

# Salida Multi-Family Development

6007 CR 105  
Salida, Colorado 810201

ISSUE RECORD:  
Schematic Design July 24, 2023

Client: Biker Baker Holdings, LLC  
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Prepared By: LAI Design Group  
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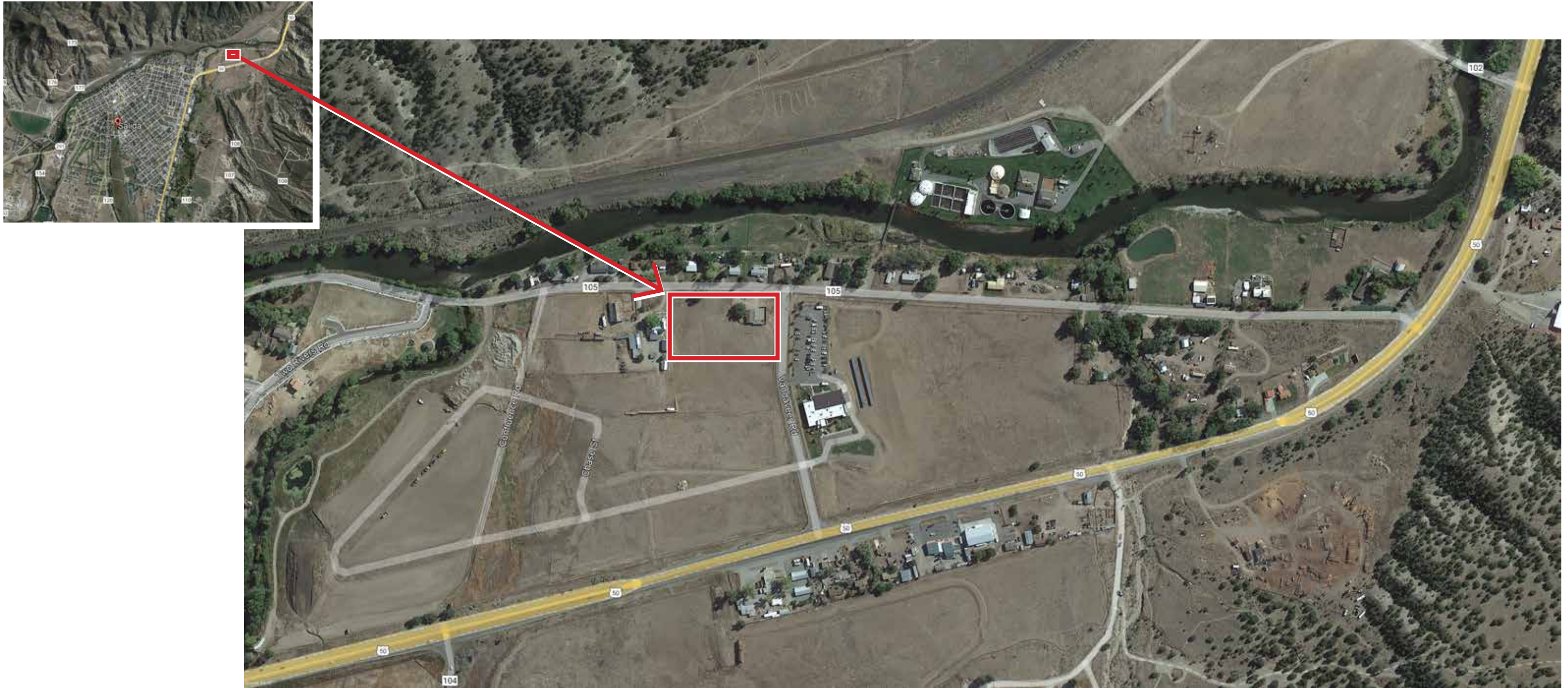
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## Salida Multi-Family Development

### Schematic Design

# Site Location / Vicinity Map



## Salida Multi-Family Development

Schematic Design



# Code Review and Analysis

## IBC CODE STUDY

PROJECT #: 221085 PROJECT NAME: Salida Multifamily  
 LOCATION: 6907 County Road 105  
Salida, Colorado 81201

### Applicable Codes and Ordinances:

International Building/Residential Code: 2015  
 Uniform Mechanical Code: 2015  
 Uniform Plumbing Code: 2015  
 National Electric Code: 2020  
 International Fire Code: 2015  
 International Energy Code: 2006  
 Accessibility Standards: 2017  
 City Zoning/Code Ordinances: Zoning & Fire Safety (PD to be used)  
[Mini TOC: Chapter 16 - LAND USE AND DEVELOPMENT | Code of Ordinances | Salida, CO | Municode Library](#)  
 County Code: All Codes are Chaffee County  
 Any additional Codes:  
 Ground Snow Load - See [Snow Load Map](#)  
 Wind Speed - 120 mph Vult  
 Seismic Design Category - C  
 Frost Depth - See [Minimum Footing & Foundation Requirements](#)  
 Winter Design Temp 0° F

Prepared by: Jordan Yoder Date: 07.21.2023

Revisions: \_\_\_\_\_  
 \_\_\_\_\_

### ZONING CODE REQUIREMENTS:

PD Will be used – These requirements can be changed

Required Setbacks: (R-2 – Medium Density)  
 Front: 20'  
 Rear: 20'  
 Side: 3'/5'/10'  
 Side: \_\_\_\_\_

Encroachment of Setbacks: ( ) Outside Stair ( ) Balconies/Porches ( ) Canopies

Maximum Building Height: Stories: \_\_\_\_\_ Feet: 35' (Will ask for 38', or even 40' if needed)

### OCCUPANCY REQUIREMENTS (Chapter 3-4):

Occupancy Description	Group
<u>Multifamily/Apartments</u>	<u>R-2</u>
<u>Single Family/Duplex</u>	<u>R-3</u>

Accessory Occupancies (508.2): \_\_\_\_\_  
 Non-Separated Occupancies (508.3): YES ( ) NO ( )  
 Separated Occupancies (508.4): YES ( ) NO ( )  
 Separation Requirements: \_\_\_\_\_

Mixed Occupancy Calc (508): \_\_\_\_\_

Incidental Use Separation Requirements (509): \_\_\_\_\_

### CONSTRUCTION TYPE CALCULATIONS

	Construction Type / Occupancy Group	
	VB (R-2)	VB (R-3)
Basic Allowable Area Per Story (table 506.2)	7,000	UL
Basic Allowable Stories (table 503)	3	3
Basic Allowable Building Height (table 503)	40'	40'

AREA MODIFICATIONS (506)  
 Frontage Increase Required? (506.3.2): YES ( ) NO (X)  
 Frontage Increase Calculation: \_\_\_\_\_

THEREFORE, THE TYPE OF CONSTRUCTION SHALL BE: VB

### FIRE RESISTIVE REQUIREMENTS: (In Hours) (Chapter 6, Table 601)

Type of Construction:	VB			
Exterior Bearing Walls	0			
Interior Bearing Walls	0			
Structural Frame	0			
Interior Non-bearing Walls	0			
Floor Construction	0			
Roof Construction	0			

### FIRE RESISTIVE REQUIREMENTS: Exterior Nonbearing Walls (Table 602)

Fire Separation Distance:	X<5	5<X<10	10<X<30	X>30
Occupancy:				
R	1	1	0	0

### IRC – Fire Table:

TYPE OF WALL	MINIMUM FIRE RESISTANCE RATING	MINIMUM FIRE RESISTANCE RATING
Exterior Wall	1 Hour	1 Hour
Interior Wall	0	0
Roof	0	0
Floor	0	0
Stair	1 Hour	1 Hour
Elevator	1 Hour	1 Hour
Exit	1 Hour	1 Hour
Other	1 Hour	1 Hour

Fire Rating of Stairs (713.4): 1 Hour

Fire Separation Distance [List all sides] (705.8): \_\_\_\_\_

Exterior Doors + Windows – Allowable Area % (705.8): \_\_\_\_\_

Allowable Projection distance (705.2): \_\_\_\_\_



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# Code Review and Analysis, con't.

Automatic Fire-Extinguishing system required? (903.2): YES (X) NO ( )  
 Automatic Fire-Extinguishing system Provided? YES (X) NO ( )  
 Standpipes required? (905.3.1) YES ( ) NO (X)

**EGRESS REQUIREMENTS (Chapter 10):**  
 Minimum Egress Requirements (Section 1020 & Tables 1006.2.1, and 1004.5)

Maximum exit access travel distance (Table 1017.2): 250'  
 Common path of egress travel (Table 1006.2.1): 125'

Exiting Through Intervening Space Used: YES ( ) NO ( )  
 If yes: Exiting through intervening space requirements (1016.2.1):  
 \_\_\_\_\_  
 \_\_\_\_\_

Horizontal Exiting Used: YES ( ) NO (X)

**IECC - INSULATION REQUIREMENTS:**  
 (Chapter 6, Table 601 & 602)

Climate Zone: (R301)" Zone 6

Residential Insulation Requirements (Table: R402.1.2):

	Cavity:	Rigid:	Total:
Ceiling (R-Value):			49
Wood Frame Wall (R-Value):	13	+5	19 Or
Mass Wall (R-Value):			15
Floor (R-Value):			30f
Basement Wall (R-Value):			10/13
Slab (R-Value):			10
Slab Depth (Feet):			4'
Crawl Space Wall (R-Value):			10/13

F – Or insulation sufficient to fill the framing cavity R19 min



## Salida Multi-Family Development

### Schematic Design

# Architectural Precendent Images

## ORIGINAL LAI DESIGN SKETCHES



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# Architectural Precendent Images, con't.

## EXISTING SALIDA ARCHITECTURE



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# Architectural Precendent Images, con't.

## MOUNTAIN FARMHOUSE



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# Architectural Precendent Images, con't.

## MOUNTAIN MODERN

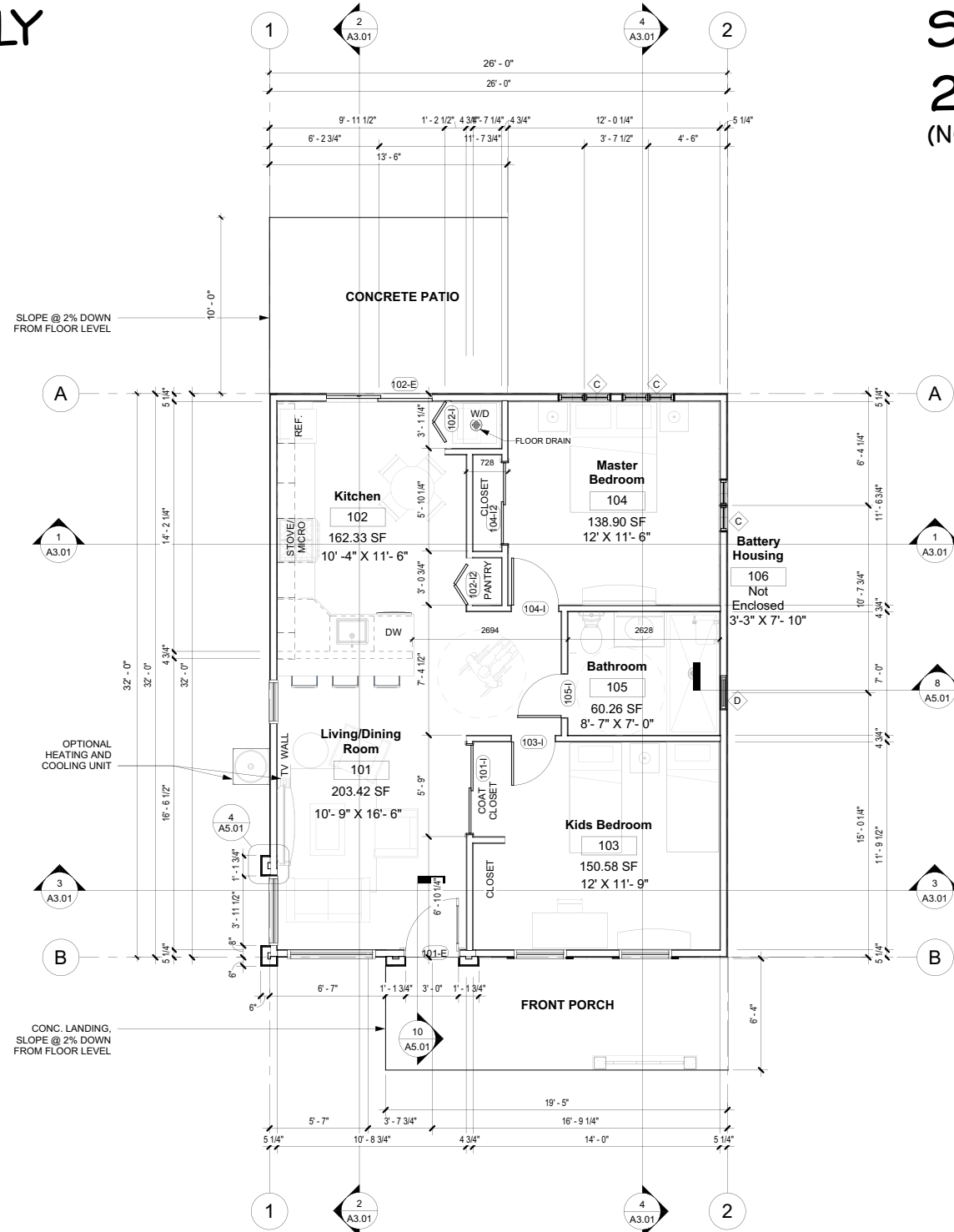


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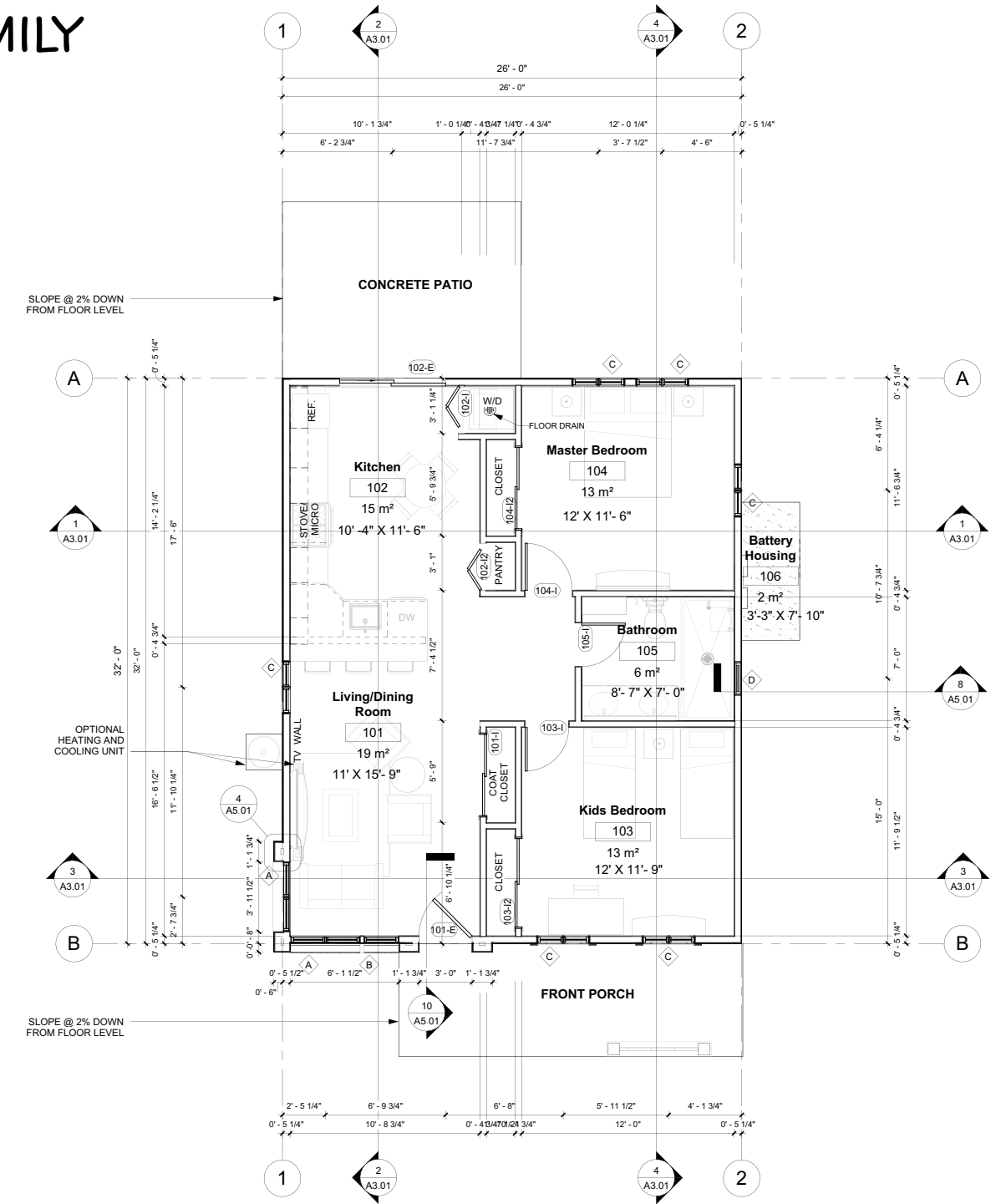
Schematic Design

# Single Family - Floor Plans

**SINGLE FAMILY  
2 BED (ADA)  
(NOT TO SCALE)**



**SINGLE FAMILY  
2 BED  
(NOT TO SCALE)**



## Salida Multi-Family Development Schematic Design

# Single Family - Elevations / Models

**SOUTH ELEVATION**  
(NOT TO SCALE)



SINGLE FAMILY - 2 BED	
TOTAL SQUARE FOOTAGE	845 SF
RIDGE HEIGHT	16'- 5"

**WEST ELEVATION**  
(NOT TO SCALE)

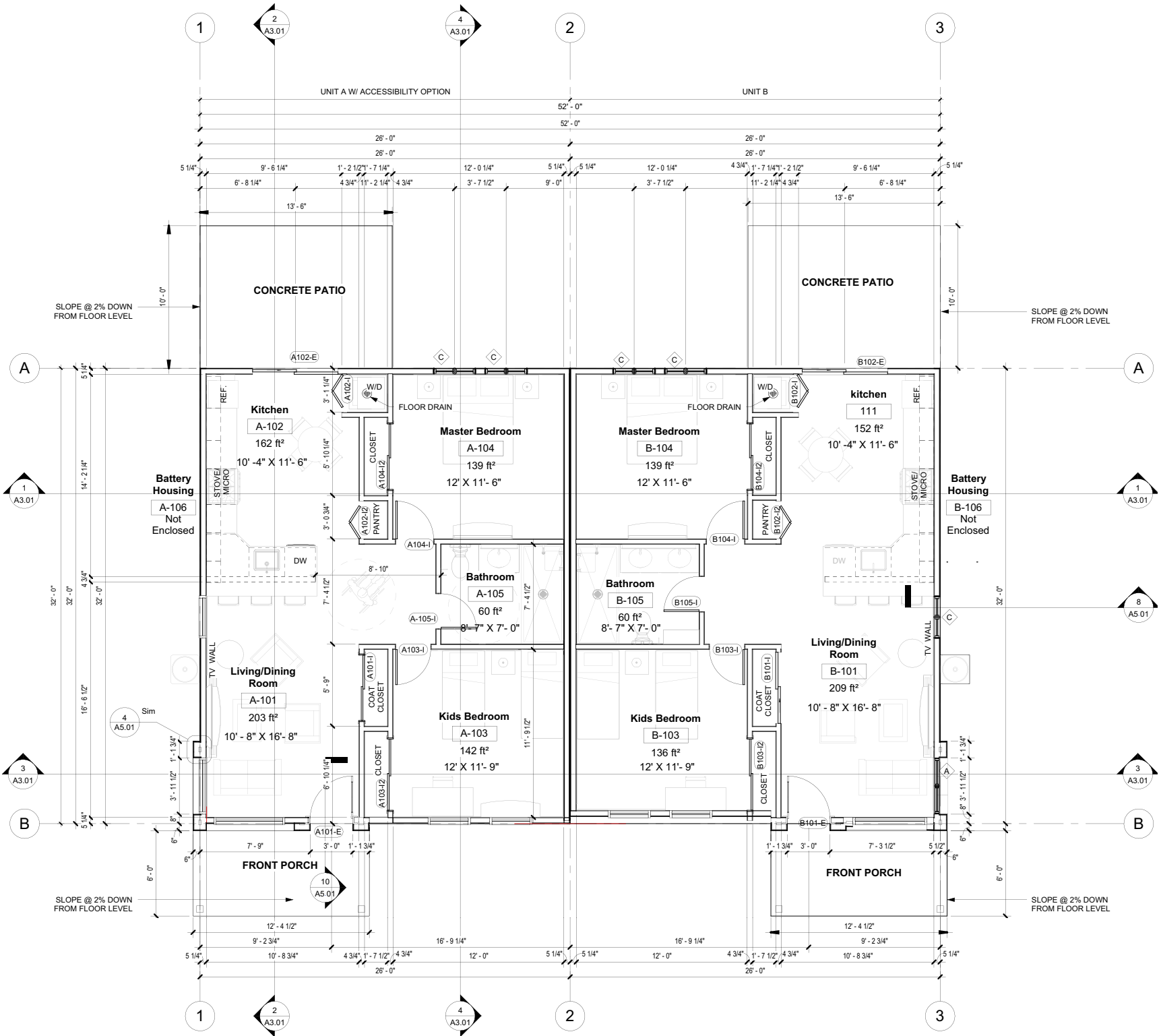


## Salida Multi-Family Development

Schematic Design

# Duplexes - Floor Plan

DUPLEX  
(NOT TO SCALE)



## Salida Multi-Family Development Schematic Design

# Duplexes - Elevations / Models

**SOUTH ELEVATION**  
(NOT TO SCALE)



DUPLEX - 2 BED	
UNIT 1 - TOTAL SQUARE FOOTAGE	837 SF
UNIT 2 - TOTAL SQUARE FOOTAGE	843 SF
RIDGE HEIGHT	19'- 4"

**WEST ELEVATION**  
(NOT TO SCALE)

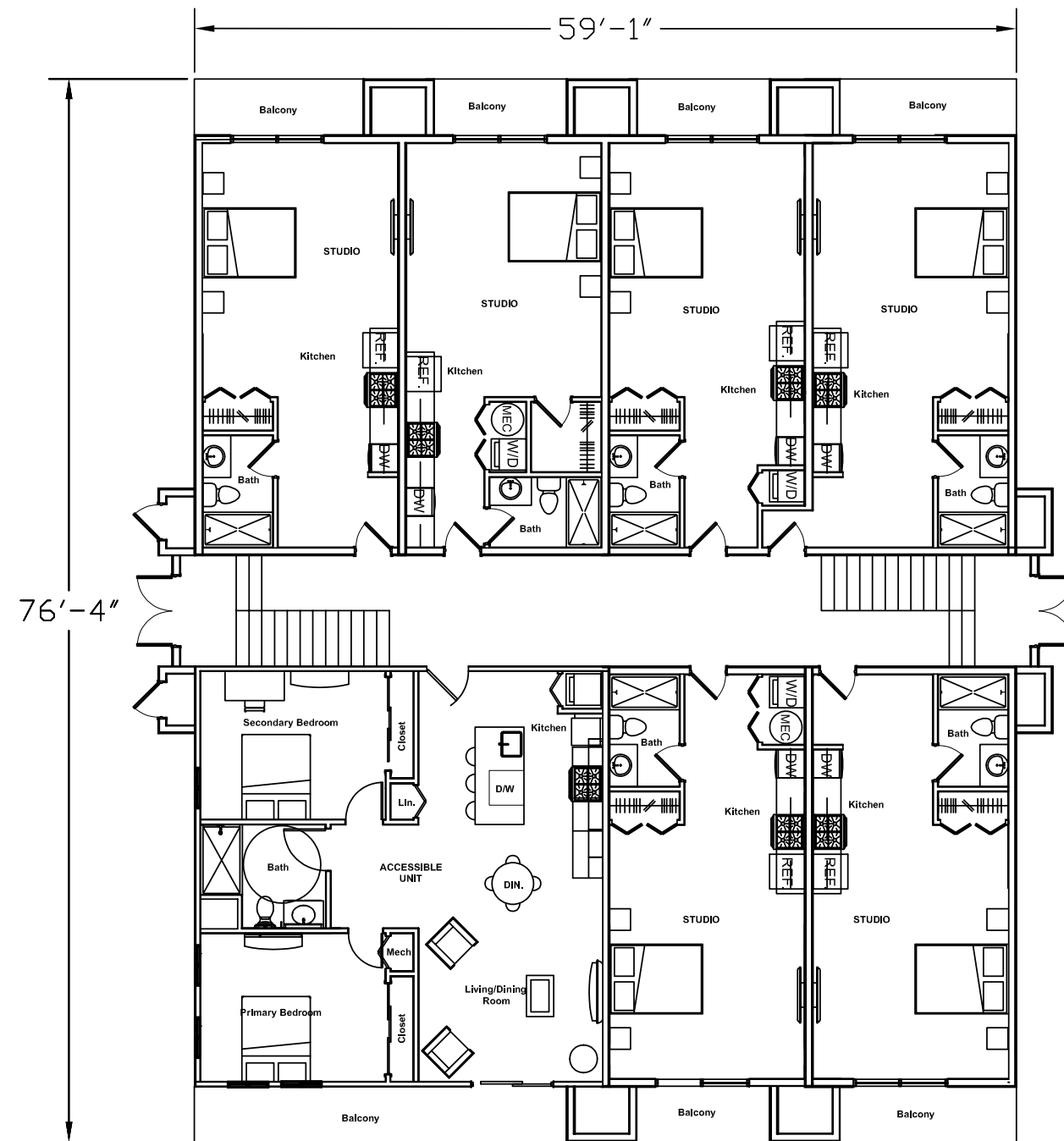


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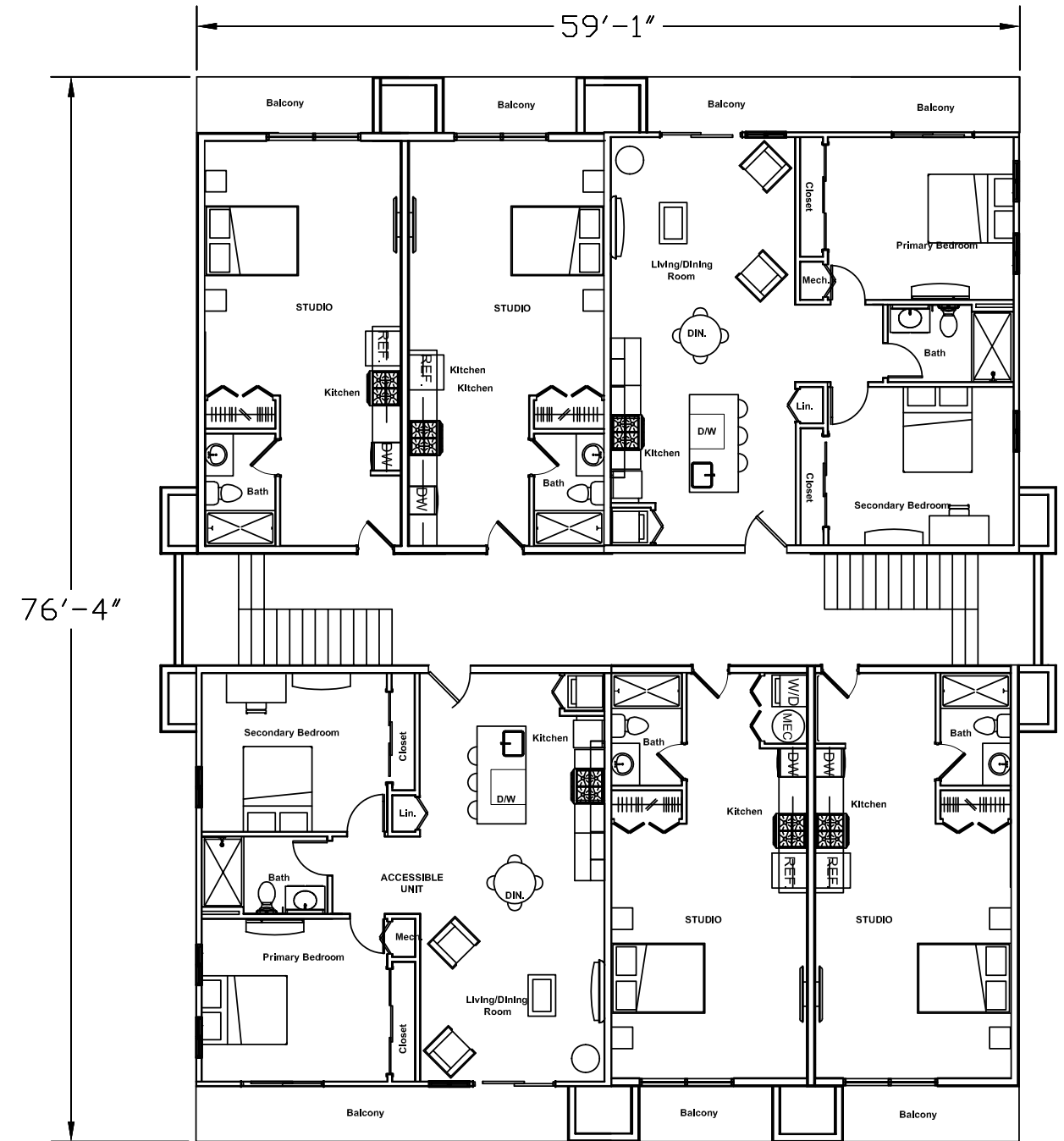
Schematic Design

# Multi-Family - Floor Plans

## MULTI-FAMILY UNITS (NOT TO SCALE)



1st/2nd Floor, Floor Plan



3rd Floor, Floor Plan



# Salida Multi-Family Development

## Schematic Design

# Multi-Family - Elevations



**SIDE 'B' ELEVATION**  
(NOT TO SCALE)



**REAR ELEVATION**  
(NOT TO SCALE)



**SIDE 'A' ELEVATION**  
(NOT TO SCALE)



**FRONT ELEVATION**  
(NOT TO SCALE)



## Salida Multi-Family Development

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# Multi-Family - Model



20 PLEX - 3 BUILDINGS		
UNIT	UNIT NO. /BLDG.	TOTAL UNIT NO.
STUDIO	16	48
2 BED	4	12
TOTAL	20	60
UNIT	SQUARE FOOTAGE	
STUDIO	471 SF	
2 BED	910 SF	
TOTAL BUILDING FOOTPRINT (EA.)		4620 SF
ESTIMATED MAX BLDG. HEIGHT		34'-0"



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