



			CURVE TABLE		
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.33'	5310.00'	0°37'46"	S 08°15'52" W	58.33'
C2	487.92'	5310.00'	5°15'53"	S 16°06'35" W	487.75'
C4	20.95'	1548.00'	0°46'32"	N 88°30'47" W	20.95'
C5	73.69'	982.00'	4°17'59"	N 80°53'47" W	73.68'
C6	195.59'	1108.00'	10°06'52"	N 83°48'12" W	195.34'
C7	414.91'	532.81'	44°37'00"	N 22°09'39" W	404.50'
C8	1032.23'	1382.70'	42°46'24"	N 25°00'26" W	1008.43'
C9	986.68'	1322.70'	42°44'26"	N 25°02'52" W	963.97'
C10	462.88'	592.81'	44°44'14"	N 22°08'40" W	451.21'
C11	268.88'	922.95'	16°41'32"	S 79°47'50" W	267.93'
C12	120.72'	608.75'	11°21'45"	S 85°21'24" W	120.52'
C13	92.81'	7327.89'	0°43'33"	N 18°39'05" E	92.81'
C14	158.11'	7327.89'	1°14'10"	N 17°40'14" E	158.10'
C15	247.68'	7336.13'	1°56'04"	N 15°50'53" E	247.67'
C16	16.14'	29.50'	31°21'06"	N 72°53'46" W	15.94'
C17	62.22'	230.50'	15°27'54"	N 80°51'02" W	62.03'
C18	53.85'	199.50'	15°27'57"	N 80°51'03" W	53.69'
C19	47.12'	30.00'	90°00'00"	N 43°37'28" W	42.43'
C20	32.27'	56.00'	33°01'00"	N 15°07'58" W	31.83'
C21	18.76'	30.00'	35°50'16"	N 19°17'40" E	18.46'
C22	29.58'	56.00'	30°15'40"	N 52°20'37" E	29.23'
C23	44.74'	30.00'	85°26'52"	S 69°48'07" E	40.71'
C24	109.93'	1220.10'	5°09'43"	S 24°29'49" E	109.89'
C25	45.80'	30.00'	87°28'10"	S 21°49'07" W	41.48
C26	50.37'	30.00'	96°12'09"	S 66°17'52" E	44.66'
C27	182.14'	1220.10'	8°33'11"	S 13°55'12" E	181.97'
C28	52.89'	30.00'	101°01'08"	S 40°51'58" W	46.30'
C29	41.12'	30.00'	78°31'30"	N 73°15'48" W	37.97
C30	18.52'	30.00'	35°22'35"	N 16°18'46" W	18.23'
C31	24.32'	30.00'	46°26'44"	N 24°35'54" E	23.66'
C32	44.41'	30.00'	84°49'01"	S 89°46'13" E	40.46'
C33	344.01'	1226.02'	16°04'36"	S 39°19'25" E	342.89'
C34	51.71'	30.00'	98°45'33"	S 18°05'40" W	45.54'
C35	17.29'	30.00'	33°01'00"	N 15°07'58" W	17.05'
C36	17.29	30.00'	33°01'00"	N 15°07'58" W	17.05
C37	32.27'	56.00'	33°01'00"	N 15°07'58" W	31.83'
C38	35.03'	56.00'	35°50'16"	N 19°17'40" E	34.46'
C39	37.29'	30.00'	71°12'51"	N 01°36'22" E	34.93'
C40	34.58'	56.00'	35°22'35"	N 16°18'46" W	34.03'
C40	21.51'	30.00'	41°04'49"	S 21°54'57" W	21.05
C41	69.93'	30.00'	133°33'16"	S 65°24'06" E	55.14'
C42	605.29'	1246.10'	27°49'52"	S 35°50'40" E	599.35'
C43 C44	47.44'	30.00'	90°35'49"	S 67°13'39" E	42.65
C44 C45	47.44	30.00	86°27'51"	S 24°14'31" W	42.05
C45 C46	259.30'	1124.81	13°12'30"	S 12°23'10" E	258.73'
C46 C47	259.30 48.47'	30.00'	92°34'48"	N 10°11'56" E	43.37
C47 C48	48.47		92 34 48 119°49'36"	N 10 1156 E N 16°21'56" E	43.37
		50.00'		N 16°21'56" E N 80°04'40" E	
C49 C50	6.63' 6.54'	50.00'	7°35'52" 7°29'56"	N 80°04'40" E N 87°37'34" E	6.63'
		50.00'		S 43°37'34" E	6.54'
C51	78.54'	50.00'	90°00'00"		70.71'
C52	47.12'	30.00'	90°00'00"	S 43°37'28" E	42.43'
C53	4.70'	26.00'	10°21'26"	S 83°26'45" E	4.69'
C54	45.85'	30.00'	87°33'59"	N 57°56'58" E	41.52'
C55	371.37'	7421.33'	2°52'02"	N 12°43'58" E	371.33'
C56	408.41'	7428.53'	3°09'00"	S 12°50'22" W	408.36'
C57	211.64'	7408.64'	1°38'12"	S 18°06'44" W	211.63'
C58	15.26'	50.00'	17°29'27"	S 10°11'07" W	15.20'
C59	22.31'	20.00'	63°54'40"	S 30°30'57" E	21.17

			CURVE TABLE	=	
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C60	24.78'	20.00'	70°59'13"	N 36°55'59" E	23.22
C61	111.97'	5981.88'	1°04'21"	N 18°41'21" E	111.97
C62	211.23'	7382.64'	1°38'22"	N 18°18'14" E	211.22
C63	54.76'	30.00'	104°34'53"	S 36°16'53" E	47.47
C64	62.08'	230.00'	15°27'54"	S 80°51'02" E	61.89
C65	53.99'	200.00'	15°27'57"	N 80°51'04" W	53.82
C66	38.82'	30.00'	74°08'02"	S 54°21'39" W	36.16
C67	55.53'	30.00'	106°02'43"	N 35°32'18" W	47.93
C68	47.12'	30.00'	89°59'58"	S 46°26'22" W	42.43
C69	47.36'	29.47'	92°05'37"	N 43°33'37" W	42.43
C70	84.76'	54.00'	89°56'12"	S 43°35'31" E	76.33
C71	84.88'	54.00'	90°03'48"	S 46°24'29" W	76.41
C72	78.54'	50.00'	89°59'53"	N 46°26'27" E	70.71
C73	12.71'	50.00'	14°34'10"	N 81°16'32" W	12.68
C74	7.63'	30.00'	14°34'03"	S 81°16'28" E	7.61
C75	47.71'	30.00'	91°07'29"	N 60°26'49" E	42.84
C76	48.75'	30.00'	93°06'04"	N 31°43'00" W	43.56
C77	3.62'	20.00'	10°21'26"	N 83°26'45" W	3.61
C78	47.15'	30.00'	90°02'29"	S 46°21'18" W	42.44
C79	78.67'	50.00'	90°08'55"	S 46°24'31" W	70.80
C80	60.92'	50.00'	69°48'19"	N 53°36'53" W	57.22
C81	281.89'	1220.10'	13°14'16"	N 25°19'52" W	281.27
C82	47.94'	30.00'	91°33'41"	N 77°43'50" W	43.00
C83	158.79'	1220.10'	7°27'24"	N 39°49'10" W	158.68
 C84	169.67'	1252.92'	7°45'33"	N 39°10'23" W	169.54
C85	3.98'	30.00'	7°35'52"	N 80°04'40" E	3.98
C86	3.93'	30.00'	7°29'56"	N 87°37'34" E	3.92
C87	47.12'	30.00'	90°00'01"	S 43°37'27" E	42.43
C88	47.12	30.00'	89°59'59"	S 46°22'33" W	42.43
C89	78.54'	50.00'	90°00'01"	S 46°22'32" W	70.71
C90	47.03'	30.00'	89°49'46"	S 46°22'52' W S 46°17'25" W	42.36
C91	36.59'	30.00'	69°52'46"	N 53°51'19" W	34.36
C91	269.76'	1257.71'	12°17'21"	N 25°03'37" W	269.25
C92	53.71	30.00'	102°34'49"	N 20°05'07" E	46.82
<u>C93</u> C94	38.40'	30.00	73°19'51"	N 71°57'33" W	35.83
C94 C95	47.09'	30.00	89°56'12"	N 43°35'31" W	42.40
C95 C96	50.16'	30.00	95°07'21"	N 43°42'37" E	44.60
C90 C97		19.23	93 07 21 94°41'35"	S 43°33'36" E	
	31.78'	25.18	89°32'09"	S 51°00'49" W	28.28
C98	39.35'				35.47
C99	47.12'	30.00'	90°00'02"	S 43°33'38" E	42.43
C100	28.25'	54.01'	29°58'00"	N 13°32'45" W	27.93
C101	31.37'	30.03'	59°50'52"	S 01°25'37" W	29.96
C102	41.55'	80.00'	29°45'36"	N 16°30'18" E	41.09
C103	47.03'	30.00'	89°48'59"	S 46°32'00" W	42.36
C106	48.58'	29.97'	92°52'13"	N 27°40'32" W	43.44
C107	39.50'	30.00'	75°25'48"	N 53°43'27" E	36.70
C108	12.56'	8.00'	89°58'10"	N 43°32'42" W	11.3
C109	12.57	8.00'	90°01'50"	S 46°27'18" W	11.32
C110	12.56'	7.99'	90°03'27"	S 43°32'42" E	11.3
~ 4 4 4	12.57'	7.99'	90°06'51"	N 46°27'18" E	11.32
C111		30.00'	11°44'16"	S 82°38'06" E	6.14
C112	6.15'		4700000	1 NE 702707707107	18.4
C112 C113	18.48'	60.00'	17°39'03"	N 79°40'43" W	
C112 C113 C114	18.48' 9.24'	30.00'	17°39'03"	N 79°40'43" W	9.2
C112 C113 C114 C115	18.48' 9.24' 24.92'	30.00' 20.00'	17°39'03" 71°23'06"	N 79°40'43" W S 55°48'13" W	9.2 23.3
C112 C113 C114 C115 C116	18.48' 9.24' 24.92' 8.55'	30.00' 20.00' 30.00'	17°39'03" 71°23'06" 16°19'15"	N 79°40'43" W S 55°48'13" W N 11°55'36" E	9.2 23.34 8.52
C112 C113 C114 C115 C116 C117	18.48' 9.24' 24.92' 8.55' 28.46'	30.00' 20.00' 30.00' 9.97'	17°39'03" 71°23'06" 16°19'15" 163°31'00"	N 79°40'43" W S 55°48'13" W N 11°55'36" E N 80°11'18" W	9.2 ⁻ 23.3 ² 8.52 19.7 ⁴
C112 C113 C114 C115 C116 C117 C118	18.48' 9.24' 24.92' 8.55' 28.46' 324.29'	30.00' 20.00' 30.00' 9.97' 7421.33'	17°39'03" 71°23'06" 16°19'15" 163°31'00" 2°30'13"	N 79°40'43" W S 55°48'13" W N 11°55'36" E N 80°11'18" W N 12°54'52" E	9.2 [°] 23.3 ⁴ 8.52 19.7 ⁴ 324.2
C112 C113 C114 C115 C116 C117 C118 C119	18.48' 9.24' 24.92' 8.55' 28.46' 324.29' 62.48'	30.00' 20.00' 30.00' 9.97' 7421.33' 30.00'	17°39'03" 71°23'06" 16°19'15" 163°31'00" 2°30'13" 119°19'54"	N 79°40'43" W S 55°48'13" W N 11°55'36" E N 80°11'18" W N 12°54'52" E N 16°36'47" E	9.2 [°] 23.3 ⁴ 8.5 [°] 19.7 ⁴ 324.2 [°] 51.79
C112 C113 C114 C115 C116 C117 C118	18.48' 9.24' 24.92' 8.55' 28.46' 324.29'	30.00' 20.00' 30.00' 9.97' 7421.33'	17°39'03" 71°23'06" 16°19'15" 163°31'00" 2°30'13"	N 79°40'43" W S 55°48'13" W N 11°55'36" E N 80°11'18" W N 12°54'52" E	9.2 ⁻ 9.2 ⁻ 23.3 ² 8.52 19.7 ² 324.27 51.79 5.92

SURVEYOR Eagle Surveying, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009

Project 2108.092-04

Date 08/22/2024

Drafter EN



<u>ENGINEER</u> Claymoore Engineering, Inc. 1903 Central Drive, Suite: 406 Bedford, TX 76021

<u>OWNER</u> John Porter Autos Sales, Inc. PO Box 178 Sanger, TX 76266

OWNER Pac Group, Ltd. PO Box 877 Sanger, TX 76266

EAGLE SURVEYING, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177

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LINE	LINE TABLE BEARING	DISTANCE
L1	N 89°38'41" W	23.94'
L2	S 81°33'29" E	41.31'
L3	S 17°29'05" W	96.51'
L4 L5	S 56°51'35" W N 43°39'57" W	146.89' 15.60'
L6	N 88°27'24" W	30.16'
L7	N 01°32'53" E	138.77'
L8	N 20°02'29" E	154.91'
L9 L10	N 69°54'47" W N 01°13'52" E	55.48' 9.80'
L10	N 88°48'42" W	77.60'
L12	N 11°15'13" E	10.00'
L13	N 00°53'10" E	98.31'
L14 L15	S 45°55'38" W N 88°44'41" W	105.49' 282.10'
L15	N 64°19'30" W	282.10
L17	N 38°40'01" E	46.89'
L18	N 01°26'23" E	393.72'
L19 L20	N 43°36'43" W	91.59'
L20	N 01°23'17" E N 01°23'17" E	94.48' 160.03'
L22	N 33°19'18" E	28.02'
L23	N 88°33'39" W	10.18'
L24	N 01°26'21" E	125.42'
L25 L26	N 88°31'47" W N 01°26'23" E	29.99' 151.02'
L20	S 88°33'37" E	85.72
L28	S 71°42'29" E	56.23'
L29	S 70°40'38" E	77.27'
L30 L31	N 70°40'52" W S 20°05'13" W	196.80' 30.70'
L31	N 88°34'20" W	76.40'
L33	N 73°07'05" W	121.21'
L34	N 73°06'31" W	121.46'
L35 L36	N 88°34'22" W N 44°41'00" E	101.53'
L30	S 88°33'08" E	36.47' 734.12'
L38	S 44°55'45" E	21.74'
L39	S 89°01'13" E	34.25'
L40	N 34°00'03" W	13.98'
L41	N 01°22'32" E N 88°38'12" W	44.37' 31.50'
L43	N 34°00'03" W	18.39'
L44	S 88°38'12" E	38.83'
L45	N 01°22'32" E N 44°55'45" W	321.27'
L46	N 88°33'08" W	9.49' 708.85'
L48	N 88°37'28" W	578.35'
L49	N 01°22'32" E	120.31'
L50 L51	N 31°38'28" W N 01°22'32" E	7.55' 31.56'
L51	N 37°12'47" E	41.89'
L53	N 34°00'03" W	86.39'
L54	N 01°22'32" E	650.15'
L55	N 42°27'21" E	44.60'
L56 L57	S 42°27'21" W S 01°22'32" W	22.61' 296.18'
L58	N 47°49'16" E	125.29'
L59	N 67°28'27" E	83.26'
L60	S 67°28'27" W	85.67'
L61 L62	N 88°37'28" W N 01°22'32" E	457.92' 64.31'
L63	N 31°38'28" W	7.55
L64	N 01°22'32" E	31.56'
L65	N 37°12'47" E	71.71'
L66 L67	N 67°28'27" E S 65°33'12" W	326.28' 28.22'
L67	S 22°31'33" E	25.99'
L69	N 65°36'04" E	22.50'
L70	S 67°28'27" W	316.85'
L71 L72	N 34°00'03" W N 01°22'32" E	72.94' 214.32'
L72	N 47°49'16" E	157.01
L74	N 56°29'20" E	93.79'
L75	N 76°16'44" E	99.36'
L76	N 83°52'36" E S 88°37'28" E	121.83' 759.89'
L77	S 01°22'32" W	260.87
L79	S 88°37'28" E	63.98'
L80	S 78°16'02" E	125.61'
L81 L82	S 14°41'02" W S 16°00'33" W	155.27' 123.09'
L82	S 18 00 33 W S 88°34'20" E	76.40'
L84	S 73°07'05" E	121.21'
L85	N 73°07'05" W	121.46'

LINE	LINE TABLE BEARING	DISTANCE
L86 L87	N 88°34'20" W S 01°26'23" W	102.54 ['] 18.53'
L88	N 01°26'23" E	16.76
L89	N 88°33'39" W	372.14
L90	S 01°26'23" W	181.03
L91	S 09°52'52" E	36.80
L92	S 01°26'23" W	16.57
L93	S 27°16'16" W	54.63
L94	N 01°26'23" E	177.12
L95	N 88°33'37" W	96.64
L96 L97	N 01°22'36" E S 88°33'37" E	57.00' 72.77'
L97	N 01°26'30" E	96.34
L99	S 88°33'37" E	297.66
L100	S 73°59'27" E	204.45
L101	N 78°16'02" W	119.64
L102	N 88°37'28" W	649.70
L103	S 01°20'03" W	155.70
L104	N 88°31'02" W	95.65
L105 L106	S 56°29'20" W N 76°16'44" E	94.53
L100	N 83°52'36" E	88.62' 121.04'
L108	S 88°37'28" E	753.50
L109	S 01°22'33" W	254.87
L110	N 88°37'27" W	507.54
L111	S 01°22'32" W	155.58
L112	N 88°47'42" W	85.25
L113	N 71°22'32" E	7.16
L114	N 18°37'28" W	26.00
L115	S 71°22'32" W	29.81
L116 L117	N 88°33'37" W N 01°22'36" E	95.14 51.03
L118	S 86°52'44" E	102.24
L119	S 01°26'23" W	68.00
L120	N 88°33'39" W	396.12
L121	N 01°26'23" E	64.13
L122	N 01°37'31" E	36.70
L123	S 88°33'30" E	236.38
L124	S 73°59'27" E	200.78
L125 L126	S 16°00'33" W S 01°26'23" W	150.29' 140.01'
L120	N 88°33'37" W	25.00
L128	N 01°26'23" E	140.03
L129	S 01°26'23" W	201.99
L130	S 16°13'40" E	34.03
L131	N 01°26'23" E	124.60
L132	S 88°30'14" E	93.67
L133	N 70°51'11" W N 70°51'11" W	44.90
L134 L135	N 88°30'14" W	45.18' 104.81'
L136	S 20°06'40" W	23.77
L137	N 69°53'20" W	28.39
L138	S 22°28'27" W	138.14
L139	S 22°28'27" W	139.72
L140	S 12°25'30" W	12.19
L141	S 78°14'58" E	59.81
L142 L143	S 01°22'32" W N 37°52'14" W	315.48 ['] 34.02'
L143	S 11°49'45" W	34.02 7.96'
L145	S 78°14'58" E	138.37
L146	N 12°25'30" E	9.44
L147	S 88°37'28" E	15.28
L148	N 88°37'28" W	43.20
L149	S 61°12'08" W	45.87
L150	N 88°37'28" W	271.91
L151	S 61°12'08" W	32.73
L152 L153	S 01°22'32" W N 37°52'14" W	36.60 [°] 46.91 [°]
L153	N 37°52'14" W	27.21
L155	S 22°56'26" E	17.68
L156	S 01°23'17" W	77.74
L157	S 25°50'12" E	26.23
L158	N 01°26'23" E	7.50
L159	N 88°36'43" W	47.84
L160	S 12°25'30" W	31.65
L161	N 12°25'30" E	37.18
L162 L163	N 38°33'45" W N 46°26'23" E	31.17 [°] 29.62
L163	N 46 26 23 E N 01°17'40" E	29.62
L165	N 88°13'49" W	14.93
L166	N 46°26'23" E	17.31
L167	S 01°22'32" W	23.56
L168	S 01°22'32" W	23.55
L169	N 01°22'32" E	23.55
L170	S 88°37'28" E	15.14
L171	N 46°22'32" E	118.20
	N 46°22'32" E N 46°22'32" E S 88°37'28" E	<u>118.20</u> <u>114.17</u> 19.29

AS APPROVED PER	ORDINANCE 12-32-22			
SINGLE FAMILY	2 PER DWELLING UNIT			
MULTI-FAMILY	1.6 PER DWELLING UNIT			
GENERAL RETAIL	3 PER 1,000 SF			
RESTAURANT	1 PER 150 SF			
STORAGE FACILITY	1 PER 3,000 SF			
* SF REFERENCE TO FLOOR AREA				

	Single Family Detached 40' Lots	Single Family Detached 50' Lots	Single Family Detached 70' Lots	Multifamily
Unit Count or DUA	200 Lots	84 Lots	12 Lots	20 DUA or 612 units
Min. Lot Area	4,400 SF	5,500 SF	7,700 SF	N/A
Min. Lot Width	40'	50'	70'	N/A
Min. Lot Depth	110'	110′	110′	N/A
Min. Front Setback	20'	20'	20'	20'
Min. Side Setback	5'	5'	5′	5'
Side Street Setback	10'	10'	10'	N/A
Min. Rear Setback	10' / 5' for rear garages	10' / 5' for rear garages	10' / 5' for rear garages	10'
Min. Dwelling Size	1300 SF	1500 SF	2000 SF	700 SF
Max. Lot Coverage	60%	60%	60%	75%
Max. Structure Height	2 Stories / 40'	2 Stories / 40'	2 Stories / 40'	3 Stories / 54'

SITE DATA SUMMARY															
			LOT SIZE	LOT SIZE	BLDG.	BLDG HGT.	LOT CO	VERAGE	FLR ARE	A RATIO	PARKI	NG		HANDI	CAP SP.
LOT	ZONING	PROPOSED USE	(ACRES)	(SQ. FT.)	AREA (SQ. FT.)	(FT-# ST.)	REQ.	PROV.	REQ.	PROV.	REQ. RATIO	REQ.	PROV.	REQ.	PROV.
1, BLK A	PD 12-32-22	RESIDENTIAL	29.91	1,302,922	N/A	40' 2 STORY	60% MAX.	N/A	NONE	N/A	2 PER LOT	268	268	N/A	N/A
2, BLK A	PD 12-32-22	RESIDENTIAL	28.26	1,230,857	N/A	40' 2 STORY	60% MAX.	N/A	NONE	N/A	2 PER LOT	312	312	N/A	N/A
3, BLK A	PD 12-32-22	MULTI-FAMILY	16.53	720,175	130,300	54' 3 STORY	75% MAX.	18.1%	NONE	0.181	2 PER UNIT	330	489	9	12
4, BLK A	PD 12-32-22	STORAGE	3.07	133,690	66,845	40' 2 STORY	50% MAX.	50.0%	NONE	0.500	1:3,000 SF	23	23	1	1
5, BLK A	PD 12-32-22	RETAIL/RESTAURANT	1.53	66,478	4,500	40' 2 STORY	50% MAX.	6.8%	NONE	0.068	1:150 SF REST. 3:1000 SF RETAIL	30	30	2	2
6, BLK A	PD 12-32-22	RETAIL/RESTAURANT	2.24	97,503	8,400	40' 2 STORY	50% MAX.	8.6%	NONE	0.086	1:150 SF REST. 3:1000 SF RETAIL	56	166	6	2
7, BLK A	PD 12-32-22	RETAIL/RESTAURANT	5.16	224,554	50,699	40' 2 STORY	50% MAX.	22.6%	NONE	0.226	1:150 SF REST. 3:1000 SF RETAIL	153	254	7	7
8, BLK A	PD 12-32-22	RETAIL/RESTAURANT	2.56	111,649	16,500	40' 2 STORY	50% MAX.	14.8%	NONE	0.148	1:150 SF REST. 3:1000 SF RETAIL	110	142	5	4
9, BLK A	PD 12-32-22	RETAIL/RESTAURANT	0.86	37,482	4,000	40' 2 STORY	50% MAX.	10.7%	NONE	0.107	1:150 SF REST. 3:1000 SF RETAIL	27	27	2	2
10, BLK A	PD 12-32-22	RETAIL/RESTAURANT	0.85	37,098	3,500	40' 2 STORY	50% MAX.	9.4%	NONE	0.094	1:150 SF REST. 3:1000 SF RETAIL	24	24	1	2
11, BLK A	PD 12-32-22	RETAIL/RESTAURANT	0.87	37,765	4,000	40' 2 STORY	50% MAX.	10.6%	NONE	0.106	1:150 SF REST. 3:1000 SF RETAIL	27	27	2	2
12, BLK A	PD 12-32-22	RETAIL/RESTAURANT	0.89	38,927	3,500	40' 2 STORY	50% MAX.	9.0%	NONE	0.090	1:150 SF REST. 3:1000 SF RETAIL	24	24	1	2
13, BLK A	PD 12-32-22	RETAIL/RESTAURANT	1.03	44,728	4,000	40' 2 STORY	50% MAX.	8.9%	NONE	0.089	1:150 SF REST. 3:1000 SF RETAIL	27	27	2	2
14, BLK A	PD 12-32-22	RETAIL/RESTAURANT	1.38	60,040	3,500	40' 2 STORY	50% MAX.	5.8%	NONE	0.058	1:150 SF REST. 3:1000 SF RETAIL	24	24	1	2
1, BLK B	PD 12-32-22	MULTI-FAMILY	16.52	719,804	68,283	54' 3 STORY	75% MAX.	9.5%	NONE	0.095	2 PER UNIT	484	527	11	12
2, BLK B	PD 12-32-22	RETAIL/RESTAURANT	5.88	256,341	24,000	40' 2 STORY	50% MAX.	9.4%	NONE	0.094	1:150 SF REST. 3:1000 SF RETAIL	72	72	3	5

OFF STREET PARKING REQUIREMENT

SITE DATA TABLE					
SITE AREA	129.25 ACRES (5,630,308 SF)				
RIGHT-OF-WAY DEDICATION	6.56 ACRES (285,838 SF)				
NET AREA	122.69 ACRES (5,344,470 SF)				

* REFERENCE ORDINANCE FOR ADDITIONAL USES NOT LISTED ABOVE

PRELIMINARY PLAT **BELZ ROAD RETAIL** ADDITION LOTS 1-15, BLOCK A LOTS 1X AND 1-2, BLOCK B 129.86 ACRES 6.56 ACRES - RIGHT-OF-WAY DEDICATION

HENRY TIERWESTER SURVEY, ABSTRACT No. 1241 CITY OF SANGER, DENTON COUNTY, TEXAS

PAGE 3 OF 4

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS COUNTY OF DENTON

THENCE, S01°00'05"W, along the west lines of said 2.501 acre tract, a called 10.42 acre tract of land conveyed M&G Sanger Real Estate LLC by Special Warranty Deed or record in Document Number 2019-27076 of the Official Records of Denton County, Texas, a called 30.96 acre tract of land conveyed to Holt Texas LTD by Warranty Deed of record in Document Number 2013-71958 of the Official Records of Denton County, Texas, being the common east line of said 50 acre tract and said, passing at a distance of 20.20' a 1/2" iron rod found, passing at a distance of 655.80 feet a 3/8" iron rod found, being the southwest corner of said 2.501 acre tract, continuing a total distance of 1561.92 feet to a 1/2" iron rod found, being the southeast corner of said 50 acre tract the southwest corner of said 30.96 acre tract and the northwest corner of said 26.385 acre tract; **THENCE**, S00°48'52"W, continuing along the west line of said 30.96 acre tract, being the common east line of said 61.598 acre tract, passing at a distance of 563.24 feet to a 1/2" iron rod found being the southwest corner of

by Judgement of Court in Absence of Objection of record in Document Number 2022-52683 of the Official Records of Denton County, Texas; **THENCE**, along the common lines between said Eagle Farms tract and said 26.385 acre tract, the following two (2) courses and distances:

2. S08°57'38"W, a distance of 247.92 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the southwest corner of said Eagle Farms tract and the northwest corner of a tract of land conveyed to HartinTriangle Trust by Warranty Deed of record in Volume 2431, Page 17 of the Official Records of Denton County, Texas;

THENCE, S18°48'25"W, along the west line of said Hartin Triangle Trust tract, being the common east line of said 26.385 acre tract, a distance of 198.82 feet to a 1/2" iron rod found, being the southwest corner of said Hartin Triangle Trust tract and an interior ell corner of said 26.385 acre tract;

THENCE, S81°33'29"E, along the south line of said Hartin Triangle Trust tract and a called 0.0135 acre tract of land conveyed to the State of Texas by Deed of record in Document Number 2020-74514 of the Official Records of Denton County, Texas, being the common east line of said 26.385 acre tract, a distance of 41.31' feet a 5/8" iron rod with pink plastic cap stamped "TXDOT" found in the west right-of-way line of Interstate Highway 35 and the beginning of a non-tangent curve to the right, being the southwest corner of said State of Texas tract and the northwest corner of a called 0.5258 acre tract of land conveyed to the State of Texas by Deed of record in Document Number 2022-52683 of the Official Records of Denton County;

THENCE, along the west right-of-way line of said Interstate Highway 35 and the west line of said 0.5258 acre tract, being the common east line of said 26.385 acre tract, the following two (2) courses and distances: 1. In a southwesterly direction and along said non-tangent curve to the right, having a radius of 5310.00 feet, a chord bearing of S16°06'35"W, a chord length of 487.75 feet, a delta angle of 05°15'53", an arc length of 487.92 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the end of said non-tangent curve to the left;

2. S17°29'05"W, a distance of 96.51 feet to a 5/8" iron rod with pink plastic cap stamped "TXDOT" found, being the southwest corner of said 0.5258 acre tract, the northwest corner of a called 0.1483 acre tract of land conveyed to the State of Texas by Deed of record in Document Number 2020-44894 of the Official Records of Denton County, Texas and the northeast corner of said Lot 1, Block A, Foodmaker Addition, at the

beginning of a non-tangent curve to the right;

non-tangent curve to the right;

4. N88°27'24"W, a distance of 30.16 feet to a Mag Nail found in the east line of Lot 1, Block 1, Kwik Kar Addition, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Cabinet P, Page 169 of the Plat Records of Denton County, Texas and west line of an Access Driveway, Utility & Signage Easement recorded in Document Number 98-R0061221 of the Official Records of Denton County, Texas;

THENCE, N01°32'53"E, along the east line of said Lot 1, Block A of said Kwik Kar Addition, being the common west line of said Access Driveway, Utility & Signage Easement a distance of 138.77feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at an angle point in said Access Driveway, Utility & Signage Easement and Lot 2, Block A, Porter Addition, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Cabinet U, Page 76 of the Plat Records of Denton County, Texas;

THENCE, N20°02'29"E, along the east line of said Lot 2, Block A, Porter Addition, being the common west line of said Access Driveway, Utility & Signage Easement a distance of 154.91 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the northeast corner of said Lot 2, Block A, Porter Additior

Addition;

of said Lot 1;

being the southwest corner of said Lot 1; being the northwest corner of said Lot 8;

THENCE, along the north right-of-way line of said F.M. Road 455, the following four (4) courses and distances: 1. In a northwesterly direction and along said non-tangent curve to the right, having a radius of 982.00 feet, a chord bearing of N80°53'47"W, a chord length of 73.68 feet, a delta angle of 04°17'59", an arc length of 73.69 feet to a 5/8" iron rod found at the end of said non-tangent curve to the right;

4.N88°51'38"W, a distance of 1041.96 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east line of a called 95 acre tract of land described as Tract 2, conveyed to Jackson Jay Marshall and Joseph William Marshall by Deed or record in Document Number 2013-133569 of the Official Records of Denton County, Texas;

THENCE, N00°58'47"E, along the east line of said 95 acre tract, being the common west line of said 61.598 acre tract, a distance of 656.74 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the southwest corner of a called 1.86 acre tract of land conveyed to John W. Porter by Warranty Deed of record in Document Number 96R0026290 of the Official Records of Denton County, Texas; THENCE, along the common lines between said 1.86 acre tract and said 61.598 acre tract, the following two (2) courses and distances:

1. S89°01'13"E, a distance of 270.00 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the southeast corner of said 1.86 acre tract; 2. N00°58'47"E, a distance of 300.00 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the northeast corner of said 1.86 acre tract;

THENCE, N00°53'10"E, over and across said 61.598 acre tract, a distance of 98.31 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the southeast corner of said 2.00 acre tract; THENCE, along the common lines between said 61.598 acre tract and said 2.00 acre tract, the following two (2) courses and distances:

1. N01°03'03"E, a distance of 322.56 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the northeast corner of said 2.00 acre tract; 2. N88°56'57"W, a distance of 270.24 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east line of a called 5 acre tract conveyed to Albert W. Kieth per will (no record found, being the northwest corner of said 2.00 acre tract;

THENCE, N00°58'47"E, along the east lines of said 5 acre tract (no record found) and Meadow Lands Addition, an addition to the City of Sanger, Denton County, Texas according to the plat recorded in Cabinet F, Page 80 of the Plat Records of Denton County, Texas, being the common west lines of said 61.598 acre tract and said 50 acre tract, a distance of 2048.28 feet to a 1/2" iron rod found in or around the centerline of said Belz Road and the south line of a tract of land conveyed to PAC Group, Ltd. by Warranty Deed of record in Document Number 2004-150424 of the Official Records of Denton County, Texas, being the northwest corner of said 50 acre tract; THENCE, S88°32'48"E, along the apparent centerline of said Belz Road, the south lines of said PAC Group tract and said 2.000 acre tract, being the common north line of said 50 acre tract, a distance of 1394.87 feet to the **POINT OF BEGINNING**, containing 129.86 acre or 5,656,763 square feet, more or less.

GENERAL NOTES

1.) The purpose of this plat is to create eighteen (18) lots of record from three (3) unplatted tracts.

2.) This property is located in Non-Shaded Zone "X" as scaled from the F.E.M.A. Flood Insurance Rate Map dated April 18, 2011 and is located in Community Number 480786 as shown on Map Number 48121C0210G. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.

3.) The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011).

4.) Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.

5.) All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.

6.) The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011).

7.) The elevations shown on this plat are based on GPS observations utilizing the AllTerra RTK Network. North American Vertical Datum of 1988, (Geoid 12A).

9.) Lot to lot drainage shall not be allowed.

10.) Single-family lot layout shown hereon as schematic only.

11.) All lots comply with the minimum size requirements of the zoning district.

12.) This property may be subject to charges related to impact fees and the applicant should contact the city regarding any applicable fees due.

13.) All common areas, drainage easements, and detention facilities will be owned and maintained by the HOA/property owner. Any common area within the city's right-of-way will require a facilities agreement, to be reviewed and approved by the city.

14.) This plat does not alter or remove existing deed restriction, if any, on this property.

	CERTIFICATE OF	SURVEYOR	
STATE OF TEXAS	§		
COUNTY OF DENTON	§		
was prepared from an actual with 1/2-inch iron rods with of accordance with the current Denton County, Texas.	stered Professional Land Surveyor, o I survey made on the ground and tha green plastic caps stamped "EAGLE provisions of the Texas Administrativ	it the monuments shown here SURVEYING" under my direc	on were found or place tion and supervision ir
PRELIMINARY this document shall not be rec for any purpose and shall no used or viewed or relied upor final survey document	corded ot be		
Matthew Raabe, R.P.L.S. #	6402		
Date			
STATE OF TEXAS	§		
COUNTY OF TARRANT	§		
person whose name is subs	ed authority, on this day personally a cribed to the foregoing instrument, ar tions therein expressed and in the ca	nd acknowledged to me that h	
GIVEN UNDER MY HAND A	AND SEAL OF THE OFFICE this	day of	, 2024

Project

2108.092-04 Date 08/22/2024

Drafter ΕN



EAGLE SURVEYING, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177

WHEREAS, JOHN PORTER AUTO SALES, INC., SANGER CROSSTING LTD, PAC GROUP, LTD., are the owners of a 129.86 acre tract or parcel of land situated in the Henry Tierwester Survey, Abstract Number 1241 in Denton County, Texas and being all of a called 26.385 acre tract of land conveyed to John Porter Auto Sales, Inc. by Warranty Deed of record in Volume 1330, Page 277 of the Official Records of Denton County, Texas, and all of a called 50 acre tract conveyed to Pac Group, Ltd. by Warranty Deed of record in Volume 4880, Page 2632 of the Official Records of Denton County, Texas, and a portion of a called 61.598 acre tract of land conveyed to Pac Group LTD by Warranty Deed of record in Volume 4759, Page 632 of the Official Records of Denton County, Texas, being all of Lot 1, Block A, Foodmaker Addition, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Cabinet P, Page 105 of the Plat Records of Denton County, Texas, and being all of a tract of land conveyed to Sanger Crossing, Ltd by deed of record in Document Number 2023-134278, of said Official Records, and being more particularly described by metes and bounds as follows:

BEGINNING, at a MAG nail found at or near the centerline of Belz Road (variable width right-of-way), being in the south line of a called 2.000 acre tract of land conveyed to David D. Garcia by Deed of Trust of record in Volume 2020, Page 78 of the Official Records of Denton County, Texas, being the northwest corner of a called 2.501 acre tract of land conveyed to Daniel Raymond Wolfe and Brianna Lynne Wolfe by Warranty Deed with Vendor's Lien of record in Document Number 2021-21494 of the Official Records of Denton County, Texas and the northeast corner of said 50 acre tract;

said 30.68 acre tract and the northwest corner of said 26.385 acre tract; THENCE, S88°37'28"E, along the south line of said 30.96 acre tract, being the common north line of said 26.385 acre tract, a distance of 1122.76 feet to a 5/8" iron rod with pink plastic cap stamped "TXDOT" found in the west right-of-way line of Interstate Highway 35 (variable width right-of-way) and being the beginning of a non-tangent curve to the right, being the northwest corner of a called 0.0832 acre tract conveyed to the State of Texas

THENCE, in a southwesterly direction, along said non-tangent curve to the right and the west right-of-way line of Interstate Highway 35, having a radius of 5310.00 feet, a chord bearing of S08°15'52"W, a chord length of 58.33 feet, a delta angle of 00°37'46", an arc length of 58.33 feet to a 5/8" iron rod with pink plastic cap stamped "TXDOT" found at the end of said non-tangent curve to the right, being the southwest corner of said 0.0832 acre tract and the northeast corner of a tract of land conveyed to Eagle Farms Inc by General Warranty Deed of record in Document Number 2022-3692 of the Official Records of Denton County, Texas;

1. N89°38'41"W, a distance of 23.94 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the northwest corner of said Eagle Farms tract;

THENCE, along the west right-of-way line of said Interstate Highway 35, being the common east line of said Lot 1, Block A, Foodmaker Addition, in part, along said non-tangent curve to the right, having a radius of 5313.00 feet, a chord bearing of S20°43'47"W, a chord length of 192.80 feet, a delta angle of 02°04'45", an arc length of 192.81 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the end of said

THENCE, along the west and south right-of-way lines of said Interstate Highway 35, the following four (4) courses and distances:

1. S56°51'35"W, a distance of 146.89 feet to a Mag Nail found at the beginning of a non-tangent curve to the right;

2. In a southwesterly direction, along said non-tangent curve to the right, having a radius of 1548.00 feet, a chord bearing of N88°30'47"W, a chord length of 20.95 feet, a delta angle of 0°46'32", an arc length of 20.95 feet to a Mag Nail set at the end of said non-tangent curve to the left;

3. N43°39'57"W, a distance of 15.60 feet to a Mag Nail found;

THENCE, along the north line of said Block A, Porter Addition, being the common south line if said 26.385 acre tract, the following two (2) courses and distances: 1. N69°54'47"W, a distance of 55.48 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the northwest corner of said Lot 2 and the northeast corner of Lot 1, Block A of said Porter

2. N88°36'29"W, a distance of 419.32 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east right-of-way line of Sanger West Boulevard (50' right-of-way), being the northwest corner

THENCE, N01°13'52"E, along the east right-of-way line of said Sanger West Boulevard, being the common south line of said 26.385 acre tract, a distance of 9.80 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the intersection of the east right-of-way line of said Sanger West Boulevard and the north right-of-way line of Exchange Drive (50' right-of-way);

THENCE, N88°21'17"W, along the north right-of-way line of Exchange Drive, being the common south line of said 26.385 acre tract, a distance of 221.87 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east line of said 61.598 acre tract, being the northwest terminus of said Exchange drive, being the southwest corner of said 26.385 acre tract;

THENCE, S01°26'23"W, along the west terminus of said Exchange Drive, the west line of Lot 1, Block A, Sanger Exchange West, Section One, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Cabient E, Page 280 of the Plat Records of Denton County, Texas, being the common east line of said 61.598 acre tract, a distance of 180.60 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the north line of Lot 1R, Block 1, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Document Number 2020-71 of the Plat Records of Denton County, Texas,

THENCE, N88°48'42"W, along the north line of said Lot 1R, being the common south east line of said 61.598 acre tract, a distance of 77.60 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set,

THENCE, S01°24'37"W, along the west line of said Lot 1R, a distance of 147.21 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the north right-of-way line of F.M. Highway 455 (variable width right-of-way) and the beginning of a non-tangent curve to the right, being the southwest corner of said Lot 1R and the northwest corner of a called 2.0308 acre tract of land conveyed to the State of Texas by Judgement of record in Document Number 2021-67745 of the Official Records of Denton County, Texas;

2. N11°15'13"E, a distance of 10.00 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the beginning of a non-tangent curve to the left;

3. In a northwesterly direction and along said non-tangent curve to the left, having a radius of 1108.00 feet, a chord bearing of N83°48'12"W, a chord length of 195.34 feet, a delta angle of 10°06'52", an arc length of 195.59 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the end of said non-tangent curve to the left;

SURVEYOR Eagle Surveying, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009

ENGINEER Claymoore Engineering, Inc. 1903 Central Drive, Suite: 406 Bedford, TX 76021

OWNER John Porter Autos Sales, Inc. PO Box 178 Sanger, TX 76266

OWNER Pac Group, Ltd PO Box 877 Sanger, TX 76266

OWNER'S CERTIFICAT & DEDICATION, continued

STATE OF TEXAS COUNTY OF DENTON

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, JOHN PORTER AUTO SALES, INC., acting herein by and through it duly authorized office, does hereby adopt this plat designating the hereinabove described property as **BELZ ROAD RETAIL ADDITION**, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use foreverby fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities, and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

OWNER: JOHN PORTER AUTO SALES, INC.

BY:		Date	
STATE OF TEXAS COUNTY OF	§ §		
BEFORE ME, the undersigned name is subscribed to the foreg expressed and in the capacity t	joing instrument, and acknowledged to i	red me that he executed the same for th	, known to me to be the person whose he purposes and considerations therein
GIVEN UNDER MY HAND ANI	D SEAL OF THE OFFICE this	day of	, 2024.
Notary Public in and for the Sta	ite of Texas		

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **PAC GROUP**, LTD, acting herein by and through it duly authorized office, does hereby adopt this plat designating the hereinabove described property as **BELZ ROAD RETAIL ADDITION**, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use foreverby fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities, and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

OWNER: PAC GROUP, LTD

BY:	Date	
STATE OF TEXAS § COUNTY OF §		
BEFORE ME, the undersigned authority, on this day personally appear name is subscribed to the foregoing instrument, and acknowledged to r expressed and in the capacity therein stated.		
GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this	day of,	2024.
Notary Public in and for the State of Texas		

APPROVED AND ACCEPTED

Approved for preparation of Final Plat

City of Sanger, TX Planing and Zoning Commission

PRELIMINARY PLAT **BELZ ROAD RETAIL ADDITION** LOTS 1-15, BLOCK A LOTS 1X AND 1-2, BLOCK B

129.86 ACRES 6.56 ACRES - RIGHT-OF-WAY DEDICATION

HENRY TIERWESTER SURVEY, ABSTRACT No. 1241 CITY OF SANGER. DENTON COUNTY. TEXAS

PAGE 4 OF 4