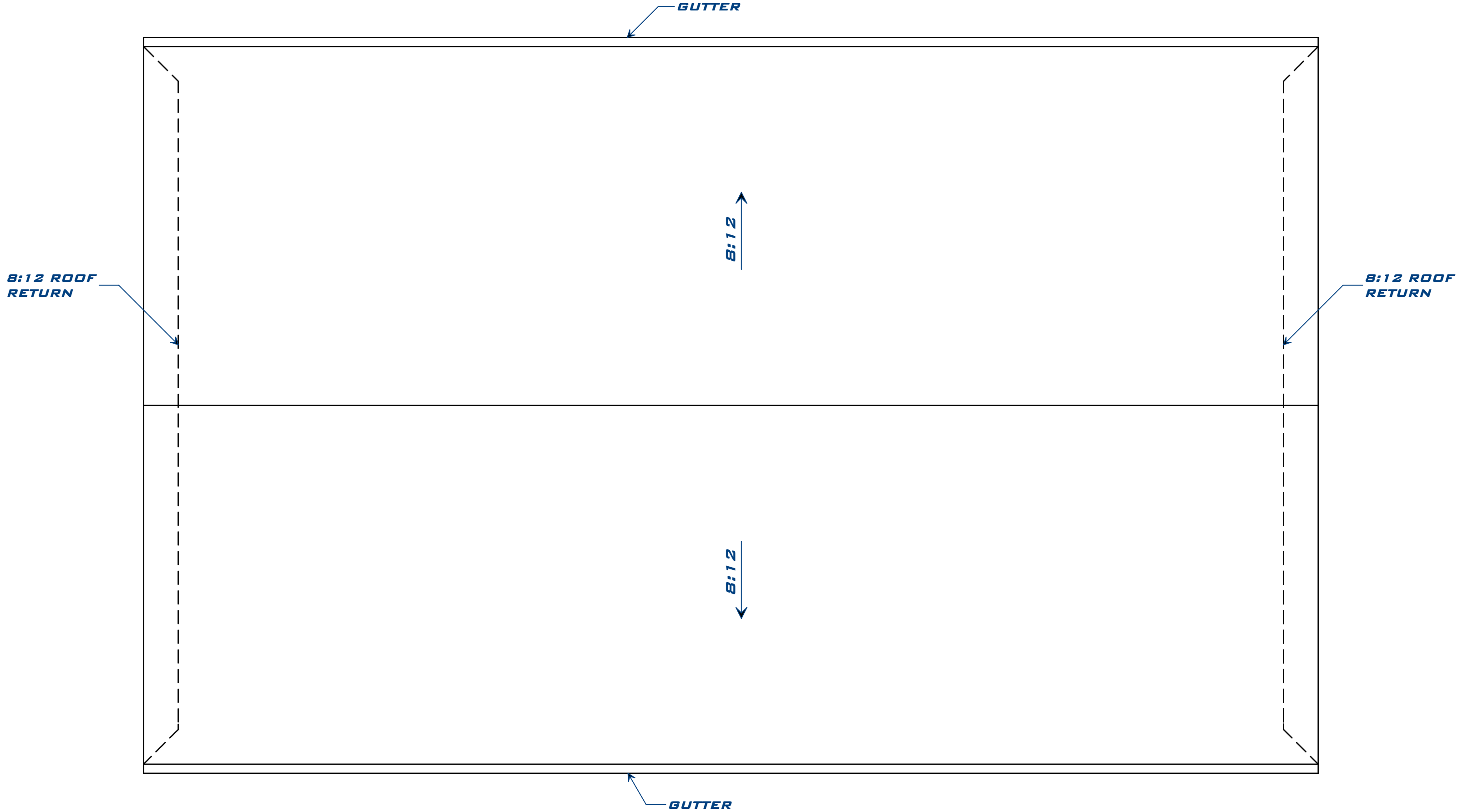
DATE: 11/14/14

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SHEET
NUMBER

AR - 14263

A5



ROOF PLAN

SHEET NUMBER	A6
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SCALE: 1/4" = 1'
DATE: 11/14/14
DRAWN BY: JAS


AR - 14263

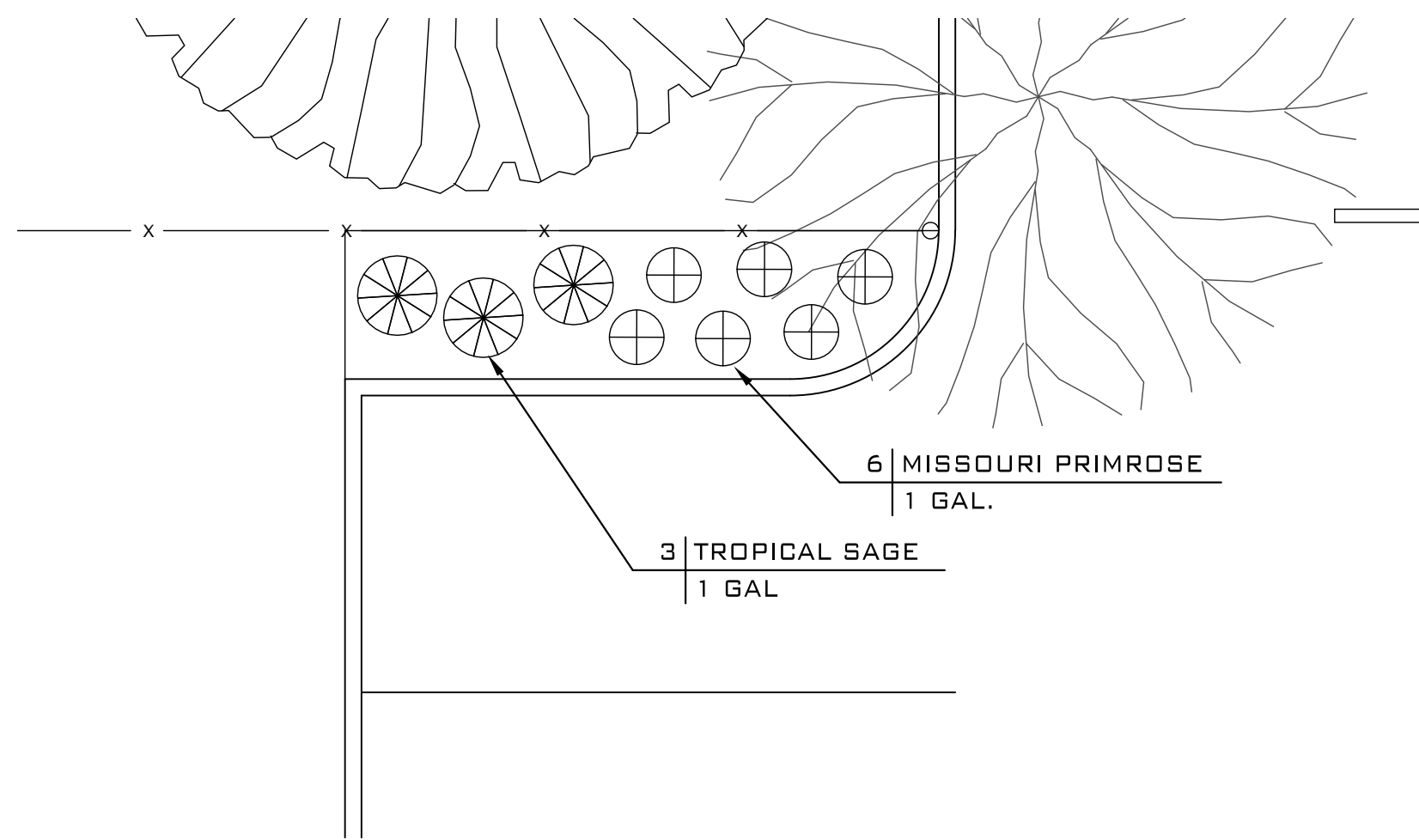
MIRACLE LEAGUE FIELD WEATHERFORD, TEXAS
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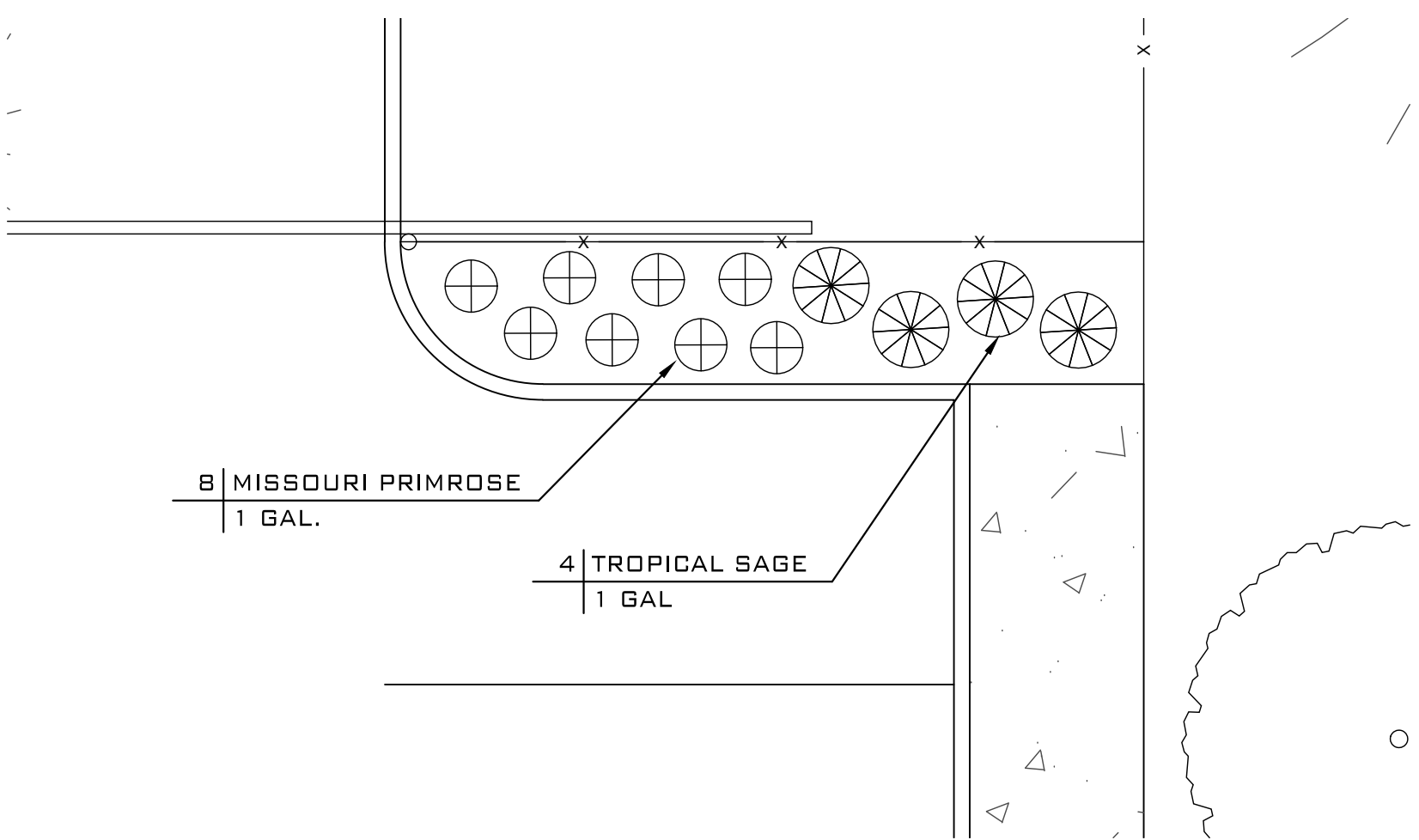
ROOF PLAN

AI	BD
MICHAEL L. PIERCE PROFESSIONAL BUILDING DESIGNER	

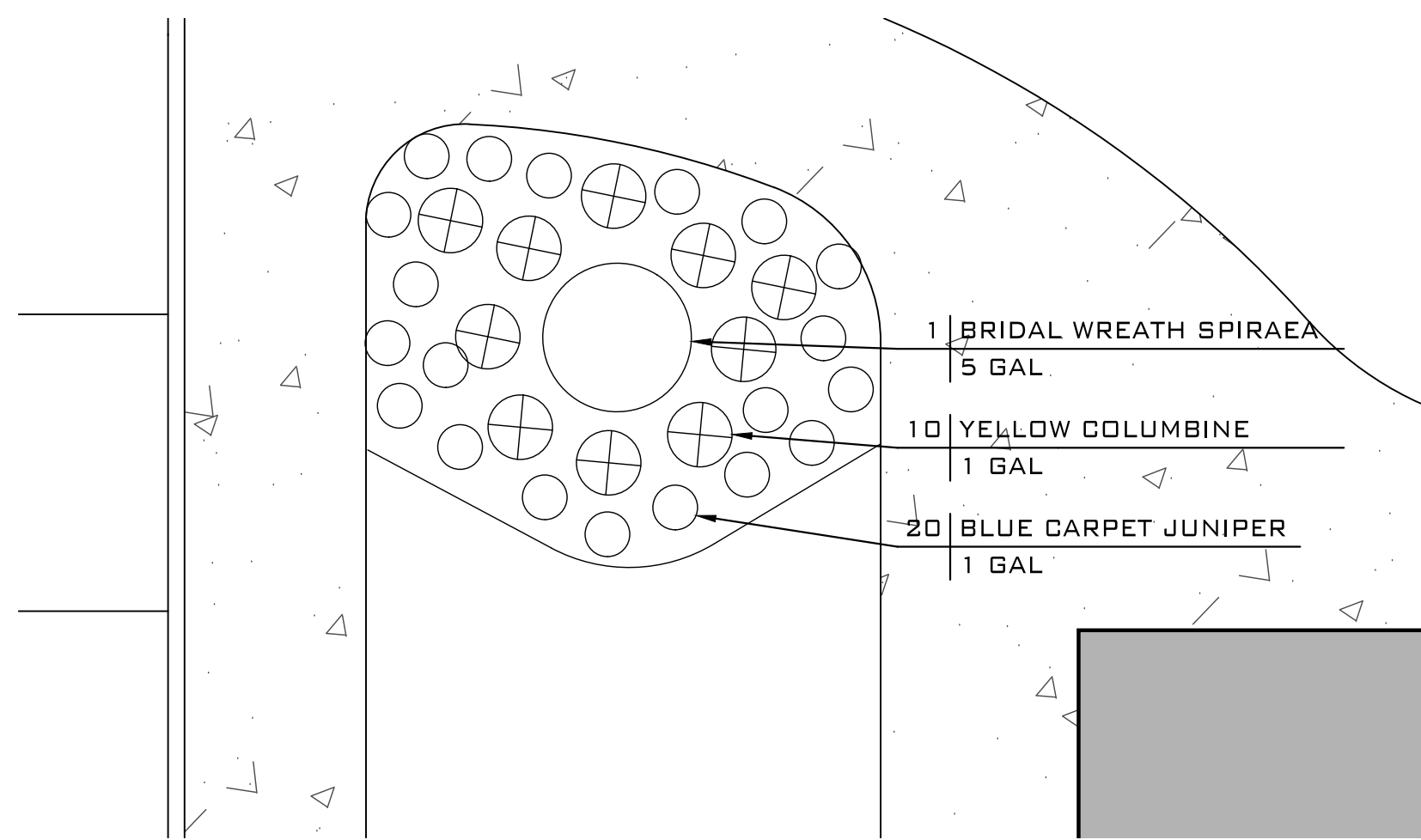
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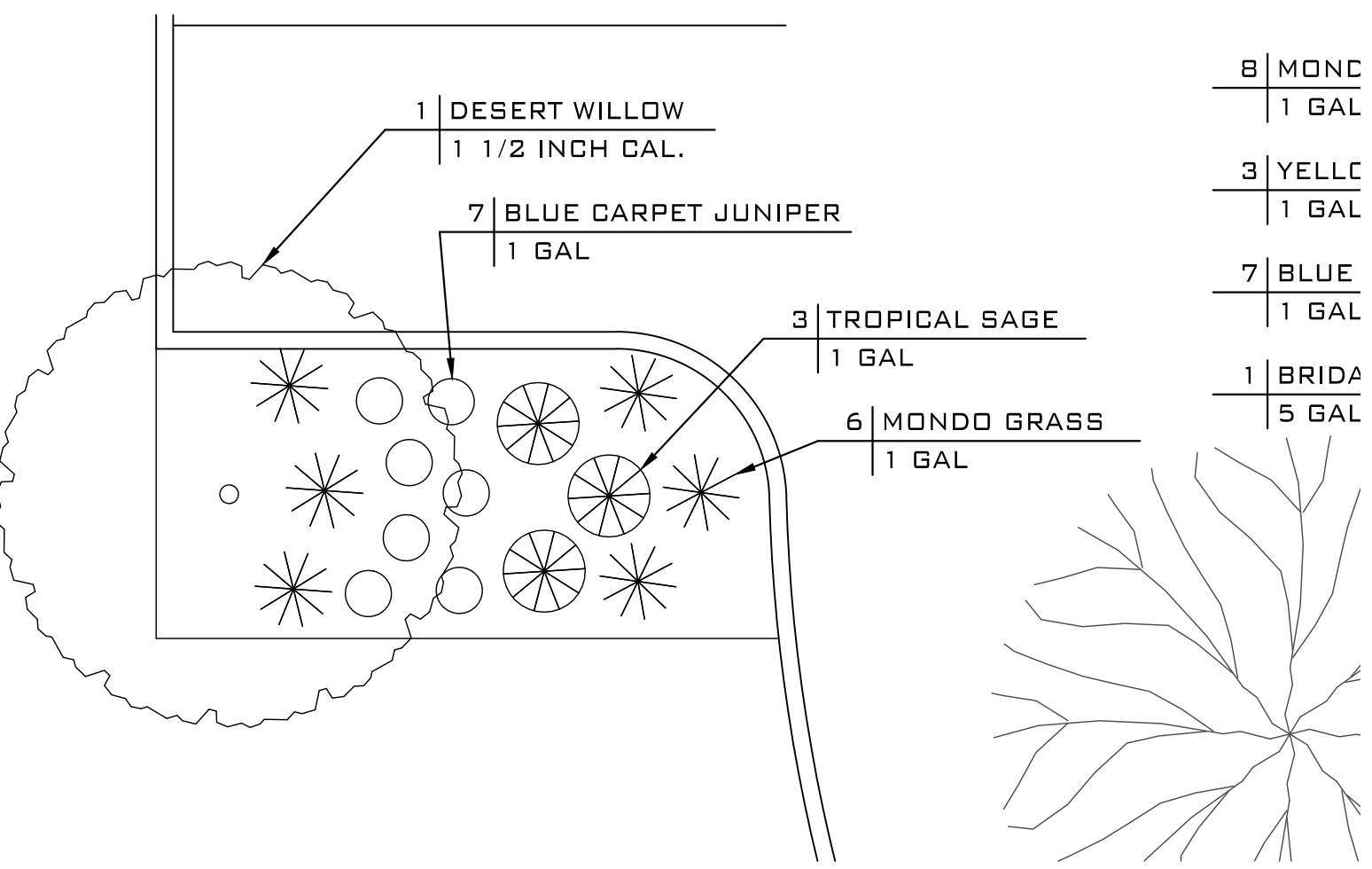
DETAIL A



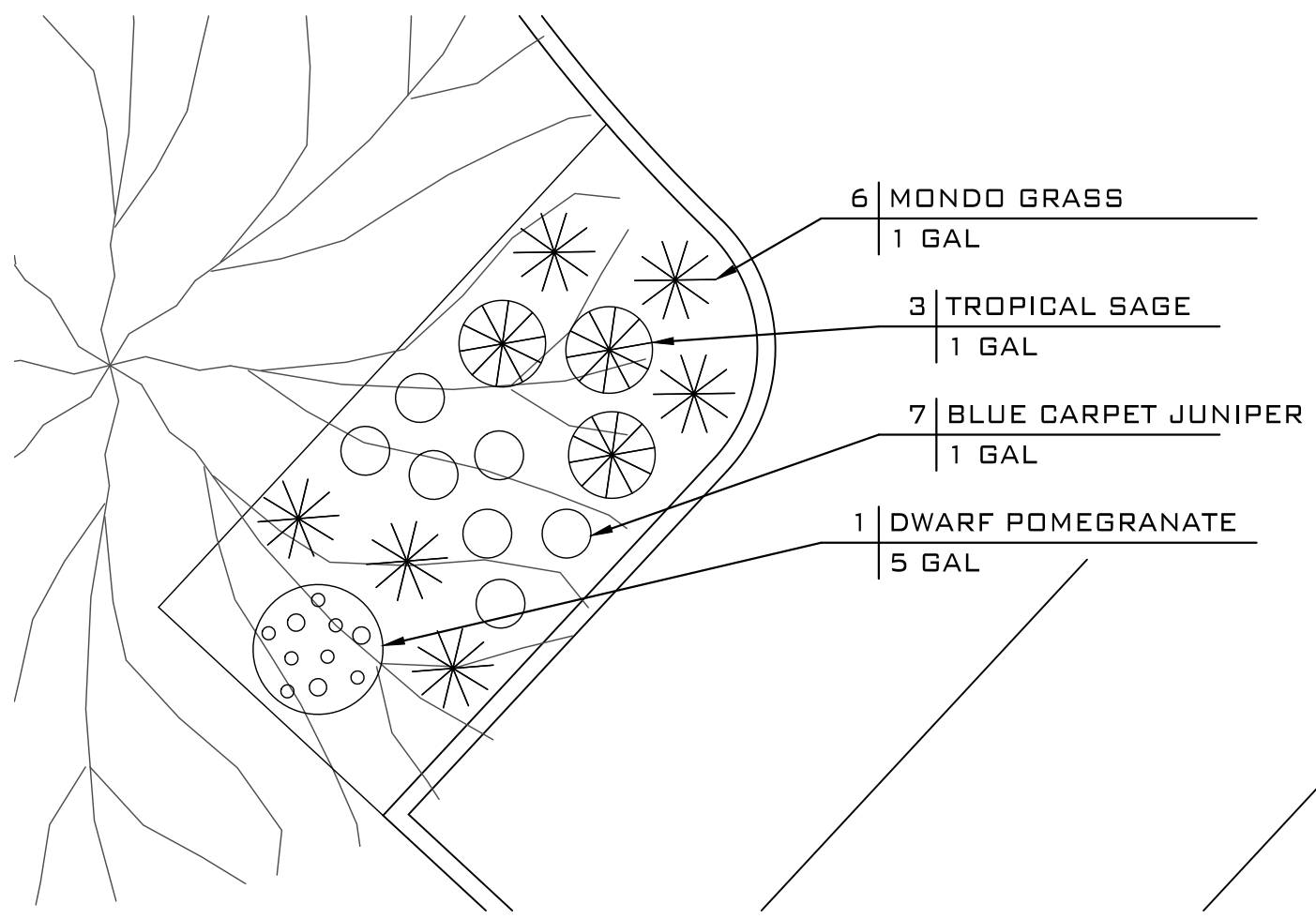
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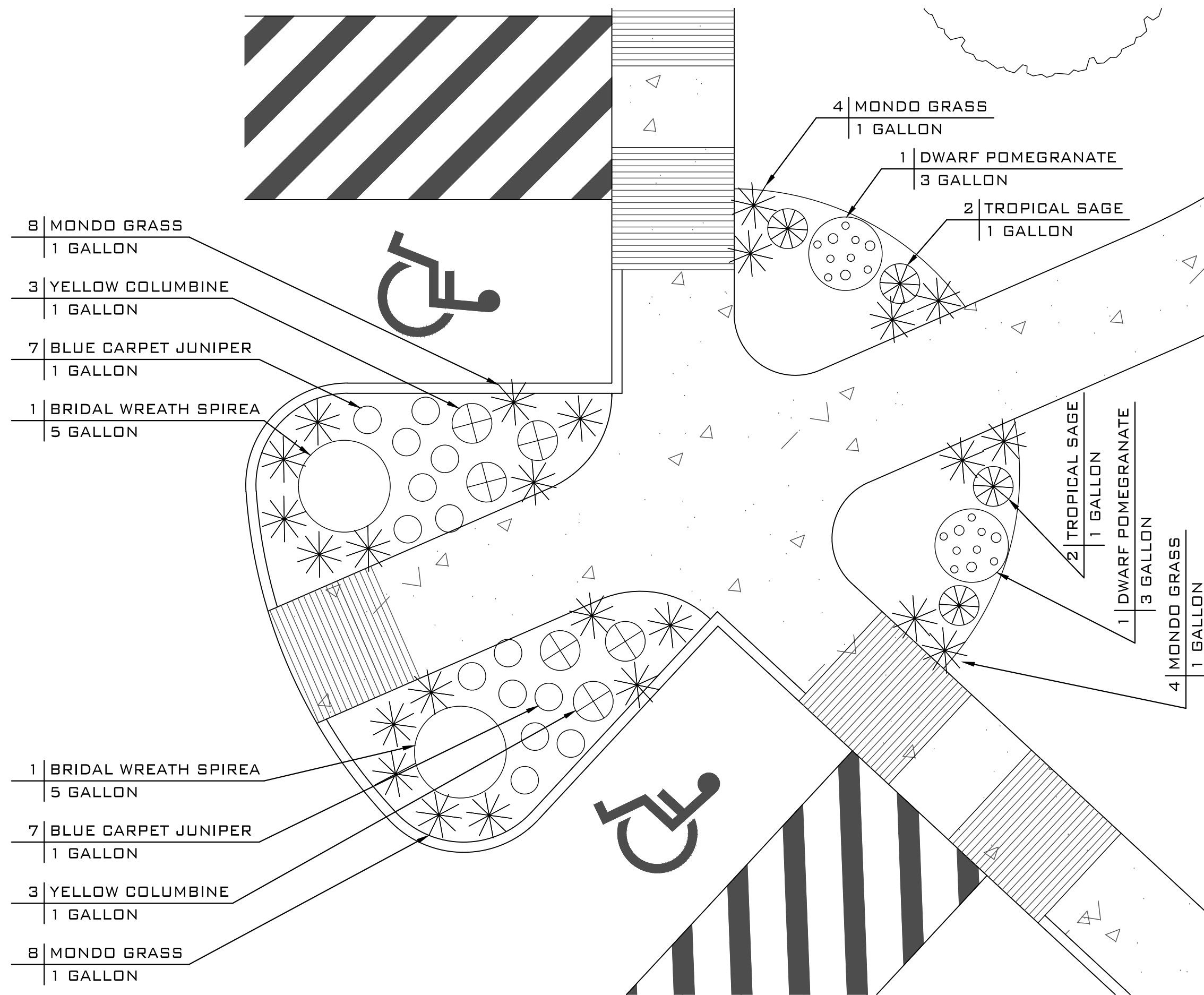
DETAIL C



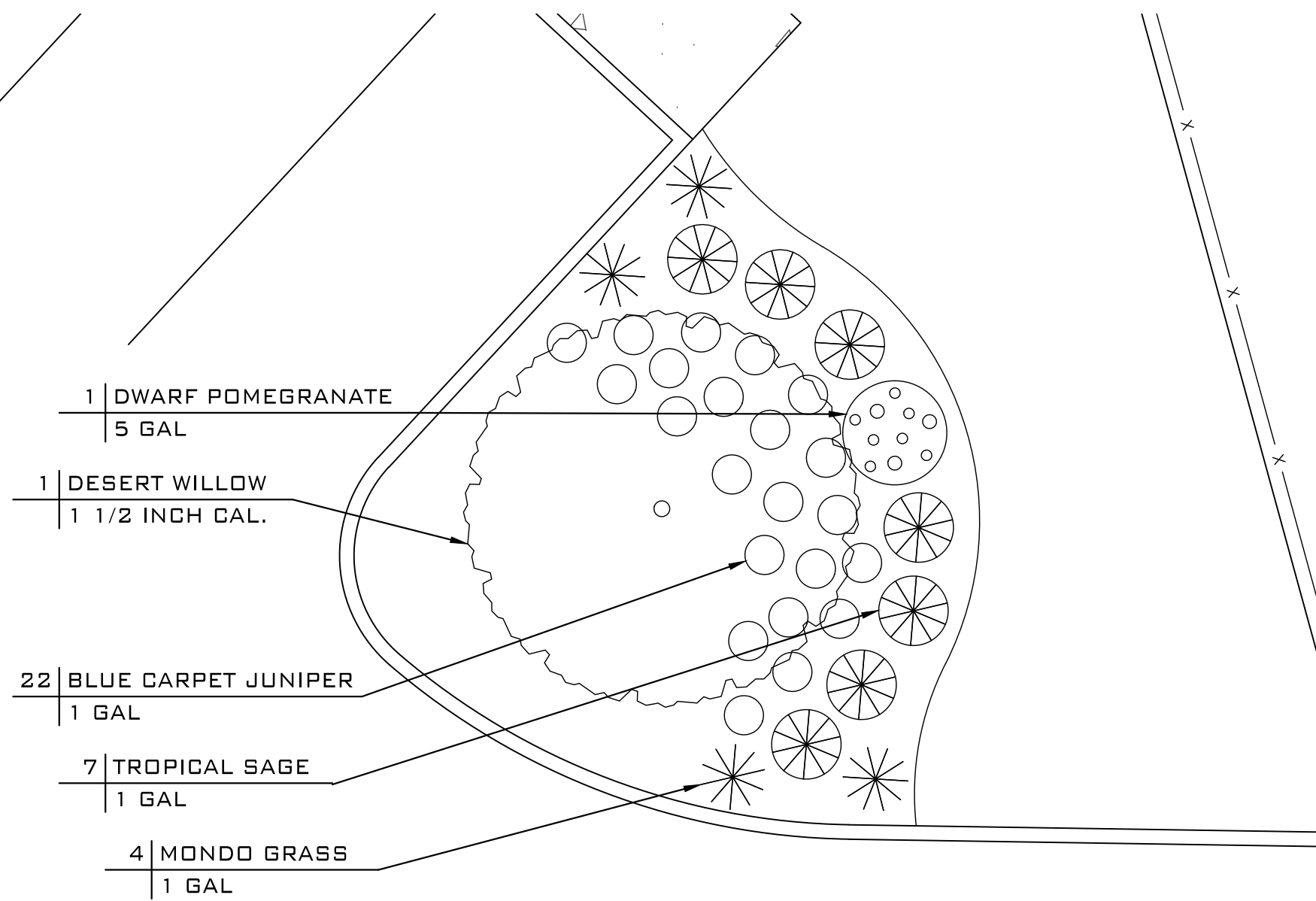
DETAIL D



DETAIL E



DETAIL F



DETAIL G

**LANDSCAPE
PLAN**

**MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS**

SCALE: 1" = 20'
DATE: 11/19/14
DRAWN BY: JAS

SHEET
NUMBER
A8

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AR - 14263



A9

DRAWN BY: JAS

AR - 14263

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817) 441-1742, FAX: (817) 441-1033

PAVING NOTES

- A MINIMUM OF 7 PERCENT (7%) HYDRATED LIME SHALL BE USED TO STABILIZE THE CLAY SUBGRADE SOILS. THE HYDRATED LIME SHALL BE THOROUGHLY MIXED AND BLENDED WITH THE UPPER 6 INCHES OF THE SUBGRADE. THE HYDRATED LIME SHALL MEET THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS (TXDOT ITEM 260) STREETS AND BRIDGES, 2004 EDITION. LIME TREATMENT SHALL EXTEND BEYOND EXPOSED PAVEMENT EDGES.
- SUBGRADE STABILIZATION SHALL EXTEND TO AT LEAST ONE FOOT BEYOND PAVEMENT EDGES. EACH CONSTRUCTION AREA SHALL BE SHAPED TO ALLOW DRAINAGE OF SURFACE WATER DURING EARTHWORK OPERATIONS, AND SURFACE WATER SHALL BE PUMPED IMMEDIATELY FROM EACH CONSTRUCTION AREA AFTER EACH RAIN AND A FIRM SUBGRADE CONDITION MAINTAINED. WATER SHALL NOT BE ALLOWED TO POND, AND LIME SHALL BE ADDED TO THE SUBGRADE AFTER REMOVAL OF ALL SURFACE VEGETATION AND DEBRIS. SAND SHALL BE SPECIFICALLY PROHIBITED BENEATH PAVEMENT AREAS. LIME STABILIZED SOIL WILL BE ALLOWED FOR FINE GRADING. AFTER FINE GRADING EACH AREA IN PREPARATION FOR PAVING, THE SUBGRADE SURFACE SHALL BE LIGHTLY MOISTENED, AS NEEDED, AND RECOMPACTED TO OBTAIN A TIGHT NON-YIELDING SUBGRADE.
- ASPHALTIC CONCRETE PAVEMENT SHALL NOT BE USED ON THIS SITE.
- PAVEMENT MATERIAL REQUIREMENTS
 - REINFORCED PORTLAND CEMENT CONCRETE: CONCRETE PAVEMENT SHALL BE EQUAL TO ITEM 360, TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS, AND BRIDGES, 2004 EDITION.
 - THE DESIGN RECOMMENDATIONS ARE BASED ON A LIMITED AMOUNT OF INFORMATION ABOUT THE SUBSURFACE CONDITIONS. IN THE ANALYSIS, THE GEOTECHNICAL ENGINEER HAS ASSUMED THE SUBSURFACE CONDITIONS ARE SIMILAR TO THE CONDITIONS ENCOUNTERED IN THE BORINGS. HOWEVER, QUITE OFTEN DURING CONSTRUCTION ANDMALIES IN THE SUBSURFACE CONDITIONS ARE REVEALED.
 - IF REQUIRED AND, WHEN NECESSARY, ALTERNATIVE SOLUTIONS TO UNANTICIPATED CONDITIONS MAY BE REQUIRED.

PEBBLEFLEX NOTES

TOP LAYER:

PEBBLEFLEX TWO-COMPONENT ALIPHATIC POLYURETHANE PRIMER, PEBBLEFLEX ALIPHATIC THERMOPLASTIC POLYURETHANE PEBBLES, PEBBLEFLEX TWO-COMPONENT ALIPHATIC POLYURETHANE BINDER.

THE COLORS SHALL BE AS SELECTED FROM THE DRAWINGS, SUBMITTED AS SAMPLES, AND MIXED ON SITE TO THE RATIOS IN THE SAMPLES. BLACK MATERIAL, IF INCLUDED, MUST BE AN ALIPHATIC THERMOPLASTIC POLYURETHANE PEBBLE AND NOT A RUBBER SUCH AS EPDM OR TPV.

IMPACT LAYER:

THE IMPACT LAYER IS TO BE MADE OF A COMPOSITE OF FOAM AND RUBBER. THE FOAM MATERIAL SHALL BE 100 PERCENT RECYCLED CROSS-LINKED CLOSED CELL POLYETHYLENE FOAM THAT IS HEAT SEALED TOGETHER. THE RUBBER IS TO BE SELECT SBR RUBBER STRANDS OF NOT MORE THAN 1" IN LENGTH.

EQUAL MATERIALS: THE PEBBLEFLEX PEBBLES ARE AN ALIPHATIC THERMOPLASTIC POLYURETHANE PEBBLE. THE SYSTEM IS 100 PERCENT COLOR THROUGHOUT. THE TWO-PART PEBBLEFLEX BINDER IS 100 PERCENT SOLID ALIPHATIC. ANY EQUAL PRODUCT MUST BE URETHANE BASED. NOT RUBBER BASED SUCH AS EPDM OR TPV. MUST INCLUDE AN ALIPHATIC POLYURETHANE BINDER AND MUST BE 100 PERCENT COLOR THROUGHOUT. ANY BLACK RUBBER RECYCLED MATERIAL IS NOT CONSIDERED EQUAL.

FINISH TEXTURE: PEBBLE GRAIN.

COLOR: SELECTED FROM MANUFACTURER'S COLOR CHART BY OWNER PRIOR TO BID.

SURFACE PREPARATION:

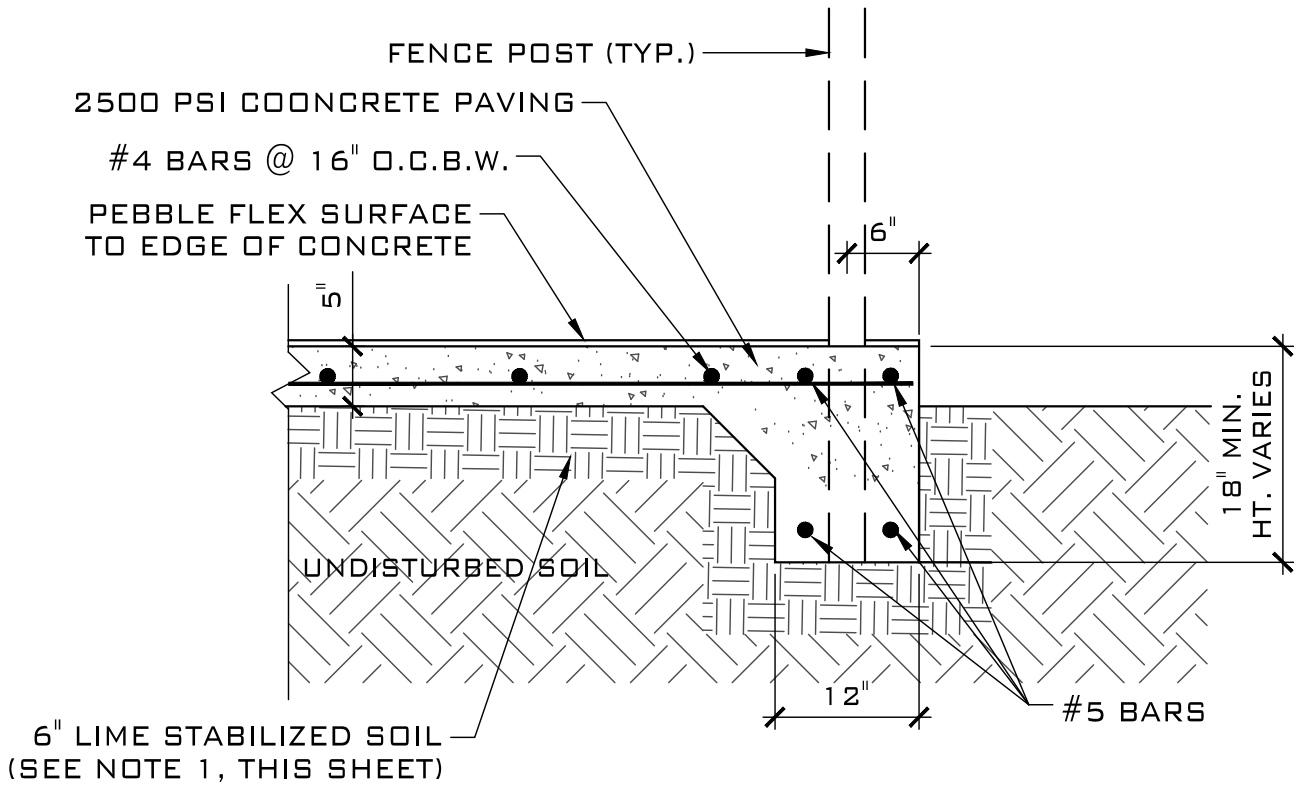
NEW OR EXISTING CONCRETE: NEW CONCRETE MUST BE LIGHT BROOM FINISH AND AT LEAST 28 DAYS OLD, AND CAN BE PREPARED SIMPLY BY ACID ETCHING. ADD ACID SLOWLY TO WATER IN CLEAN POLYETHYLENE BUCKETS AT A RATIO OF EIGHT PARTS WATER TO ONE PART ACID. CARE SHOULD BE TAKEN TO PREVENT SPLASHING ON WORKERS. PROTECTIVE CLOTHES SUCH AS SAFETY GLASSES, RUBBER GLOVES, BOOTS, ETC., SHOULD BE USED. THE ACID SOLUTION SHOULD BE USED ON THE CONCRETE AT A RATE OF 100 SQUARE FEET PER FIVE GALLONS OF ACID SOLUTION. CONCRETE NEEDS TO BE DAMP BEFORE APPLYING ACID. USING A STIFF BROOM, SCRUB ACID SOLUTION INTO THE SURFACE WHERE THE SOLUTION WAS POURED AND CONTINUE THE PROCESS TO OTHER AREAS. NEVER LET THE CONCRETE DRY WITH ACID ON IT. AFTER FIVE MINUTES, RINSE THE CONCRETE WITH LARGE AMOUNTS OF CLEAN WATER TO REMOVE ALL THE ACID SOLUTIONS, AND THEN ALLOW THE CONCRETE TO DRY. OLD CONCRETE THAT IS CONTAMINATED WITH GREASE OR OIL CAN BE CLEANED WITH A POWER-WASHER. USE A DEGREASING AGENT BEFORE POWER-WASHING. FOR CONCRETE WHERE A POWER-WASHER CANNOT BE USED, A DIAMOND GRINDER CAN BE USED TO LIGHTLY GRIND THE SURFACE TO REMOVE CONTAMINATION. CONCRETE SHALL HAVE A MINIMUM OF 1/8"/FOOT. SLOPE TO ENSURE PROPER DRAINAGE.

ASPHALT PREPARATION: NEW ASPHALT MUST BE 15 DAYS OLD. BROOM SCRUB USING A DEGREASER TO REMOVE ANY SURFACE OILS. POWER-WASH ANY CONTAMINANTS OFF THE SURFACE. ALLOW 24 HOURS FOR THE SURFACE TO DRY. PEBBLEFLEX CANNOT BE INSTALLED OVER ASPHALT CURED FOR LESS THAN 15 DAYS.

COMPACTED CRUSHED STONE: MINIMUM DEPTH IS 4". COMPACT THE BASE TO 95 PERCENT PROCTOR. SLOPE THE BASE AT 1/8"-1/4"/FOOT TO ACCOMMODATE PROPER DRAINAGE. SURFACE DRAINS AND/OR WEEP HOLES ARE REQUIRED AT THE TOP SURFACE OF THE AGGREGATE.

CURB PREPARATION: CUT A 3/8' X 1" KEYWAY GROOVE INTO THE EXISTING SURROUNDING CURBING. GROOVE SHALL BE SWPT CLEAN AND BE FREE OF ALL RESIDUAL RESIDUE.

*SEE MANUFACTURER SPECS FOR INSTALLATION INSTRUCTIONS.



FIELD PAVING DETAIL
NTS

PEBBLE FLEX AREA CALCULATIONS		
	CREAM BLEND	73 S.F.
	BROWN BLEND	2,952 S.F.
	GREEN BLEND	12,041 S.F.
TOTAL PEBBLE FLEX AREA		15,066 S.F.

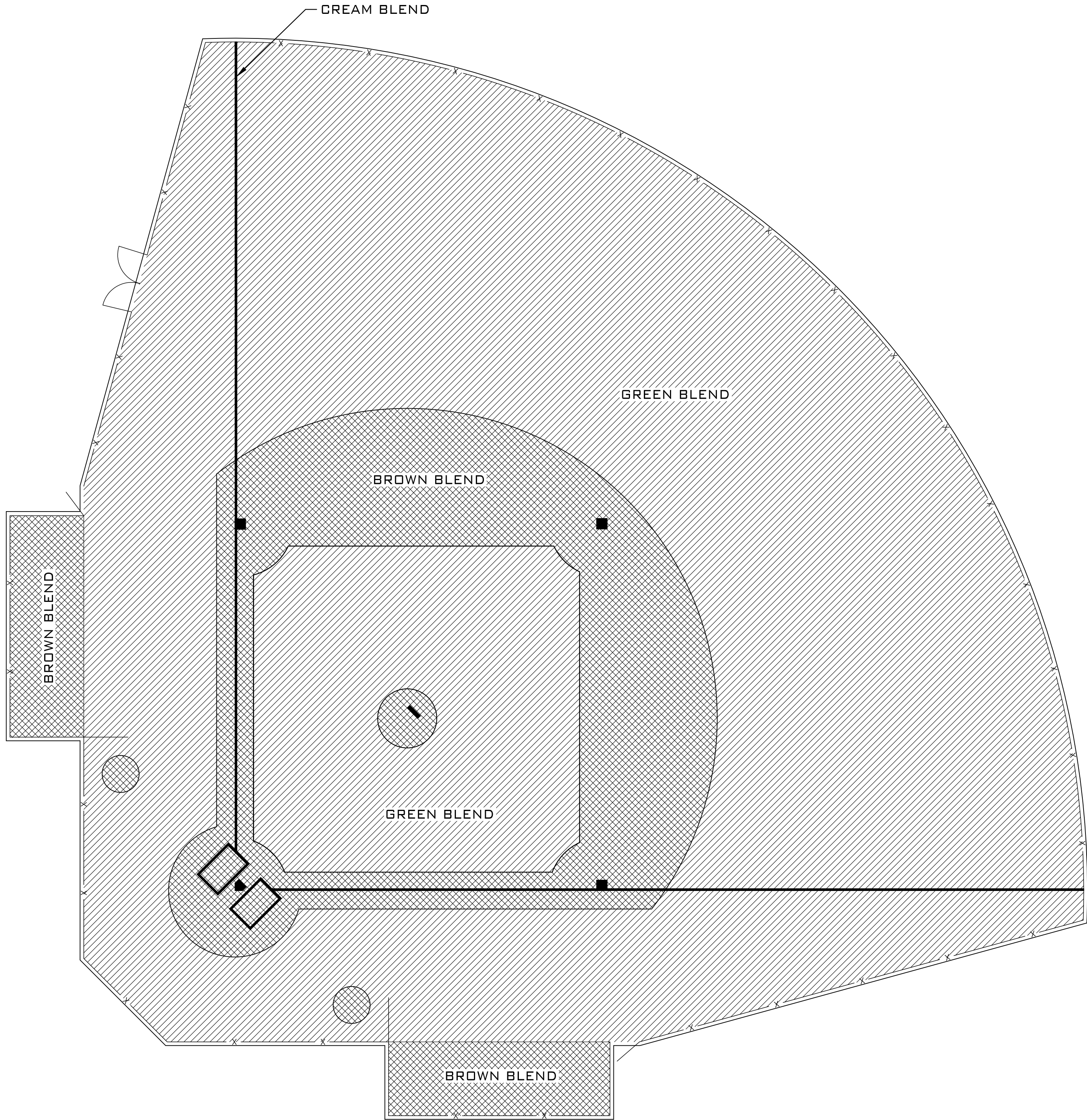
TOTAL CONCRETE AREA = 15,315 S.F.

PEBBLE FLEX BLENDS

CREAM BLEND:
50% LARGE CREAM
50% SMALL CREAM

BROWN BLEND:
25% LARGE BROWN
25% LARGE TAN
25% SMALL BRICK RED
25% SMALL TAN

GREEN BLEND:
68% LARGE DARK GREEN
34% SMALL MOSS GREEN



FIELD PAVING LAYOUT

PIERTECH
DESIGN CONSULTANTS

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TAI
BD

MICHAEL L. PIERCE
PROFESSIONAL
BUILDING DESIGNER

MIRACLE LEAGUE FIELD
WEATHERFORD, TEXAS

FIELD PAVING
LAYOUT

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SCALE: 1"= 10'

DATE: 11-08-14

DRAWN BY: JAS

AR - 14263

SHEET
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