

NOTE
SEE PAGE 3 FOR LOT
AND CURVE TABLE

LEGEND

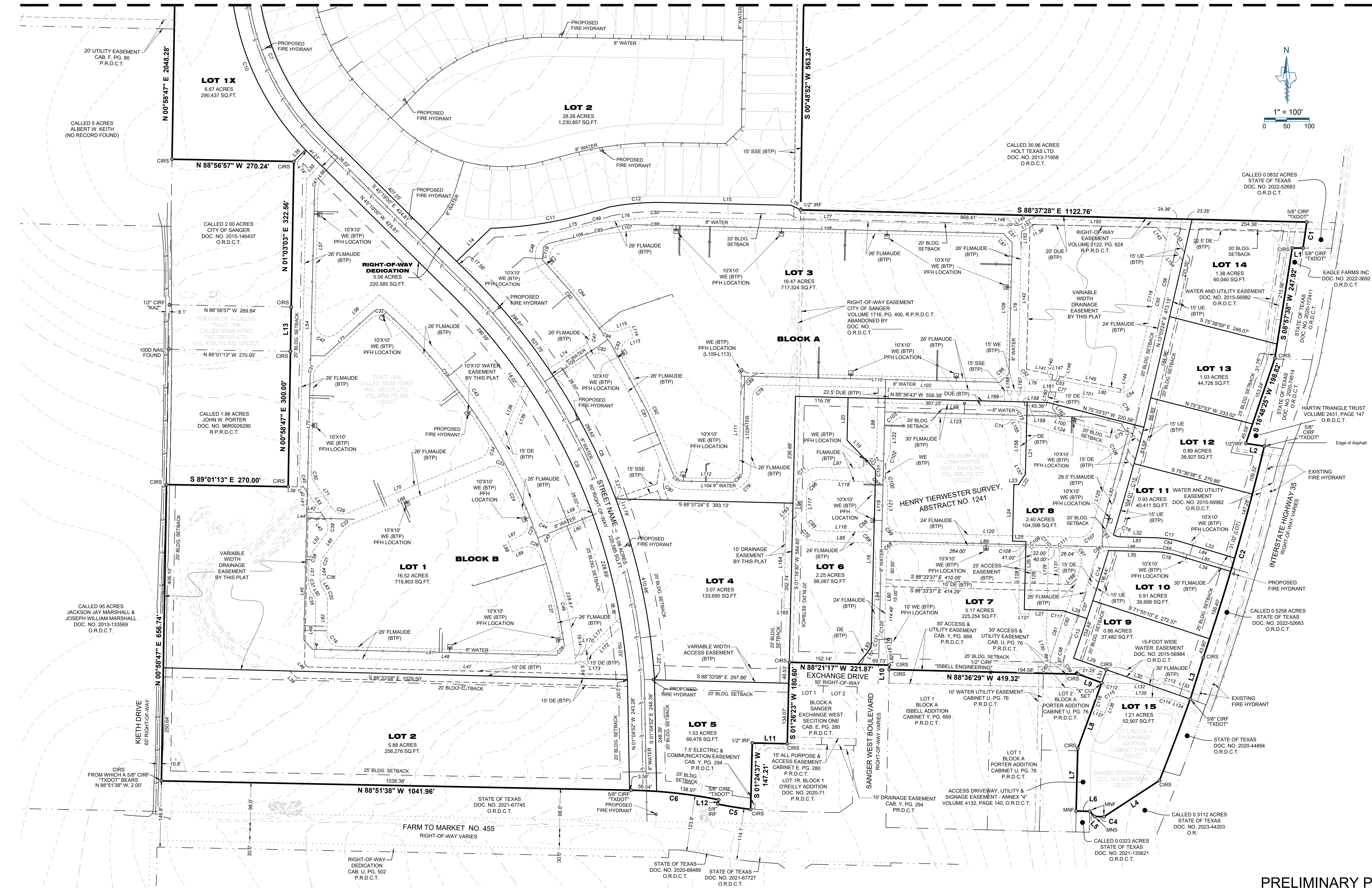
- PG. = PAGE
- VOL. = VOLUME
- CAB. = CABINET
- POB = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- CIRF = CAPPED IRON ROD FOUND
- CIRS = 1/2" IRON ROD SET W/GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET
- DOC. NO. = DOCUMENT NUMBER
- P.R.D.C.T. = PLAT RECORDS, DENTON COUNTY, TEXAS
- O.R.D.C.T. = OFFICIAL RECORDS, DENTON COUNTY, TEXAS
- FLMAUDE = FIRE LANE, MUTUAL ACCESS, DRAINAGE & UTILITY EASEMENT
- WE = WATER EASEMENT
- DE = DRAINAGE EASEMENT
- (BTP) = BY THIS PLAT

PRELIMINARY PLAT
**BELZ ROAD RETAIL
ADDITION**
LOTS 1-15, BLOCK A
LOTS 1X AND 1-2, BLOCK B
129.86 ACRES
6.56 ACRES - RIGHT-OF-WAY DEDICATION
HENRY TIERWESTER SURVEY, ABSTRACT No. 1241
CITY OF SANGER, DENTON COUNTY, TEXAS

MATCHLINE PAGE 2

Project	2108.092-04		EAGLE SURVEYING, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	08/22/2024		
Drafter	EN		

SURVEYOR Eagle Surveying, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009	ENGINEER Claymoore Engineering, Inc. 1903 Central Drive, Suite: 406 Bedford, TX 76021	OWNER John Porter Autos Sales, Inc. PO Box 178 Sanger, TX 76266	OWNER Pac Group, Ltd. PO Box 877 Sanger, TX 76266
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LOTS 1-15, BLOCK A
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HENRY TIERWESTER SURVEY, ABSTRACT No. 1241
CITY OF SANGER, DENTON COUNTY, TEXAS

SURVEYOR
Eagle Surveying, LLC
222 S. Elm Street, Suite: 200
Denton, TX 76201
(940) 222-3009

ENGINEER
Claymore Engineering, Inc.
1903 Central Drive, Suite: 406
Bedford, TX 76021

OWNER
John Porter Autos Sales, Inc.
PO Box 178
Sanger, TX 76266

OWNER
Pac Group, Ltd.
PO Box 877
Sanger, TX 76266

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EAGLE SURVEYING, LLC
222 S. Elm Street, Suite: 200
Denton, TX 76201
(940) 222-3009
TX Firm #10194177

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF DENTON

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\$

WHEREAS, **JOHN PORTER AUTO SALES, INC., SANGER CROSSTING LTD, PAC GROUP, LTD.,** are the owners of a 129.86 acre tract or parcel of land situated in the Henry Tierwester Survey, Abstract Number 1241 in Denton County, Texas and being all of a called 26.385 acre tract of land conveyed to John Porter Auto Sales, Inc. by Warranty Deed of record in Volume 1330, Page 277 of the Official Records of Denton County, Texas, and all of a called 50 acre tract conveyed to Pac Group, Ltd. by Warranty Deed of record in Volume 4880, Page 2632 of the Official Records of Denton County, Texas, and a portion of a called 61.598 acre tract of land conveyed to Pac Group LTD by Warranty Deed of record in Volume 4759, Page 632 of the Official Records of Denton County, Texas, being all of Lot 1, Block A, Foodmaker Addition, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Cabinet P, Page 105 of the Plat Records of Denton County, Texas, and being all of a tract of land conveyed to Sanger Crossing, Ltd by deed of record in Document Number 2023-134278, of said Official Records, and being more particularly described by metes and bounds as follows:

BEGINNING, at a MAG nail found at or near the centerline of Belz Road (variable width right-of-way), being in the south line of a called 2.000 acre tract of land conveyed to David D. Garcia by Deed of Trust of record in Volume 2020, Page 78 of the Official Records of Denton County, Texas, being the northwest corner of a called 2.501 acre tract of land conveyed to Daniel Raymond Wolfe and Brianna Lynne Wolfe by Warranty Deed with Vendor's Lien of record in Document Number 2021-21494 of the Official Records of Denton County, Texas and the northeast corner of said 50 acre tract;

THENCE, S01°00'05"W, along the west lines of said 2.501 acre tract, a called 10.42 acre tract of land conveyed M&G Sanger Real Estate LLC by Special Warranty Deed of record in Document Number 2019-27076 of the Official Records of Denton County, Texas, a called 30.96 acre tract of land conveyed to Holt Texas LTD by Warranty Deed of record in Document Number 2013-71958 of the Official Records of Denton County, Texas, being the common east line of said 50 acre tract and said , passing at a distance of 20.20' a 1/2" iron rod found, passing at a distance of 655.80 feet a 3/8" iron rod found, being the southwest corner of said 2.501 acre tract, continuing a total distance of 1561.92 feet to a 1/2" iron rod found, being the southeast corner of said 50 acre tract the southwest corner of said 30.96 acre tract and the northwest corner of said 26.385 acre tract;

THENCE, S00°48'52"W, continuing along the west line of said 30.96 acre tract, being the common east line of said 61.598 acre tract,passing at a distance of 563.24 feet to a 1/2" iron rod found being the southwest corner of said 30.68 acre tract and the northwest corner of said 26.385 acre tract;

THENCE, S88°37'28"E, along the south line of said 30.96 acre tract, being the common north line of said 26.385 acre tract, a distance of 1122.76 feet to a 5/8" iron rod with pink plastic cap stamped "TXDOT" found in the west right-of-way line of Interstate Highway 35 (variable width right-of-way) and being the beginning of a non-tangent curve to the right, being the northwest corner of a called 0.0832 acre tract conveyed to the State of Texas by Judgement of Court in Absence of Objection of record in Document Number 2022-52683 of the Official Records of Denton County, Texas;

THENCE, in a southwesterly direction, along said non-tangent curve to the right and the west right-of-way line of Interstate Highway 35, having a radius of 5310.00 feet, a chord bearing of S08°15'52"W, a chord length of 58.33 feet, a delta angle of 00°37'46", an arc length of 58.33 feet to a 5/8" iron rod with pink plastic cap stamped "TXDOT" found at the end of said non-tangent curve to the right, being the southwest corner of said 0.0832 acre tract and the northeast corner of a tract of land conveyed to Eagle Farms Inc by General Warranty Deed of record in Document Number 2022-3692 of the Official Records of Denton County, Texas;

THENCE, along the common lines between said Eagle Farms tract and said 26.385 acre tract, the following two (2) courses and distances:

- N89°38'41"W, a distance of 23.94 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the northwest corner of said Eagle Farms tract;
- S08°57'38"W, a distance of 247.92 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the southwest corner of said Eagle Farms tract and the northwest corner of a tract of land conveyed to HartinTriangle Trust by Warranty Deed of record in Volume 2431, Page 17 of the Official Records of Denton County, Texas;

THENCE, S18°48'25"W, along the west line of said Hartin Triangle Trust tract, being the common east line of said 26.385 acre tract, a distance of 198.82 feet to a 1/2" iron rod found, being the southwest corner of said Hartin Triangle Trust tract and an interior ell corner of said 26.385 acre tract;

THENCE, S81°33'29"E, along the south line of said Hartin Triangle Trust tract and a called 0.0135 acre tract of land conveyed to the State of Texas by Deed of record in Document Number 2020-74514 of the Official Records of Denton County, Texas, being the common east line of said 26.385 acre tract, a distance of 41.31' feet a 5/8" iron rod with pink plastic cap stamped "TXDOT" found in the west right-of-way line of Interstate Highway 35 and the beginning of a non-tangent curve to the right, being the southwest corner of said State of Texas tract and the northwest corner of a called 0.5258 acre tract of land conveyed to the State of Texas by Deed of record in Document Number 2022-52683 of the Official Records of Denton County;

THENCE, along the west right-of-way line of said Interstate Highway 35 and the west line of said 0.5258 acre tract, being the common east line of said 26.385 acre tract, the following two (2) courses and distances:

- In a southwesterly direction and along said non-tangent curve to the right, having a radius of 5310.00 feet, a chord bearing of S16°06'35"W, a chord length of 487.75 feet, a delta angle of 05°15'53", an arc length of 487.92 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the end of said non-tangent curve to the left;
- S17°29'05"W, a distance of 96.51 feet to a 5/8" iron rod with pink plastic cap stamped "TXDOT" found, being the southwest corner of said 0.5258 acre tract, the northwest corner of a called 0.1483 acre tract of land conveyed to the State of Texas by Deed of record in Document Number 2020-44894 of the Official Records of Denton County, Texas and the northeast corner of said Lot 1, Block A, Foodmaker Addition, at the beginning of a non-tangent curve to the right;

THENCE, along the west right-of-way line of said Interstate Highway 35, being the common east line of said Lot 1, Block A, Foodmaker Addition, in part, along said non-tangent curve to the right, having a radius of 5313.00 feet, a chord bearing of S20°43'47"W, a chord length of 192.80 feet, a delta angle of 02°04'45", an arc length of 192.81 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the end of said non-tangent curve to the right;

THENCE, along the west and south right-of-way lines of said Interstate Highway 35, the following four (4) courses and distances:

- S56°51'35"W, a distance of 146.89 feet to a Mag Nail found at the beginning of a non-tangent curve to the right;
 - In a southwesterly direction, along said non-tangent curve to the right, having a radius of 1548.00 feet, a chord bearing of N88°30'47"W, a chord length of 20.95 feet, a delta angle of 0°46'32", an arc length of 20.95 feet to a Mag Nail set at the end of said non-tangent curve to the left;
 - N43°39'57"W, a distance of 15.60 feet to a Mag Nail found;
 - N88°27'24"W, a distance of 30.16 feet to a Mag Nail found in the east line of Lot 1, Block 1, Kwik Kar Addition, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Cabinet P, Page 169 of the Plat Records of Denton County, Texas and west line of an Access Driveway, Utility & Signage Easement recorded in Document Number 98-R0061221 of the Official Records of Denton County, Texas;
- THENCE**, N01°32'53"E, along the east line of said Lot 1, Block A of said Kwik Kar Addition, being the common west line of said Access Driveway, Utility & Signage Easement a distance of 138.77feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at an angle point in said Access Driveway, Utility & Signage Easement and Lot 2, Block A, Porter Addition, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Cabinet U, Page 76 of the Plat Records of Denton County, Texas;

THENCE, N20°02'29"E, along the east line of said Lot 2, Block A, Porter Addition, being the common west line of said Access Driveway, Utility & Signage Easement a distance of 154.91 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the northeast corner of said Lot 2, Block A, Porter Addition;

THENCE, along the north line of said Block A, Porter Addition, being the common south line if said 26.385 acre tract, the following two (2) courses and distances:

- N69°54'47"W, a distance of 55.48 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the northwest corner of said Lot 2 and the northeast corner of Lot 1, Block A of said Porter Addition;
- N88°36'29"W, a distance of 419.32 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east right-of-way line of Sanger West Boulevard (50' right-of-way), being the northwest corner of said Lot 1;

THENCE, N01°13'52"E, along the east right-of-way line of said Sanger West Boulevard, being the common south line of said 26.385 acre tract, a distance of 9.80 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the intersection of the east right-of-way line of said Sanger West Boulevard and the north right-of-way line of Exchange Drive (50' right-of-way);

THENCE, N88°21'17"W, along the north right-of-way line of Exchange Drive, being the common south line of said 26.385 acre tract, a distance of 221.87 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east line of said 61.598 acre tract, being the northwest terminus of said Exchange drive, being the southwest corner of said 26.385 acre tract;

THENCE, S01°26'23"W, along the west terminus of said Exchange Drive, the west line of Lot 1, Block A, Sanger Exchange West, Section One, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Cabient E, Page 280 of the Plat Records of Denton County, Texas, being the common east line of said 61.598 acre tract, a distance of 180.60 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the north line of Lot 1R, Block 1, an addition to the City of Sanger, Denton County, Texas, according to the plat recorded in Document Number 2020-71 of the Plat Records of Denton County, Texas, being the southwest corner of said Lot 1;

THENCE, N88°48'42"W, along the north line of said Lot 1R, being the common south east line of said 61.598 acre tract, a distance of 77.60 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the northwest corner of said Lot 8;

THENCE, S01°24'37"W, along the west line of said Lot 1R, a distance of 147.21 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the north right-of-way line of F.M. Highway 455 (variable width right-of-way) and the beginning of a non-tangent curve to the right, being the southwest corner of said Lot 1R and the northwest corner of a called 2.0308 acre tract of land conveyed to the State of Texas by Judgement of record in Document Number 2021-67745 of the Official Records of Denton County, Texas;

THENCE, along the north right-of-way line of said F.M. Road 455, the following four (4) courses and distances:

- In a northwesterly direction and along said non-tangent curve to the right, having a radius of 982.00 feet, a chord bearing of N80°53'47"W, a chord length of 73.68 feet, a delta angle of 04°17'59", an arc length of 73.69 feet to a 5/8" iron rod found at the end of said non-tangent curve to the right;
- N11°15'13"E, a distance of 10.00 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the beginning of a non-tangent curve to the left;
- In a northwesterly direction and along said non-tangent curve to the left, having a radius of 1108.00 feet, a chord bearing of N83°48'12"W, a chord length of 195.34 feet, a delta angle of 10°06'52", an arc length of 195.59 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the end of said non-tangent curve to the left;
- N88°51'38"W, a distance of 1041.96 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east line of a called 95 acre tract of land described as Tract 2, conveyed to Jackson Jay Marshall and Joseph William Marshall by Deed or record in Document Number 2013-133569 of the Official Records of Denton County, Texas;

THENCE, N00°58'47"E, along the east line of said 95 acre tract, being the common west line of said 61.598 acre tract, a distance of 656.74 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the southwest corner of a called 1.86 acre tract of land conveyed to John W. Porter by Warranty Deed of record in Document Number 96R0026290 of the Official Records of Denton County, Texas;

THENCE, along the common lines between said 1.86 acre tract and said 61.598 acre tract, the following two (2) courses and distances:

- S89°01'13"E, a distance of 270.00 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the southeast corner of said 1.86 acre tract;
- N00°58'47"E, a distance of 300.00 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the northeast corner of said 1.86 acre tract;

THENCE, N00°53'10"E, over and across said 61.598 acre tract, a distance of 98.31 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the southeast corner of said 2.00 acre tract; THENCE, along the common lines between said 61.598 acre tract and said 2.00 acre tract, the following two (2) courses and distances:

- N01°03'03"E, a distance of 322.56 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the northeast corner of said 2.00 acre tract;
- N88°56'57"W, a distance of 270.24 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east line of a called 5 acre tract conveyed to Albert W. Kieth per will (no record found, being the northwest corner of said 2.00 acre tract;

THENCE, N00°58'47"E, along the east lines of said 5 acre tract (no record found) and Meadow Lands Addition, an addition to the City of Sanger, Denton County, Texas according to the plat recorded in Cabinet F, Page 80 of the Plat Records of Denton County, Texas, being the common west lines of said 61.598 acre tract and said 50 acre tract, a distance of 2048.28 feet to a 1/2" iron rod found in or around the centerline of said Belz Road and the south line of a tract of land conveyed to PAC Group, Ltd. by Warranty Deed of record in Document Number 2004-150424 of the Official Records of Denton County, Texas, being the northwest corner of said 50 acre tract;

THENCE, S88°32'48"E, along the apparent centerline of said Belz Road, the south lines of said PAC Group tract and said 2.000 acre tract, being the common north line of said 50 acre tract, a distance of 1394.87 feet to the **POINT OF BEGINNING**, containing 129.86 acre or 5,656,763 square feet, more or less.

OWNER'S CERTIFICAT & DEDICATION, continued

STATE OF TEXAS
COUNTY OF DENTON

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NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **JOHN PORTER AUTO SALES, INC.,** acting herein by and through it duly authorized office, does hereby adopt this plat designating the hereinabove described property as **BELZ ROAD RETAIL ADDITION**, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use foreverby fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities, and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

OWNER: **JOHN PORTER AUTO SALES, INC.**

BY: _____ Date _____

STATE OF TEXAS
COUNTY OF _____

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BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2024.

Notary Public in and for the State of Texas

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **PAC GROUP, LTD,** acting herein by and through it duly authorized office, does hereby adopt this plat designating the hereinabove described property as **BELZ ROAD RETAIL ADDITION**, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use foreverby fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities, and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

OWNER: **PAC GROUP, LTD**

BY: _____ Date _____

STATE OF TEXAS
COUNTY OF _____

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BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2024.

Notary Public in and for the State of Texas

APPROVED AND ACCEPTED

Approved for preparation of Final Plat

City of Sanger, TX
Planning and Zoning Commission

Date

PRELIMINARY PLAT
**BELZ ROAD RETAIL
ADDITION**
LOTS 1-15, BLOCK A
LOTS 1X AND 1-2, BLOCK B
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CITY OF SANGER, DENTON COUNTY, TEXAS

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