CERTIFICATE OF OWNERSHIP:

KNOW ALL PERSONS BY THESE PRESENTS THAT THE UNDERSIGNED IS THE FEE OWNER OF THE FOLLOWING DESCRIBED PROPERTY:

LOT 3 TRIPLE T RANCH MINOR SUBDIVISION PER PLAT RECORDED NOVEMBER 30, 2015 AS RECEPTION NO. 423912 CHAFFEE COUNTY, COLORADO

ACKNOWLEDGEMENT:

IN WITNESS HEREOF, THE UNDERSIGNED HAVE CAUSED THESE PRESENTS TO BE EXECUTED ON THIS _____ DAY OF

_____ , 20_____. OWNER:

STATE OF COLORADO } SS COUNTY OF CHAFFEE }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____,

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____

CERTIFICATE OF TITLE INSURANCE COMPANY:

REPRESENTING TITLE INSURANCE COMPANY IN THE STATE OF COLORADO DO CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE REAL PROPERTY SHOWN AND DESCRIBED ON THESE PLATS AND FOUND TITLE VESTED IN SALIDA BOTTLING COMPANY, LLC, A COLORADO LIMITED LIABILITY COMPANY, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES,

SIGNATURE

LAND SURVEYOR'S NOTES:

BASIS OF BEARING FOR THIS SURVEY IS GRID NORTH FROM COLORADO STATE PLANE COORDINATE SYSTEM CENTRAL ZONE, BASED ON G.P.S. OBSERVATIONS ALONG THE NORTHERN RIGHT-OF-WAY OF VANDAVEER RANCH ROAD BETWEEN A 11/2" ALUMINUM CAP STAMPED "LS 37937" AND A 11/2" ALUMINUM CAP STAMPED "LS 16117" HAVING A BEARING OF NORTH 78°47'57" EAST.

UNDERGROUND UTILITIES SHOWN AS MARKED ON THE SURFACE BY UTILITY NOTIFICATION CENTER OF 2) COLORADO AND OTHERS, LANDMARK SURVEYING AND MAPPING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY UNDERGROUND UTILITIES DEPICTED HEREON.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY LANDMARK SURVEYING AND MAPPING TO DETERMINE 3) OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING TITLE OF RECORD, LANDMARK SURVEYING AND MAPPING RELIED UPON DOCUMENTS PROVIDED BY THE CLIENT. EASEMENTS SHOWN HEREON PER PLAT OF TRIPLE T RANCH MINOR SUBDIVISION AS RECORDED AT RECEPTION NO. 423912 (SUB401)

- ELEVATIONS DEPICTED HEREON ARE BASED UPON NAVD88. 4)
- CONTOUR INTERVAL = 1'5)
- 6) DATE OF FIELDWORK: 10/12/22, 06/28/23

SITE BENCHMARK IS A 11/2" ALUMINUM CAP STAMPED "LS 37937" ON THE NORTH-EAST CORNER OF THE 7) SUBJECT PROPERTY WITH AN ELEVATION OF 7009.66'

LAND SURVEYOR'S STATEMENT:

I, SYDNEY ARTHUR SCHIEREN, A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF COLORADO, DO HEREBY STATE THAT THE BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLANNED DEVELOPMENT PLAN WERE PREPARED UNDER MY DIRECT SUPERVISION AND CHECKING, AND THAT THE SURVEY INFORMATION SHOWN ON THE PLAT CONTAINED HEREIN IS BASED ON A MONUMENTED LAND SURVEY AS SHOWN, AND THAT SAID SURVEYS AND THE KNOWLEDGE PERTAINING TO SAID SURVEYS ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

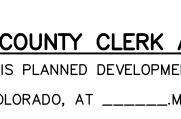
SIGNATURE

DATED THIS _____ DAY OF _____, 20_____

PRIVATE ENGINEER'S NOTES TO CONTRACTOR	PREPARED F
HE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR TRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE	BIKER
ECORDS TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS	129
HOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY IEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR URTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES. CONDUITS. OR	PI
TRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.	
ONTRACTOR AGREES THAT HE SHALL ASSUME SOLE COMPLETE RESPONSIBILITY FOR THE JOB	PREPARED UNDE
ITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY IF ALL PERSONS AND PROPERTY: THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND	
OT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND,	
NDEMNIFY AND HOLD THE COUNTY. THE CITY. THE OWNER AND THE ENGINEER HARMLESS	
ROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE	WILLIAM B. HUS
F WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE	L.C.E. NO.
F THE OWNER OR THE ENGINEER.	L.C.E. NO

THE OWNER OR THE ENGINEER.

FOR:	PREPARED BY:
R BAKER HOLDINGS, LLC W SACKETT AVE, UNIT C SALIDA, CO 81201 PHONE: 303–903–4620	
DER THE DIRECTION OF:	G F
DATE	ENGINEERIN
SSEY CRABTREE GROUP, INC 56989 EXP. DATE <u>10/31/23</u>	325 D STREET Salida, co 812 PH: 719-539-167



RECEPTION NO. _____.

INCLUSIONARY HOUSING

1.	50% OF THE UNITS WILL
2.	ALL SINGLE FAMILY HOM
3.	ALL CONDOMINIUM SALES
A	

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	TO SALIDA MICH
	SALID
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)	HIGH
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10	Ser

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TUIC	6		.

THE FLOUR MILL PLANNED DEVELOPMENT PLAN

LOT 3TRIPLE T RANCH MINOR SUBDIVISION CHAFFEE COUNTY, COLORADO

CITY COUNCIL APPROVAL:

THIS PLANNED DEVELOPMENT PLAN IS APPROVED FOR FILING.

DATED: _____, 20____.

MAYOR

COUNTY CLERK AND RECORDER'S CERTIFICATE:

THIS PLANNED DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE CLERK AND RECORDER OF CHAFFEE COUNTY, COLORADO, AT _____.M., ON THIS _____ DAY OF _____, A.D. 20__, UNDER

CHAFFEE COUNTY CLERK AND RECORDER

BE DEED RESTRICTED PER CITY STANDARD. MES AND DUPLEXES WILL BE SOLD AT OR BELOW 120% AMI PRICE. S WILL BE AT OR BELOW 100% AMI PRICE. 4. ALL APARTMENT RENTALS WILL BE AT OR BELOW 100% AMI.



VICINITY MAP NO SCALE



SEAL RABTREE ROUP INC. NG SMART GROWTH™ 918 CUYAMA ROAD Ojai, ca 93023 Ph: 719-221-1799 DATE BY MARK REVISIONS ENGINEER

lot # min lot size density min lot size attached min lot frontage min lot frontage attached max lot coverage: structure max lot coverage: uncovered parking/access min landscape area side setback primary building side setback detached accessory building rear setback principal building rear setback accessory ouilding front setback max building height primar max building height detached accessory buildin off-street parking number of trees (not counting street trees) living cover street trees parking lot landscape area parking lot trees Values highlighted green in

- NOTES
- REQUIRED INFRASTRUCTURE FOR THE PHASE IN QUESTION.

APPR. DATE

REVISION AGENC

DESIGNE

DRAWN

CHECKE

SCALE

DATE 🤇

SCHEDULE OF USES

THE REQUESTED ZONING FOR THE PROPERTY IS R-3. SINGLE FAMILY USE ON LOTS 1, 2, AND 4 IS HEREBY CHANGED FROM "ADMINISTRATIVE REVIEW" TO "PERMITTED." DUPLEX USE IS PERMITTED IN R-3, SO NO CHANGE IS REQUESTED FOR LOTS 5 THROUGH 10. MULTI-FAMILY 20 OR MORE UNITS IS HEREBY CHANGED FROM "MAJOR IMPACT REVIEW" TO "PERMITTED" FOR LOTS 11, 12, AND 13. LAUNDROMAT USE IS NOT SPECIFICALLY ADDRESSED IN THE LAND USE CODE, SO IT IS HEREBY "PERMITTED" ON LOT 3.

SCHEDULE OF DIMENSIONAL STANDARDS

		D 2	ave rall site	CE attack ad		lour dropp of	condo/apartment	
		R-3	overall site	5-10	SF detached 1, 2, 4	3	11, 12, 13	HOA lot 14
	sf	5063	87133		2470	2000	7300	
	sf/unit min	2100		2310	2470		365	
	sf	2160	The second s	2310		n/a	n/a	n/a
	ft	37.5		n/a	36		n/a	n/a
	ft		n/a	-	n/a	n/a	n/a	n/a
es	%	50	24	43	40	30	64	(
	%	25	36	0	0	0	0	7.
	%	30		40	40	40	36	2
	ft	5	5	5	5	5	5	n/a
	ft	3/5/10	5	5	5	5	5	n/a
	ft	20	5	5	5	5	10	n/a
			14.46					
	ft	5	n/a	5	5	5	5	n/a
	ft	20		12	12	12		n/a
								,
ry	ft	35	38	25	25	25	38	n/a
ng	ft	25	n/a	25	25	25	25	n/a
	spaces	69	76	n/a	n/a	n/a	n/a	7
		1/800sf req'd	38 (32					
	each	landscape	required)	1	1	1	4 (3 required)	1
		30%						
		landscape x						
		60% living =						
	% lot area	18%	18	18	18	18	18	
		50' on center						
	each	average	13	n/a	n/a	n/a	n/a	n/a
_		7 sf per req'd						600 (483
	sf	parking space	n/a	n/a	n/a	n/a	n/a	req'd)
		1 per 15 req'd			, u			
		parking						
	each	spaces	n/a	n/a	n/a	n/a	n/a	
	cuen	spaces	in a	n/ u	n/ u	, , , , , , , , , , , , , , , , , , ,	in a	

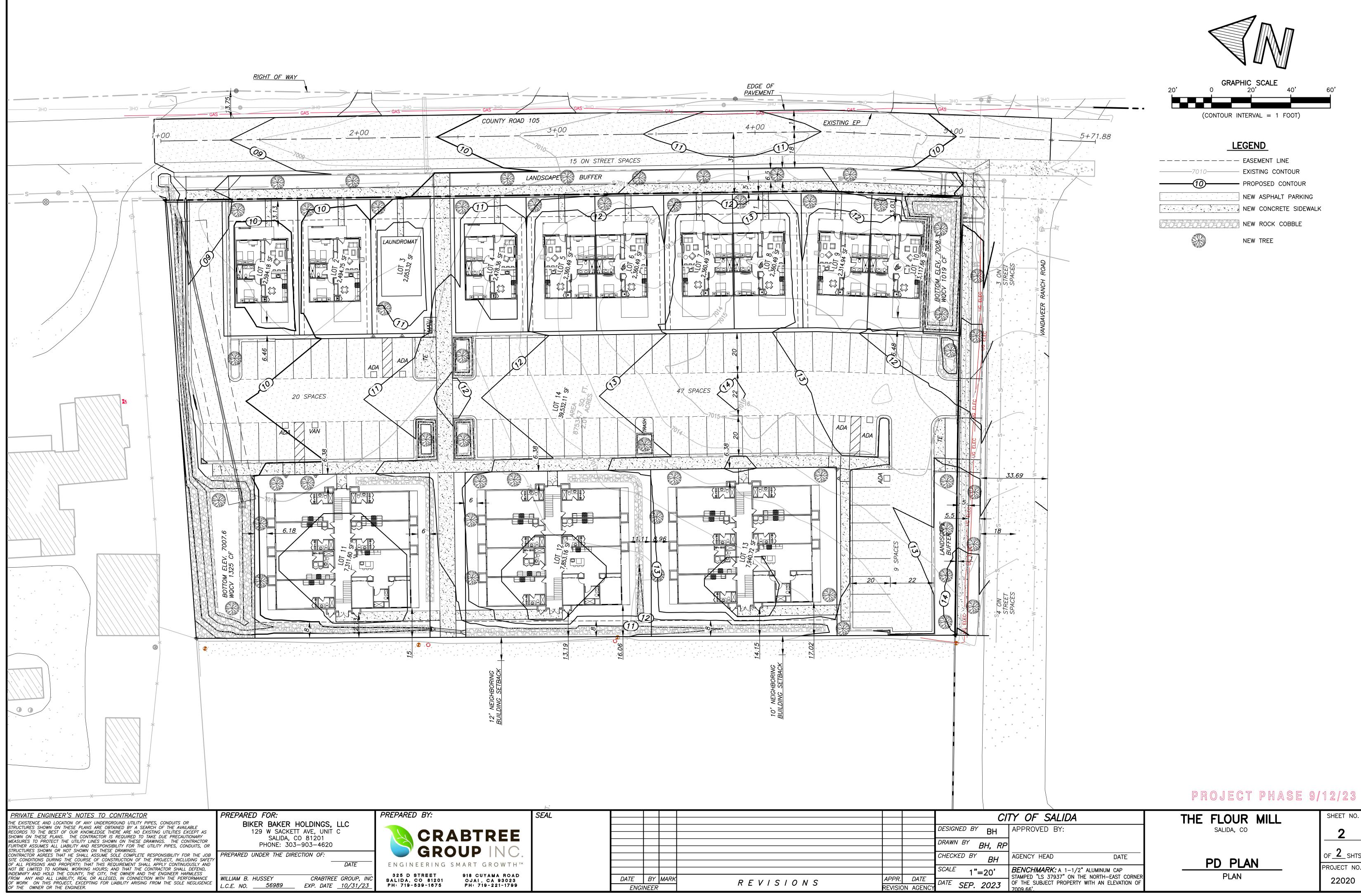
the actual values in the PD plan to allow for minor design changes without PD amendment. Values not highlighted are the actual values per the PD plan and do not revise the underlying zone requirement.

1. LOT LINE ADJUSTMENTS FOR DESIGN CHANGES AND/OR CONSTRUCTION TOLERANCES ARE ANTICIPATED AND SHALL BE CONSIDERED "PRACTICAL NECESSITIES" PER SECTION 16-6-70 CITY OF SALIDA MUNICIPAL CODE. 2. BUILDING PERMIT APPLICATIONS SHALL BE PROCESSED PRIOR TO COMPLETION OF REQUIRED INFRASTRUCTURE IN SUBDIVISION IMPROVEMENT AGREEMENT. CERTIFICATES OF OCCUPANCY SHALL NOT BE GRANTED UNTIL COMPLETION OF

SH	IEET	INDEX
1.	COVER	SHEET
2.	SITE PI	LAN

PROJECT PHASE 9/12/23

Cľ	TY OF SALIDA	THE FLOUR MILL	SHEET NO.
<i>D BY</i> BH	APPROVED BY:	SALIDA, CO	1
^{BY} BH, RP			
D BY BH	AGENCY HEAD DATE	PD PLAN	OF_2_SHTS.
1"=20'	BENCHMARK: A 1–1/2" ALUMINUM CAP STAMPED "LS 37937" ON THE NORTH–EAST CORNER		PROJECT NO.
SEP. 2023	OF THE SUBJECT PROPERTY WITH AN ELEVATION OF		22020



	SEAL							
								DESIGN
BTREE								
								DRAWN
JP INC								
\mathbf{F} IN \mathbf{O} .								CHECK
ART GROWTH™								
								SCALE
918 CUYAMA ROAD Ojai, ca 93023		DATE	BY	MARK		APPR.	DATE	DATE
PH: 719-221-1799		FNGI	NEER		REVISIONS	REVISIO	N AGENCY	DATE