GENERAL DEVELOPMENT APPLICATION

448 East First Street, Suite 112
Salida, CO 81201
Phone: 719-530-2626 Fax: 719-539-5271
Email: planning@cityofsalida.com

1. TYPE OF APPLICATION (Check-off as appropriate)

- ☐ Annexation
- ☐ Pre-Annexation Agreement
- ☐ Appeal Application (Interpretation)
- ☐ Certificate of Approval
- ☐ Creative Sign Permit
- ☒ Historic Landmark/District
- ☐ License to Encroach
- ☐ Text Amendment to Land Use Code
- ☐ Watershed Protection Permit
- ☐ Conditional Use
- ☐ Administrative Review: (Type)_____
- ☐ Limited Impact Review: (Type)_____
- ☐ Major Impact Review: (Type)_____
- ☐ Other:_____

2. GENERAL DATA (To be completed by the applicant)

A. Applicant Information

Name of Applicant: The Vic LLC c/o Andrew Fink

Mailing Address: 1900 23rd Street, Boulder, CO 80302

Telephone Number: 203-856-0526 FAX: _____

Email Address: drewfink@gmail.com

Power of Attorney/ Authorized Representative: _____
(Provide a letter authorizing agent to represent you, include representative's name, street and mailing address, telephone number, and FAX)

B. Site Data

Name of Development: The Victoria Hotel and Bar

Street Address: 143 N F Street and 135 N F Street

Legal Description: Lot A, B, C, & 10' wide alley Block 4 Subdivision_____ (attach description)

Disclosure of Ownership: List all owners' names, mortgages, liens, easements, judgments, contracts and agreements that run with the land. (May be in the form of a current certificate from a title insurance company, deed, ownership and encumbrance report, attorney's opinion, or other documentation acceptable to the City Attorney)

I certify that I have read the application form and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.

Signature of applicant/agent Erica Hewitt - representative Digitally signed by Erica Hewitt - representative DN: C=US, E=erica@steamboatarchitectural.com, O=Steamboat Architectural Associates, OU=Architect, CN=Erica Hewitt - representative Date: 2022.09.26 13:10:13-06'00' Date 7/26/22

Signature of property owner_____ Date 9/26/23

CERTIFICATE OF APPROVAL APPLICATION

448 East First Street, Suite 112
Salida, CO 81201
Phone: 719-530-2626 Fax: 719-539-5271
Email: planning@cityofsalida.com

1. TYPE OF APPLICATION (Check-off as appropriate)

A. Type

1. ☐ **Minor Activity** - means or includes:
   a. The replacement of surface materials such as roofing or siding or an exterior architectural feature with materials and design substantially similar to the existing materials or design;
   b. The installation, removal or replacement of a fence, awning, roofing material or dumpster enclosure;
   c. The reuse of an existing window or door opening which has been covered or filled through installation of a replica of a historic door or glazing;
   d. Those activities deemed to not detrimentally impact or influence in any substantial way the historic integrity or appearance of a landmark building, structure, site or designated historic district, or as deemed to be minor upon petition to and determination by the Administrator or his or her designee.

2. ☑ **Major Activity** - means and includes:
   a. An activity not defined or qualifying as an insubstantial or minor activity, including, but not limited to, reconstruction, rehabilitation, remodeling, renovation, relocation or demolition;
   b. Alterations, additions or other work performed on a building, structure or site that result in the increase or decrease of site coverage, floor area or exterior wall or roof surface;
   c. The installation, alteration or removal of a window or door opening;
   d. The replacement or repair of surface materials such as roofing or siding or an exterior architectural feature with materials or design not substantially similar to the existing materials or design;
   e. The cleaning of an exterior surface of a contributing or landmark building or structure by sandblasting, high-pressure spraying or other chemical or mechanical means;
   f. Application of sealant, paint, stucco, texture or other material that would conceal, alter or damage the exterior of any contributing or landmark building with an existing unfinished or unpainted brick, masonry or other unfinished siding or structural element;
   g. Those activities deemed to potentially impact or influence in any substantial way the historic integrity or appearance of a landmark building, structure, site or designated historic district, or as deemed to be major upon petition to and determination by the Administrator or his or her designee.

2. PROCEDURE (City Code Section 16-12-80)

A. Development Process

1. Pre-Application Conference. Optional.
2. Submit Application.
3. Staff Review. Determination of Minor or Major Activity.
   a) Minor Activity. Administrative Review.
   b) Major Activity. Posting of Site, Applicant. Notice and Action Taken by the Commission at the public hearing meeting.

STAFF USE ONLY

Application received by:_____ **Date/Time:**_____
Code:_____ **Project Name:**_____ **File Name:**_____
Fee:_____ **Receipt #:** _____ **Check #:**_____

3. APPLICATION CONTENTS (City Code Section 16-12-80(b)(2))

A. All Projects, 1 copy of all materials are required for major and minor applications:

- ☑ 1) **General Development Application.**
- ☑ 2) **Photographs.** All applications shall be accompanied by photographs reasonably and accurately depicting the current status of the building, structure or site, or that portion thereof, subject to the application. Include photographs showing all sides of the structure, particularly the front and any side affected by the proposed project and detailed photographs of the features affected by the project.
- ☑ 3) **Drawing Format.** Drawings shall be large enough so that all information is legible but no smaller than 11" x 17". Sketch drawings are acceptable if they provide accurate information and are reasonable drawn to scale.
- ☑ 4) **Dimensioned Site Plan.** Site plan showing street locations, existing structure and proposed new elements or structures.
- ☑ 5) **Dimensioned Floor Plan(s).** Floor plans showing existing structures and proposed new elements or structures.
- ☑ 6) **Dimensioned Roof Plan.** Roof plan showing proposed new roof elements in context of the existing roof.
- ☑ 7) **Dimensioned Exterior Elevations.** Exterior elevations showing appearance of proposed project with all materials and indicating finishes.
- ☑ 8) **Building Sections and Construction Details.** Sections and details as required adequately explaining and clarifying the project. Note all materials and finishes.
- ☑ 9) **Specification of Materials.** Manufacturer's product literature and material samples. Product literature is required for replacement windows.
- ☐ 10) **Bids.** If proposing to replace existing historic materials or features with replicas rather than repair or restore, firm bids must be provided for both restoration and replication.
- ☑ 11) **Window Replacement.** If proposing to replace historic windows (aside from wooden replica sash replacement) justification shall be provided as outlined in National Park Service Preservation Brief #9. Submittal must include written assessment of condition of existing windows.
- ☐ 12) **New Construction** shall include the following information:
  - ☐ a. **Block Site Plan.** A site plan or aerial photograph showing relationship of proposed structure to existing structures.
  - ☐ b. **Written Statement.** A written statement of the design philosophy and building program.
  - ☐ c. **Massing Model.** A massing model illustrating the relationship between the new structure(s) and existing building(s) on the project site and adjacent lots.
  - ☐ d. **Photographs.** Photographs of the surrounding structures including both block faces and side streets.
- ☐ 13) **Demolition or relocation** of a building, structure or site shall include the following:
  - ☐ a. A detailed description of the reasons supporting or justifying the proposed demolition or relocation, including a delineation and explanation of all economic data where economic hardship or other economic cause is given as a reason for the proposed demolition or relocation.
  - ☐ b. A detailed development or redevelopment plan for the demolition and/or receiving relocation site and a schedule for completion of the work.
  - ☐ c. Elevations, building sections, construction details, specifications and massing model of proposed replacement structure similar to those required for new construction.
  - ☐ d. For landmark or contributing structures the applicant must submit a report prepared by an architect, appraiser, engineer or other qualified person experienced in the rehabilitation, renovation and/or restoration of historic buildings, structures or sites addressing:
    - ☐ i) The structural soundness of the building, structure or site and its suitability for rehabilitation, renovation, restoration or relocation.
    - ☐ ii) The economic and structural/engineering feasibility of the rehabilitation, renovation and/or restoration of the building, structure or site at its current location.
    - ☐ iii) The economic and structural/engineering feasibility of relocating the building, structure or site.
- ☑ 14) **Application Fee.** $50.00 for Minor Activity, $100 for Major Activity. Cash or check made out to City of Salida.

STEAMBOAT ARCHITECTURAL ASSOCIATES

345 Lincoln Avenue, Suite 200
P.O. Box 772910
Steamboat Springs, Colorado 80477

ph: (970) 879-0819
fax:(970) 879-3406
email: saa@steamboatarchitectural.com

City of Salida
Historic Preservation Commission
c/o Kristi Jefferson
448 East First Street, Suite 112
Salida, CO 81201

September 26, 2022

RE: The Historic Victoria Hotel and Bar

Dear Historic Preservation Commission and Chairman Krebs,

On behalf of The Vic, LLC I am representing the owner of the historic Victoria Hotel and Bar and am submitting a certificate of approval for the proposed rehabilitation of the building. All work is meant to follow the City of Salida's Design Guidelines as well as the Secretary of the Interior Standards for the Rehabilitation.

The proposed work includes an interior remodel, along with some minor exterior work to include:

- Lowering the existing windows in the existing bar, on either side of the 45-degree entry door. It appears from a construction standpoint that the current windows have been infilled with brick and plywood. Looking at what remains, the bottom sills match the existing. For the window on the Sacket Street side, the bottom of the existing window lines up with horizontal mullions of the windows. On the F Street windows, the brick infill appears to different than the rest of the brick, the mortar is slightly different color as are the bricks. The upper transom windows match the rest of the F Street windows and the bottom stone sill matches the rest as well. An older photo provided by the library shows the Mildred from the Sackett Street side and while fuzzy, it appears the window is lower similar to the other storefront windows on F Street. For continuity and to bring back the original look of the building, the windows will be lowered to match the other storefront windows. It's worth mentioning that a window manufacturer has not been called out for the window repair/rehabilitation. Since roughly ½ the window and frame exist, the intent is to rebuild the window using what is there, and if needed rebuild the entire frame matching the existing windows. The glass will need to match what was there previously as well. The GC will work closely with us on how to rebuild to match as the infill is demolished and we have a better idea what is left to rebuild. But the goal was not to replace the entire thing with a pre-manufactured window, but to rebuild exactly as the others were, using NPS Preservation Brief 9 The Repair of Historic Wooden Windows and Brief 11 Rehabilitating Historic Storefronts.
- Removing the awnings. The awnings were installed in the 1980's. Most historic photos of the building show the Victoria without the awnings.
- Repoint and repair the brick as needed using the NPS Preservation Briefs and Technical notes as noted on the plans.

- Repaint wood trim and doors per the NPS Preservation Briefs and Technical notes as noted on the plans.
- At the alley, the old deck will be removed and rebuilt a little bigger, more structurally sound. An egress stair will also be added. The cooler will be removed and a newer smaller one will be added further back in the alley space. An access gate will remain for security and to hide/enclose the dumpsters/trash from street view. The access to the basement is challenging and not to code for access. The current door frame is warped and too small to provide proper access for the mechanical equipment in the basement. A new code compliant stair to the basement will be built. The bricks and wood trim will also be repointed, repaired, and repainted as needed similar to the street elevations. The utilities in the alley are old and disorganized. The gas meters will be moved to a more accessible space, the current electric system will be abandoned and a new code compliant electrical system including transformer will be upgraded. The water and sewer will be upgraded as well. Due to the utility work being done behind the building, most of that area will be disturbed. The current condition of the space and alley behind the building is unsightly. The proposed finish work in this area is meant to make it a more occupiable, attractive, more visible, functional space. An added function of the space is the new tenants would like to provide ADA access into the building. Current ADA access is in the one-story café through the front door. The remodel will bring ADA customers into the bakery and through the kitchen to get to the restaurant seating. They would rather provide access that does not go through the Kitchen, so a concrete sidewalk and ramp at the back of the building has been added. Since it's in the back of the building, it would not affect any frontage elevations or be seen from street.
- The one-story café portion of the building will also be remodeled. The kitchen will be upgraded. The existing exterior wall is a one-wythe brick which is extremely unusual and structurally unsound. Internal columns will be placed along the wall to support. This work will not affect the exterior of the building.
- The work being done to the one-story café internally will need to include strengthening the roof structure. New HVAC equipment is needed to be placed on the roof of the building. Since the work has to be done to the one-story portion regardless, it made sense to strengthen the roof enough to support the new equipment needed for venting, heating and cooling the building. There is some concern from the structural engineer that the upper roof would not be able to handle any additional loads without majorly disturbing the integrity of the building. So the choice was made to disturb less and install on the lower roof. Per code, a mechanical screen is required for security around the equipment which will also visually hide the equipment. Everything is placed towards the back alley as well to dimmish it's visibility.
- One last item to discuss with the Commission is murals on Sackett Street. We would like to propose repainting the larger mural with the more historic black background with Victoria in gold letters, similar to what has been on the building historically. The smaller mural that says Victoria Bar, we'd like to request updating with the logo of the Little Red Hen Bakery.

Included in our submittal per the attached checklist is current day photographs, historic photos, architectural plans including site plan, floor plans, roof plans, and sections.

The owner has also started the application for the state and federal historic preservation tax credit programs. We would appreciate any input the commission might have in regard to the overall project. The building will still be known as the Historic Victoria Building. The Little Red Hen Bakery will be taking over the main level expanding their current business to include a restaurant / bar that will serve

breakfast, lunch, and dinner. The historic bar, layout, floors, tin ceilings, etc will remain. The bathrooms will be refreshed with new fixtures and the lighting will be updated. The kitchen will be expanded but all the walls and floors will remain.
Upstairs will still be nightly rentals but going back to a more traditional hotel experience and will be called the Eddy. The layout upstairs will remain the same with the exception of the 2 toilet rooms and one communal shower room. They will be turned into storage and laundry. Each hotel unit will be made up of 2 rooms and will have its own bathroom. The old kitchen will be upgraded for guest access. A lounge room will also be created out of the old office and storage room.

We look forward to discussing the project with the Commission.

Thanks,

Erica Hewitt
Project Manager/Historic Preservation Consultant
Steamboat Architectural Associates

Corner View of the Victoria

F Street Elevation

Sackett Street Elevation

Roof View including one-story Cafe

Back Deck / Behind Building

Behind Building / “Alley”

Cafe side elevation with
Hotel upstairs beyond

Front Elevation of Cafe

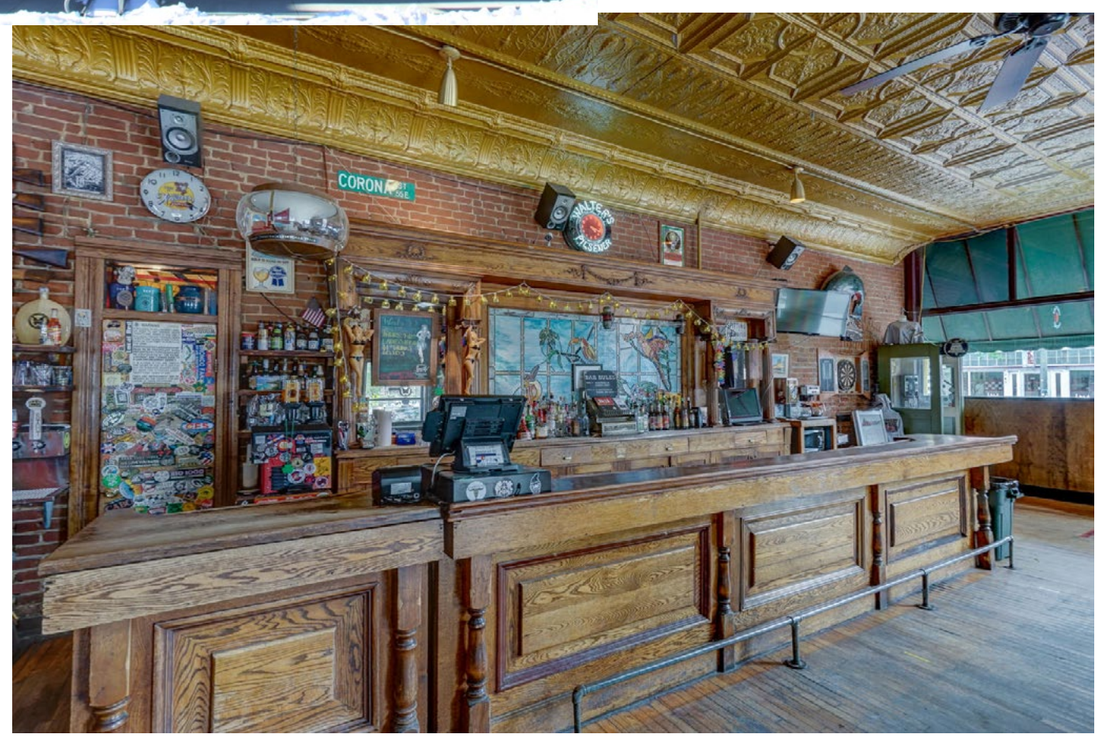
F Street brick infill windows

Sacket Street infill window

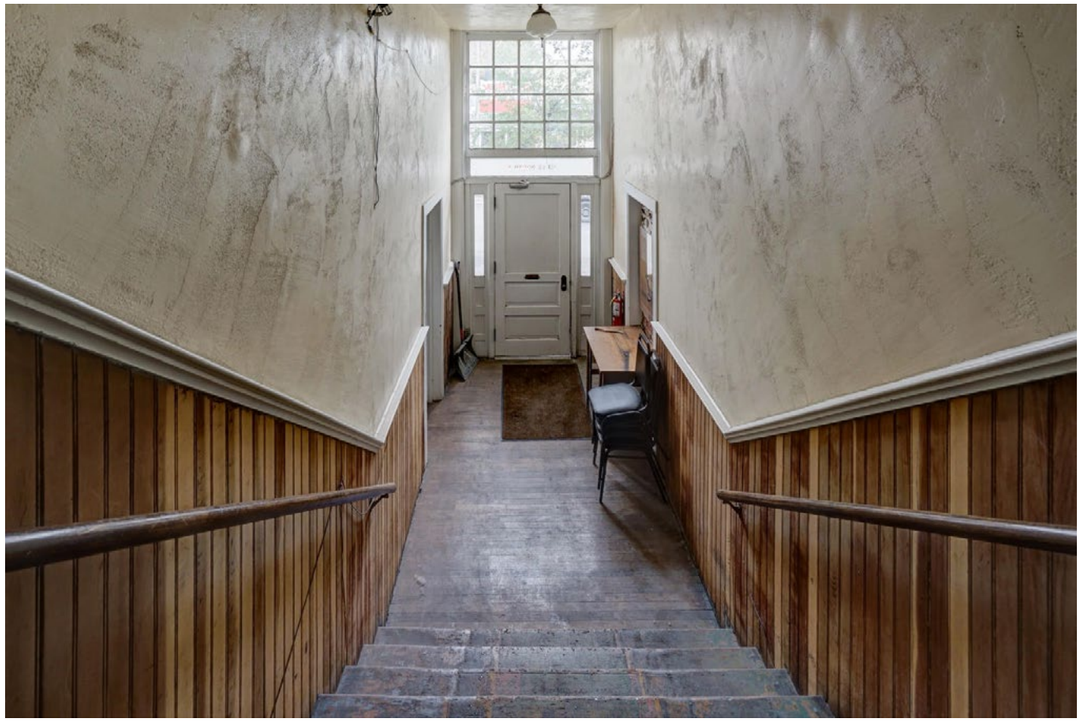
Sacket Street murals to be repainted

Interior Bar brick walls, floor and interior plywood at F Street window infill

Historic Bar inside - tin ceilings, bar and flooring to remain



Cafe Kitchen



Hotel Entry Stairs and Entry to remain

Hotel room - door in plaster wall to be added to connect room

Hotel Upper Halls to remain

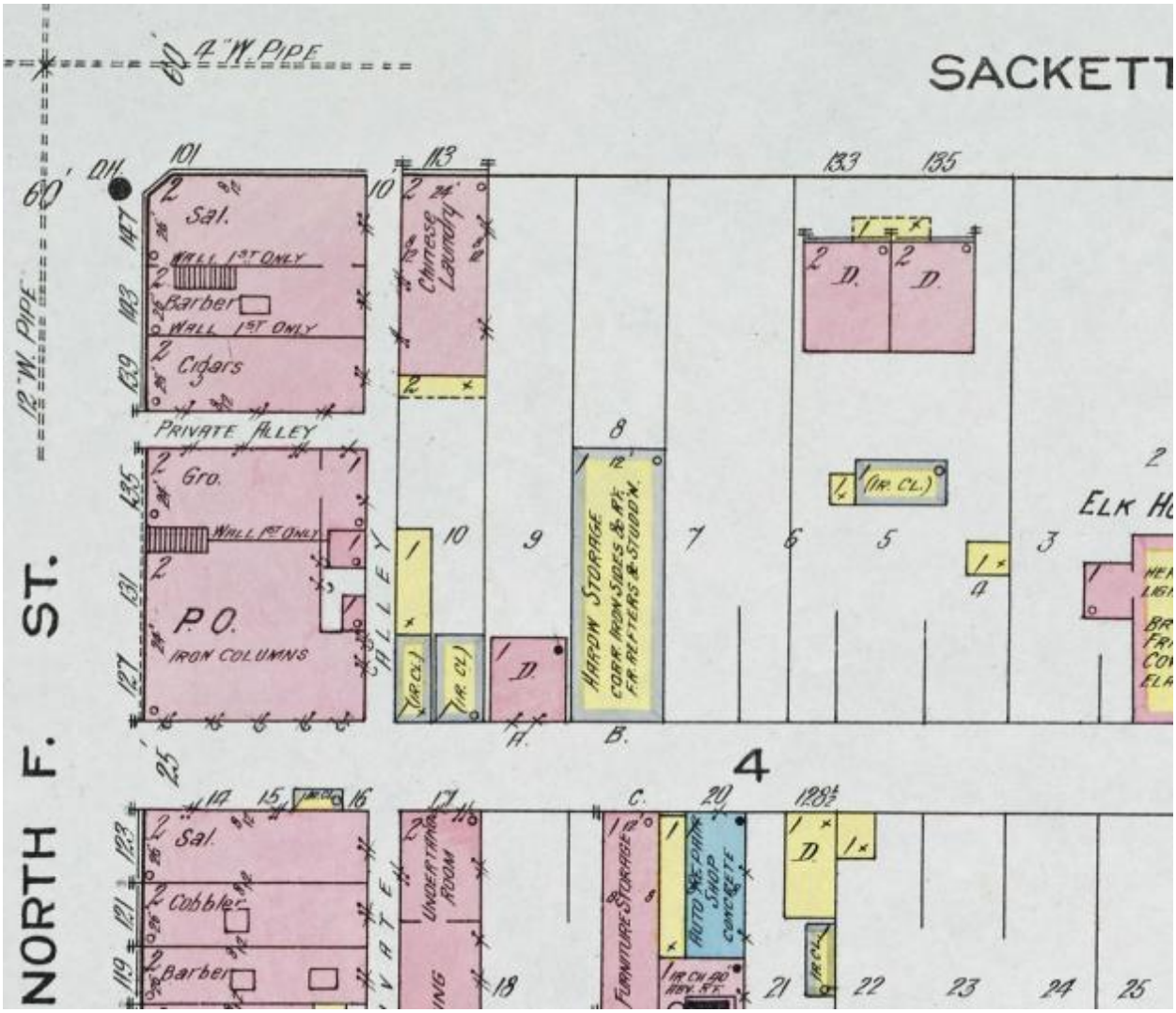
Existing shower for entire hotel space - to become laundry room

135 N F Street, Salida Colorado

Report

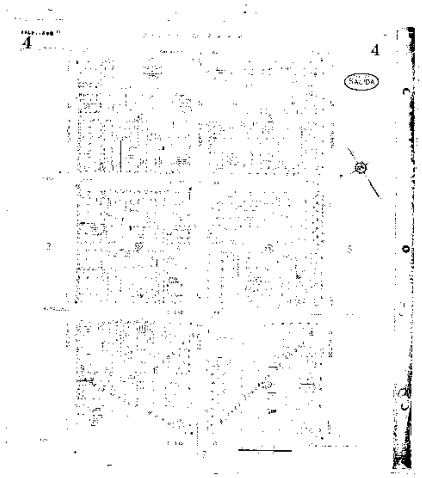
The one-story commercial building at 135 North F Street in Salida was constructed sometime between 1914 and 1929 based on Sanborn fire insurance maps of the city. The 1914 map shows the space it occupies today was at time a private alley.

1914 Sanborn fire insurance map, Sheet 4.

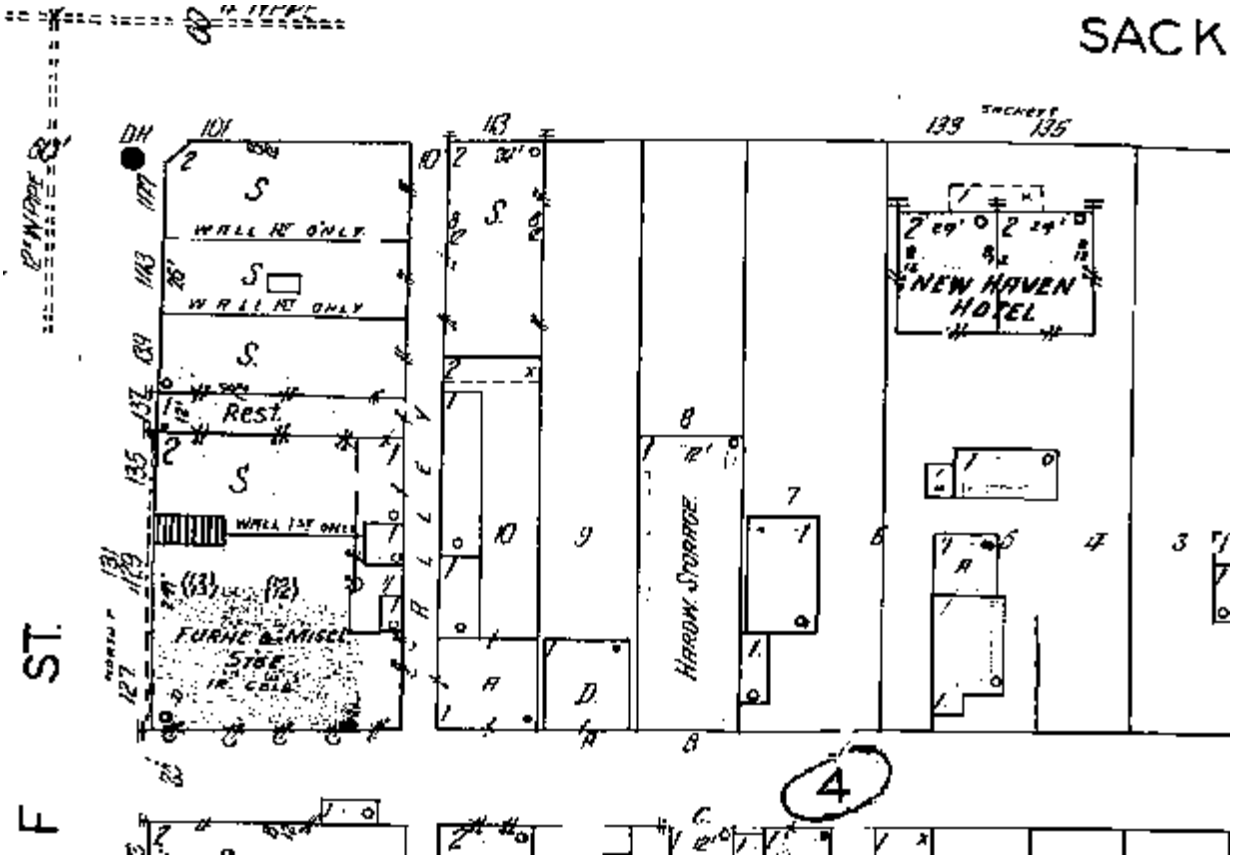


Enlargement of the 1914 Sanborn fire insurance map, Sheet 4.

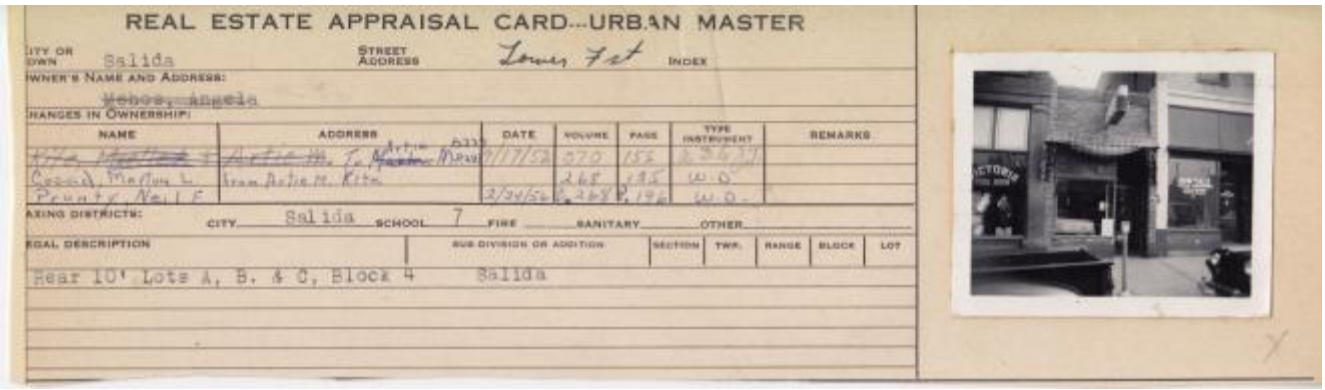
The building is shown on the 1929 Sanborn map marked as one story and labeled "store."



Sheet 4 of the 1929 Sanborn fire insurance map of Salida, courtesy Denver Public Library via Front Range Research Associates, Inc., T. H. Simmons, Denver, CO. [Salida-Sanborn-192945-Sheet4]



Englargement of Sheet 4 of the 1929 Sanborn fire insurance map of Salida. [Salida-Sanborn-192945-Sheet4_inset]



REAL ESTATE APPRAISAL CARD--URBAN MASTER

CITY OR TOWN: Salida | STREET ADDRESS: Lower F st | INDEX

OWNER'S NAME AND ADDRESS:

~~Yebora, Angela~~

CHANGES IN OWNERSHIP:

NAME	ADDRESS	DATE	VOLUME	PAGE	TYPE INSTRUMENT	REMARKS
~~[illegible]~~	~~Artie M.~~ Artie M.	1/17/52	270	155	[illegible]	
Cassell, Marion L	from Artie M. Rita		268	195	W.D.	
Prunty, Neil F		2/24/56	268	196	W.D.	

TAXING DISTRICTS: CITY Salida SCHOOL 7 FIRE ____ SANITARY ____ OTHER ____

LEGAL DESCRIPTION | SUB DIVISION OR ADDITION | SECTION | TWP. | RANGE | BLOCK | LOT

Rear 10' Lots A, B, & C, Block 4 Salida

Courtesy Salida Regional Library, Salida Archive, Real estate appraisal card collection. [1950c_135 N F St]

1950s. Enlargement - Real estate appraisal card. [1950c_135 N F St_en]

Real estate appraisal card caption:

> 135 Lower (or North) F Street, rear 10', lots A, B, & C, block 4, in Salida, Colorado.
>
> The Victoria Bar & Tavern is visible on the left. This building was erected between 1914 and 1929, based on Sanborn maps. The building was labeled 'store' on the 1929 map.
>
> In 1951, the Indian Grill Restaurant, operated by Earl Stevenson was located here. (M.W. Yale Custom Gunsmithing was located at 133 Lower F, a building which is no longer standing.)

Many of the buildings in downtown Salida retained their original appearance well into the 20th Century and Salida became known for its largely intact historic downtown. Local recognition efforts resulted in the creation of the Salida Downtown Historic District in 1984.

The district is bounded by Arkansas River, former narrow gauge railroad right-of-way, 3rd & D Streets. The district is described in the National Register as follows:

Between 1880 and 1930, downtown Salida became the center of a burgeoning railroad community. Consisting of 111 buildings, the district's size bears witness to the importance of the Denver & Rio Grande Railroad as a local economic force during the period. Although Salida's fortunes declined after 1930, due to changes in the Denver & Rio Grande system, it has managed to survive with a tourism-based economy.

Each of the buildings within the District was photographed and researched as to origin, style of architecture, historical use, historical integrity and significance. Each was evaluated as to whether it is “contributing” or “non-contributing” to the character of the District. The information was recorded on an Architectural Inventory Form for each building with its unique Resource Identification Number.

The original 1981 Salida Historic Buildings Survey contains Architectural Inventory Forms for 111 buildings. The re-survey conducted 2001-02 contains forms for 130 buildings. All the forms are available for download at Salida Regional Library, Salida Archive at:

http://salidaarchive.info/

1981. Photo of 135 N. F St, which is included in the 1981 survey form for this address. Courtesy Salida Regional Library, Salida Archive. [1981_135 F St]

In the Downtown Salida Historic Building Survey of 1981, the building at 135 N. F St was up for sale and it appeared that it was being used for storage.

ARCHITECTURAL/HISTORICAL COMPONENT FORM

IMPORTANT: USE IN CONJUNCTION WITH THE GREEN INVENTORY RECORD FORM FOR FOR RECORDING HISTORIC STRUCTURES AND DISTRICTS. USE SEPARATELY FOR RECORDING STRUCTURES LOCATED WITHIN DISTRICT BOUNDARIES.

1) Resource No. 5CF275 2) Temp No. 64 3) Name Commercial Building

4) Address 135 North F 5) District Name Salida Commercial District

I. INTEGRITY: 6) Condition: Good X Fair ___ Deteriorated ___

7) Original Use commercial property 8) Present Use commercial property

9) Original Site X Moved ___ Date(s) of Move: ___

10) Unaltered X Altered ___ Explain: ___

II. DESCRIPTION: 11) Building Materials brick

12) Construction Date 1914-1929 13) Architect/Builder unknown
(1914, 1929 Sanborn Perris Maps)

14) Architectural Style(s) n/a

A simple one story brick commercial structure. The narrow building has a recessed entrance and a window display area. The building is currently for sale.

Snapshot of the survey form from the PDF of the 1981 Historic Building Survey. Courtesy Salida Regional Library, Salida Archive.

September 2002. Photo of 135 N. F St, which is included in the 2001-02 Historic Building survey for this address. [200209_Survey 2001-02 A]

September 2002. Photo of 135 N. F St, which is included in the 2001-02 Historic Building survey for this address [200209_Survey 2001-02 B]

In the re-survey of the Downtown Salida Historic Building Survey, 2001-02, the building at 135 N F St. is listed as resource number 5CF406.58. The historic name is Indian Grill, Salida Café. It occupies Lots 11-13 (part) within Block 4. It is described as rectangular, 63 x 10 feet, brick with flat roof (asphalted) and has a decorative cornice.

General Architectural Description:

One-story rectangular brick commercial building with flat roof stepped down toward rear. Cornice composed of band of multiple courses of brick with piers at each corner projecting above the roof. Brick walls of wire-drawn variegated brick in orange and yellow shades; rowlock course of brick above storefront. Dark brown panel and hanging sign above storefront. Metal lintel across storefront. Clerestory windows and plate glass display windows with brick under windows. Off-center, inset entrance, with wood door with large rectangular light and transom. South wall stuccoed, where an adjacent building was removed.

Historical background. This building was erected between 1914 and 1929, based on Sanborn maps. The building was not shown on the 1914 map, but is present on the 1929 map, when it was labeled "store." The 1930-31 city directory indicates the building was vacant. In 1951 the Indian Grill Restaurant, operated by Earl Stevenson, was located here. The restaurant had previously been located in the Central Block. A 1952 photograph shows the Salida Cafe at this location.

The building was seen to be representative of commercial structures built during the 1910s and 1920s in Salida and notable for its unaltered appearance and excellent historic physical integrity therefore making it “contributing” to the downtown historic appearance. However the building was deemed not to meet National Register criteria.

Aug. 17, 2015. "Gentlemen of the Road Concert" in the big meadow on the edge of the city brought thousands of music fans to Salida in August 2015 and all the downtown merchants decorated their storefronts with British flags. Little Cambodia was the place for a great bowl of Pho. [20150817 Pho]

NOTES: File names of photos are bracketed for future reference

Earle Kittleman
January 19, 2021

143 N F Street (Victoria Bar/Hotel)
Report PART 1 OF 2

This report is based on historic maps and photographs, which are available online at The Salida Archive of Salida Regional Library at http://salidaarchive.info/

Bird's eye view photographs taken from Tenderfoot Mountain show how Salida developed over the years after the railroad arrived here in 1880.

1883 (approximate). Salida (no longer South Arkansas) was growing in three directions from the river. The Craig Opera House is at the corner of Second and F Streets and the Presbyterian Church, the first designed for religious services, is a little white frame building at the corner of 3rd and F Streets. A few days after this photo was taken in mid-May, the F Street Bridge was seriously damaged by normal spring runoff when two sections were ripped from the center. In the foreground next to the tracks are the Monte Christo Hotel and depot. Salida Museum Association Collection, courtesy Salida Regional Library. [1883_SRL_SMusColl]

1890 view from Tenderfoot. Courtesy Salida Regional Library, Ernest Brownson Collection. [1890_SRL Ernest Brownson Coll]

1890 view enlarged. Shows corner the F Street corner lots still vacant, but there is a two-story building at 113 E Front St (now the Fritz Restaurant on Sackett).

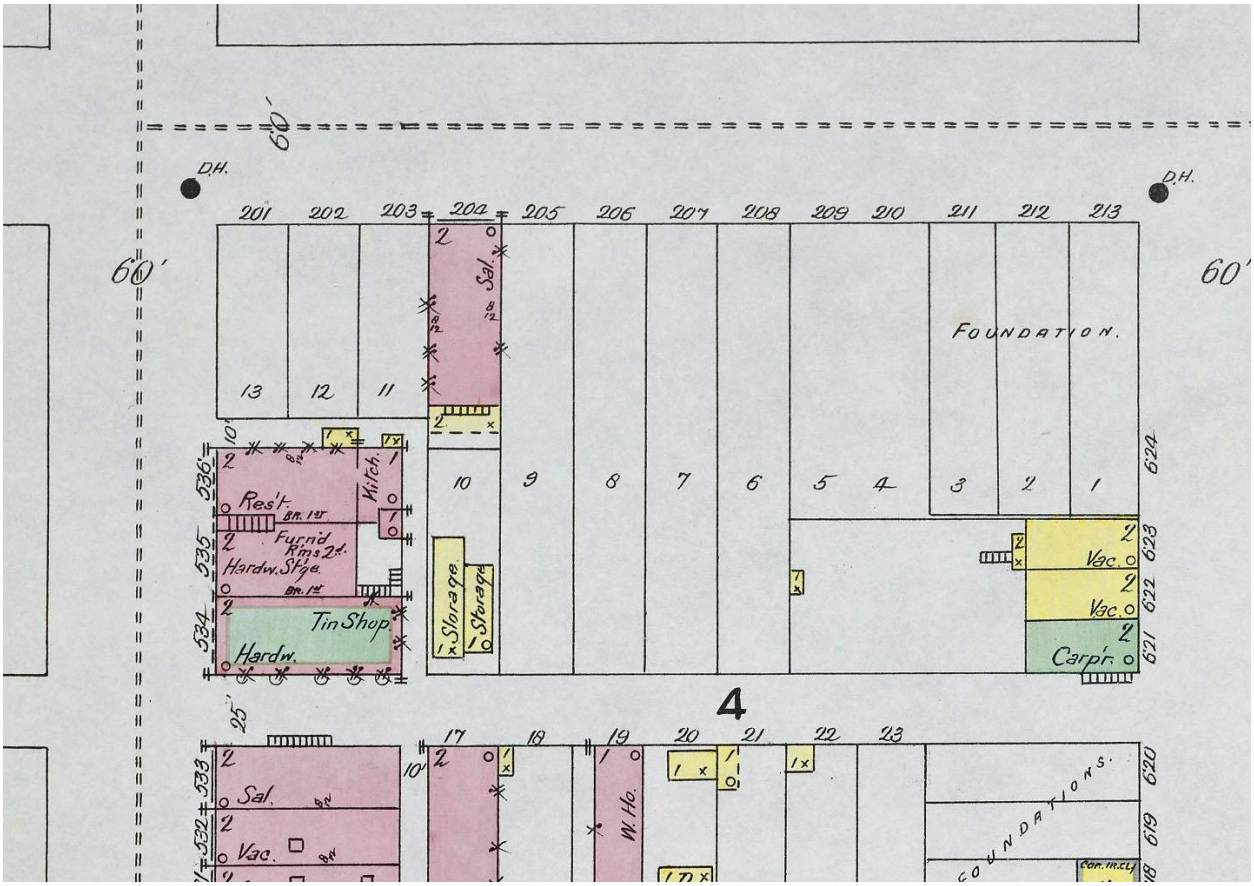
1910 (approximate) view shows building at 143 N F Street. Courtesy Salida Regional Library, Bob Rush Collection. [1910s_SRL_BobRushColl]

1910 (enlargement) shows the building at 143 N F Street. The second-story balcony that has since been removed can be seen faintly in this blowup.

Sanborn-Perris Fire Insurance Maps of Salida from the years 1883 through 1914 show the building footprint; whether the site is residential, commercial, or industrial; potential environmental hazards, and construction details.

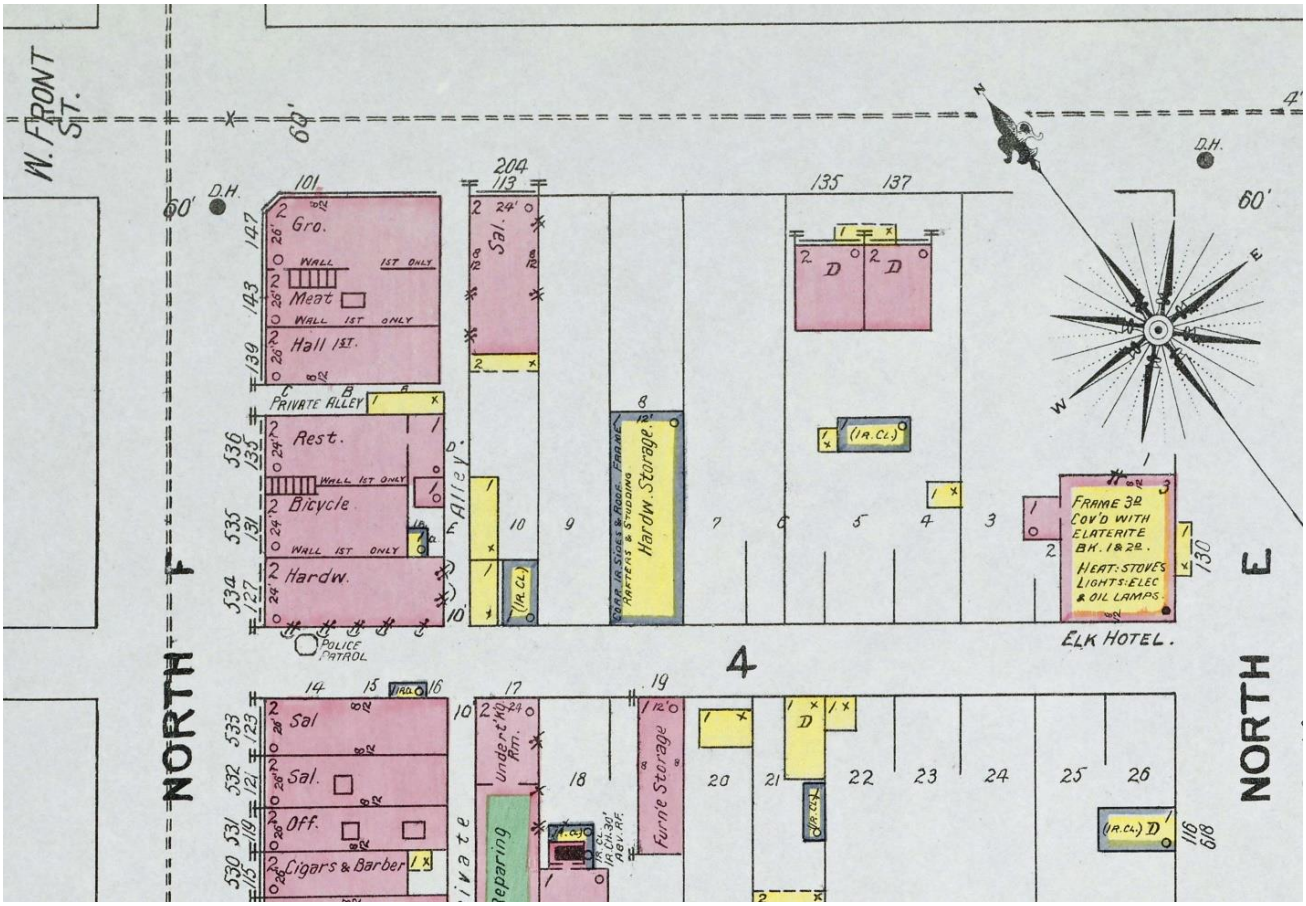
> Building colors: Yellow = frame, Red = brick, Blue = stone, Grey = iron, Brown = adobe
>
> Notations “o” indicates slate or tin roof, “x” indicates shingle roof and “1” or “2” indicates one- or two-stories.

1898 Sanborn Fire Insurance map. Courtesy Salida Regional Library, Salida Archive, Historic Maps



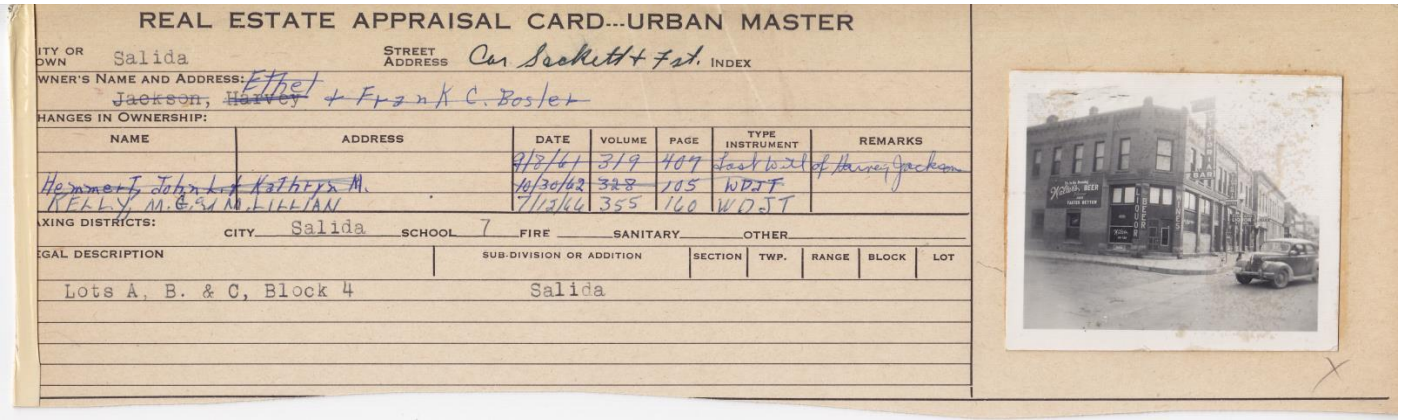
1898 Sanborn Fire Insurance map of Salida (enlargement) showing vacant lots 11-13 at corner of Front Street (later renamed Sackett Av).

1904 Sanborn Fire Insurance map of Salida. Courtesy Salida Regional Library, Salida Archive, Historic maps.



1904 Sanborn Fire Insurance map of Salida (enlargement) showing brick building covering three lots addressed as 139, 143 and 157 N. F Street.

The Salida Archive at the library contains digital scans of many old real estate appraisals cards that were discarded when Chaffee County converted to digital records.



REAL ESTATE APPRAISAL CARD---URBAN MASTER

ITY OR OWN: Salida — STREET ADDRESS: Cor Sackett + Fst. — INDEX

WNER'S NAME AND ADDRESS: ~~Jackson, Harvey~~ Ethel + Frank C. Bosler

HANGES IN OWNERSHIP:

NAME	ADDRESS	DATE	VOLUME	PAGE	TYPE INSTRUMENT	REMARKS
		8/8/61	319	407	Last Will of Harvey Jackson	
Hemmert, John L. & Kathryn M.		10/30/62	328	105	WDJT	
KELLY, M. E. & M. LILLIAN		7/15/66	355	160	WDJT	

AXING DISTRICTS: CITY Salida SCHOOL 7 FIRE ____ SANITARY ____ OTHER ____

GAL DESCRIPTION	SUB-DIVISION OR ADDITION	SECTION	TWP.	RANGE	BLOCK	LOT
Lots A, B. & C, Block 4	Salida					

Real estate appraisal card for the Vic. Courtesy Salida Regional Library, Salida Archive.

Enlargement, Real estate appraisal card.

1940s downtown Salida looking south from F Street Bridge. Courtesy Salida Regional Library, Salida Archive, Hermit of Arbor Villa Photo Collection.

The Victoria Hotel & Tavern at 143 Lower F. Courtesy Salida Regional Library, Salida Museum Negatives Collection. (These images were taken around the 1950s & 60s, most likely by local photographer Joe Morris. This collection is part of a larger Motels & Businesses page in the Salida Museum Negatives Collection.) [1950c_The-Vic_SRL_SMNegsCol]

Many of the buildings in downtown Salida retained their original appearance well into the 20th Century and Salida became known for its largely intact historic downtown. Local recognition efforts resulted in the creation of the Salida Downtown Historic District in 1984.

The district is bounded by Arkansas River, former narrow gauge railroad right-of-way, 3rd & D Streets. The district is described in the National Register as follows:

> Between 1880 and 1930, downtown Salida became the center of a burgeoning railroad community. Consisting of 111 buildings, the district's size bears witness to the importance of the Denver & Rio Grande Railroad as a local economic force during the period. Although Salida's fortunes declined after 1930, due to changes in the Denver & Rio Grande system, it has managed to survive with a tourism-based economy.

Each of the buildings within the District was photographed and researched as to origin, style of architecture, historical use, historical integrity and significance. Each was evaluated as to whether it is “contributing” or “non-contributing” to the character of the District. The information was recorded on an Architectural Inventory Form for each building with its unique Resource Identification Number.

The original 1981 Salida Historic Buildings Survey contains Architectural Inventory Forms for 111 buildings. The re-survey conducted 2001-02 contains forms for 130 buildings. All the forms are available for download at Salida Regional Library, Salida Archive at:

http://salidaarchive.info/

Photo of the Victoria Tavern in 1981 taken as part of the nomination of the Downtown Historic District to the National Register of Historic Places. From 1981 Historic Building Survey, courtesy Salida Regional Library.

Earle Kittleman
Jan. 18, 2021

END PART 1

REPORT ON 143 N F STREET

PART 2 OF 2

The Victoria Tavern at 143 N F Street was assigned resource number 5CF406.56 in the re-survey of the downtown in 2001-02. Its historic name was recorded as Moore & Killen Block, Mildred Hotel, brick, rectangular, dimensions 65 x 63 feet.

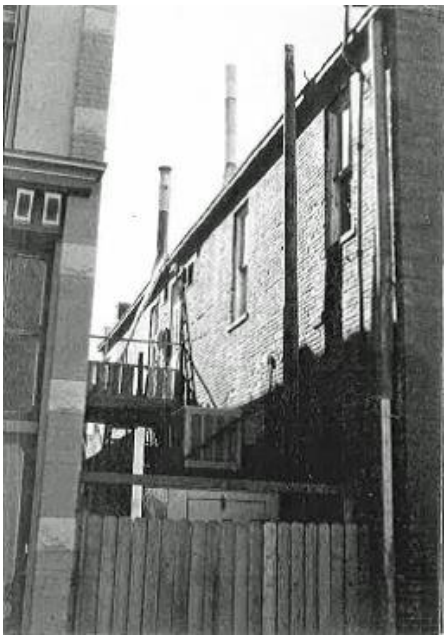
The entire survey including this form can be downloaded from Salida Regional Library, Salida Archive, Salida Historic Building Surveys.

The following four photos are attached to the form for the Vic.

Four photos of the Victoria Tavern taken during the re-survey of the Downtown Historic District 2001-02 . From North F Street\ Colorado Cultural Resource Survey – Architectural Inventory Forms\The Salida Archive\, courtesy Salida Regional Library.

2001-02

2001-02



2001-02

The following is a snapshot of the **General Architectural Description** portion of the form for the Vic taken from the PDF:

21. General Architectural Description:

Two-story, rectangular, orange brick commercial building with stone foundation and with beveled corner facing F & Sackett streets. Flat roof with corbelled brick cornice; corbels extend into panels at top of wall. Upper west wall is divided into three bays by brick wall piers extending from multiple courses of molded brick at base of second story to roof. Central bay features four, tall, flat arch, double-hung sash windows with rock-faced stone sills and gauged brick lintels. Multiple courses of molded brick above lintels. Flanking bays of second story have three similar windows each; northern bay has evenly spaced windows while southern bay has unevenly spaced windows.

First story of west wall has continuous metal lintel ornamented with rosettes (paterae) above storefronts, which are divided by square brick columns with stone bases and capitals. Northern bay has plate glass display windows with fabric awnings; area under windows filled with brick. Center bay has entrance with paneled door, sidelights, and multi-light overdoor. Adjacent is storefront with off-center paneled door, wood frame plate glass windows with clerestory windows and paneled kickplates. Southern storefront has center entrance with door with transom and sidelights, wood frame plate glass windows, and paneled kickplates. Storefront is sheltered by fabric awning.

Beveled corner is flanked by slightly projecting brick wall piers on upper story and has corbelled cornice and paneling. One tall double-hung sash window with gauged brick lintel and stone sill on upper story. Projecting sign attached at corner. Corner entrance with tall double wood doors with large rectangular lights and two-part clerestory flanked by brick columns with stone bases and capitals.

North wall continues corbelled cornice and paneled frieze of west wall. First bay (west bay) of north wall is enframed with brick wall piers on upper story and has tall double-hung sash window with gauged brick lintel and stone sill on second story. Six similar windows along north wall, as well as paneled and glazed door with covered transom and evidence of balcony or firestair, now missing. First story continues storefront for one bay at west end, with clerestory windows, plate glass window, and paneled kickplate. Series of three wide double-hung sash windows with stone sills and paneled transoms. At east end of wall is slab door with covered transom, gauged brick lintel, and stone threshold. Rear has one-story projection at northeast corner and chimneys with metal pipe tops on roof.

Here follows retyped portions of the form that are pertinent to this report.

Historical background:

This building was erected in 1901-02. The 1902 Salida Mail reported: “Messrs. Moore and Killen have their building at the corner of F and Front streets almost completed. The structure is of brick, substantially built, and includes two stories and a basement. The room fronts on F Street, and presents a neat, up-to-date appearance. The finishing work is now going on, and when completed the building will be rented as a store room.”

On January 1, 1903, Killen & Moore's property was valued at $6,000. The 1903 city directory indicates that the upstairs contained furnished rooms operated by Mildred C. Johnson.

[Salida walking tours indicate that the building was actually erected for Mildred Johnson.]

The 1904 Sanborn map shows the building divided into three spaces on the ground floor: a grocery (147 F), a meat market (143 F), and a hall (139 F). An April 1904 Salida Opera House program advertised "Cinematograph Theatre -- Mildred Block. See Peck's Bad Boy and what happens to him after eating dried apples and drinking sweet cider. Other moving pictures, including Cinderella and the Glass Slipper. Admission: 10 cents. Shows Every Night."

By 1905, the building was advertised as the Hotel Mildred, Mrs. M.C. Johnson, proprietor, "European plan, first class rooms and accommodations." Also housed in the building was the Salvation Army Hall in 139 N. F St, while 143 housed Frank Buehring's Shooting Gallery.

In 1906, an Opera House program advertised: "The Mildred Rooms, Steam-Heated -- Modern Conveniences. Headquarters for Theatrical and Commercial People -- Rooms on Second Floor."

The 1909 city directory listed this building as the Mildred Block. In that year, the Nick Muto Saloon occupied the 143 F Street storefront, the Charles Salerno Grocery was in the 139 F street storefront, and the 147 F storefront was vacant.

The 1914 Sanborn map showed the following: a cigar store, a barber, and a saloon (147 F).

By 1922-23, businesses in the building included: Dennis Thotokatos, confectioner, with residence in the building; Nigro & Marchi Billiard and Smokes (F. M. Nigro and Abraham Marchi); and, Clayton C. Honeywell. The upstairs rooms were managed by Hannah McComb.

The 1914 Sanborn map showed the following: a cigar store, a barber, and a saloon (147 F).

By 1922-23, businesses in the building included: Dennis Thotokatos, confectioner, with residence in the building; Nigro & Marchi Billiards and Smokes (F. M. Nigro and Abraham Marchi); and, Clayton C. Honeywell. The upstairs rooms were managed by Hannah McComb.

The 1927-28 city directory listed the Mildred Block: C. C. Honeywell, barber; Coscarella & Alloy, billiards; and the furnished rooms were known as "Travelers' Rooms."

By 1930-31, the billiard parlor was known as the Eagle Pool Room, operated by Samuel Petratos.

In 1951, businesses here included Neal's Pool Room, Neal F. Prunty, owner and manager, and the Victoria Hotel and Bar, Harvey Jackson, owner.

By 1952, the Victoria Pool Room was shown in an historic photograph. The Victoria Bar is still located here today.

SIGNIFICANCE

According to the survey, the building does not meet any of the National Register criteria. But the building is listed as “contributing” to the Downtown Historic District.

Statement of Significance:

This 1901-02 building is associated with the development of North F Street, having offered furnished rooms and hotel rooms, and having housed a variety of businesses popular on this section of F Street, including saloons, barbers, and pool rooms. The building's architecture represents the commercial design of the early twentieth century in Salida, and is notable for its corbelled cornice and paneled frieze, brick wall piers and brick columns with stone trim, tall double-hung sash windows with stone sills, and beveled corner. The building is also notable for retaining many of the features of its original storefronts.

Assessment of Historic Physical Integrity Related to Significance: The building displays substantial integrity. The kickplates of the corner storefront have been altered, and a few of the doors and overdoors have been replaced. A balcony is missing on the north wall.

This photo shows the bar essentially as it appears today. I cannot determine where I found this photo. Probably courtesy of the Salida Archive, Salida Regional Library. [AUR-988_TheVic]

March 11, 2004. [2004-03-11Victoria Tavern]

March 11, 2004 a new historic plaque appears by the front door of the Vic. [2004-03-11Vic plaque]

In 2004 a plaque suddenly appeared without fanfare by the front door of the Vic. It honors the memory of Mildred "Millie" Ohmertz Johnson who developed the property following an ownership dispute with Alexander Cameron Hunt, land agent for the Denver & Rio Grande Railway, who purchased and sold most of the property in early Salida. Rumors still circulate about a love affair gone sour between the two. Hunt, a former territorial governor of Colorado, had an office in Salida and a family residence in Denver.

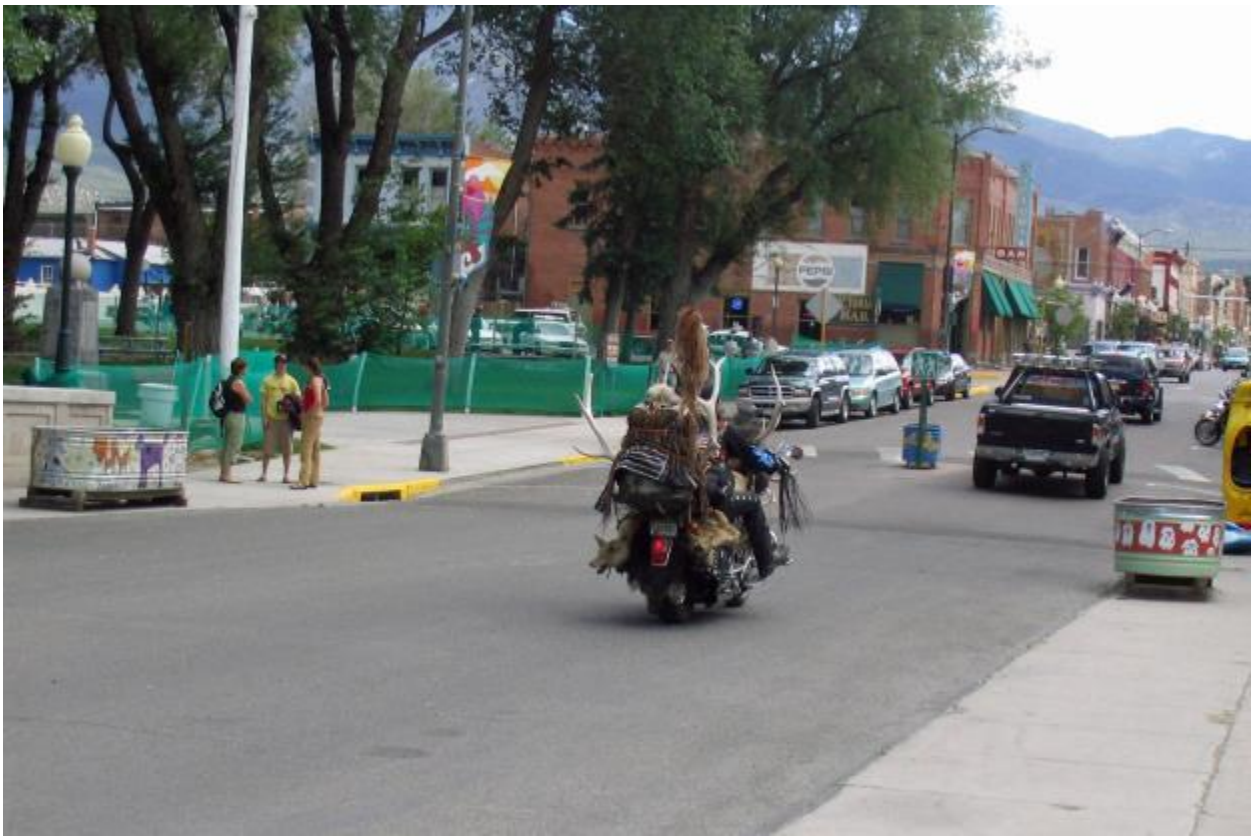
Donor of the plaque, E Clampus Vitus, is a fraternal organization dedicated to the preservation of the heritage of the American West. The

organization's name is in Dog Latin, and has no known meaning. Members call themselves "Clampers." You have to be invited to join, but you can indicate your desire to be a member. Al Packer Chapter 100 in Colorado was chartered in 2000. This chapter has four encampments statewide for members to get together and socialize. The organization has raised historical plaques in many places throughout the West (often at sites such as bordellos and saloons overlooked by more traditional historical societies), with a traditional "doin's," or party, after each plaque dedication.

This information about E Clampus Vitus comes from Wikipedia.

May 5, 2005 Bikers congregate annually on lower F Street. [05-05-28 Bikes1]

The space at 135 F St is selling pizza. [05-05-28 Bikes2]



Snowfenced area in Riverside Park where beer sales allowed for Memorial Day concert. [20060528_MemDay]

The Vic in snow, Oct. 28, 2008. [20091028_Vic_en]

The Vic in snow, Oct. 28, 2008. [20091028_Vic snow_en]

June 7, 2013. New signage on the Vic courtesy of PBR. [2013-06-7 Vic mural 2]

June 7, 2013 [2013-06-7 Vic mural 1]

July 4th parade Huey rounds the corner at the Vic. [20160704 Parade 1]

Vietnam veterans parked all day at the Vic. [20160704 Huey 3]

Vietnam era 1st Cavalry Division exhibit at the Vic. [20160704 Huey 5]

June 14, 2018. FIBArk festival is held every year during spring runoff on the Arkansas River. Riverside Park opposite the Vic is the scene of a carnival. [20180614_lr]

June 13, 2019. FIBArk carnival sets up for the week every year on Sackett Av alongside the Vic. [20190613_FIBArk 2]

NOTES: File names of photos are bracketed for future reference

Earle Kittleman
January 18, 2021

END PART 2 OF 2

A Renovation of the
Victoria Hotel & Tavern
143 N. F Street, Salida, Colorado 81201

ELEVATION

CODE ANALYSIS

LEGAL DESCRIPTION
Lots A, B, C & 10' Vacated Alley, Block 4
143 N. F Street

PROJECT DESCRIPTION
The project is located in the Salida Downtown Historic District. The renovation to the existing contributing building will include rehabilitating two front windows exterior windows, as well as remodeling the main and lower levels. The Main Level will be remodeled to accommodate a bakery restaurant and the Upper Level will have bathrooms added to existing hotel rooms.

CODE COMPLIANCE
2015 International Building Code
2015 International Existing Building Code
2006 International Energy Conservation Code
2020 National Electrical Code
2015 International Plumbing Code
2015 International Mechanical Code

OCCUPANCY TYPE
Main Level: Group A-2, Tavern/Bar to Restaurant no change
Upper Level: Group R-1, Hotel to Hotel - no change

DESIGN CRITERIA
Table R301.2(1) Climate & Geographic Design Criteria
Roof Snow Load - 55 PSF Salida Elevation = 8,537 ft
Wind Speed - 120 MPH
Seismic Design Category - C
Exempt per IBC 1613.1 and IRC R301.2.2
Subject to Damage by Weathering - Severe
Subject to Damage by Frostline Depth - 30 inches
Subject to Damage by Termite - None to slight
Subject to Damage by Decay - None to slight
Winter Design Temperature - 0°F (-18°C)
Ice Shield Underlayment Required - Yes
Flood Hazard - FIRM, February 4, 2005
Air Freeze Index - 1500
Mean Annual Temperature - 40°F

CONSTRUCTION TYPE
Type V, Non-rated, Non-sprinklered

LAND USE ZONING
Zoning C-2 Central Business District
Historic Protection Overlay

GEOTECHNICAL REPORT:
Due to existing conditions behind building, it was determined an Open Pit Test would be performed at time of excavation by Engineer of Record.

PROJECT SETBACKS
In accordance with the building envelope shown, that indicates the confined area of building. Refer to the site plan for location.

All structures shall comply to setbacks as follows:
Front Setback: . . . . . No required
Rear Setback: . . . . . No required
Side Setback: . . . . . No required

Building Height:
Max. building height for a primary building: 35'-0"
Max. building height for a detached accessory building: . . . . . 25'-0"

IECC DESIGN CRITERIA
Table N1102.2 Insulation & Fenestration Requirements by Component - Climate Zone 6 for new construction
Fenestration U-Factor: 0.35
Skylight U-Factor: 0.60
SHGC: NR
Ceiling R-value: R-49 or per Section N1102.2.1
Wood Frame Wall R-Value: 19 or 13+5
Mass Wall R-value: 15
Floor R-value: 30
Basement Wall R-value: 10/13
Slab R-value and Depth: 10, 4 feet
Crawlspace Wall R-value: 10/13

BUILDING STATISTICS
Main Level Square Footage Breakdown (Gross s.f.)
. . . . . 4,869 s.f.
Total Main Level Square Footage: . . . . . 4,869 s.f.

Lower Level Square Footage Breakdown (Gross s.f.)
Mechanical/Storage: . . . . . 1,032 s.f.
Total Lower Level Square Footage: . . . . 1,032 s.f.

Upper Level Square Footage Breakdown: (Gross s.f.)
. . . . . 4,125 s.f.
Total Upper Level Square Footage:. . . . . 4,125 s.f.

Total Deck Square Footage: . . . . . 202 s.f.

Total Back Alley Square Footage:. . . . . 634 s.f.

Total Building Square Footage: . . . . . 10,026 s.f.

Work Area per IEBC Sections 202 and 501.1-501.2:
Main Level (Gross s.f.): . . . . . 1,574 s.f.
Lower Level (Gross s.f.): . . . . . 985 s.f.
Upper Level (Gross s.f.): . . . . . 1,047 s.f.
Total Work Area Square Footage: . . . . . 3,606 s.f.
% of Work Area (50% Max Allowed): . . . 36%
Refer to sheet A2.8

SITE STATISTICS
Site Area:. . . . . 5,532 s.f.
or 0.127 acres
Minimum Site Size:. . . . . N/A

DISCIPLINE

OWNER
Drew Fink
c/o Steamboat Architectural Associates (SAA)
345 Lincoln Avenue, Suite 200
P.O. Box 772910
Steamboat Springs, Colorado 80477
Phone: 970.879.0819
Fax: 970.879.3406
Email: SAA@steamboatarchitectural.com
Contact: William J. Rangitsch

ARCHITECT
Steamboat Architectural Associates (SAA)
345 Lincoln Avenue, Suite 200
P.O. Box 772910
Steamboat Springs, Colorado 80477
Phone: 970.879.0819
Fax: 970.879.3406
Email: SAA@steamboatarchitectural.com
Contact: William J. Rangitsch

GENERAL CONTRACTOR
Bach Builders

Salida, CO 81201
Phone: 720.320.4850
Fax: N/A
Email: franbach65@gmail.com
Contact: David and Fran Bach

CIVIL ENGINEER
Marcin Engineering
122 E 8th Street
Leadville, CO 80461
Phone: 303.803.2140
Fax: N/A
Email: tony@marcinengineering.com
Contact: Tony Vazquez, PE

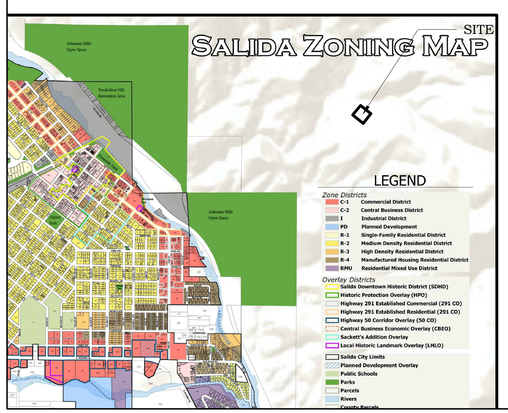
STRUCTURAL ENGINEER
JVA Consulting Engineers, Inc.
213 Linden Street, Suite 200
Fort Collins, CO 80524
Phone: 303.565.4917
Fax: N/A
Email: jschalk@jvajva.com
Contact: Jeffrey S. Schalk, PE, SE

BUILDING AUTHORITY
Chaffee County Building Department
104 Crestone Avenue, PO Box 699
Salida, CO 81201
Phone: 719.530.5567
Fax: N/A
Email: dswallow@chaffeecounty.org
Contact: Dan Swallow

MECHANICAL / PLUMBING
BA Consultants, Inc.
90 Madison Street, Suite #104
Denver, CO 80206
Phone: 303-322-1212
Email: alex.v@ba-consultantsinc.com
Contact: Alex Valdez

ELECTRICAL
Wilder Engineering
1170 Blue Sage Drive
Steamboat Springs, CO 80487
Phone: 970-819-7848
Email: andy@wilder-eng.com
Contact: Andy Wilder, PE

VICINITY MAP



SHEET INDEX

ARCHITECTURAL DRAWINGS
A0.0 Cover Sheet
A0.1 Specifications
EX2.0 Existing Lower Level/Demo Plan
EX2.1 Existing Main Level/Demo Plan
EX2.2 Existing Upper Level/Demo Plan
A2.0 Lower Level Floor Plan, Door Schedule
A2.1 Main Level Floor Plan, Door Schedule
A2.2 Upper Level Floor Plan, Door Schedule
A2.3 Roof Plan
A2.4 Main Level Reflected Ceiling Plan
A2.5 Upper Level Reflected Ceiling Plan
A2.6 Enlarged Bar Equipment Plan, Appliance Schedule
A2.7 Bakery/Kitchen Equipment Plan, Appliance Schedule
EX3.0 Existing Elevations
EX3.1 Existing Elevations
A3.0 Elevations
A3.1 Elevations
A4.0 Sections
A4.1 Sections
A4.2 Interior Elevations

CIVIL DRAWINGS
C-1 Grading & Drainage Plan & Utility Plan
C-2 Site Details

STRUCTURAL DRAWINGS
S1.0 General Notes
S1.1 Abbreviation, Symbols Key & 3D Schematic View
S2.0 Foundation/Main Level Plan
S2.1 Upper Level & Low Roof Framing
S2.2 Roof Framing Plan
S5.0 Typical Details
S5.1 Basement Framing, Sections
S5.2 Low Roof & Deck, Sections

MECHANICAL DRAWINGS
M0.1 General Notes & Legend
M0.2 Mechanical Schedules
M0.3 Mechanical Details
M0.4 Mechanical Details
M0.5 Hood Details
M0.6 Hood Drawings & Details
M0.7 DOAS RTU/Grease Exhaust Fan
M0.8 Grease Exhaust Fan
M0.9 DOAS RTU
M.10 Hood Utility Cabinet
M1.0 Basement Level Plan
M1.1 Main Level Plan
M1.2 Upper Level Plan
M1.3 Roof Level Plan
MD1.0 Basement Level Demo Plan
MD1.1 Main Level Demo Plan
MD1.2 Upper Level Demo Plan
MD1.3 Roof Level Demo Plan
MP1.0 Mechanical Specifications

PLUMBING DRAWINGS
P0.1 Legend, Fixture Schedule
P0.2 Details
P0.3 Details
P1.0 Basement Level Plan
P1.1 Main Level Plan
P1.2 Upper Level Plan
P1.3 Roof Level Plan
P2.1 Waste and Vent Isometrics
P3.1 Domestic Water Isometrics
P4.1 Gas isometrics
PD1.0 Basement Level Demo Plan
PD1.1 Main Level Demo Plan
PD1.2 Upper Level Demo Plan
PD1.3 Roof Level Demo Plan

ELECTRICAL DRAWINGS
E-1.1 Notes & One Line Diagram
E-1.2 Electrical Panels
E-1.3 Electrical Panels
E-2.1 Electrical Plan Main Level
E-2.2 Electrical Plan Upper Level
E-3.1 Main Level Lighting
E-3.2 Upper Level Lighting
E-4.1 Electrical Specifications

ADDITIONAL NOTES
- Contractor and Subcontractor shall be responsible for local code compliance, technical data and system component design as required for design.
- Owner provided equipment shown in these drawings is not part of the General Construction Contract.
- General Contractor and appropriate sub-contractors are responsible for coordination, reinforcing in walls, rough-in, and terminal hook-up of Owner provided equipment.

SUBMISSION

For Construction

THESE DRAWINGS DO NOT INCLUDE THE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY.

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ELEVATION
CODE ANALYSIS
DISCIPLINE
VICINITY MAP
SHEET INDEX

STATE OF COLORADO
WILLIAM JOSEPH RANGITSCH
34986
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STEAMBOAT ARCHITECTURAL ASSOCIATES

A Renovation of the
Victoria Hotel & Tavern
143 N. F Street
Salida, Colorado 81201

12 SEPT 22
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21-03

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SPECIFICATIONS

DIVISION 1 - GENERAL REQUIREMENTS

1.1 The contract between Owner and Contractor shall be written on AIA form #A101 - Stipulated Sum, or AIA form #A111 Cost of the Work Plus a Fee with a Guaranteed Maximum price, with AIA General Conditions AIA A201 in effect as if written out in full. The scope of work shall include complete construction of the home, including site work as described in the construction documents.
1.2 The General Contractor (GC) shall provide one full time job foreman experienced in construction work, whose sole responsibility is the management of the project. The job foreman is to be available at the site at all times work is in progress.
1.3 It shall be the responsibility of the General Contractor (GC) to coordinate the interface between all trades and sub-contracts, including, but not limited to all cutting, patching, aligning, headering, blocking, welding, fitting, adjusting, and touching up, so as to effect a complete and finished product. Coordination costs shall be included in the contract sum.
1.4 The General Contractor (GC) shall control the work of all sub-contractors. The organization of the drawings and specifications into types, divisions, sections, and articles, and the arrangement of the drawings shall not control the General Contractor (GC) in dividing the work among sub-contractors or in establishing the extent of work to be performed by any trade.
1.5 Where conflicts or discrepancies exist in the drawings and/or specifications, contact the Architect to obtain the necessary clarification and/or decision.
1.6 Alternate Bid: An alternate bid is an amount stated in the bid to be added or deducted from the amount of the base bid if the corresponding change in project scope, or material, or method of construction described in the bidding documents is accepted.
1.7 Allowance: An allowance is a budgeted amount for a particular product, material, or method of construction described in the bidding documents, which is to be included in the bid at a specified amount. If the product, material or method of construction costs more than, or less than, the budgeted amount, the contract amount will be adjusted to reflect such difference. An allowance may be specified as "materials only", in which case only materials or products are covered by the allowance. Labor to install and complete the finish is to be included in the base bid. If an allowance is specified as "materials and labor", both are to be considered in the allowance and subject to adjustment. Allowances shall be adjusted upon receipt of an allowance report with billing statements, and a labor summary if applicable, at the time of application for final payment.
1.8 All work shall comply with federal, state, and local laws, codes, and ordinances, as amended, and shall be done to the highest standards of craftsmanship by journeymen of the respective trades.
1.9 Samples shall be supplied to Architect for all material proposed for substitution of specified materials, and of workmanship representing artistic techniques specified below. Shop drawings shall be provided for fabricated items below. cabinets, structural steel, pre-manufacturered wood trusses, railings, glass, countertops, cabinets,all finish materials, lighting fixtures, plumbing, etc.
1.10 Temporary facilities for protection of tools and equipment shall conform to local regulations and shall be the contractor's responsibility.
1.11 Rental charges, safety expenses, protections expenses, and maintenance of rented equipment shall be the contractor's responsibility and shall be included in the contract price.
1.12 Winter protection, heat, and snow removal shall be the responsibility of the General Contractor (GC). All space heating shall be done in a safe, sensible manner, with periodic checks on the system, and shall comply with state industrial commission and O.S.H.A. regulations.
1.13 Provide temporary sanitary facilities for construction workers.
1.14 Contractor shall submit a schedule of values as outlined in article 9.2.1 of the General Conditions on the form provided by the Architect at the time of signing this contract.
1.15 Request for payment shall be submitted to the Architect for approval on AIA form G-703 or approved equivalent.
1.16 Contractor, at their expense, shall carry builders risk "all risk", workman's compensation liability, bodily injury, and comprehensive automobile insurance where applicable. All contractors shall be "independent contractors" and not Owner's employees for all purposes. Copies of required insurance shall be in each party's interest, and shall be provided to each party during the term of contract.
1.17 Contractor shall maintain the job clear of trash and debris as defined in article 3.15 of the General Conditions. All waste materials shall be removed from site prior to substantial completion and prior to final acceptance. Contractor shall present the building to the Owner for acceptance clean and ready for occupancy. All glass shall be cleaned and polished, floors swept broom clean, carpets vacumed, fixtures washed with all labels removed, and exterior grounds hand raked free of trash and debris.
1.18 Costs for building permits, use tax, sales tax and other charges relative to construction of this project shall be included in the contract price.
1.19 These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with all state and federal regulations regarding safety, and compliance with article 10 of the General Conditions is advised and shall be the contractor's responsibility.
1.20 Contractor shall visit the site and become familiar with all respects as a condition precedent to submitting proposal. Contractor shall verify all dimensions and conditions shown on these drawings with those at the site. Any variation which requires physical change shall be brought to the attention of the Architect.
1.21 All materials, equipment and workmanship shall be subject to a one year warranty as defined in article 3.5 of the General Conditions.
1.22 The soils report and all recommendations therein shall be a part of this specification. "Soils report" relates to design information only. Reliance on this data for estimating purposes shall be at the risk of the contractor. A suitable rock clause will be submitted as part of the proposal, including, but not limited to, unit prices for equipment, truck time, labor charges, and fill materials.
1.23 Quantity on all scheduled items shall be verified by contractor before submitting proposal and/or ordering.
1.24 There shall be no smoking permitted in the building once framing has started. Dogs are not permitted on-site or restrained to vehicles. Parking shall be in assigned areas only.

DIVISION 2 - SITE WORK:

Contractor shall provide necessary labor, materials and equipment to perform all site work specified in these documents.

2.1 Return to existing conditions areas damaged by construction activities.
2.2 Excavate, fill and re-grade site to finish grades noted on Site Plan. Spread uniform layer of existing topsoil over entire re-graded area. Provide fences, barricades and/or lights around all open trenches, excavations and other hazards.
2.3 Backfilling operations are the responsibility of the contractor. Foundation walls shall be adequately braced before backfilling. All backfill materials shall be approved pit run gravel or other approved granular materials compacted to 95% proctor density.
2.4 Provide road drainage and storm culverts as shown on the Site Plan.
2.5 All utility lines shall be extended from building to utility connection. Trenching, backfilling, materials, equipment, and connection charges shall be included in the cost of work.
Electric - from meter box on building to transformer - coordinate with Xcel Energy.
Water - from meter and/or shutoff valve inside foundation wall to point of connection. Coordinate with the City of Salida.
Sewer - from 10 feet outside of foundation wall to point of connection.
Contractor to provide septic design to Chaffee CountyEnvironmental Health Department for approval.
Gas - from gas meter adjacent to building to point of connection. Coordinate with Atmos Energy
Telephone - from phone box on building to pedestal or point of connection
Television - from TV box on building to pedestal or point of connection. Coordinate with selected cable or satellite TV provider
2.6 Provide 4" diameter perimeter foundation drain and underdrain in compliance with soils engineer's recommendations. Provide cleanouts as required by code and/or field conditions, as needed.
2.7 Provide all exterior walks, steps, and patios as shown on the Site Plan and/or Floor Plans.
2.8 Concrete walks, curbs, retaining walls, parking area and other site amenities shall comply with Section 3 of this specification.
2.9 All carpentry work relating to site shall comply with Section 6 of this specification.
2.10 Wood walks and stairs to be No. 1 Redwood treads with rough sawn pine or fir stringers and posts. All pine shall be treated with creosote or pentapreservative prior to installation.

DIVISION 3 - CONCRETE:

Contractor shall provide all necessary labor, materials and equipment to complete all concrete shown or noted in these documents.

3.1 Refer to Structural Specifications for structural requirements of concrete work.
3.2 Exterior Concrete shall develop 3,500 PSI in 28 days.
3.3 Concrete walks shall be poured on compacted materials, as described in the Soils Report. Refer to structural drawings for description of slab and reinforcing required. Slab surfaces shall be smooth and level, or shall have smooth even slope as shown.
3.4 Concrete stairs shall have 1 degree sloped risers with metal edge nosing.
3.5 Concrete finish shall be steel trowel finish for interior floor slabs, and broom finish for exterior walks and stairs.
3.6 No concrete shall be poured subject to freezing conditions or on frozen ground.
3.7 Detectable warning surfaces in concrete to be raised truncated domes with a nominal diameter of 0.9 inches, a nominal height of 0.2 inches, and a spacing of 2.35 inches, per ADA requirements.
3.8 Concrete Quality Control - Perform testing and test reports in accordance with structural specifications.

DIVISION 4 - MASONRY:

Contractor shall provide necessary labor, materials, and equipment to lay up masonry as shown or specified in these documents. All work shall be plumb, true, and square with filled joints.

4.1 Concrete Masonry Units are specified in structural specifications.
4.2 For all masonry repairs and refer to the National Park Service Preservation Brief #2 Repointing Mortar Joints; NPS Preservation Tech Notes Masonry #4 Non-destructive Evaluation Techniques for Masonry Construction. All masonry work must be in-kind and protect the existing historic brick and stone work.

DIVISION 5 - METALS:

Contractor shall provide necessary labor, materials, and equipment to erect all miscellaneous iron and steel as detailed or noted on the drawings.

5.1 Structural Steel and related appurtenances are specified in the structural specifications.

DIVISION 6 - CARPENTRY:

Contractor shall provide all labor, materials, and equipment to frame up, sheath, and trim out building as shown or specified in these documents.

FRAMING:
6.1 Structural aspects of Framing and related appurtenances are specified in the structural specifications.
6.2 Stud wall shall be 2"x4"@16" interior, or as shown, WWPA stress rated "Standard" or "Studs", fir.
6.3 Wood furring to be 2"x4"@16" (for plumbing furr walls) or 2"x2"@16" WWPA stress rated "Standard" fir or "No 3 common" pine.
6.4 Wood blocking shall be solid and match the depth of main members. Solid blocking is required per IBC 2015 and for vertical members at mid-height, for fire blocking, and as backing for cabinets, shelves, fixtures, vertical paneling, hardware and miscellaneous attachments. All blocking and members required by code are in addition to members shown.
6.5 Wood decking shall be Trex or similar, or CRA "Construction Grade" redwood - 2"x6" with imperfections removed by contractor at job site.
6.6 Cant strips to be fiber board or WWPA "No 3 common" pine.
6.7 Construction Adhesive - Any manufacturer meeting standards of the American Plywood Association.

FINISH CARPENTRY:
All finish work to be executed by trained journeymen, and shall be filled, sanded smooth, and ready for painter. Finish carpentry includes, but is not limited to, siding, paneling, trim, and shall be executed by hand with finish nails. Staple gun application will not be accepted on finish carpentry. All mitered corners to be glued with weld wood white.
6.8 Comply with following Grading Authority brochures:

Redwood	CRA	see brochure 6.7
Cedar	WRCLA	see brochure 6.7
Cedar	WWPA	see brochure 6.10
Pine/Fir	WWPA	see brochure 6.10
Hardwood	NHLA	see Paxton 6.7

6.9 Balcony railings to be "B" grade redwood, cedar, oak, pine post and metal cable rail members. All deck railing material to be factory stained.
6.10 Interior wood trim to match existing in-kind.
6.11 Wood flooring to match existing in-kind.
6.12 Closet shelving to be per interior designer specs.
6.13 Mill work shall be to match existing in-kind.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION:

Contractor shall provide all labor, materials, and equipment to install insulation as detailed or specified in these documents. Insulation, Roofing and Waterproofing work are not anticipated, unless damaged by construction activities.

INSULATION:
Match existing insulation where damaged or needs to be replaced by Construction Activities.

7.1 Provide and Install wall insulation in new construction between offices for sound protection.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION:

Contractor shall provide all labor, materials, and equipment to install insulation, roof and waterproofing as detailed or specified in these documents.

INSULATION:
7.1 Provide and install blow-in insulation between Main and Upper Level Floors for sound protection.
7.2 Provide and install blow-in insulation in existing walls between hotel units for sound insulation. Extend walls and insulation over wall top plate.
7.3 Building insulation requirements to be as follows:

ROOF/ATTIC:
where uncompressed insulation extends over the wall top plate at eaves:

roof/attic	R-38	11" blown-in cellulose
roof/attic	R-38	16" blown-in fiberglass
roof	R-43.75	7" sprayed-on urethane

where uncompressed insulation does not extend over the wall top plate at eaves:

roof/attic	R-50	16.4" blown-in cellulose
roof/attic	R-49	20" blown-in fiberglass
roof	R-50	8" sprayed-on urethane

WALLS:

interior stud walls	R-11	3 1/2" blown-in
interior bathroom walls	R-11	3 1/2" blown-in
basement walls (exterior)	R-10/13	2 1/8" styrofoam perimate

FLOORS:

unheated below	R-30	10" blown-in
heated below	R-11	3 1/2" blown-in

7.4 Foam all exterior doors, windows and penetrations thru exterior walls.
7.5 Provide EPDM building gaskets behind drywall edge at top plates, bottom plates, around windows and doors, and in gap between window/door bucks and framing. Resource Conservation Technology, Baltimore, Maryland, or approved equal.
Drywall BG32
Window.Door Bucks BG44 - BG46

ROOF AND WATERPROOFING:
Roofing shall be done only by an experienced roofing contractor. Roof foreman shall discuss installation of flashing and application of roofing with Architect prior to beginning work. General Contractor shall guarantee roof against leaking for two years with the signing of this contract.
7.6 Provide bituthane "Ice & Water Guard" below all roofing. Up-slope materials must lap over down-slope material by minimum 2" if needed.
7.7 Membrane Roofing to match existing or approved equal.
7.8 All flashings to be roll formed 24 gauge hot dipped galvanized steel with 20 year Kynar 500 finish. Color to match adjacent materials.
7.9 Foundation to be damp-proofed/water-proofed with spray applied asphaltic mastic. Provide glass fab at all inside corners.
7.10 All caulking to be "DAP" 35 year or equal. Color to match adjacent material finish.

DIVISION 8 - DOORS, WINDOWS AND GLASS:

Contractor shall supply and install all doors, windows, and glazing as shown, scheduled, detailed, and/or specified in these documents. U-values for exterior fenestration (windows & doors) shall be a maximum of 0.36. Installed windows & doors shall meet or exceed this requirement and be individually labeled.

DOORS:
8.1 All historic Exterior doors to be rehabilitated and repaired as needed; refer to NPS Preservation Brief #11 Rehabilitating Historic Storefronts; #47 Maintaining the Exterior of Small and Medium Size Historic Buildings
8.2 Interior doors to be rehabilitated and repaired as needed.
8.3 All doors to be equipped with hardware in manufacturer, style and function to match existing as selected by Owner.
8.4 All hardware must meet requirements of the International Building Code (IBC 2015) and the Americans with Disabilities Act (ADA 2010).

WINDOWS:
8.5 All windows to be cleaned and repaired as needed. Refer to NPS Historic Preservation Brief #9 The Repair of Historic Wooden Windows. Any replacement work to be done in-kind, to match existing.
8.6 Mirrors to be 1/4" plate glass. Final selection to be determined by Interior Designer.
8.7 Glass shower doors to determined by Interior Designer.
8.8 Provide and Install interior windows with blinds to match existing interior windows as approved by Owner and determined by Interior Designer.

DIVISION 9 - INTERIOR FINISHES:

Contractor shall provide all materials and labor to finish rooms and building exterior, as shown, noted, scheduled or specified in these documents.

9.1 Drywall to be 5/8" thick taped, filled, and sanded. Firecode drywall, where required shall be 5/8" thick on walls and ceilings, taped, filled, and sanded. Firecode drywall is required over foam insulation. Water resistant drywall, "Blueboard", is required in damp locations. Tile backer board, "Wonderboard", is required in showers and tile baths. Provide square metal bead at all outside and inside corners, and J or L mold at all edges.
9.2 Provide 5/8" firecode drywall at following locations and where shown on drawings: below basement stairs
9.3 Provide fire taped, no finish, drywall behind all wood paneling, FRP, and other face applied wall surfaces.
9.4 Refer to Finish Schedule in drawings for finish selections.

FINISHES:
9.5 Drywall texture to match existing historic plaster walls and ceilings. Refer to NPS Preservation Brief #21 Repairing Historic Flat Plaster - Walls and Ceilings.
9.6 Repair all beam work, trim around doors, windows and base trim as needed.
9.7 Patch and repair existing walls, trim and flooring using materials and finishes to match existing.
9.8 Provide and Install Floor that matches existing floor. Thinset application in accordance with manufacturer's recommendations. Provide for Owner's use a minimum of 2% of the primary sizes and colors of tiles used, boxed and clearly labeled.
9.9 Ceramic tile to be supplied and installed by contractor with all bullnose, base, features, accessories, and corners required. Layout of field tiles to be centered on wall panels. Joints of all features to be precisely aligned with field tiles. Tile setter to review layout of tile work with Architect/Interior Designer prior to beginning work. Coordinate tile layout with the locations of electrical outlets and switch boxes with General Contractor before beginning work.
9.10 Wood Flooring on a framed deck to be layed over a smooth, scraped, and clean surface. Wood Flooring to be handled as a "Materials and Labor" Allowance.
9.11 Rubber base to be Johsonite Mandalay in black if needed.
9.12 Wood paneling to be determined by Interior Designer. Commercial only, Flamespread Stack and sticker, pre-stained, store wood paneling inside heated space minimum 10 days prior to installation to minimize shrinkage.
9.13 For metal tin ceiling repairs and replacement refer to NPS Preservation Brief #49 Historic Decorative Metal Ceilings and Walls: Use, Repair and Replacement. All tin ceilings need to be rehabilitated, repaired and replaced in-kind.

PAINTING AND CLEAR COAT FINISH WORK:
All painting and varnish work shall consist of minimum two (2) coats of the highest quality workmanship, free of runs and sags with straight cuts. Additional coats as required below. Where painting occurs over existing work, one opaque white coat shall precede two (2) coats of color. All stain shall be one (1) coat except as noted below.

All primer, paint, and stain to be non-toxic, solvent-free products. Submit product specifications to Architect for approval.

Contractor to supply sample of stain on specimen of actual wood specified for approval of Architect before proceeding with work.

For all existing painted and stained wood trim, doors, windows and base refer to NPS Preservation Briefs #10 Exterior Paint Problems on Historic Woodwork; #28 Painting Historic Interiors.

9.14 If needed, interior Beams and trim (windows, doors and base trim) to receive 1 coat pre-stain conditioner, 1 coat pre-installation stain, including back-staining, 1 coat stain after installation. (to receive 1 coat oil based primer, 2 coats latex enamel)
9.15 If needed, Interior walls and ceilings to receive 1 coat primer and 2 coats acrylic latex - see Finish Schedule.
9.16 Interior shelving to receive 1 coat primer and 2 coats acrylic latex - satin finish.
9.17 If needed, interior window, door and miscellaneous wood trim to receive 1 coat pre-conditioner, 1 coat stain and 2 coats spray lacquer or brush applied polyurethane with satin finish. (to receive 1 coat oil based primer, 2 coats latex enamel)
9.18 If needed, exterior doors to be sealed top, bottom, and all sides. Doors to receive 1 coat pre-conditioner, 1 coat stain and 2 coats spray lacquer or brush applied polyurethane with satin finish. (to receive 1 coat oil based primer, 2 coats latex enamel)
9.19 Wood handrails to receive 1 coat pre-conditioner, 1 coat stain and 2 coats spray lacquer or brush applied polyurethane with UV protective clear eggshell finish. (to receive 1 coat oil based primer, 2 coats latex enamel)
9.20 Wood cabinets to be prefinished by cabinet manufacturer with final coat/touch-up coat applied at site by cabinet supplier/installer.
9.21 Millwork to receive 1 coat pre-conditioner, 1 coat stain and 2 coats spray lacquer or brush applied polyurethane with satin finish. (to receive 1 coat oil based primer, 2 coats latex enamel)

DIVISION 10 - SPECIALTY ITEMS:

Contractor shall provide all labor and materials to install the specialty items shown, noted, or specified in these documents. Alternate hardware may be proposed. Request for substitution must be accompanied by complete HARDWARE SCHEDULE and "cut sheet" and product specification on each item, for approval of Architect. All hardware must meet requirements of the International Building Code (IBC 2015) and the Americans with Disabilities Act (ADA 2010).

10.1 Refer to Hardware Schedule for additional items required. Door Hardware to be handled as a "Materials Only" Allowance. Detailed door hardware requirements will be provided by Interior Designer.
10.2 Hotel bath accessories and kitchen accessories shall be by Interior Designer. Refer to Interior Elevations for items required. Bath accessories and kitchen accessories to be handled as a "Materials Only" Allowance.
10.3 Commercial Kitchen appliances will be provided by tenant.

DIVISION 11 - EQUIPMENT:

Contractor shall provide all labor and materials to install equipment shown, noted, or specified in these documents.

11.1 Residential equipment and appliances: Refer to Appliance Schedule for specified items. Residential equipment and appliances to be handled as a "Materials Only" Allowance. Detailed Residential equipment and appliances requirements will be provided by Interior Designer.
Alternate appliance package may be proposed. Request for substitution must be accompanied by complete appliance schedule and "cut sheet" on each appliance, for approval of Architect.
Warranty documents on all equipment and appliances shall be made out in Owner's name and presented to Owner prior to final payment.
11.2 Pre-finished wood cabinets: Refer to Floor Plans and Interior Elevations for items required.
Wood cabinets to be handled as a "Materials Only" Allowance. Detailed wood cabinet requirements will be provided by Interior Designer.
Provide all backing and filler items prefinished to match cabinets.
Alternate cabinet package may be proposed. Request for substitution must be accompanied by complete cabinet schedule listing each unit, its size, and comparative product specifications, for approval of Architect. Adjustment to floor plan dimensions resulting from substitution are the responsibility of the General Contractor (GC).

DIVISION 11 - EQUIPMENT:
Contractor shall provide all labor and materials to install equipment shown, noted, or specified in these documents.

11.1 Equipment and appliances: Refer to Appliance Schedule for specified items.
Alternate appliance package may be proposed. Request for substitution must be accompanied by a complete appliance schedule and "cut sheet" on each appliance, for approval of Architect.
Warranty documents on all equipment and appliances shall be made out in Owner's name and presented to Owner prior to final payment.
11.2 Pre-finished wood cabinets: Refer to Floor Plans and Interior Elevations for items required.
Detailed wood cabinet requirements will be provided by Interior Designer.
Provide all backing and filler items pre-finished to match cabinets.

Alternate cabinet package may be proposed. Request for substitution must be accompanied by complete cabinet schedule listing each unit, its size, and comparative product specifications, for approval of Architect. Adjustment to floor plan dimensions resulting from substitution are the responsibility of the General Contractor (GC).

DIVISION 12 - FURNISHINGS:

12.1 Furnishings provided by Owner, determined by Interior Designer.

DIVISION 13 - SPECIAL CONSTRUCTION: NOT USED

DIVISION 14 - CONVEYING SYSTEMS: NOT USED

DIVISION 15 - MECHANICAL AND PLUMBING: REFER TO MP DRAWINGS

DIVISION 16 - ELECTRICAL: REFER TO ELECTRICAL DRAWINGS

THESE DRAWINGS DO NOT INCLUDE THE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY.

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SPECIFICATIONS

STATE OF COLORADO
WILLIAM JOSEPH RANGITSCH
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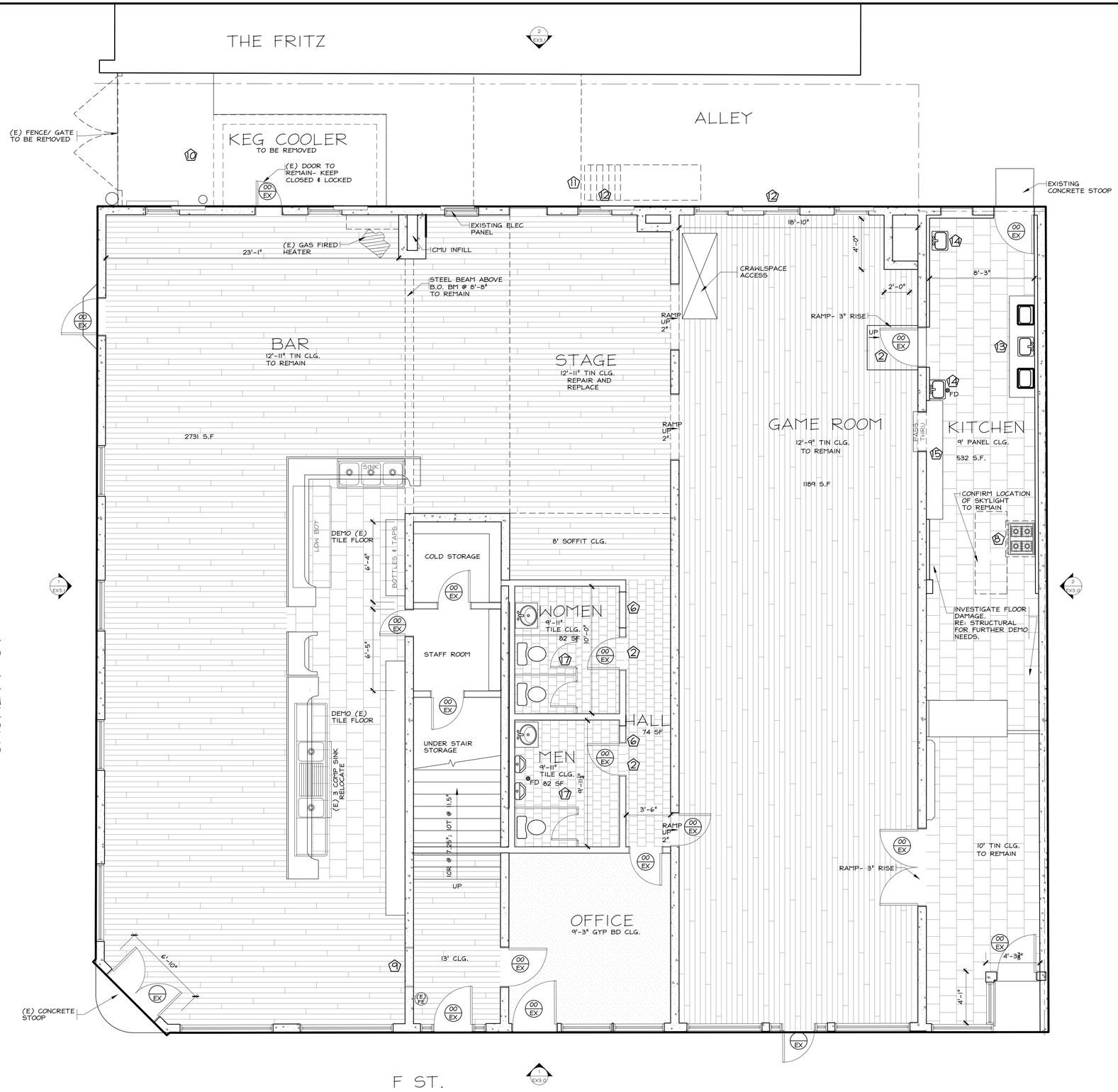
STEAMBOAT ARCHITECTURAL ASSOCIATES

A Renovation of the
Victoria Hotel & Tavern
143 N. F Street
Salida, Colorado 81201

12 SEPT 22

A0.1

21-03



1 EXISTING MAIN LEVEL/ DEMO PLAN

1/4" = 1'-0"
SEE A1.0

WALL LEGEND

- EXISTING PARTITION WALL TO REMAIN
- EXISTING PARTITION WALL TO REMOVED/ DEMOLISHED
- NEW PARTITION WALL TO BE CONSTRUCTED

DEMO KEYNOTES

1. REMOVE EXISTING PARTITION WALL- PLATES, STUDS, GYPSUM BOARD, AND ALL ASSOCIATED TRIM
2. REMOVE EXISTING DOOR. ASSOCIATED TRIM AND CASING TO REMAIN AT RE-USED OPENINGS. INFILL OPENING OR PREPARE FOR NEW.
3. REMOVE EXISTING BATH FIXTURES, COUNTER, CASEWORK, FLOORING AND PREPARE FOR NEW.
4. REMOVE EXISTING REFRIGERATOR, RANGE, SINK, & COUNTERS. COORDINATE WITH OWNER TO RE-FINISH CABINETS AND RE-INSTALL WITH NEW SINK & COUNTER.
5. REMOVE EXISTING WATER CLOSET
6. DEMO WALL FOR NEW OPENING
7. DEMO/ REMOVE EXISTING SINK
8. DEMO/ REMOVE EXISTING RANGE/ COOKTOP
9. EXISTING INFILLED OPENING TO BE RE-MOVED FOR NEW DOOR
10. DEMO/ REMOVE EXISTING WALK-IN COOLER WALLS, FLOOR, CEILING, AND ROOF. INFILL EXISTING DOOR OPENING
11. DEMO/ REMOVE EXISTING STAIR TO LOWER LEVEL AND ASSOCIATED RUBBLE WALLS
12. DEMO EXISTING OPENING AND PREPARE FOR NEW DOOR
13. DEMO/ REMOVE EXISTING 3 COMP SINK
14. DEMO/ REMOVE EXISTING HAND SINK
15. DEMO/ REMOVE EXISTING SHELVING AND ASSOCIATED HARDWARE
16. DEMO/ REMOVE EXISTING DECK AND ASSOCIATED STRUCTURE.
17. PREPARE SPACE FOR NEW FINISHES AND FIXTURES
18. EXISTING DOOR, TRIM AND HARDWARE TO REMAIN. HARDWARE HOWEVER NEEDS TO BE INOPERABLE AND LOCKED.
19. REMOVE AND SAVE EXISTING DOOR AND HINGES, TRIM CASEWORK, ETC TO REMAIN

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EXISTING MAIN LEVEL/ DEMO PLAN

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12 SEPT 22

EX2.1

21-03

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EX2.1
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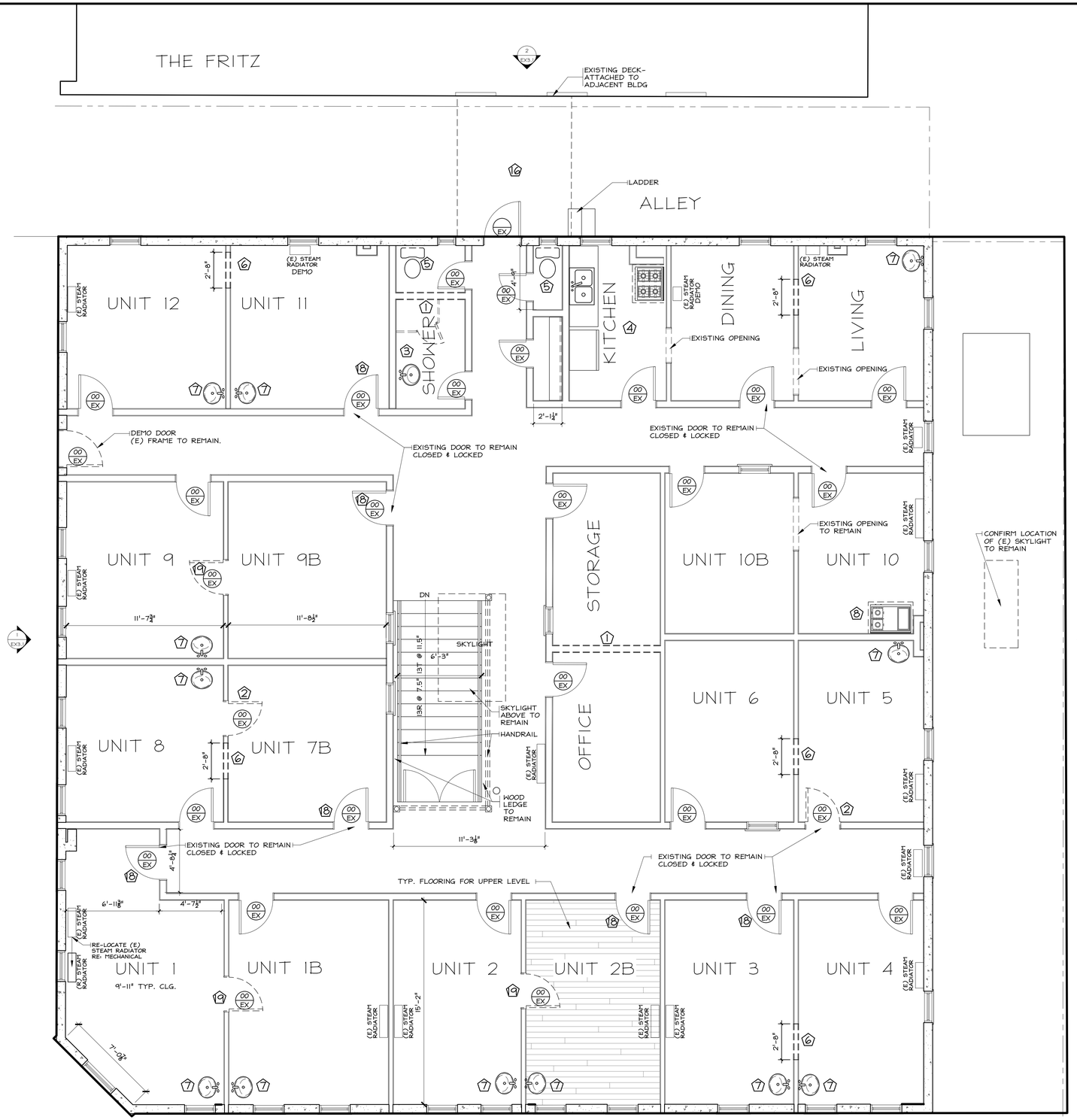

WALL LEGEND

- EXISTING PARTITION WALL TO REMAIN
- EXISTING PARTITION WALL TO REMOVED/ DEMOLISHED
- NEW PARTITION WALL TO BE CONSTRUCTED

DEMO KEYNOTES

1. REMOVE EXISTING PARTITION WALL- PLATES, STUDS, GYPSUM BOARD, AND ALL ASSOCIATED TRIM
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10. DEMO/ REMOVE EXISTING WALK-IN COOLER WALLS, FLOOR, CEILING, AND ROOF. INFILL EXISTING DOOR OPENING
11. DEMO/ REMOVE EXISTING STAIR TO LOWER LEVEL AND ASSOCIATED RUBBLE WALLS
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19. REMOVE AND SAVE EXISTING DOOR AND HINGES, TRIM CASEWORK, ETC TO REMAIN

1 EXISTING UPPER LEVEL/ DEMO PLAN

1/4" = 1'-0"
SEE A1.0

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EXISTING UPPER LEVEL/ DEMO PLAN

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12 SEPT 22

EX2.2

21-03

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1 EXISTING WEST ELEVATION

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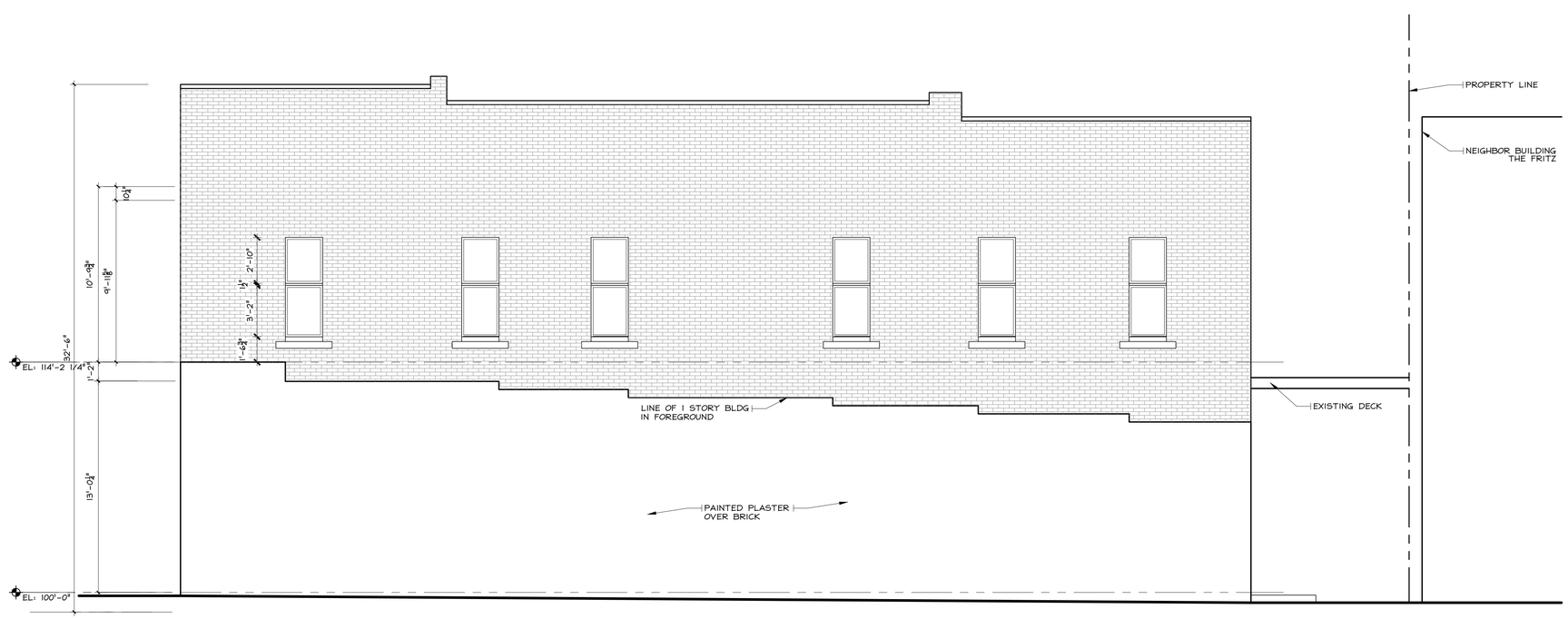
SEE A1.0



2 EXISTING SOUTH ELEVATION

1/4" = 1'-0"
SEE A1.0

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EXISTING WEST ELEVATION
EXISTING SOUTH ELEVATION

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22 SEPT 12

EX3.0

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EX3.0

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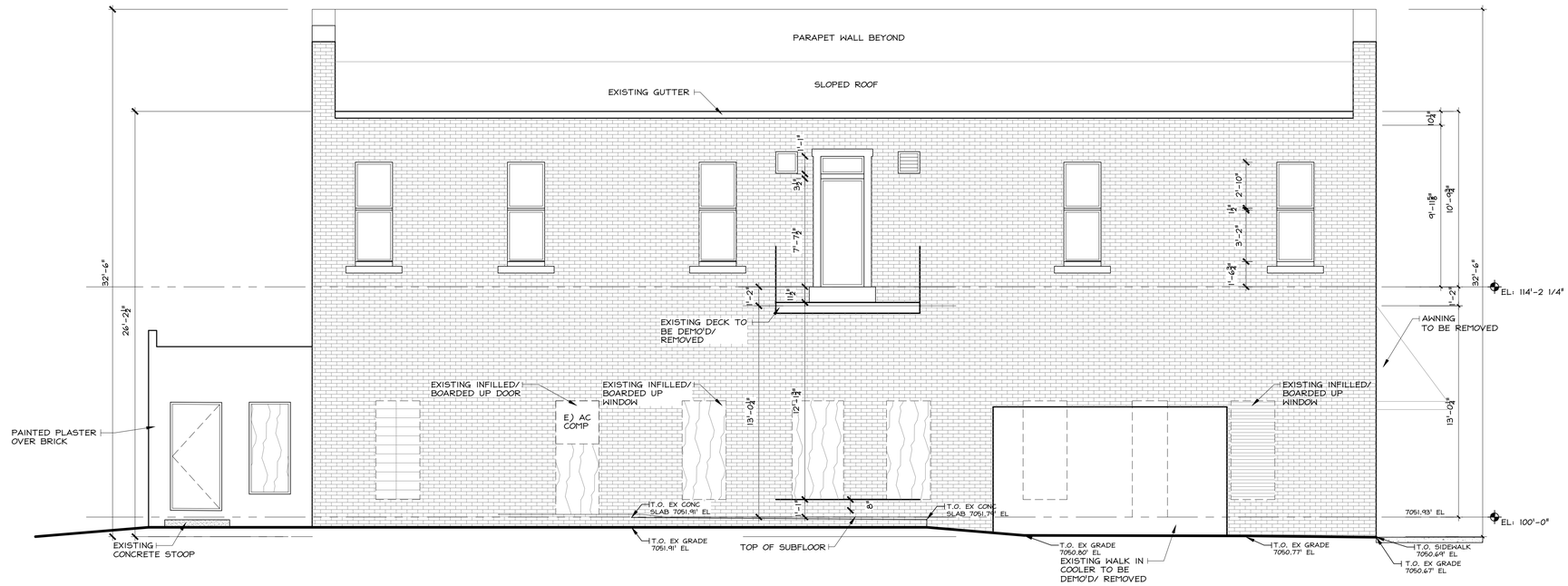

1 EXISTING EAST ELEVATION

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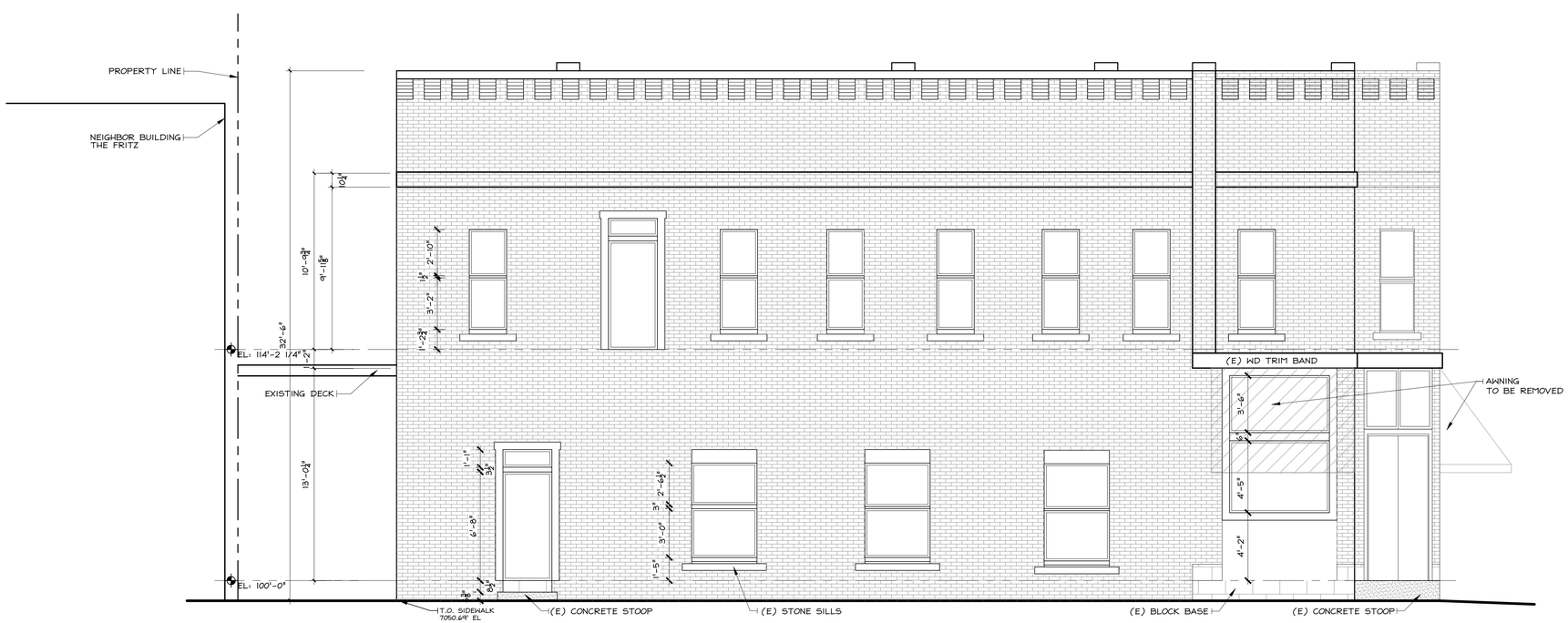
SEE A1.0



2 EXISTING NORTH ELEVATION

1/4" = 1'-0"
SEE A1.0

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EXISTING EAST ELEVATION
EXISTING NORTH ELEVATION

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22 SEPT 12

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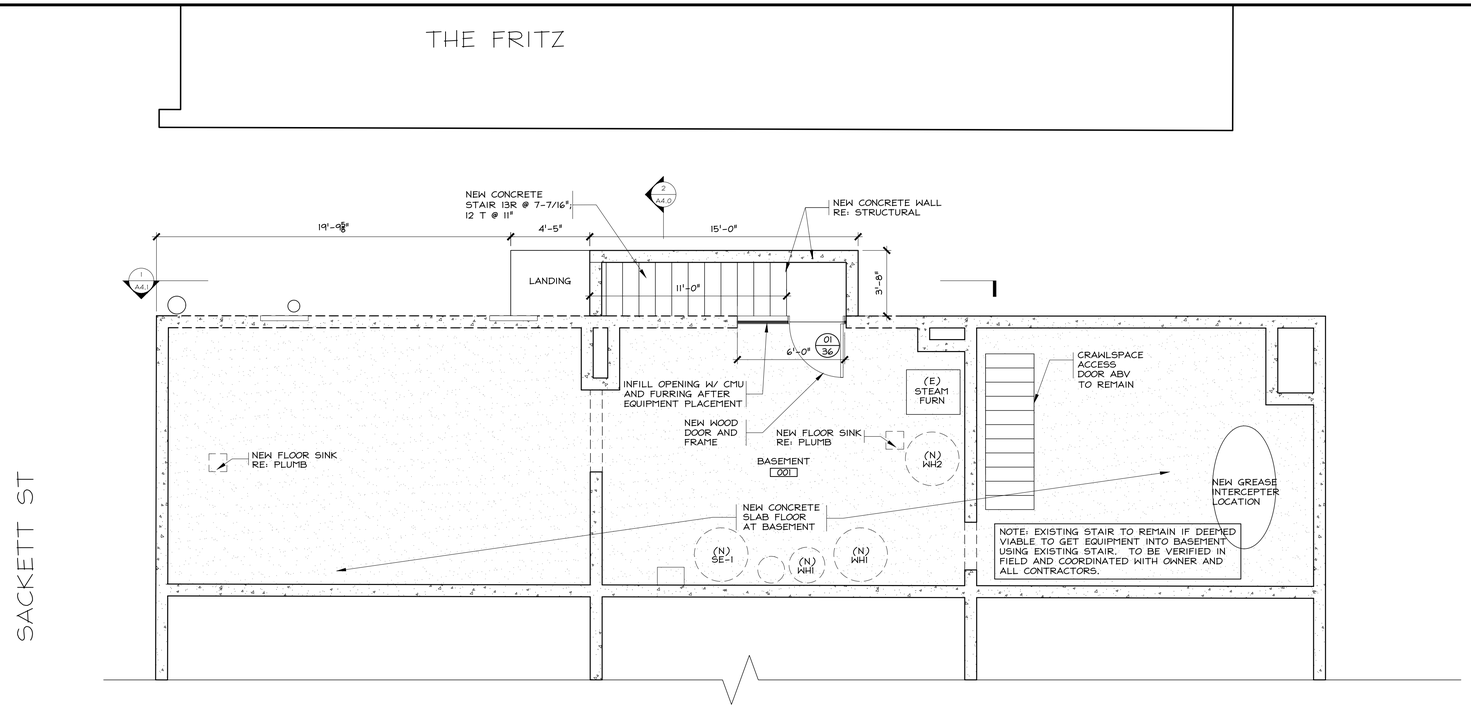

1 LOWER LEVEL PLAN

1/4" = 1'-0"
SEE A1.0

Oak Creek, Colorado
970.879.0819
saa@steamboatarchitectural.com

DOOR SCHEDULE

PROPOSED DOORS											
MARK	ELEV	FRAME	HDW	SIZE W	X	H	X	T	ROOM NUMBER	ROOM NAME	REMARKS
BASEMENT LEVEL											
01				3'-0"	X	7'-0"	X	1 3/4"	001	BASEMENT	NEW HYDRAULIC EXTERIOR DOOR

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PROPOSED LOWER LEVEL PLAN

STATE OF COLORADO
WILLIAM JOSEPH RANGITSCH
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STEAMBOAT ARCHITECTURAL ASSOCIATES

A Renovation of the
Victoria Hotel & Tavern

143 N. F Street
Salida, Colorado 81201

12 SEPT 22

A2.0

21-03

A2.0

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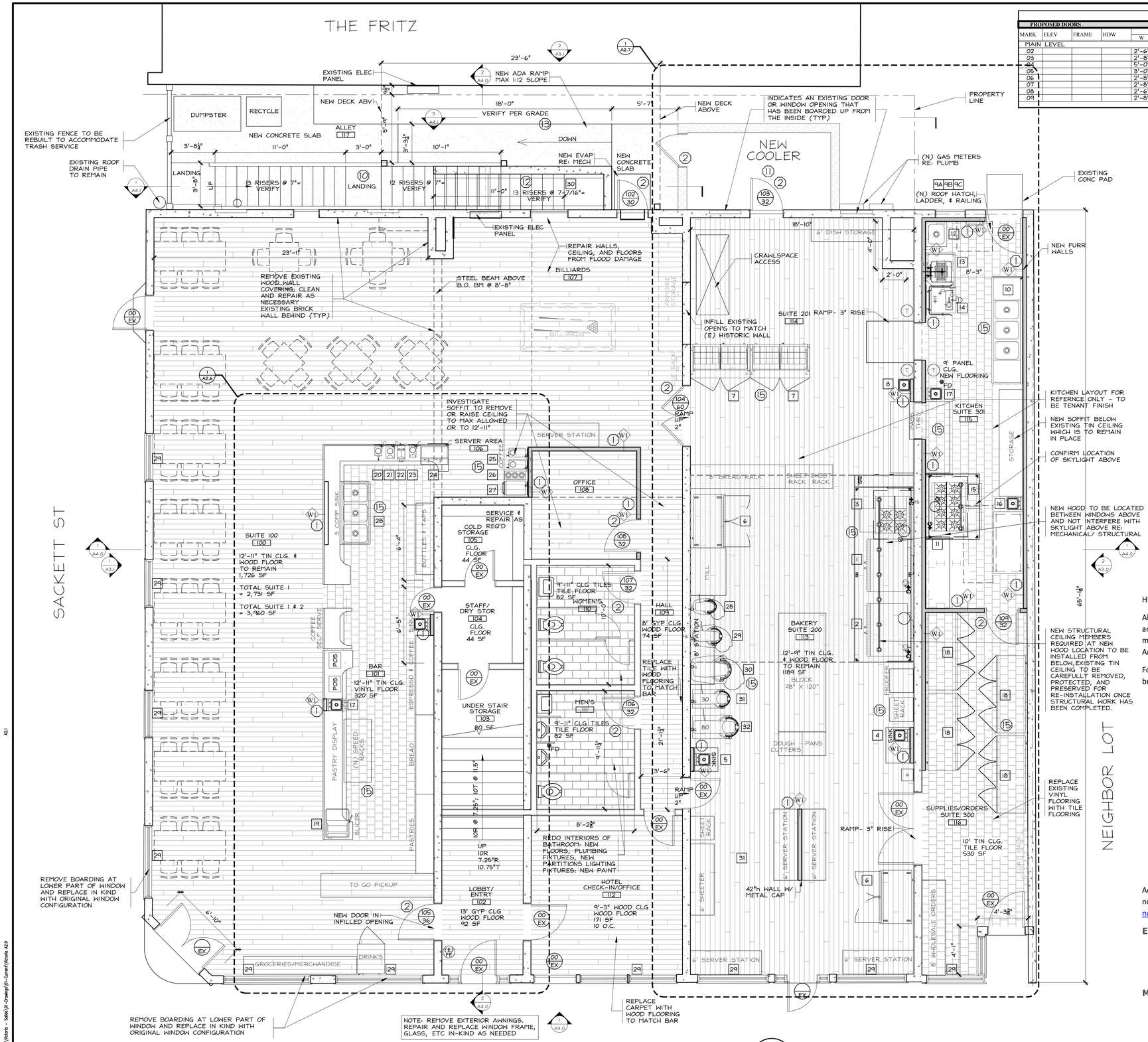

1 MAIN LEVEL PLAN

1/4" = 1'-0"
SEE A1.0

NOTE: ELECTRICAL

EXISTING ELECTRICAL WILL BE ABANDONED, INCLUDING POSSIBLY SOME KNOB AND TUBE. THERE IS NOT ADEQUATE ACCESS INTO THE EXISTING WALLS WITH THE PLASTER, NOR IS THERE THE ABILITY TO FISH THROUGH THE WALLS. IN AREAS WHERE EXTERNAL CONDUIT IS PROVIDED, IT WILL AS HIDDEN AS POSSIBLE, RUN DOWN AT THE BASEBOARD LEVEL OR UP IN THE WALL/ CEILING CONNECTION AND WILL POP UP NEEDED TO SUPPLY REQUIRED OUTLETS AND LIGHTING.

DOOR SCHEDULE

PROPOSED DOORS

MARK	ELEV	FRAME	HDW	SIZE W	X	H	X	T	NUMBER	ROOM NAME	REMARKS
MAIN LEVEL											
02				2'-6"	X	7'-0"	X	1 3/4"	107	BILLIARDS	EXTERIOR DOOR
03				2'-8"	X	7'-0"	X	1 3/4"		COOLER	NEW REFRIG. DOOR PER COOLER MANUF.
04				5'-0"	X	7'-0"	X	1 3/4"	107	BILLIARDS	DOUBLE SWING DOOR
05				3'-0"	X	7'-0"	X	1 3/4"	102	NIGHTLY RENTAL ENTRY	RE-OPEN PREVIOUS OPENING
06				2'-8"	X	7'-0"	X	1 3/4"	111	MEN'S RESTROOM	RELOCATED BATH DOOR
07				2'-8"	X	7'-0"	X	1 3/4"	110	WOMEN'S RESTROOM	RELOCATED BATH DOOR
08				2'-6"	X	7'-0"	X	1 3/4"	108	OFFICE	
09				2'-8"	X	7'-0"	X	1 3/4"	116	SUITE 300	

RENOVATION KEYNOTES

1. NEW FRAME PARTITION WALLS, NON RATED- REFER TO ROOM FINISH SCHEDULE FOR WALL FINISH
   W1 RE: WALL TYPES 4/A4.1
2. NEW DOOR
3. NEW CASED OPENING
4. RELOCATED DOOR
5. NEW TYPE 1 BATHROOM- NEW DOUBLE LAVATORY, BASE CABINET W/ COUNTERTOP, WATER CLOSET, SHOWER, WALL MIRROR, AND FLOORING. SEE DETAIL 1,2/A4.2
6. NEW TYPE 2 BATHROOM- NEW SINGLE LAVATORY, BASE CABINET W/ COUNTERTOP, WATER CLOSET, SHOWER, WALL MIRROR, AND FLOORING. SEE DETAIL 3,4/A4.2
7. NA
8. NEW KITCHENETTE- WITH DOUBLE SINK/ DISHWASHER, REFRIGERATOR, AND 34" HIGH COUNTERTOP. COORDINATE WITH OWNER TO RE-FINISH/ RE-USE EXISTING CABINETS.
9. NEW UPPER LEVEL DECK W/ NEW RAILING PER CODE
10. NEW STAIR FROM NEW DECK TO GRADE
11. NEW WALK IN COOLER, COORDINATE WITH MANUFACTURER
12. NEW STAIR FROM GRADE TO LOWER LEVEL
13. NEW CONCRETE RAMP/ FLATWORK @ NEW ALLEY ENTRY
14. NA
15. NEW EQUIPMENT PER A2.6/ A2.7 EQUIPMENT PLANS AND EQUIPMENT SCHEDULE

HISTORIC PRESERVATION NOTES

All historic finishes – floors, windows, doors, stairs, ceilings, wall radiators, etc. during construction. Any area not noted as work area needs to be protected. If any repairs need to be made, they should be in-kind, matching existing. Finishes within the work area that are not part of work scope should also be protected. Any replacement or repairs done to historic finishes need to be in-kind/match original.

For Reference, review the following Preservation Briefs when repairing or replacing historic finishes. These briefs can be provided by the architect or by going to https://www.nps.gov/tps/how-to-preserve/briefs.htm

1. 1- **Cleaning and Water-Repellent Treatments** for Historic Masonry Buildings
2. 2- **Repointing Mortar Joints** in Historic Masonry Buildings
3. 6- **Dangers of Abrasive Cleaning** to Historic Buildings
4. 9- The Repair of Historic **Wooden Windows**
5. 10- Exterior **Paint Problems** on Historic Woodwork
6. 11- Rehabilitating Historic **Storefronts**
7. 18- Rehabilitating **Interiors** in Historic Buildings—Identifying Character-Defining Elements
8. 21- Repairing Historic **Flat Plaster**—Walls and Ceilings
9. 24- **Heating, Ventilating, and Cooling** Historic Buildings: Problems and Recommended Approaches
10. 28- **Painting** Historic Interiors
11. 47- **Maintaining the Exterior** of Small and Medium Size Historic Buildings
12. 49- **Historic Decorative Metal Ceilings and Walls:** Use, Repair, and Replacement

Additional support can be found in the Preservation Tech Notes, see below for applicable solutions. These notes can be provided by the architect or by going to https://www.nps.gov/tps/how-to-preserve/tech-notes.htm

Exterior Woodwork

1. 1- Proper **Painting and Surface Preparation**. Sharon Park, AIA. 1986.
2. 2- Paint Removal from **Wood Siding**. Alan O'Bright. 1986.
3. 4- Protecting Woodwork Against Decay Using **Borate Preservatives**. Ron Sheetz and Charles Fisher. 1993.

Masonry

1. 1- **Substitute Materials**: Replacing Deteriorated Serpentine Stone with Pre-Cast Concrete. Robert M. Powers. 1988.
2. 4- Non-destructive **Evaluation Techniques** for Masonry Construction. Marilyn E. Kaplan, Marie Ennis and Edmund P. Meade. 1997.

Temporary Protection

1. Temporary Protection of Historic **Stairways**. Charles Fisher. 1985.
2. Specifying Temporary Protection of Historic **Interiors During Construction** and Repair. Dale H. Frens. 1993.

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PROPOSED MAIN LEVEL PLAN

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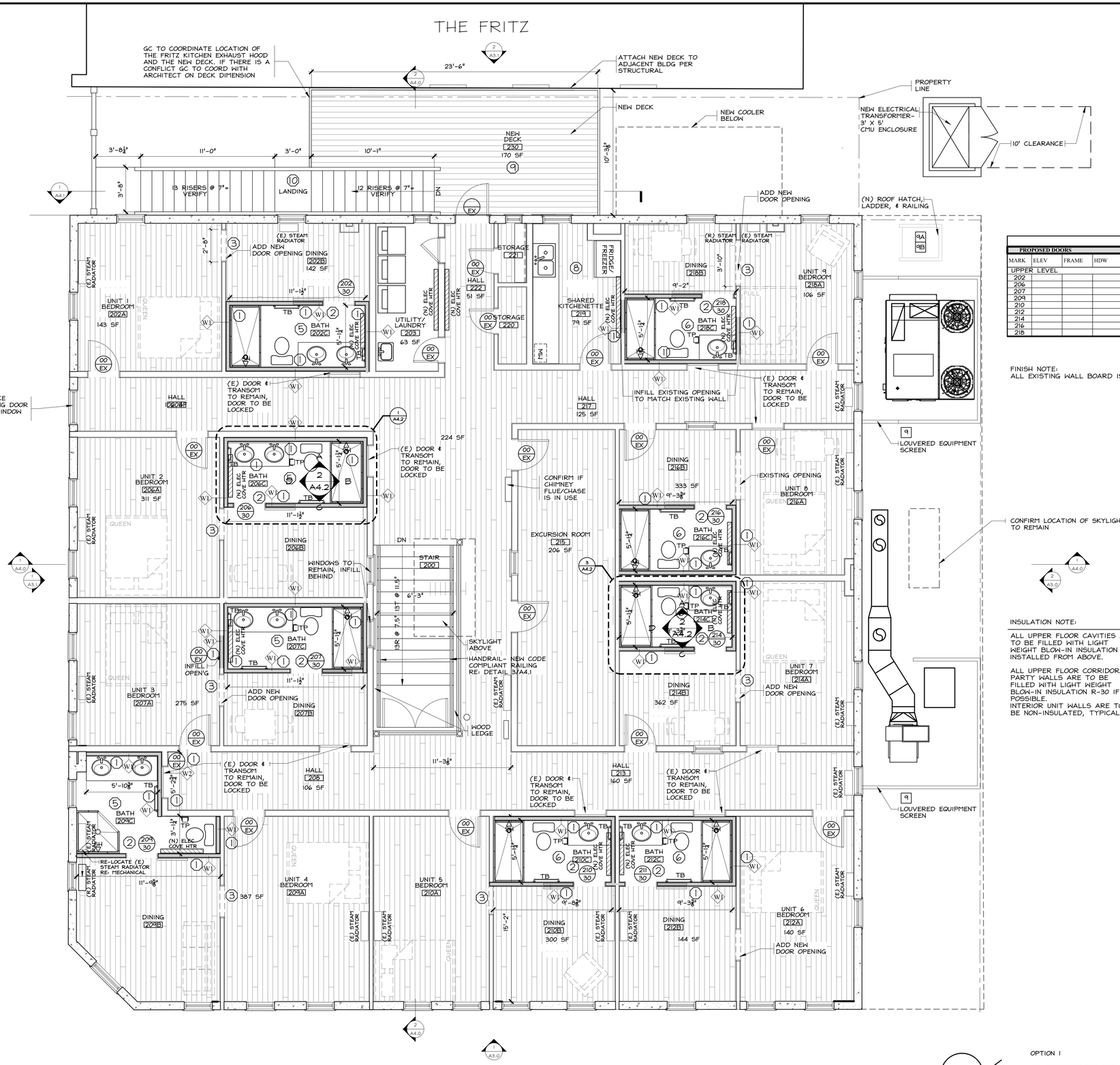

DOOR SCHEDULE

PROPOSED DOORS

MARK	ELEV	FRAME	HDW	SIZE W	X	H	X	T	ROOM NUMBER	ROOM NAME	REMARKS
UPPER LEVEL											
202				2'-6"	X	7'-0"	X	1 3/4"	202C	UNIT 1- 202C BATH	BARN SLIDER
206				2'-6"	X	7'-0"	X	1 3/4"	206C	UNIT 2- 206C BATH	BARN SLIDER
207				2'-6"	X	7'-0"	X	1 3/4"	207C	UNIT 3- 207C BATH	BARN SLIDER
209				2'-6"	X	7'-0"	X	1 3/4"	209C	UNIT 4- 209C BATH	BARN SLIDER
210				2'-6"	X	7'-0"	X	1 3/4"	210C	UNIT 5- 210C BATH	BARN SLIDER
212				2'-6"	X	7'-0"	X	1 3/4"	212C	UNIT 6- 212C BATH	BARN SLIDER
214				2'-6"	X	7'-0"	X	1 3/4"	214C	UNIT 7- 214C BATH	BARN SLIDER
216				2'-6"	X	7'-0"	X	1 3/4"	216C	UNIT 8- 216C BATH	BARN SLIDER
218				2'-6"	X	7'-0"	X	1 3/4"	218C	UNIT 9- 218C BATH	BARN SLIDER

FINISH NOTE:
ALL EXISTING WALL BOARD IS PLASTER

RENOVATION KEYNOTES

1. NEW FRAME PARTITION WALLS, NON RATED- REFER TO ROOM FINISH SCHEDULE FOR WALL FINISH
   W1 RE: WALL TYPES 4/A4.1
2. NEW DOOR
3. NEW CASED OPENING
4. RELOCATED DOOR
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7. NA
8. NEW KITCHENETTE- WITH DOUBLE SINK/ DISHWASHER, REFRIGERATOR, AND 34" HIGH COUNTERTOP. COORDINATE WITH OWNER TO RE-FINISH/ RE-USE EXISTING CABINETS.
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12. NEW STAIR FROM GRADE TO LOWER LEVEL
13. NEW CONCRETE RAMP/ FLATWORK @ NEW ALLEY ENTRY
14. NA
15. NEW EQUIPMENT PER A2.6/ A2.7 EQUIPMENT PLANS AND EQUIPMENT SCHEDULE

INSULATION NOTE:

ALL UPPER FLOOR CAVITIES ARE TO BE FILLED WITH LIGHT WEIGHT BLOW-IN INSULATION INSTALLED FROM ABOVE.

ALL UPPER FLOOR CORRIDOR/ PARTY WALLS ARE TO BE FILLED WITH LIGHT WEIGHT BLOW-IN INSULATION R-30 IF POSSIBLE.
INTERIOR UNIT WALLS ARE TO BE NON-INSULATED, TYPICAL.

OPTION 1

1 UPPER LEVEL PLAN

1/4" = 1'-0"
SEE A1.0

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PROPOSED UPPER LEVEL PLAN

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143 N. F Street
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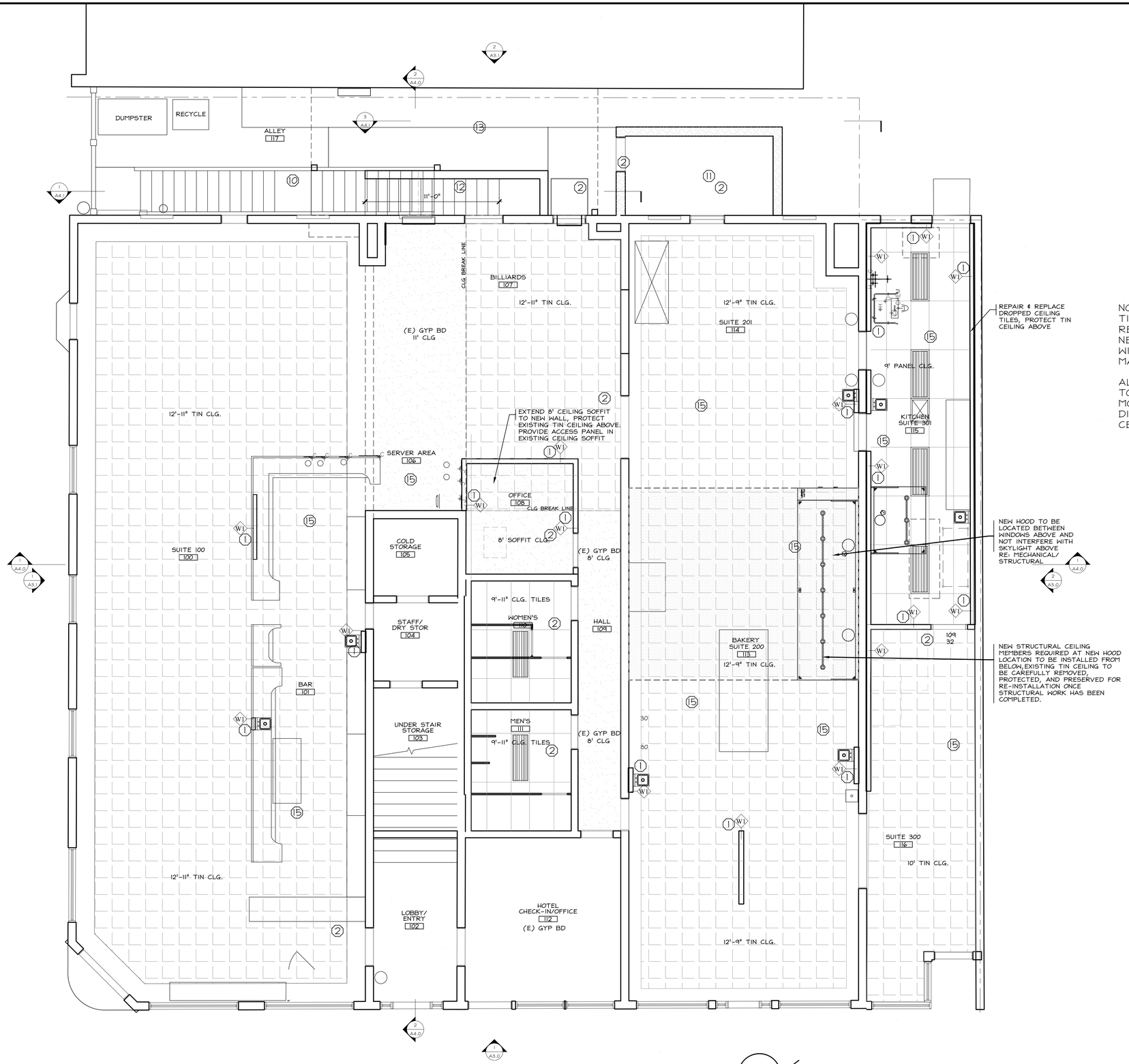

NOTE:
TIN CEILINGS TO BE REPAIRED & IF NECESSARY, REPLACED WITH IN-KIND THAT MATCH TO EXISTING

ALL MEP AND LIGHTING TO BE SURFACE MOUNTED WITH MINIMUM DISTURBANCE TO TIN CEILING AS POSSIBLE

1 MAIN LEVEL REFLECTED CEILING PLAN

1/4" = 1'-0"
SEE A2.1

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PROPOSED MAIN LEVEL
REFLECTED CEILING PLAN

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21-03

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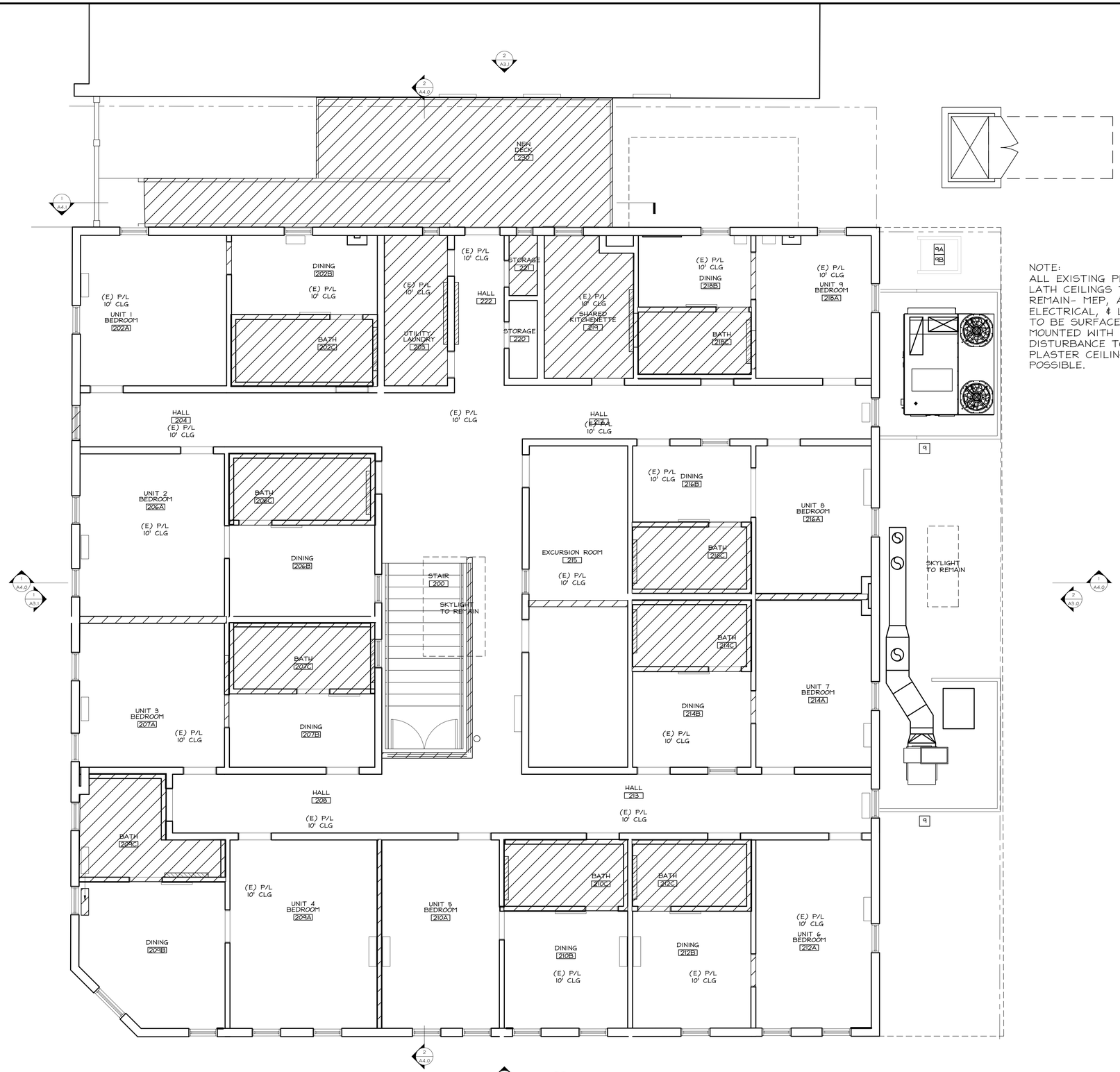

NOTE:
ALL EXISTING PLASTER & LATH CEILINGS TO REMAIN- MEP, ALL ELECTRICAL, & LIGHTING TO BE SURFACE MOUNTED WITH MINIMUM DISTURBANCE TO PLASTER CEILINGS AS POSSIBLE.

N

1 UPPER LEVEL REFLECTED CEILING PLAN

1/4" = 1'-0"
SEE A2.2

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PROPOSED UPPER LEVEL
REFLECTED CEILING PLAN

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Salida, Colorado 81201

12 SEPT 22

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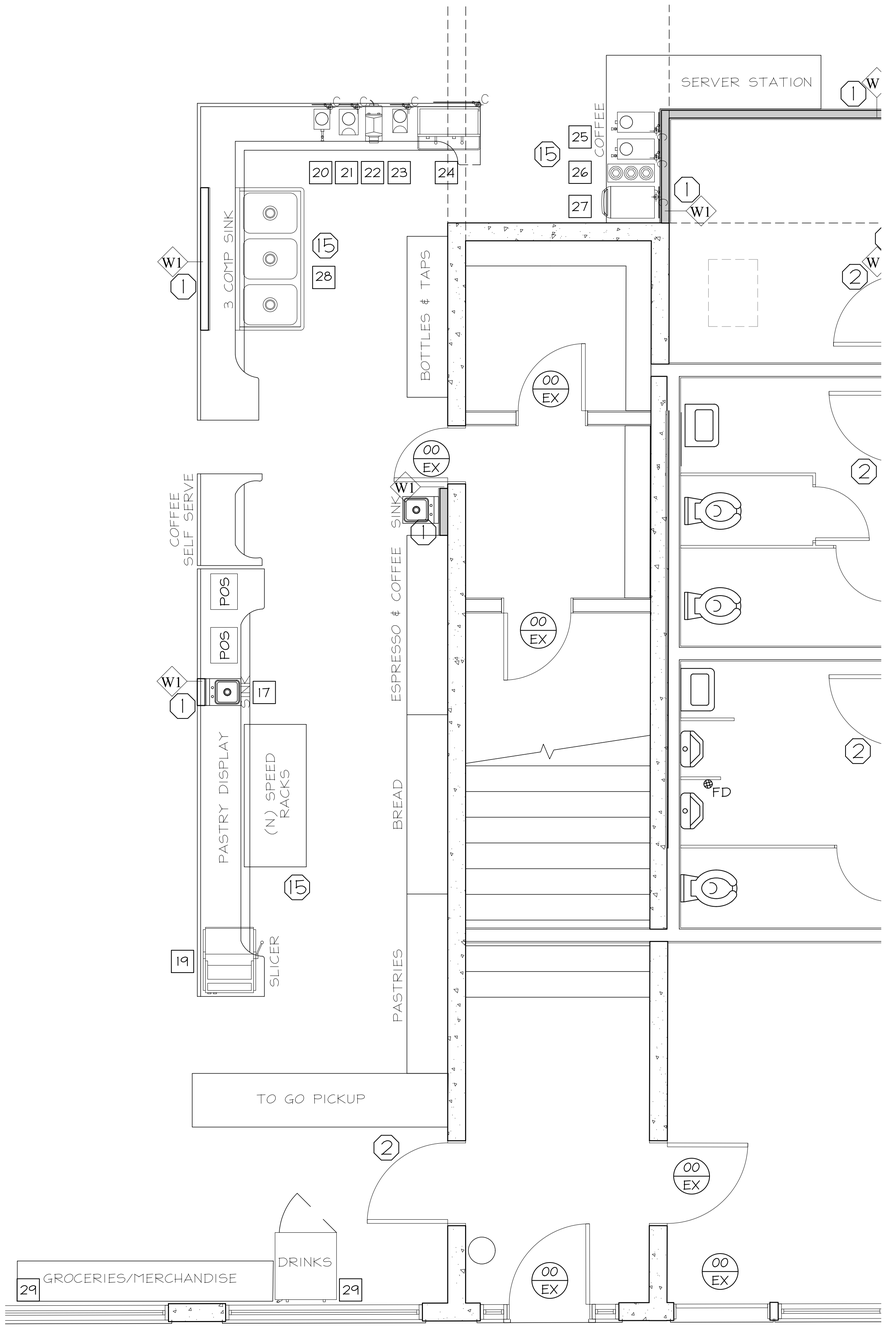

1 ENLARGED BAR EQUIPMENT PLAN

3/8" = 1'-0"
SEE A1.0

saa@steamboatarchitectural.com

APPLIANCE SCHEDULE

MAIN LEVEL

MARK	APPLIANCE	MANUFACTURER	MODEL	COLOR	ROOM NUMBER	ROOM NAME	REMARKS
19	SLICER	OLIVER PRODUCTS CO	711		101	BAR	
20	HOT WATER MACHINE	BUNN	HX2		101	BAR	
21	BEAN GRINDER	NUOVA SIMONELLI	MDX5		101	BAR	
22	BEAN BULK GRINDER	BUNN	G3		101	BAR	
23	EXPRESSO GRINDER	NUOVA SIMONELLI	G60		101	BAR	
24	EXPRESSO MACHINE	LA MARZOCCO	2 GROUP		101	BAR	
25	COFFEE BREWING SYSTEM	FETCO	CBS-2152XTS-2G		106	SERVER AREA	
26	LID DISPENSER	SAN JAMAR			106	SERVER AREA	
27	HOT CHOCOLATE MACHINE	CURTIS CO.			106	SERVER AREA	
28	3 COMP SINK	ADVANCE TABCO		SS	101	BAR	
29	WINDOW SCREENS	INSOLROLL	AURORA	C/B	101	BAR	CHARCOAL/ BRONZE
	WINDOW SCREENS	INSOLROLL	AURORA	C/B	112	PRIVATE DINING	CHARCOAL/ BRONZE
	WINDOW SCREENS	INSOLROLL	AURORA	C/B	113	BAKERY-STE 200	CHARCOAL/ BRONZE
	WINDOW SCREENS	INSOLROLL	AURORA	C/B	116	SUPPLIES/ ORDERS-STE 300	CHARCOAL/ BRONZE
30	STAIRWELL COVER	BILCO	JD-AL-H20	SS	117	ALLEY	DOUBLE DOOR

PAGE 2 OF 2

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ENLARGED BAR EQUIPMENT PLAN

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A Renovation of the
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143 N. F Street
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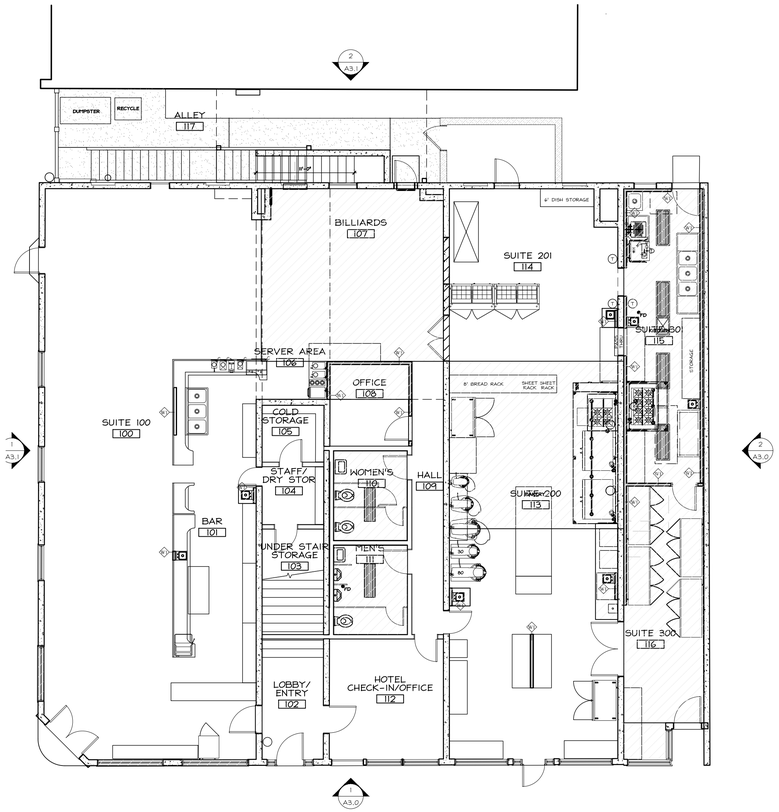
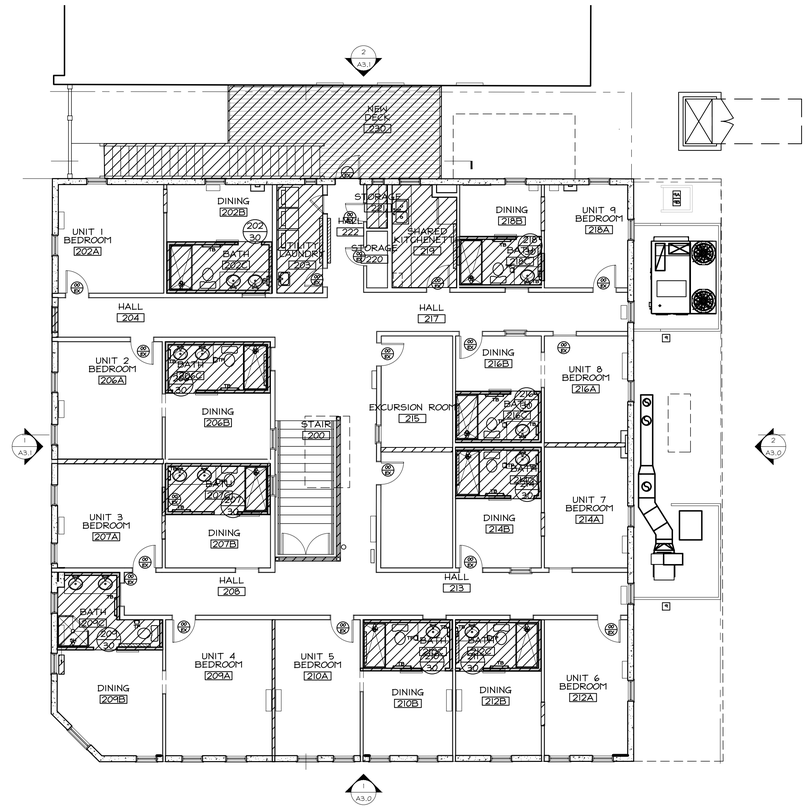


WORK AREA SF = 1574

2 MAIN LEVEL WORK AREA

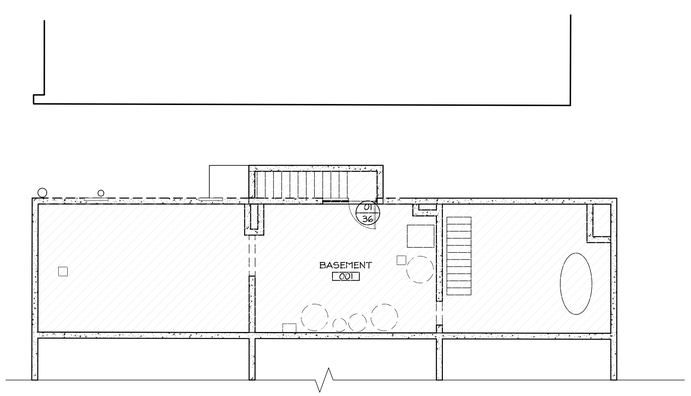
1/4" = 1'-0"
SEE A1.0



WORK AREA SF = 1,047

3 UPPER LEVEL WORK AREA

1/4" = 1'-0"
SEE A1.0



WORK AREA SF = 985

1 LOWER LEVEL WORK AREA

1/4" = 1'-0"
SEE A1.0

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WORK AREA SF

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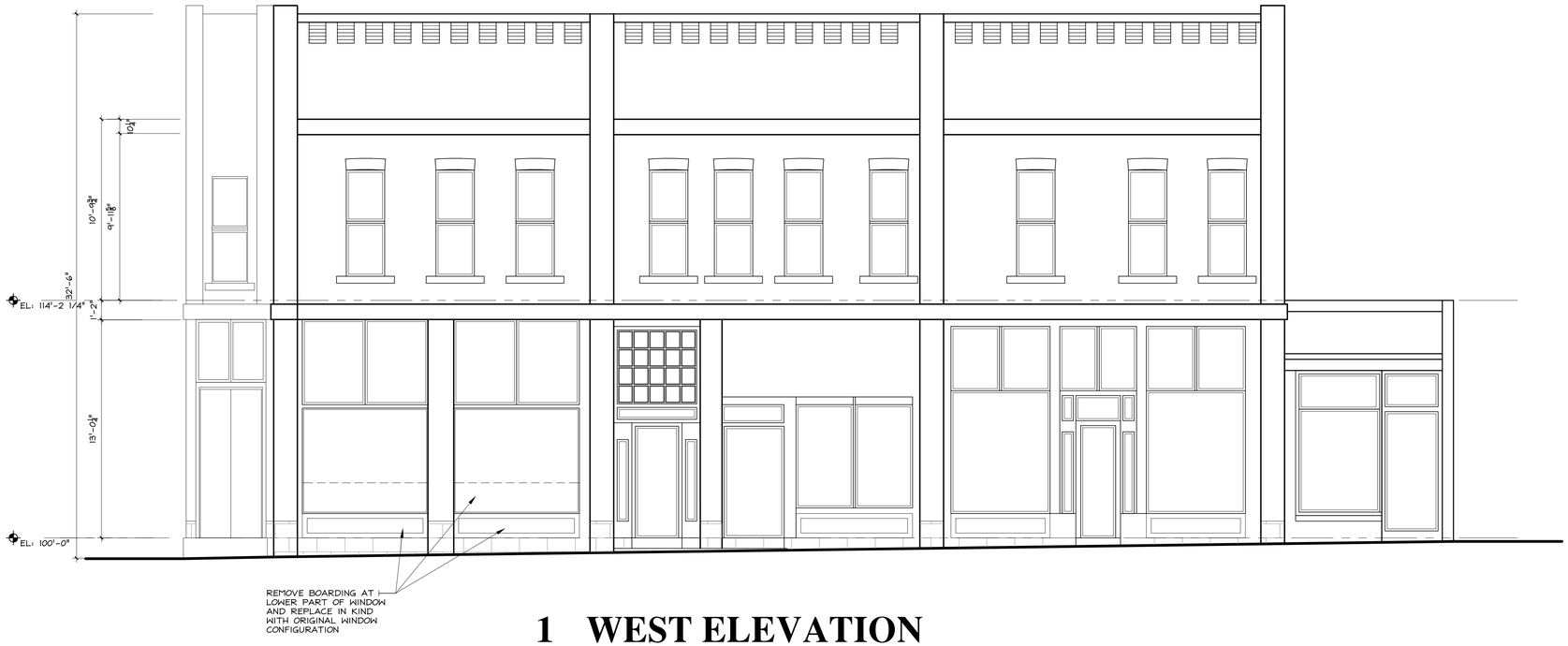
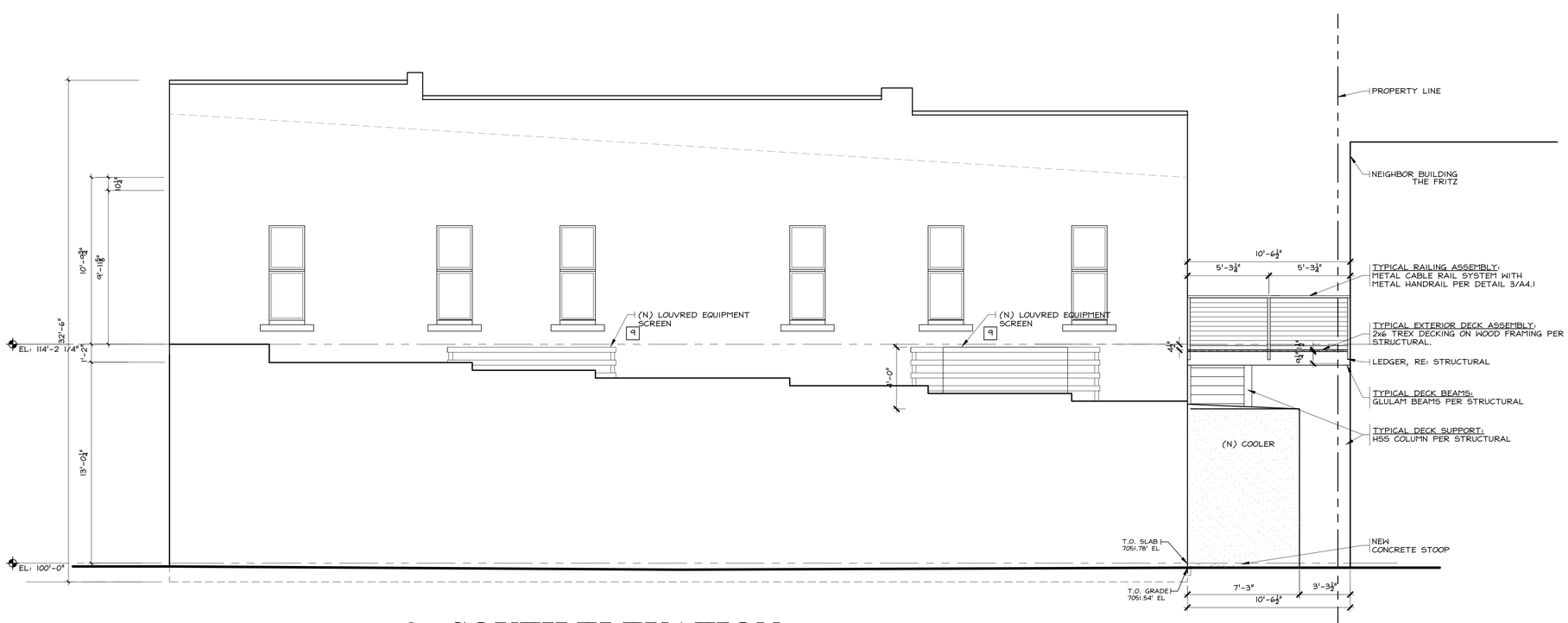


1 WEST ELEVATION

1/4" = 1'-0"
SEE A1.0



2 SOUTH ELEVATION

1/4" = 1'-0"
SEE A1.0

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WEST ELEVATION
SOUTH ELEVATION

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21-03

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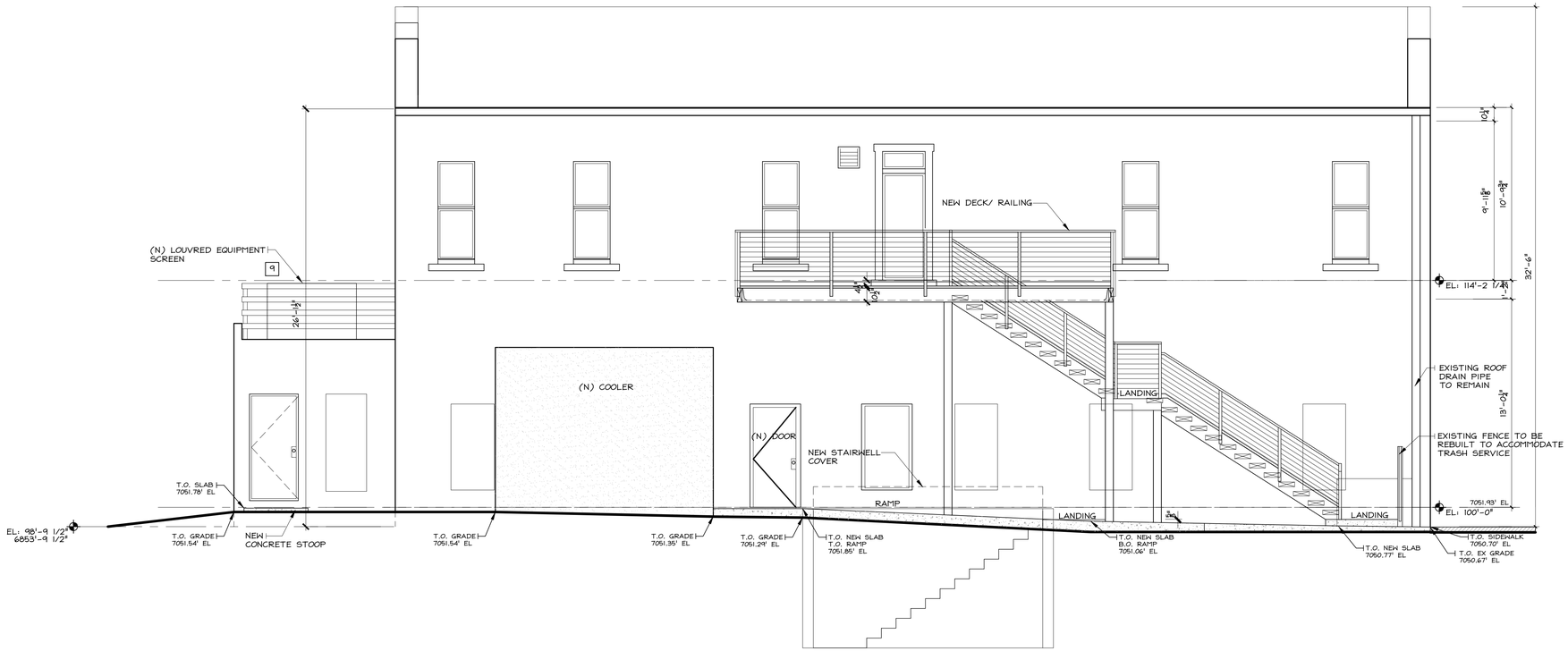
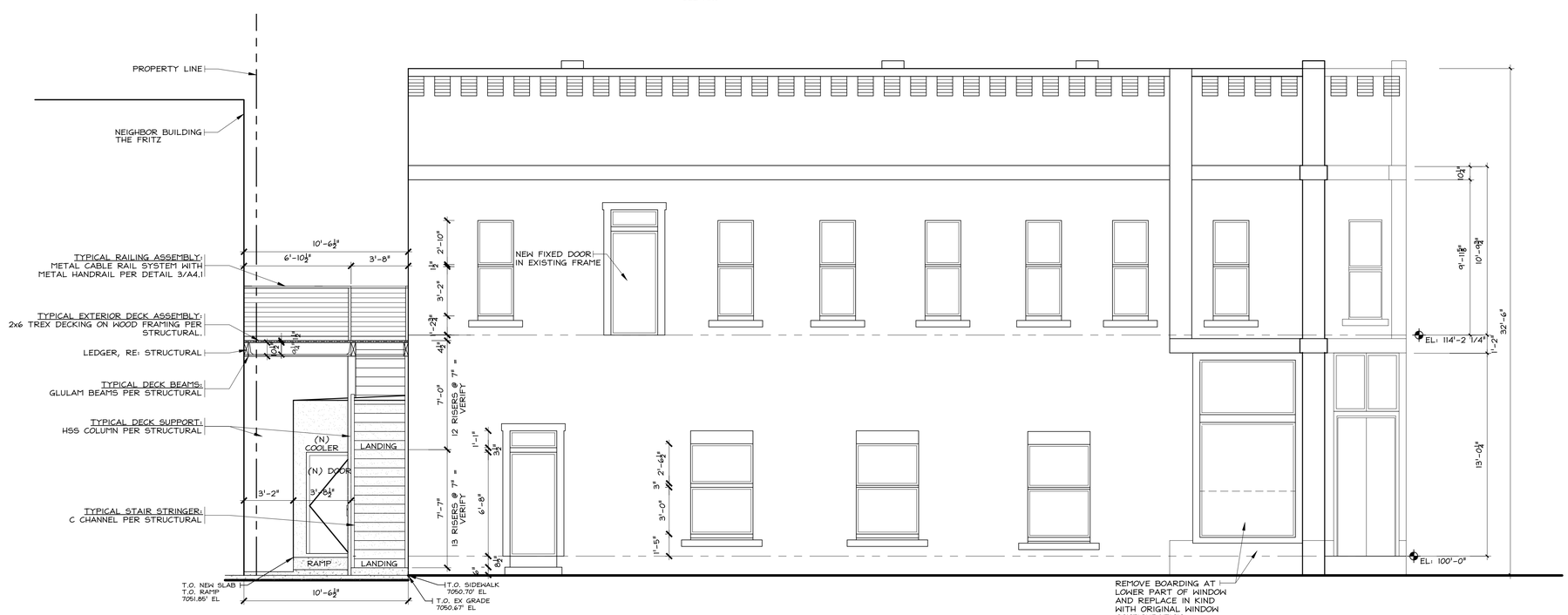


1 EAST ELEVATION

1/4" = 1'-0"
SEE A1.0



2 NORTH ELEVATION

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EAST ELEVATION
NORTH ELEVATION

STATE OF COLORADO
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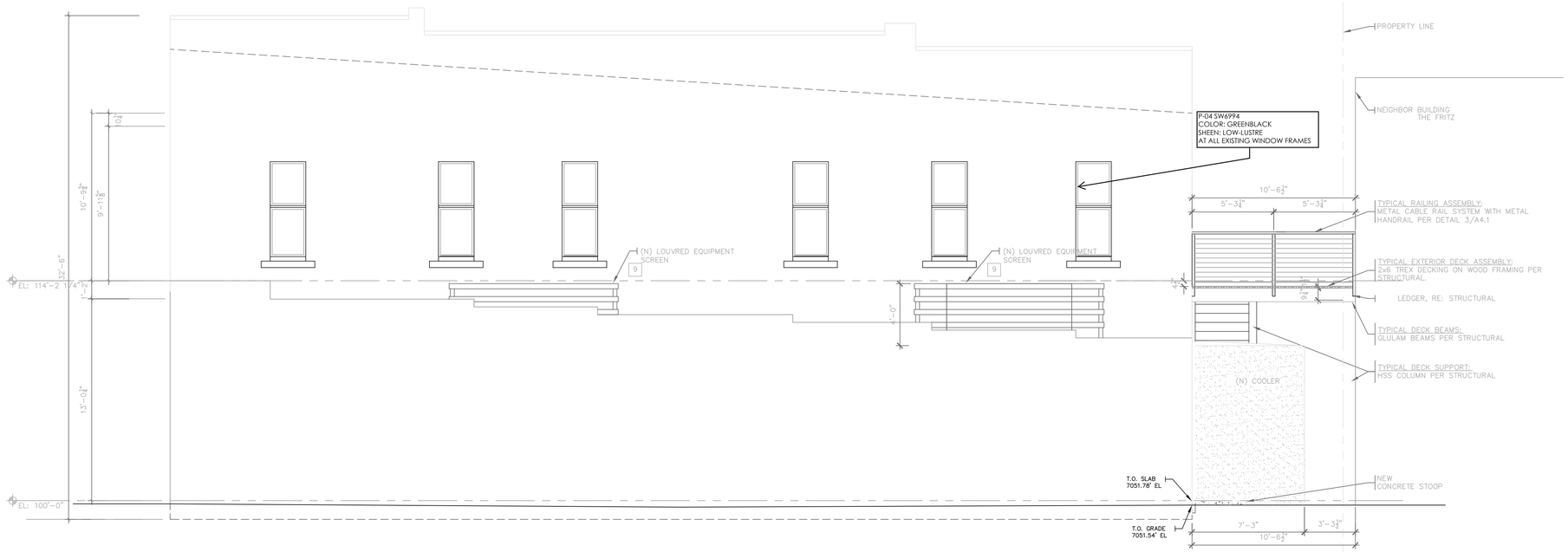
1 WEST ELEVATION

1/4" = 1'-0"
SEE A1.0



2 SOUTH ELEVATION

1/4" = 1'-0"
SEE A1.0

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22 JUNE 10
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WEST ELEVATION
SOUTH ELEVATION

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143 N. F Street
Salida, Colorado 81201

10 JUNE 22

A3.0

21-03

A3.0

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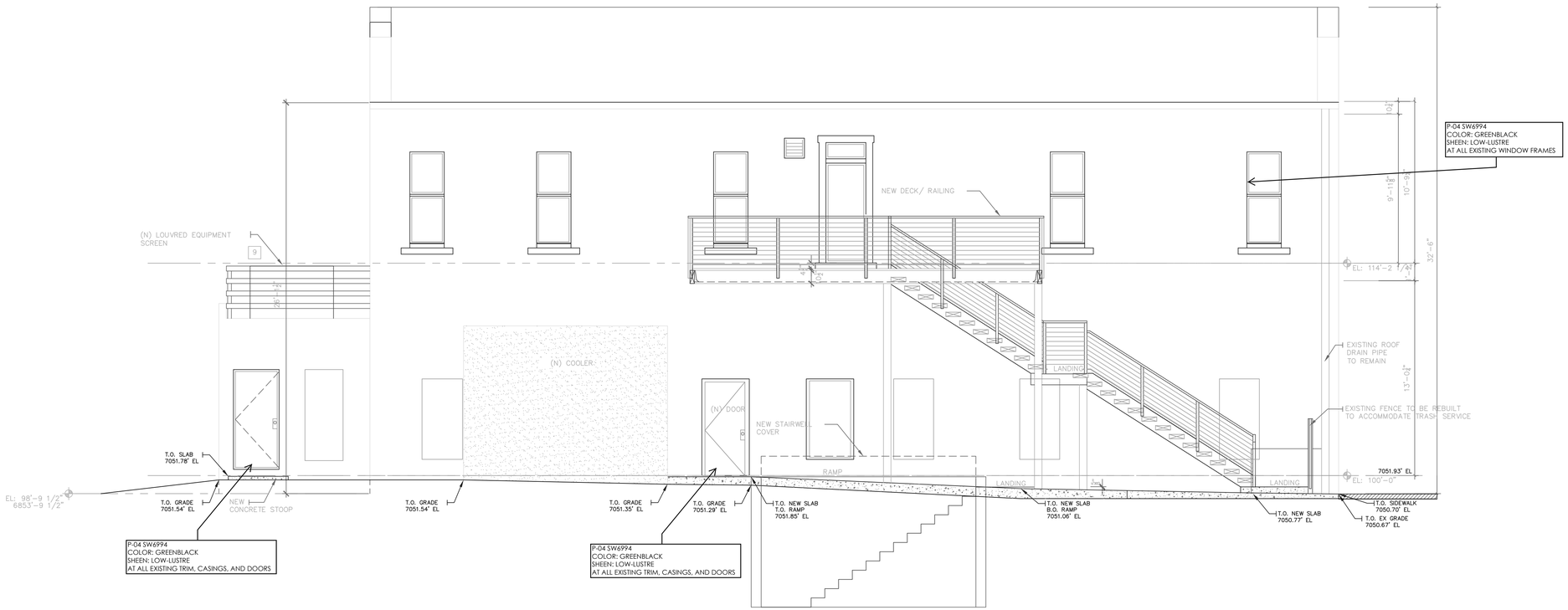
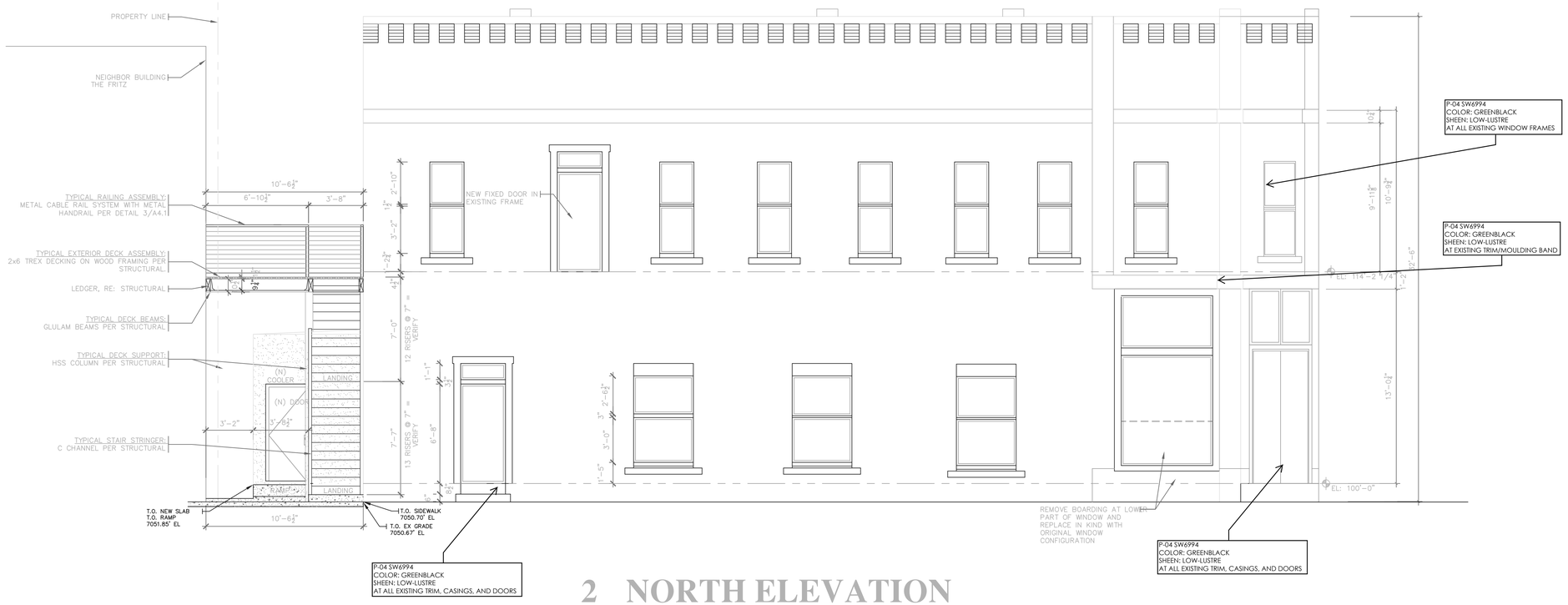


1 EAST ELEVATION

1/4" = 1'-0"
SEE A1.0



2 NORTH ELEVATION

1/4" = 1'-0"
SEE A1.0

PROGRESS PRINT
22 JUNE 10
(NOT FOR CONSTRUCTION)

THESE DRAWINGS DO NOT INCLUDE THE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY.

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EAST ELEVATION
NORTH ELEVATION

William J. Rangitsch
p.o. box 2
Salida Springs, Suite 200

STEAMBOAT ARCHITECTURAL ASSOCIATES

A Renovation of the
Victoria Hotel & Tavern
143 N. F Street
Salida, Colorado 81201

10 JUNE 22

A3.1

21-03

A3.1

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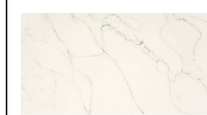
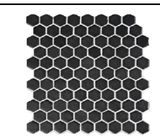
9/27/2022 3:31 PM

TRH INTERIOR DESIGN SALIDA FINISH + FIXTURE SCHEDULE
SALIDA, CO
SUBMITTED: 9/09/2022

LOC. TYPE	KEY	MFG.	CONTACT	STYLE #	DESCRIPTION/COLOR	FINISH	SIZE	THICKNESS	LOCATION	NOTE	PHOTOS
*** ALL MATERIALS AND FABRICATION METHODS TO COMPLY WITH NATIONAL, STATE, AND LOCAL FIRE SAFETY CODES, HEALTH INSPECTIONS, AND ADA REQUIREMENTS**											
ALL ROOMS, ENTRY VESTIBULE, CHECK-IN , CORRIDOR	**P-02**	SHERWIN WILLIAMS	CHRISTIE LYN DEL CIOTTO; 303-345-8754; CHRISTIE.DELCIOTTO@SHERWIN.COM	SW7756	SW HIGH REFLECTIVE WHITE; PRO MAR 200 ZERO VOC INTERIOR LATEX	FLAT	N/A	N/A	OVERALL CEILING PAINT THROUGHOUT ROOMS, CORRIDORS, ENTRY VESTIBULE	SEE MANUFACTURERS GUIDES FOR INSTALLATION & STANDARDS	
ALL ROOMS, ENTRY VESTIBULE, CHECK-IN , CORRIDOR	**P-03**	SHERWIN WILLIAMS	CHRISTIE LYN DEL CIOTTO; 303-345-8754; CHRISTIE.DELCIOTTO@SHERWIN.COM	SW6994	GREENBLACK NEUTRAL PAINT	SEMI-GLOSS	N/A	N/A	ENTRY VESTIBULE WOOD WALL WAINSCOT BEAD BOARD PAINT. CORRIDOR AND ROOM BASEBOARD, CASING, TRIM, BARN DOOR, AND STAIR RAILING	SEE MANUFACTURERS GUIDES FOR INSTALLATION & STANDARDS	
EXTERIOR	**P-04**	SHERWIN WILLIAMS	CHRISTIE LYN DEL CIOTTO; 303-345-8754; CHRISTIE.DELCIOTTO@SHERWIN.COM	SW6994	GREENBLACK NEUTRAL PAINT; SUPERPAINT EXTERIOR ACRYLIC LATEX	LOW-LUSTRE	N/A	N/A	ALL EXTERIOR PAINTED TRIM, CASINGS, DOORS, AND EXITSTING PAINTED AREAS - EXCEPT WHERE NOTED OTHERWISE	SEE MANUFACTURERS GUIDES FOR INSTALLATION & STANDARDS	
EXTERIOR	**P-05**	SHERWIN WILLIAMS	CHRISTIE LYN DEL CIOTTO; 303-345-8754; CHRISTIE.DELCIOTTO@SHERWIN.COM	SW2847	ROYCROFT BOTTLE GREEN PAINT (HISTORIC COLLECTION); SUPERPAINT EXTERIOR ACRYLIC LATEX	HIGH GLOSS	N/A	N/A	SEE DRAWINGS FOR SPECIFIC LOCATIONS	SEE MANUFACTURERS GUIDES FOR INSTALLATION & STANDARDS	
	SL	**SLAB SURFACE**									
ALL ROOMS	**SL-01**	DALTILE	DALTILE; JULIANNE YOSS; JULIANNE.YOSS@DALTILE.COM; 303-722-2800	N/A	AVENUE WHITE QUARTZ SURFACE, WEST VILLAGE SERIES	VELVET POLISHED	VARIES	3 CM	ALL UNIT VANITY COUNTERTOPS	**INSTALLATION**: SEE MANUFACTURER'S GUIDES FOR INSTALLATION & STANDARDS	
	TL	**TILE**									
ALL ROOMS	**TL-01**	DALTILE	DALTILE; JULIANNE YOSS; JULIANNE.YOSS@DALTILE.COM; 303-722-2800	D617	ARCTIC WHITE COLOR WHEEL MOSAIC HEX TILE	GLOSSY	1.5"	N/A	ALL ROOM ACCENT WALLS BEHIND VANITY; SEE DRAWINGS FOR EXACT LOCATION	**INSTALLATION**: SEE MANUFACTURER'S GUIDES FOR INSTALLATION & STANDARDS	
ALL ROOMS	**TL-01B**	DALTILE	DALTILE; JULIANNE YOSS; JULIANNE.YOSS@DALTILE.COM; 303-722-2800	K111	BLACK COLOR WHEEL MOSAIC HEX TILE	GLOSSY	1.5"	N/A	ALL ROOM ACCENT WALLS BEHIND VANITY; SEE DRAWINGS FOR EXACT LOCATION	**INSTALLATION**: SEE MANUFACTURER'S GUIDES FOR INSTALLATION & STANDARDS	
ALL ROOMS	**TL-02**	CROSSVILLE	JESSICA MAGEE; JMAGEE@CROSSVILESTUDIOS.COM; 303-718-9012	LWT02	SIMPATICO, FELLOWSHIP GLOSS TILE WHITE	GLOSSY	12 X 24	9.3 MM	OVERALL SHOWER WALL TILE; SEE DRAWINGS FOR EXACT LOCATION	**INSTALLATION**: SEE MANUFACTURER'S GUIDES FOR INSTALLATION & STANDARDS	