



GENERAL DEVELOPMENT APPLICATION

448 East First Street, Suite 112
Salida, CO 81201
Phone: 719-539-4555 Fax: 719-539-5271
Email: planning@cityofsalida.com

1. TYPE OF APPLICATION (Check-off as appropriate)

- | | |
|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Administrative Review:
(Type) _____ |
| <input type="checkbox"/> Pre-Annexation Agreement | |
| <input type="checkbox"/> Appeal Application (Interpretation) | <input checked="" type="checkbox"/> Limited Impact Review:
(Type) <u>Multi Family</u> _____ |
| <input type="checkbox"/> Certificate of Approval | |
| <input type="checkbox"/> Creative Sign Permit | <input type="checkbox"/> Major Impact Review:
(Type) _____ |
| <input type="checkbox"/> Historic Landmark/District | |
| <input type="checkbox"/> License to Encroach | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Text Amendment to Land Use Code | |
| <input type="checkbox"/> Watershed Protection Permit | |
| <input type="checkbox"/> Conditional Use | |

2. GENERAL DATA (To be completed by the applicant)

A. Applicant Information

Name of Applicant: HEART OF THE ROCKIES REGIONAL MEDICAL CENTER (ROBERT MORASKO & DAVE COLARELLI)

Mailing Address: 1000 RUSH DRIVE, SALIDA, CO 81201

Telephone Number: 719-530-2268 FAX: _____

Email Address: ROBERT.MORASKO@HRRMC.NET; DAVID.COLARELLI@HRRMC.NET;
CHRIS.WHITE@COLARELLICONSTRUCTION.COM; KELLY.CHEVALIER@COLARELLICONSTRUCTION.COM

Power of Attorney/ Authorized Representative: _____
(Provide a letter authorizing agent to represent you, include representative's name, street and mailing address, telephone number, and FAX)

B. Site Data

Name of Development: HEART OF THE ROCKIES REGIONAL MEDICAL CENTER

Street Address: 7164 COUNTY ROAD 154, SALIDA, CO 81201

Legal Description: Lot 8 Block _____ Subdivision HEART OF THE ROCKIES MEDICAL CAMPUS (attach description)

Disclosure of Ownership: List all owners' names, mortgages, liens, easements, judgments, contracts and agreements that run with the land. (May be in the form of a current certificate from a title insurance company, deed, ownership and encumbrance report, attorney's opinion, or other documentation acceptable to the City Attorney)

I certify that I have read the application form and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.

Signature of applicant/agent _____ Date 10.25.23

Signature of property owner _____ Date _____



LIMITED IMPACT & MAJOR IMPACT SUBMITTAL REQUIREMENTS

448 East First Street, Suite 112
Salida, CO 81201
Phone: 719-530-2626 Fax: 719-539-5271
Email: planning@cityofsalida.com

An application is meant to highlight the requirements and procedures of the Land Use Code. With any development application, it is the responsibility of the applicant to read, understand, and follow all of the provisions of the Land Use Code.

1. PROCEDURE (Section 16-3-80)

A. Development Process (City Code Section 16-3-50) Any application for approval of a development permit shall include a written list of information which shall constitute the applicant's development plan, which shall be that information necessary to determine whether the proposed development complies with this Code. The development plan shall include the following, as further specified for each level of review on the pre-application checklist:

1. Pre-Application Conference (Limited Impact and Major Impact Review Applications)
2. Submit Application
3. Staff Review. Staff report or decision forwarded to the applicant (Administrative review)
4. Public Notice
5. Public Hearing with Planning Commission (Limited Impact and Major Impact Review Applications)
6. Public Notice
7. Hearing Conducted by City Council (Major Impact Review)

B. Application Contents (City Code Section 16-3-50)

1. A General Development Application
2. A copy of a current survey or the duly approved and recorded subdivision plat covering the subject lots where the proposal is for development on previously subdivided or platted lots;
3. A brief written description of the proposed development signed by the applicant;
4. Special Fee and Cost Reimbursement Agreement completed. **major impact only*
5. Public Notice.
 - a) List. A list shall be submitted by the applicant to the city of adjoining property owners' names and addresses. A property owner is considered adjoining if it is within 175 feet of the subject property regardless of public ways. The list shall be created using the current Chaffee County tax records.
 - b) Postage Paid Envelopes. Each name on the list shall be written on a postage-paid envelope. Postage is required for up to one ounce. Return Address shall be: City of Salida, 448 E. First Street, Suite 112, Salida, CO 81201.
 - c) Applicant is responsible for posting the property and submittal of proof of posting the public notice.

6. Developments involving construction shall provide the following information:
- (i) A development plan map, at a scale of one (1) inch equals fifty (50) feet or larger with title, date, north arrow and scale on a minimum sheet size of eight and one-half (8½) inches by eleven (11) inches, which depicts the area within the boundaries of the subject lot, including:
 - a. The locations of existing and proposed land uses, the number of dwelling units and the square footage of building space devoted to each use;
 - b. The location and dimensions, including building heights, of all existing and proposed Buildings or structures and setbacks from lot lines or building envelopes where exact dimensions are not available;
 - c. Parking spaces;
 - d. Utility distribution systems, utility lines, and utility easements;
 - e. Drainage improvements and drainage easements;
 - f. Roads, alleys, curbs, curb cuts and other access improvements;
 - g. Any other improvements;
 - h. Any proposed reservations or dedications of public right-of-way, easements or other public lands, and
 - i. Existing topography and any proposed changes in topography, using five-foot contour intervals or ten-foot contour intervals in rugged topography.
 - (ii) 24" x 36" paper prints certified by a licensed engineer and drawn to meet City specifications to depict the following:
 - a. Utility plans for water, sanitary sewer, storm sewer, electric, gas and telephone lines;
 - b. Plans and profiles for sanitary and storm sewers; and
 - c. Profiles for municipal water lines; and
 - d. Street plans and profiles.
 - (iii) Developments in the major impact review procedure shall provide a development plan map on paper prints of twenty-four (24) inches by thirty-six (36) inches, with north arrow and scale, and with title and date in lower right corner, at a scale of one (1) inch equals fifty (50) feet or larger which depicts the area within the boundaries of the subject lots and including those items in Section 16-3-40(a)(3).

7. Any request for zoning action, including review criteria for a requested conditional use (Sec. 16-4-190) or zoning variance (Sec. 16-4-180);

8. Any subdivision request including a plat meeting the requirements of Section 16-6-110; **N/A**

9. Any other information which the Administrator determines is necessary to determine whether the proposed development complies with this Code, including but not limited to the following: **N/A**

(i) A tabular summary of the development proposal, which identifies the total proposed development area in acres, with a breakdown of the percentages and amounts devoted to specific land uses; total number and type of proposed residential units; total number of square feet of proposed nonresidential space; number of proposed lots; and sufficient information to demonstrate that the plat conforms with all applicable dimensional standards and off-street parking requirements.

(ii) A description of those soil characteristics of the site which would have a significant influence on the proposed use of the land, with supporting soil maps, soil logs and classifications sufficient to enable evaluation of soil suitability for development purposes. Data furnished by the USDA Natural Resource Conservation Service or a licensed engineer shall be used. The data shall include the shrink/swell potential of the soils, the groundwater levels and the resulting foundation requirements. Additional data may be required by the City if deemed to be warranted due to unusual site conditions.

(iii) A report on the geologic characteristics of the area, including any potential natural or man-made hazards which would have a significant influence on the proposed use of the land, including but not limited to hazards from steep or unstable slopes, rockfall, faults, ground subsidence or radiation, a determination of what effect such factors would have, and proposed corrective or protective measures.

(iv) Engineering specifications for any improvements.

(v) A plan for erosion and sediment control, stabilization and revegetation.

(vi) A traffic analysis prepared by a qualified expert, including projections of traffic volumes to be generated by the development and traffic flow patterns, to determine the impacts of a proposed development on surrounding City streets and to evaluate the need for road improvements to be made.

(vii) A storm drainage analysis consisting of the following:

(a) A layout map (which may be combined with the topographic map) showing the method of moving storm sewer water through the subdivision shall be provided. The map shall also show runoff concentrations in acres of drainage area on each street entering each intersection. Flow arrows shall clearly show the complete runoff flow pattern at each intersection. The location, size and grades of culverts, drain inlets and storm drainage sewers shall be shown, as applicable.

(b) The applicant shall demonstrate the adequacy of drainage outlets by plan, cross-section and/or notes and explain how diverted stormwater will be handled after it leaves the subdivision. Details for ditches and culverts shall be submitted, as applicable.

(c) The projected quantity of stormwater entering the subdivision naturally from areas outside of subdivision and the quantities of flow at each pickup point shall be calculated.

(viii) Evidence of adequate water supply and sanitary sewer service - Data addressing the population planned to occupy the proposed subdivision and future development phases and other developments that may need to be served by extensions of the proposed water supply and sewage disposal systems. The resulting domestic, irrigation and fire flow demands shall be expressed in terms of gallons of

water needed on an average day and at peak time, and the resulting amounts of sewage to be treated shall be expressed in gallons per day.

(ix) An analysis shall be submitted addressing how water for domestic use and for fire flows is to be provided, along with the collection and treatment of sewage generated by the property to be subdivided.

(x) A statement shall be submitted addressing the quantity, quality and availability of any water that is attached to the land.

(xi) A preliminary estimate of the cost of all required public improvements, tentative development schedule (with development phases identified), proposed or existing covenants and proposed maintenance and performance guarantees. The applicant shall submit, at least in summary or outline form, any agreements as may be required by Section 16-2-70, relating to improvements and dedications.

(xii) If intending to use solar design in the development, include a description of the steps that have been taken to protect and enhance the use of solar energy in the proposed subdivision. This shall include how the streets and lots have been laid out and how the buildings will be sited to enhance solar energy usage.

(xiii) If applicable, a report shall be submitted identifying the location of the one-hundred-year floodplain and the drainageways near or affecting the property being subdivided. If any portion of a one-hundred-year floodplain is located on the property, the applicant shall also identify the floodway and floodway fringe area. The applicant shall also describe the steps that will be taken to ensure that development locating in the floodway fringe area is accomplished in a manner which meets Federal Insurance Administration standards.

(xiv) If applicable, a report shall be submitted on the location of wetlands, as defined by the U.S. Army Corp of Engineers, on or affecting the property being subdivided. The report shall outline the development techniques planned to ensure compliance with federal, state and local regulations.

(xv) A landscape plan, meeting the specifications of Section 16-8-90.

(xvi) If applicable, a description of how the proposal will comply with the standards of any of the overlays.

(xvii) A site plan for parks, trails and/or open space meeting the requirements of Section 16-6-110 below. If an alternate site dedication or fee in lieu of dedication is proposed, detailed information about the proposal shall be submitted.

(xviii) All development and subdivision naming shall be subject to approval by the City. No development or subdivision name shall be used which will duplicate or be confused with the name of any existing street or development in the City or the County;

10. An access permit from the Colorado Department of Transportation; and

11. A plan for locations and specifications of street lights, signs and traffic control devices.

2. REVIEW STANDARDS (If necessary, attach additional sheets)

The application for Limited or Major Impact Review shall comply with the following standards.

- 1. Consistency with Comprehensive Plan.** The use shall be consistent with the City's Comprehensive Plan.

No changes to zoning or comprehensive plan. Zone district and use standards remain consistent for HRRMC overall site plan.

- 2. Conformance to Code.** The use shall conform to all other applicable provisions of this Land Use Code, including, but not limited to:

- a. **Zoning District Standards.** The purpose of the zone district in which it is located, the dimensional standards of that zone district, and any standards applicable to the particular use, all as specified in Article 5, Use and Dimensional Standards.

No changes to land use plan or zoning. Plan conforms for current PUD zone standards.

- b. **Site Development Standards.** The parking, landscaping, sign and improvements standards.

No additional roadways, parking or landscaping.

- 3. Use Appropriate and Compatible.** The use shall be appropriate to its proposed location and be compatible with the character of neighboring uses, or enhance the mixture of complementary uses and activities in the immediate vicinity.

No changes to land use plan or zoning. Plan conforms for current PUD zone standards.

4. Nuisance. The operating characteristics of the use shall not create a nuisance and the impacts of the use on surrounding properties shall be minimized with respect to noise, odors, vibrations, glare, and similar conditions.

No nuisance conditions expected

5. Facilities. There shall be adequate public facilities in place to serve the proposed use, or the applicant shall propose necessary improvements to address service deficiencies which the use would cause.

No public facilities necessary

6. Environment. The use shall not cause significant deterioration to water resources, wetlands, wildlife habitat, scenic characteristics, or other natural features. As applicable, the proposed use shall mitigate its adverse impacts on the environment.

No wetlands or wildlife habitat within existing development



Date: 10/25/2023

RE: NEW CONSTRUCTION – HRRMC Employee Housing

HRRMC Hospital District is planning to construct employee housing to support new and prospective hospital work staff, assist long term patients and their family, and therefore better serve Salida's community.

The complex to include ten (10) units, with five (5) units on each of two (2) floors. Tenants in all units will enjoy fully furnished spaces as well as completely equipped kitchens. All units have a front porch space, and the first-floor units will also include a fenced in backyard.

Two of the first-floor units intended for Patient Hospitality Rooms. The intent is to provide comfort and support for long term patients and their families. They provide a safe space for the patients to stay while receiving medical care and during recovery. They are compliant with the Americans with Disabilities Act Standards for Accessible Design (ADA) requirements. These one-bedroom units feature convertible living room furniture for additional sleeping spaces.

The remaining eight (8) are two-bedroom units, intended to be rented to new and prospective hospital work staff while they settle into a new community. The goal is to help support the new members of the district while they search for housing of their own. This perk of having access to employee housing units available will also assist in the staff recruitment process for the hospital.

Conveniently located on the hospital grounds, patients and staff will both have an efficient walk to the hospital itself. Parking for the facility will utilize one of the existing lots from the hospital and vehicle access will integrate into the existing road infrastructure for the hospital. Therefore, no new roads or parking lots required for the complex.

The new building design and construction materials integrate with Salida's beautiful Architecture. They also minimize maintenance requirements for the employee housing building that the hospital maintenance staff must facilitate.

The growth and development of the hospital grounds constitutes more resources for the hospital to better care for the residents of Salida. Thus, the construction of the new HRRMC Employee Housing building is beneficial to the local community overall. Please contact the team with any questions or concerns.

CONTRACTOR: Colarelli Construction, Inc.

BY: _____

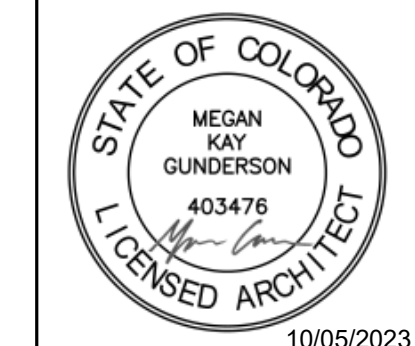
Chris White

Date: _____

10.25.23

HRRMC EMPLOYEE HOUSING

7164 COUNTY RD 154
SALIDA, CO 81201



YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-475-8133

Revision Schedule	

HRRMC EMPLOYEE HOUSING
7164 COUNTY RD 154
SALIDA, CO 81201

Project Number
23.177
Date
10/05/2023
Drawn By
MKG
Checked By
YOW

G000
TITLE SHEET

SYMBOL LEGEND

	BUILDING SECTION		DOOR NUMBER
	WALL SECTION		WINDOW, STOREFRONT TYPE
	DETAIL		EXTERIOR WALL, FLOOR, ROOF TYPE
	EXTERIOR ELEVATION		INTERIOR WALL PARTITION TYPE
	INTERIOR ELEVATION		FURNITURE: FN-# EQUIPMENT: EQ-# SPECIALTIES: SP-# TOILET ACCESSORIES: TA-#
	ROOM NAME AND NUMBER		CASEWORK DEPTH AWI MODEL NUMBER OR CUSTOM CASEWORK WIDTH CASEWORK LOCKS AS INDICATED
	GRID LINE		AS1, RF1, CO, PR OR CCD REVISIONS Revision Description
			ADDENDUM, OWNER OR JURISDICTION REVISIONS / CHANGES



PROJECT TEAM

OWNER:
HEART OF THE ROCKIES REGIONAL MEDICAL CENTER
1000 RUSH DRIVE
SALIDA, CO 81201
Contact: David Colarelli
719-530-2268

OWNER REPRESENTATIVE:
COLARELLI CONSTRUCTION
111 S TEJON ST. STE 112
COLORADO SPRINGS, CO 80903
Contact: Chris White
719-475-7997

ARCHITECT:
YOW ARCHITECTS PC
115 S. WEBER, STE 200
COLORADO SPRINGS, CO 80903
Contact: Megan Gunderson
719-475-8133

CIVIL:
CRABTREE GROUP INC.
325 D STREET P.O. BOX 924,
SALIDA, CO 81201
Contact: Tracy Vandaveer
719-539-1675

STRUCTURAL:
MGA STRUCTURAL ENGINEERS, INC.
115 SOUTH WEBER ST. STE 101
COLORADO SPRINGS, CO 80903
Contact: Jon Dietrich
719-635-4473

MECHANICAL:
JK MECHANICAL DESIGN LLC
P.O. BOX 1554,
BUENA VISTA, CO 81211
Contact: Kirk Roberts
719-530-1104

PLUMBING:
JK MECHANICAL DESIGN LLC
P.O. BOX 1554,
BUENA VISTA, CO 81211
Contact: Jodi Roberts
719-530-1104

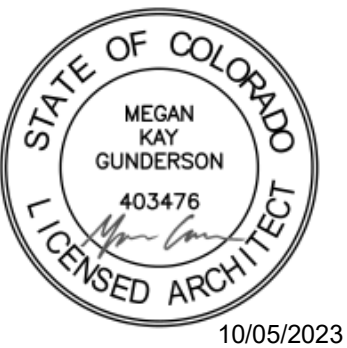
ELECTRICAL:
CARLTON FRETWELL
3333 SOUTH WADSWORTH BLVD
LAKEWOOD, CO 80227
Contact: Carlton Fretwell
720-645-2442

GENERAL NOTES

- ALL WORK SHALL CONFORM TO BUILDING CODES AND REQUIREMENTS. REFER TO THE CODE ANALYSIS REPORT FOR A LISTING OF APPLICABLE BUILDING CODES AND STANDARDS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND RESPECTIVE SUBCONTRACTORS TO BUILD TO SATISFY THESE CODES AND CALL FOR ALL NECESSARY INSPECTION. EXIT SIGNS, EMERGENCY LIGHTING, RATED EXIT SYSTEMS SHALL BE AS REQUIRED BY CURRENT BUILDING CODES. ALL NEW CONSTRUCTION SHALL MEET ADA REQUIREMENTS AS OUTLINED BY ADAG. PROVIDE FIRE EXTINGUISHERS/CABINETS AS MAY BE REQUIRED BY THE LOCAL FIRE DEPARTMENT.
- ALL WALKWAYS, ENTRIES, DOORS, HARDWARE, OUTLETS, SWITCHES, ETC., PROVIDED SHALL MEET REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. IN THE EVENT THERE IS A CONFLICT BETWEEN THESE DOCUMENTS AND REQUIREMENTS OF "THE ACT", THE REQUIREMENTS OF "THE ACT" SHALL GOVERN.
- THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" DOCUMENT A-201, ISSUED BY THE AMERICAN INSTITUTE OF ARCHITECTS, LATEST EDITION, AND ITS SUPPLEMENTS IF ANY, RELATES DIRECTLY TO THE WORK OF THIS PROJECT AND IS HEREBY MADE A PART OF THE CONTRACT.
- ALL EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE, UNLESS EXIT DOORS ARE PROVIDED WITH A SIGN STATING "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS" PER THE 2015 INTERNATIONAL BUILDING CODE.
- CONTRACTOR SHALL NOT MAKE ANY MATERIAL SUBSTITUTIONS OR DETAIL CHANGES WITHOUT ARCHITECT'S APPROVAL. NO CHANGE ORDERS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT. PROCESS ALL CHANGE ORDERS AS REQUIRED BY THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" DOCUMENT A-201.
- REFER TO PROJECT SPECIFICATIONS FOR FURTHER DEFINITION OF THE WORK. IN ADDITION TO THE CONSTRUCTION DOCUMENT DRAWINGS, CONTRACTOR SHALL ABIDE BY THE REQUIREMENTS OF THE PROJECT MANUAL SPECIFICATIONS.
- ALL WORK SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT

VICINITY MAP





10/05/2023

YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-475-8133

Revision Schedule

HRRMC EMPLOYEE HOUSING
7164 COUNTY RD 154
SALIDA, CO 81201

Project Number
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Drawn By
MKG
Checked By
YOW

G100
CODE PLANS

APPLICABLE CODES:
BUILDING CODE - 2015 IBC AND LOCAL AMENDMENTS
ELECTRICAL CODE - 2020 NEC
MECHANICAL CODE - 2015 IMC/IFCG
PLUMBING CODE - 2015 IPC
ACCESSIBILITY STANDARDS - 2009 ICC/ANSI A117.1
ENERGY CODE - 2006 IECC

OCCUPANCY CLASSIFICATION (CHAPTER 3)
OCCUPANCY GROUP R-2 (RESIDENTIAL)

GENERAL BUILDING HEIGHTS AND AREAS (CHAPTER 5)

CONSTRUCTION TYPE: TYPE V-B - FULLY SPRINKLED

ALLOWED STORIES: 3 STORIES
ALLOWABLE AREA FACTOR (At) 21,000 SQUARE FEET
ALLOWABLE HEIGHT: 60 FEET

*ALLOWABLE AREA INCREASES FOR FRONTAGE (IF) CAN BE CALCULATED WHICH WILL INCREASE ACTUAL ALLOWABLE AREA.

ACTUAL STORIES: 2 STORIES

ACTUAL HEIGHT: 24'-4"

ACTUAL AREA: 1ST FLOOR: 3,395 SQ FT
2ND FLOOR: 3,353 SQ FT

TOTAL AREA: 6,748 SQ FT

MEANS OF EGRESS (CHAPTER 10)

OCCUPANT LOAD (TABLE 1004.1.1)

R-2 (RESIDENTIAL) = 6,748 (GROSS SF) / 200

TOTAL OCCUPANTS: 34

TYPE OF CONSTRUCTION (CHAPTER 6)

TYPE V-B CONSTRUCTION (IBC TABLE 601)
STRUCTURAL FRAME 0 HR
EXTERIOR BEARING WALLS 0 HR
INTERIOR BEARING WALLS 0 HR
EXTERIOR NON-BEARING WALLS 0 HR
INTERIOR NON-BEARING WALLS 0 HR
FLOOR CONSTRUCTION 0 HR
ROOF CONSTRUCTION 0 HR

SHAFT ENCLOSURES 1 HR (IBC SECTION 707.4)
FIRE PARTITIONS 1 HR (IBC SECTION 708.3)
FIRE BARRIERS 2 HR (IBC TABLE 706.3.9)
FIRE WALLS 2 HR (IBC TABLE 705.4a)
CORRIDOR WALLS 0.5 HR (IBC TABLE 1020.1)
UNIT DEMISING WALLS 0.5 HR (IBC TABLE 708.3)

FIRE PROTECTION SYSTEMS (CHAPTER 9)
AUTOMATIC SPRINKLER SYSTEM - NFPA13R

EGRESS WIDTH (SECTION 1005):
0.3 INCHES PER OCCUPANT AT STAIRWAYS
0.2 INCHES PER OCCUPANT AT OTHER EGRESS COMPONENTS

SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY (TABLE 1006.3.2)
R-2 OCCUPANCY MAXIMUM OCCUPANT LOAD = 10

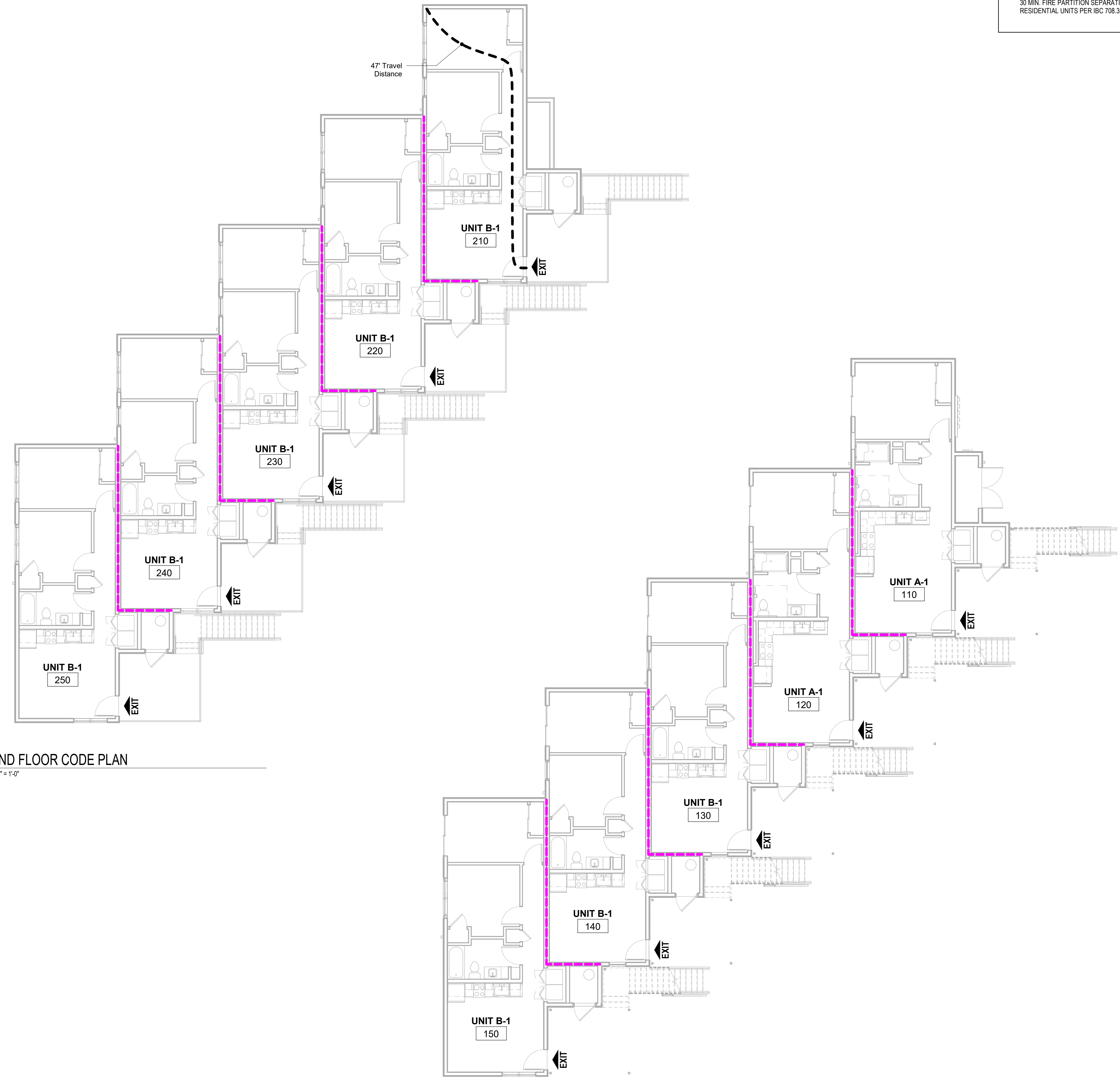
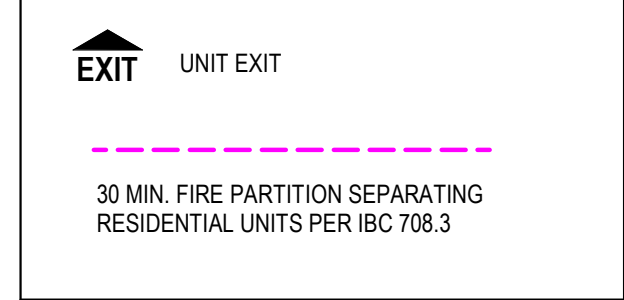
EXIT ACCESS TRAVEL DISTANCE: (TABLE 1016.1)
R-2 OCCUPANCY WITH SPRINKLER SYSTEM = 250 FEET
EXIT ACCESS TRAVEL DISTANCE (PROVIDED) = 47'-0"

COMMON PATH OF TRAVEL DISTANCE= 47'-0"
ALLOWABLE= 75'-0"

DEAD ENDS (1020.4) EXCEPTION 2: SHALL NOT EXCEED 50 FEET IN LENGTH

CORRIDOR WIDTH (1020.2) = 44"
WITHIN A DWELLING UNIT = 36"

GLAZING
ALL SAFETY GLAZING TO COMPLY WITH CPSC 16 CFR PART 1201

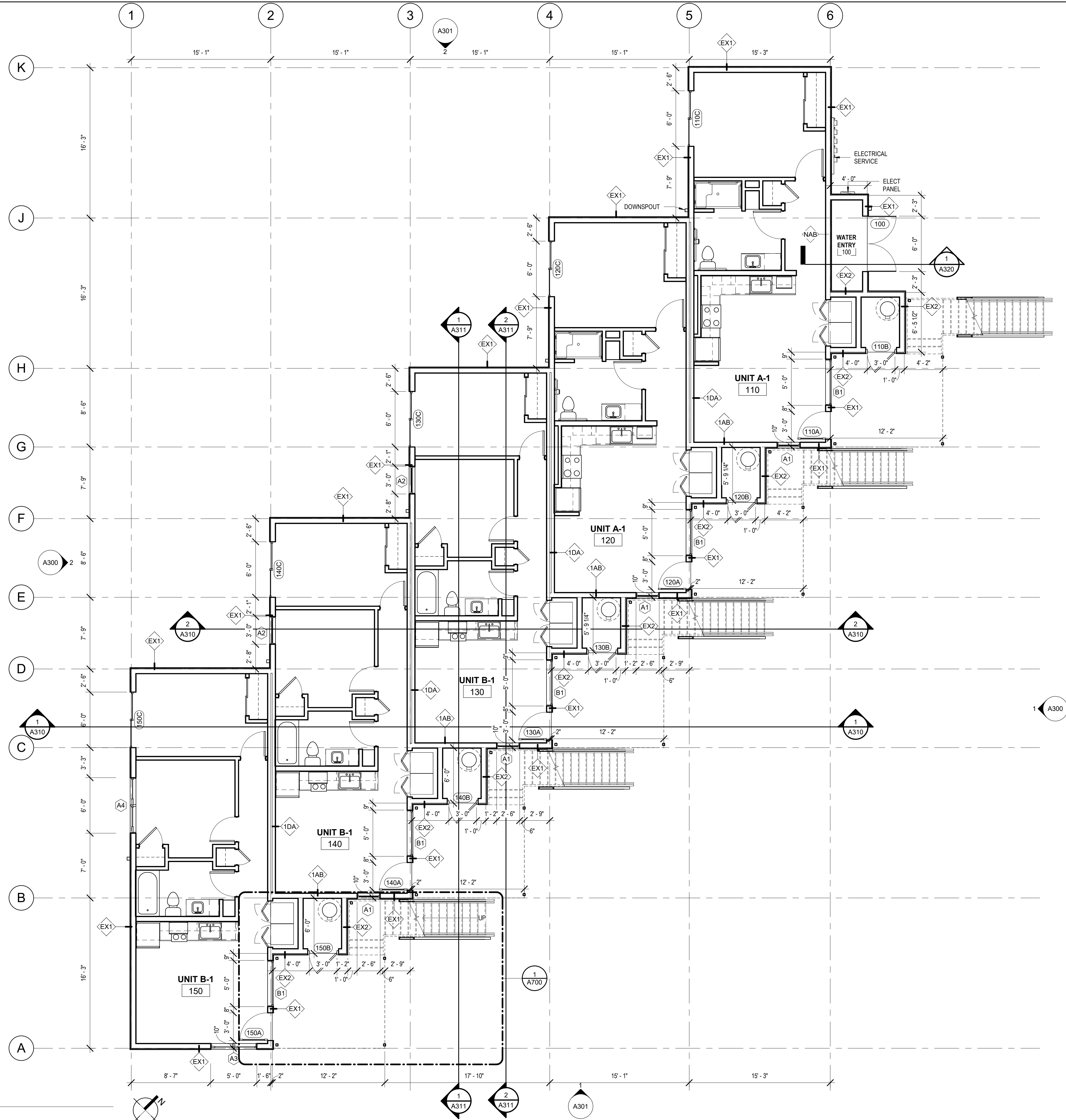


2 2ND FLOOR CODE PLAN
1/8" = 1'-0"

1 1ST FLOOR CODE PLAN
1/8" = 1'-0"

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1 1ST FLOOR
3/16" = 1'-0"



- FLOOR PLAN NOTES**
- DIMENSIONS INDICATED ARE FROM FACE OF STUD AND TO FACE OF MASONRY UNLESS NOTED OTHERWISE. SEE ENLARGED FLOOR PLANS FOR ADDITIONAL DIMENSIONS NOT INDICATED ON OVERALL PLANS.
 - CONTRACTOR TO COORDINATE LOCATIONS OF ADDITIONAL PENETRATIONS THROUGH WALLS AND FLOORS NOT INDICATED ON ARCHITECTURAL DRAWINGS. RE: MECH. PLUMBING AND ELECTRICAL. REFER TO STRUCTURAL DRAWINGS FOR LINTEL OR FRAMING REQUIREMENTS.
 - FIRE ALARM AND SUPPRESSION: DESIGN BUILD CONTRACTOR TO PROVIDE AS REQUIRED PER FIRE AND LOCAL CODES. SUBMIT THE DESIGN SUBMITTAL TO ARCHITECT PER SPECIFICATION SECTION 01300.
 - PROVIDE GYP. BOARD CONTROL JOINTS AT WALLS OVER 25'-0" IN LENGTH
 - FRAME DOOR OPENINGS 5" FROM FACE OF PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
 - REFER TO FINISH SCHEDULE AND INTERIOR DESIGN SELECTION PACKAGE FOR EXTENT OF ALL INTERIOR FINISHES

YOW Architects PC
 Architecture & Planning
 115 S. Weber Colorado Springs, Colorado 719-475-8133

Revision Schedule

NO.	DATE	DESCRIPTION

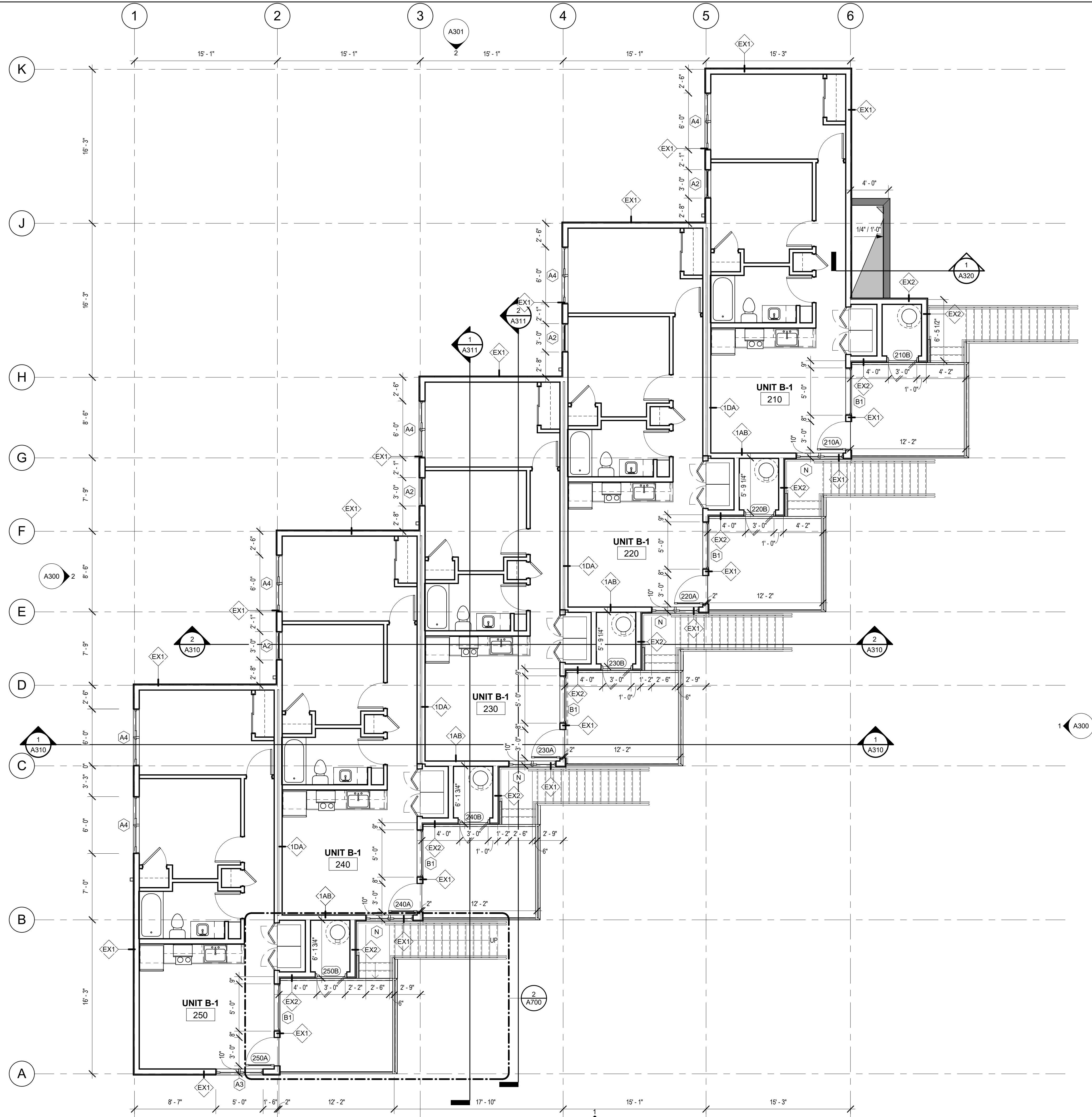
HRRMC EMPLOYEE HOUSING
 7164 COUNTY RD 154
 SALIDA, CO 81201

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10/05/2023
 Drawn By
MKG
 Checked By
YOW

A110
1ST FLOOR PLAN

10/5/2023 4:27:17 PM

1 2ND FLOOR
3/16" = 1'-0"



- FLOOR PLAN NOTES**
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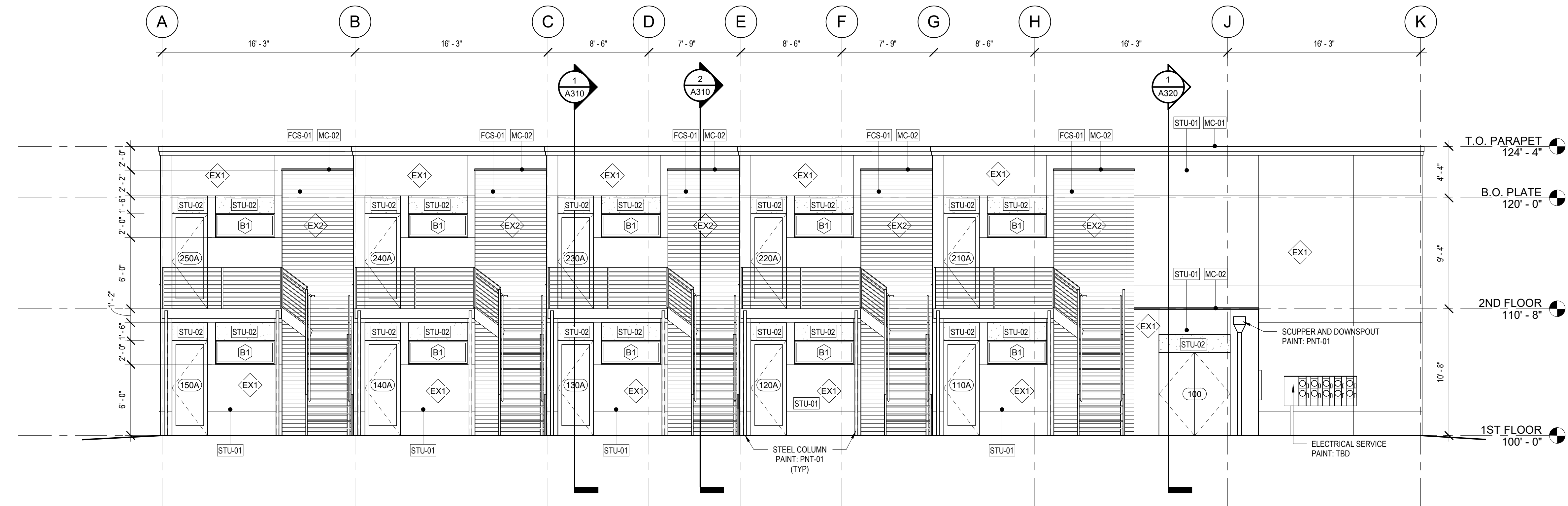
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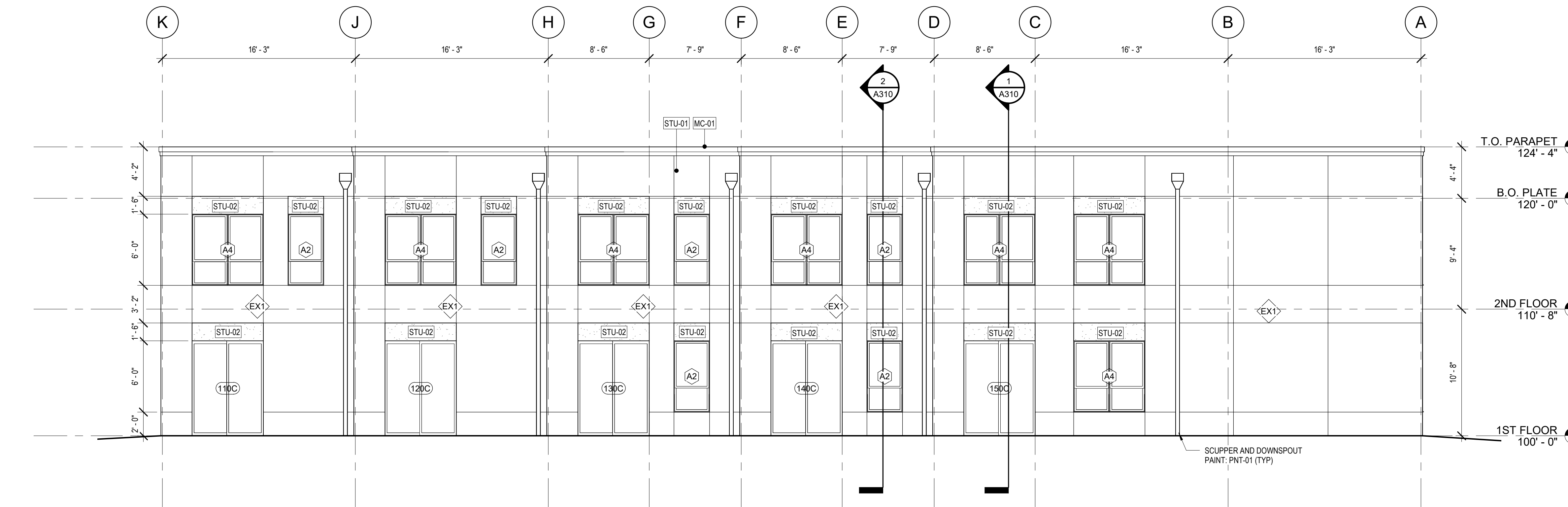
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A120
2ND FLOOR PLAN



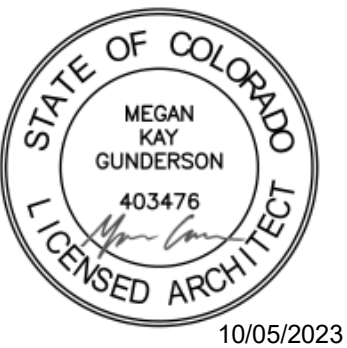
1 BUILDING ELEVATION - NE
A300 3/16" = 1'-0"



2 BUILDING ELEVATION - SW
A300 3/16" = 1'-0"

EXTERIOR MATERIALS

- FCS-01 FIBER CEMENT LAP SIDING
MANUFACTURER: JAMES HARDIE
SERIES: PLANK LAP SIDING
TEXTURE: CEDARMILL
COLOR: PAINT - TBD
SHEEN: FLAT
 - FCT-01 FIBER CEMENT TRIM
MANUFACTURER: JAMES HARDIE
SIZE: 54 - 11 X 3.5"
SERIES: RUSTIC GRAIN
COLOR: PAINT - TBD
SHEEN: FLAT
 - MC-01 PREFINISHED METAL COPING
MANUFACTURER: BERRIDGE
STYLE: STANDARD COPING
24 GA STEEL
COLOR: TBD
LOCATION: PARAPET AT STUCCO
 - MC-02 PREFINISHED METAL COPING
MANUFACTURER: BERRIDGE
STYLE: STANDARD COPING
24 GA STEEL
COLOR: TBD
LOCATION: PARAPET AT LAP SIDING
AND WATER ENTRY ROOM
 - PNT-01 STEEL / METAL - PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD
SHEEN: FLAT
 - STU-01 STUCCO - PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD
SHEEN: EGGSHELL
 - STU-02 STUCCO - PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD
SHEEN: EGGSHELL
- REFER TO SHEET A700 FOR WINDOW AND DOOR TYPES



YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-475-8133

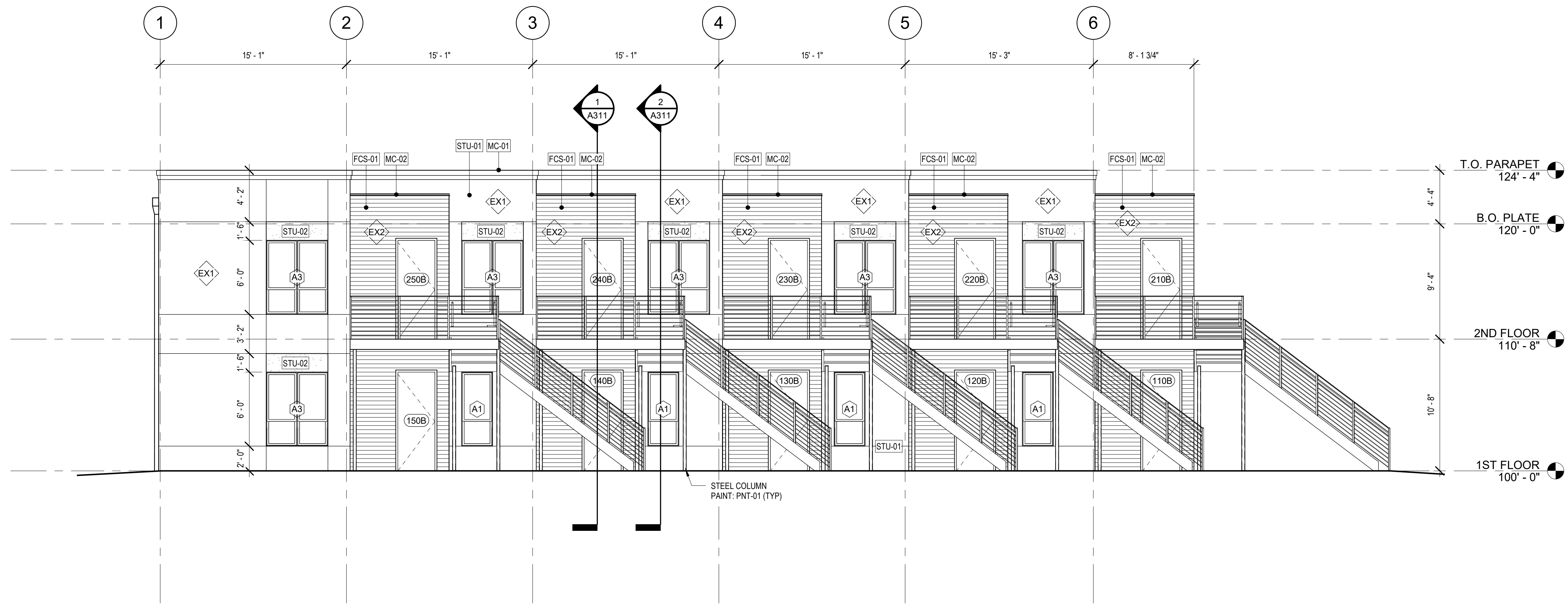
Revision Schedule

NO.	DATE	DESCRIPTION

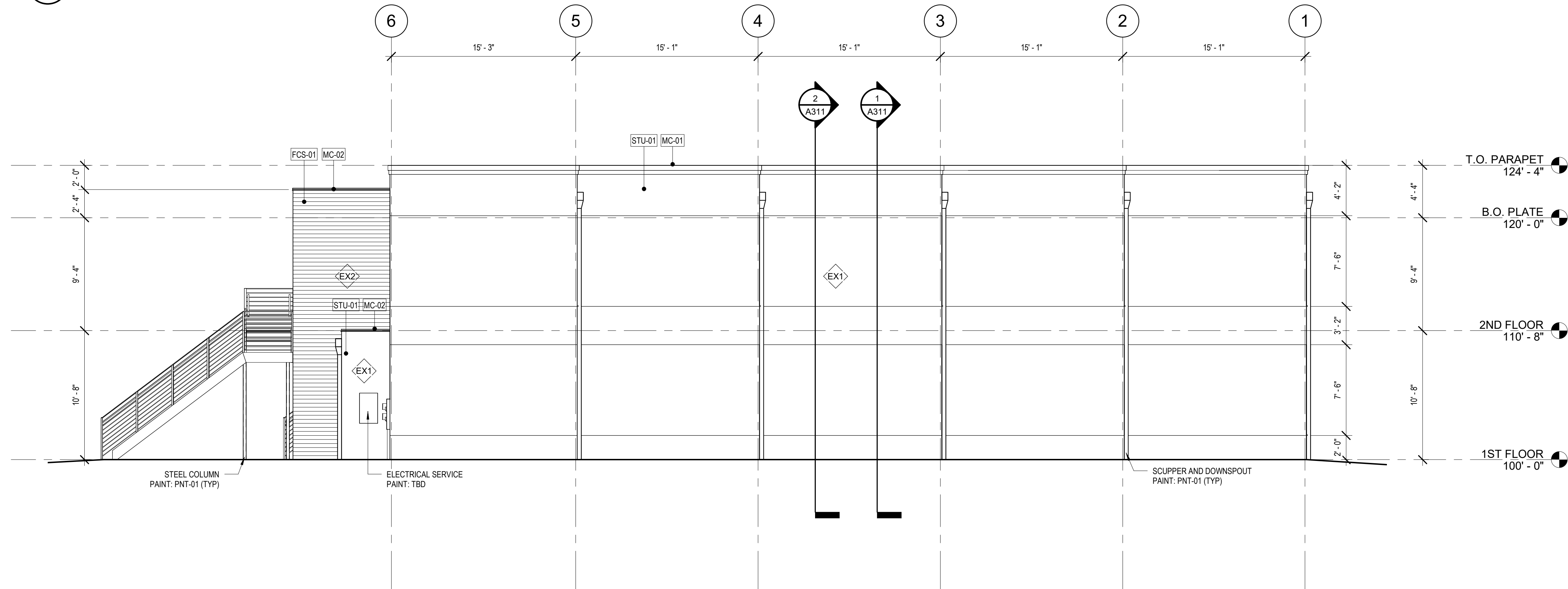
HRRMC EMPLOYEE HOUSING
7164 COUNTY RD 154
SALIDA, CO 81201

Project Number
23.177
Date
10/05/2023
Drawn By
MKG
Checked By
YOW

A300
EXTERIOR ELEVATIONS



1 BUILDING ELEVATION - SE
A301 3/16" = 1'-0"



2 BUILDING ELEVATION - NW
A301 3/16" = 1'-0"

EXTERIOR MATERIALS

- FCS-01 FIBER CEMENT LAP SIDING
MANUFACTURER: JAMES HARDIE
SERIES: PLANK LAP SIDING
TEXTURE: CEDARMILL
COLOR: PAINT - TBD
SHEEN: FLAT
 - FCT-01 FIBER CEMENT TRIM
MANUFACTURER: JAMES HARDIE
SIZE: 54 - 1 1/2 X 3 1/2"
SERIES: RUSTIC GRAIN
COLOR: PAINT - TBD
SHEEN: FLAT
 - MC-01 PREFINISHED METAL COPING
MANUFACTURER: BERRIDGE
STYLE: STANDARD COPING
24 GA STEEL
COLOR: TBD
LOCATION: PARAPET AT STUCCO
 - MC-02 PREFINISHED METAL COPING
MANUFACTURER: BERRIDGE
STYLE: STANDARD COPING
24 GA STEEL
COLOR: TBD
LOCATION: PARAPET AT LAP SIDING
AND WATER ENTRY ROOM
 - PNT-01 STEEL / METAL - PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD
SHEEN: FLAT
 - STU-01 STUCCO - PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD
SHEEN: EGGSHELL
 - STU-02 STUCCO - PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD
SHEEN: EGGSHELL
- REFER TO SHEET A700 FOR WINDOW AND DOOR TYPES



YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-475-8133

Revision Schedule

NO.	DATE	DESCRIPTION

HRRMC EMPLOYEE HOUSING
7164 COUNTY RD 154
SALIDA, CO 81201

Project Number
23.177

Date
10/05/2023

Drawn By
MKG
Checked By
YOW

A301
EXTERIOR ELEVATIONS



10/05/2023

YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-475-8133

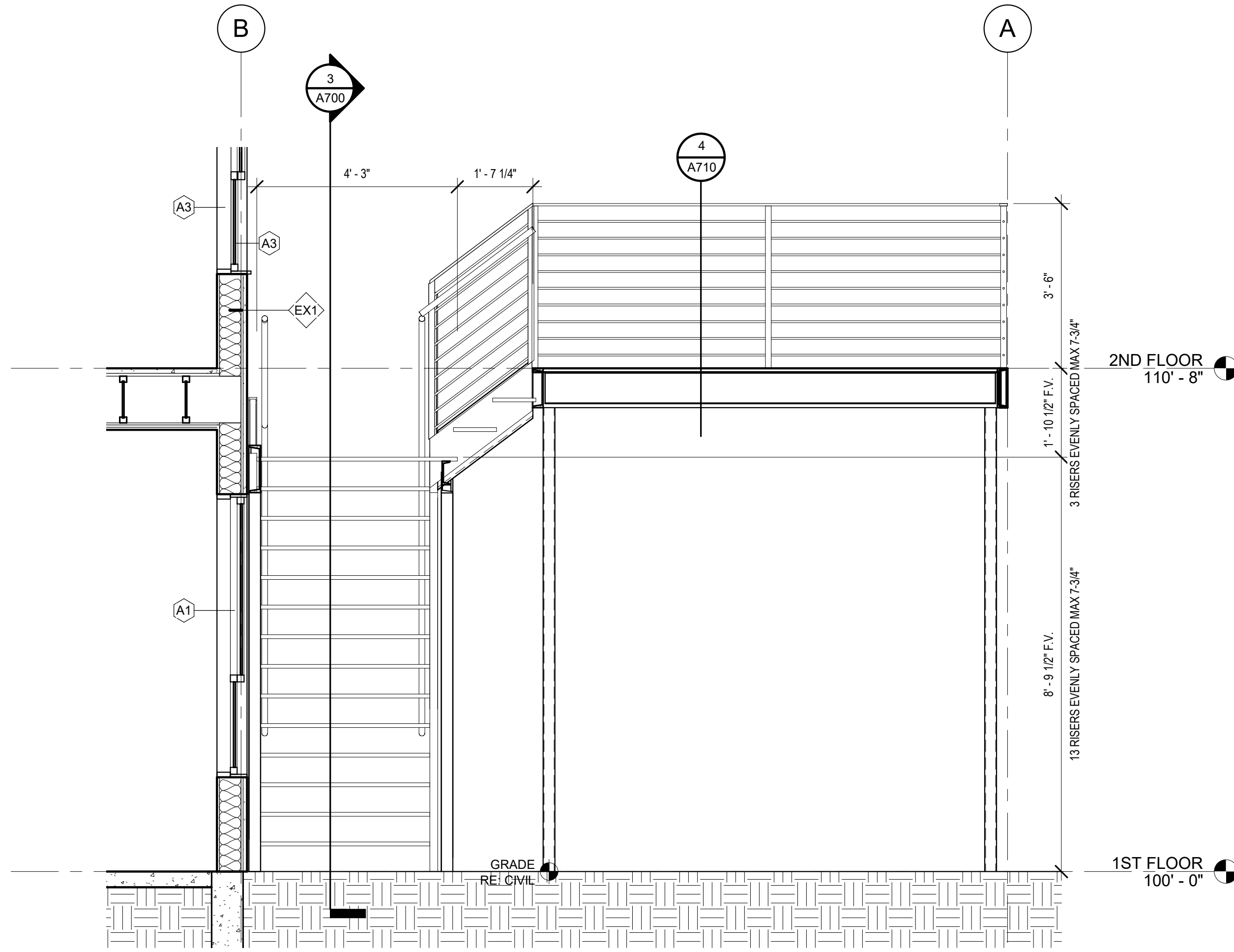
Revision Schedule

HRRMC EMPLOYEE HOUSING

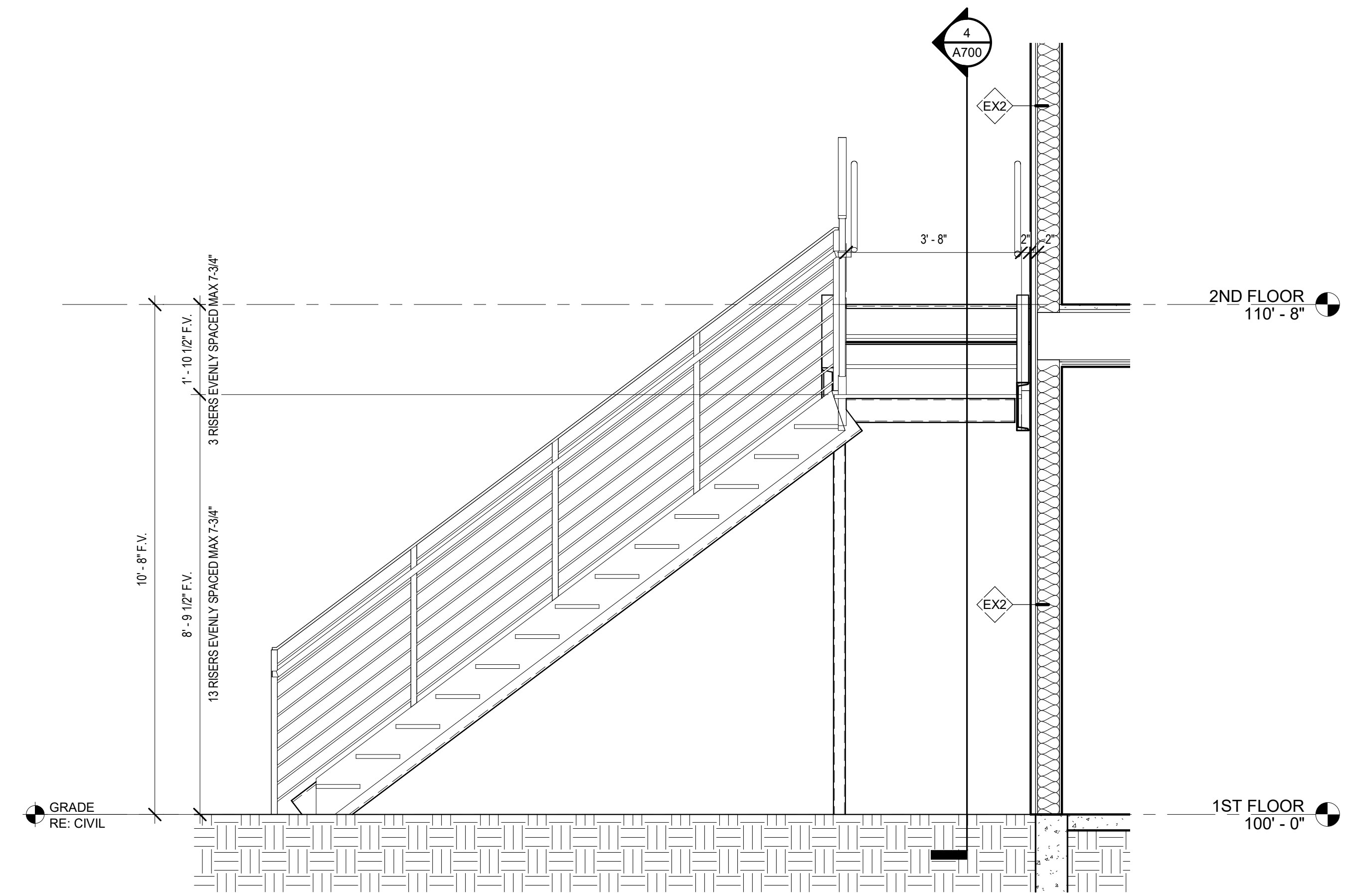
7164 COUNTY RD 154
SALIDA, CO 81201

Project Number
23.177
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Drawn By
Author
Checked By
Checker

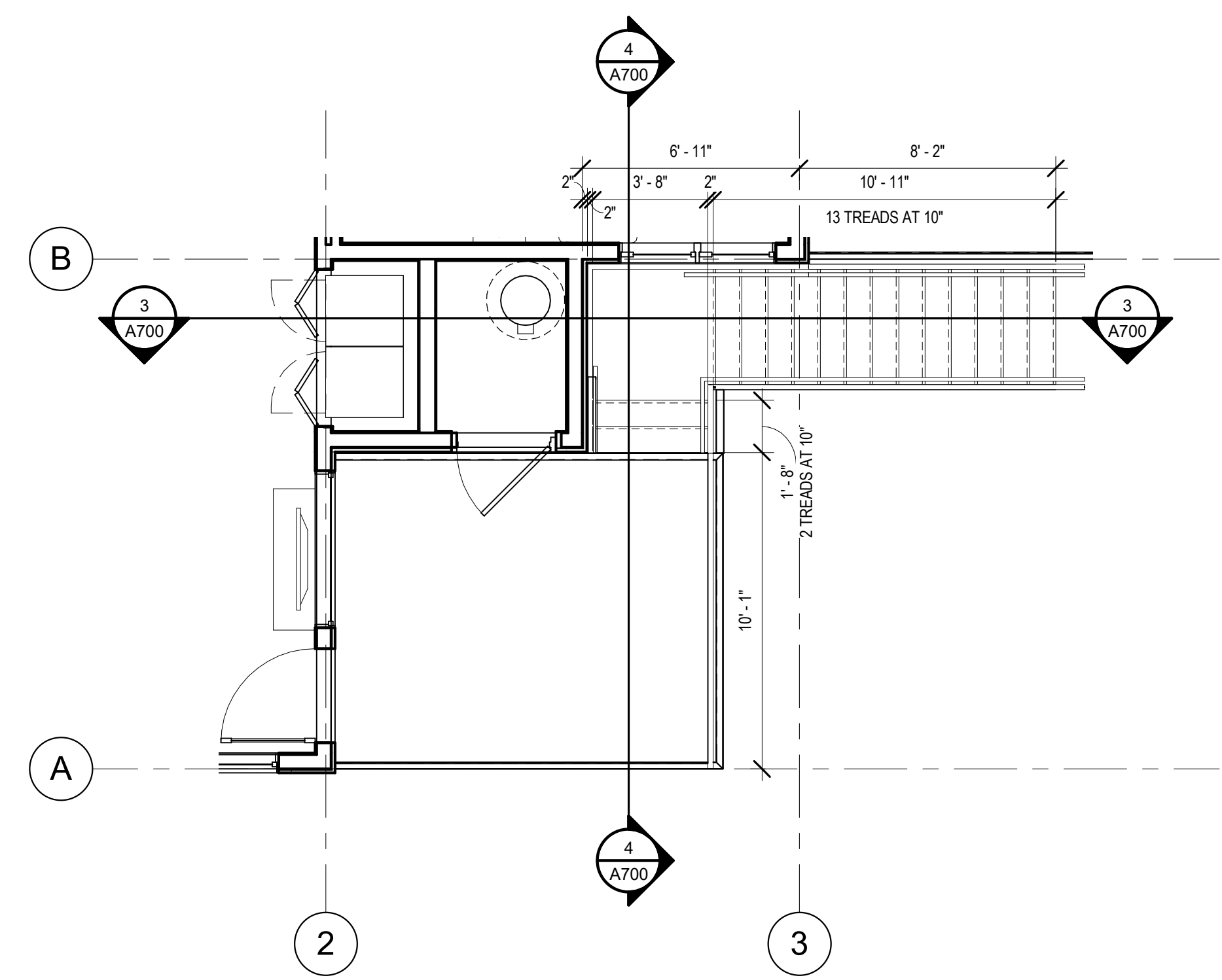
A700
STAIR PLANS AND SECTIONS



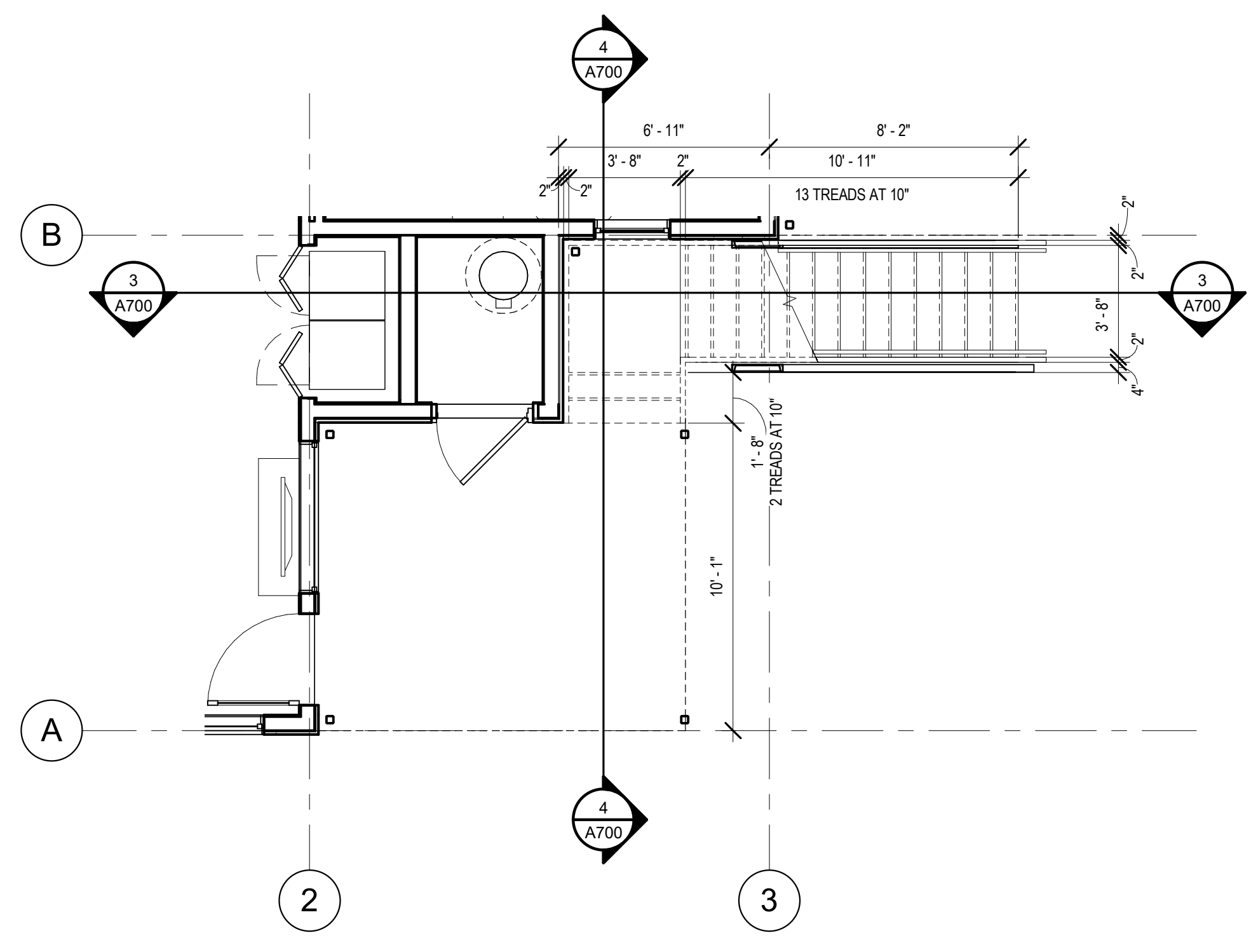
4
A700
STAIR SECTION 2
1/2" = 1'-0"



3
A700
STAIR SECTION
1/2" = 1'-0"



2
A700
STAIRS 2ND FLOOR
1/4" = 1'-0"



1
A700
STAIRS 1ST FLOOR
1/4" = 1'-0"

10/5/2023 4:27:50 PM

**1ST MODIFICATION TO HEART OF THE ROCKIES MEDICAL CAMPUS
PHASES 3 and 4 PLANNED DEVELOPMENT REVISION**

IN
LOT 1-RA AND LOT 9, HEART OF THE ROCKIES MEDICAL CAMPUS PHASES 3 & 4 PLANNED DEVELOPMENT REVISION

LOCATED IN THE
NE1/2 of SECTION 31, T50N, R9E, N.M.P.M.
IN THE
**CITY OF SALIDA
CHAFFEE COUNTY, COLORADO
SHEET 1 OF 4**

CERTIFICATE OF DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT SALIDA HOSPITAL DISTRICT, BEING THE OWNER OF THE FOLLOWING DESCRIBED REAL PROPERTY:

LOT 1-RA AND LOT 9, HEART OF THE ROCKIES MEDICAL CAMPUS PHASES 3 AND 4 PLANNED DEVELOPMENT REVISION IN THE CITY OF SALIDA, PER PLAT FILED FEBRUARY 2, 2017 UNDER RECEPTION NO. 440644, CHAFFEE COUNTY, COLORADO.

DO HEREBY LAY-OUT, PLAT AND SUBDIVIDE THE ABOVE DESCRIBED LOT 9 INTO TWO LOTS, WITH BEARINGS AND DISTANCES AS SHOWN ON SHEET 4 CONTAINED HEREIN, TO BE KNOWN AS:

**LOTS 9A AND 9B OF THE 1ST MODIFICATION TO THE
HEART OF THE ROCKIES MEDICAL CAMPUS
PHASES 3 and 4 PLANNED DEVELOPMENT REVISION**

IN THE
**CITY OF SALIDA
CHAFFEE COUNTY, COLORADO**

AND THE ADDITION OF SCHEDULE OF USES FOR RECREATIONAL VEHICLES-LONG TERM OCCUPANCY AND RECREATIONAL VEHICLE PARKS HAS BEEN ADDED TO THE TABLE 'PD & CI' SCHEDULE OF USES' ON SHEET 2 CONTAINED HEREIN.

AND LOT 1-RA REMAINS SUBJECT TO A 60 FOOT WIDE PUBLIC ACCESS AND UTILITY EASEMENT SHOWN ON SHEET 3 AS RUSH DRIVE.

AND LOT 1-RA REMAINS SUBJECT TO A 20 FOOT WIDE EASEMENT FOR AN EXISTING WATER MAIN WHICH WAS PREVIOUSLY DEDICATED TO THE CITY OF SALIDA. THE LOCATION OF SAID EASEMENT WITH BEARINGS AND DISTANCES ALONG THE CENTERLINE OF SAID EASEMENT ARE AS SHOWN ON SHEET 5 CONTAINED HEREIN. THE SIDELINES OF SAID EASEMENT SHALL LENGTHENED OR SHORTENED TO INTERSECT TO THE SOUTH BOUNDARY OF SAID LOT 1-RA AND THE SOUTHWESTERLY BOUNDARY OF COLORADO STATE HIGHWAY NO. 291. ADDITIONALLY, SAID LOT 1-RA SHALL REMAIN SUBJECT TO A PUBLIC EASEMENT FOR AN EXTENSION OF THE EXISTING WATER LINE WESTERLY AND NORTHERLY TO RUSH DRIVE AS SHOWN ON SHEETS 3 AND ON PLAT SHEET 5 OF OF THE HEART OF THE ROCKIES MEDICAL CAMPUS PHASES 3 AND 4 PLANNED DEVELOPMENT REVISION (RECEPTION NO. 440644).

AND LOT 1-RA REMAINS SUBJECT TO A PUBLIC EASEMENT FOR A SEWER LINE, SAID EASEMENT BEING 25.0 FEET WIDE, THE LOCATION OF WHICH IS SHOWN ON SHEET 4.

AND LOT 1-RA IS SUBJECT TO THE TERMS AND CONDITIONS OF THE HEART OF THE ROCKIES REGIONAL MEDICAL CENTER TRAIL EASEMENT DEED AND AGREEMENT AS RECORDED AT RECEPTION NO. 378430 OF THE CHAFFEE COUNTY RECORDS.

AND A PORTION OF THE ORIGINAL TRAIL AND TRAIL EASEMENT HAS BEEN VACATED AND RE-PLATTED TO THE LOCATIONS SHOWN ON SHEET 3 AND SAID LOT 1-RA IS SUBJECT TO THE RE-LOCATED TRAILS AND EASEMENTS.

AND ALL LOTS WITHIN THE HEART OF THE ROCKIES MEDICAL CAMPUS PLANNED DEVELOPMENT SHALL CARRY WITH THEM A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AND ACCESS BY AND FOR VEHICULAR AND PEDESTRIAN TRAFFIC UPON, OVER AND ACROSS THE EXISTING ROADS, INCLUDING RUSH DRIVE, TO AND FROM COLORADO STATE HIGHWAY 291 AND CHAFFEE COUNTY ROAD NO. 154 TO THE DRIVEWAYS TO THE COMMON PARKING AREAS FOR SUCH LOTS.

AND THE COMMON USE AREAS ADJACENT TO THE LOTS 2R, 3R, 4, 5, 6, 7, 8, 9A, 9B AND 10 ARE PART OF LOT 1-RA, INCLUDING THE PARKING AREAS, COMMON DRIVES, AREAS WHICH ARE LANDSCAPED AND THOSE DEVELOPED AS PARK AREAS.

AND, FOR THE BENEFIT AND BURDEN OF ALL LOTS, A NON-EXCLUSIVE, PERPETUAL EASEMENT IS RESERVED FOR INGRESS, EGRESS AND ACCESS OVER AND ACROSS THE COMMON USE AREA IN THE EVENT OF ANY EMERGENCY THREATENING PERSONAL INJURY OR PROPERTY DAMAGE.

AND THE DEDICATOR HEREON THROUGH ITS MAINTENANCE DIRECTOR, RESERVES NON-EXCLUSIVE EASEMENTS FOR ACCESS, INGRESS, EGRESS, MAINTENANCE, REPAIR, USE AND ENJOYMENT, IN, TO AND OVER THE LOTS IN THE MEDICAL CAMPUS AND THE IMPROVEMENTS THEREON.

AND, FOR THE BENEFIT AND BURDEN OF THE LOTS, THERE SHALL BE PERPETUAL, RECIPROCAL AND NON-EXCLUSIVE EASEMENTS OVER AND ACROSS ALL PRIVATE ROADWAYS AND PARKING AREAS NOW OR HEREAFTER LOCATED ON THE PROPERTY FOR THE SOLE PURPOSES OF VEHICULAR PARKING AND PEDESTRIAN AND VEHICULAR ACCESS, INGRESS AND EGRESS TO AND FROM THE LOTS, THE COMMON DRIVE, THE PARKING AREA, AND ALL ADJACENT PUBLIC STREETS, ROADWAYS, RIGHTS-OF-WAY AND EMERGENCY VEHICLE ACCESSSES.

AND THE DEDICATOR HEREON, THROUGH ITS MAINTENANCE DIRECTOR, RESERVES AN EASEMENT TO ENTER UPON, ACROSS, OVER, IN AND UNDER ANY PORTION OF THE LOTS FOR THE PURPOSE OF MAKING INSUBSTANTIAL CHANGES, CORRECTIONS OR MODIFICATIONS TO THE GRADE OF THE COMMON USE AREA IN ORDER TO IMPROVE THE DRAINAGE OF WATER.

AND NON-EXCLUSIVE PERPETUAL UTILITY EASEMENTS ARE RESERVED IN, TO, OVER, UNDER, ALONG AND ACROSS THOSE PORTIONS OF THE LOTS (EXCLUSIVE OF ANY PORTION LOCATED WITHIN A BUILDING AREA) NECESSARY FOR THE INSTALLATION, OPERATION, FLOW, PASSAGE, USE, MAINTENANCE, CONNECTION, REPAIR, RELOCATION, AND REMOVAL OF LINES OR SYSTEMS FOR UTILITIES SERVING LOT 1-RA, INCLUDING BUT NOT LIMITED TO, SANITARY SEWERS, STORM DRAINS, WATER (FIRE, DOMESTIC AND LANDSCAPING), GAS, ELECTRICAL, FIBER OPTIC, CABLE TELEVISION AND COMMUNICATION LINES. EXCEPT WITH RESPECT TO PAD-MOUNTED ELECTRICAL TRANSFORMERS OR AS MAY BE NECESSARY DURING PERIODS OF CONSTRUCTION, REPAIR, OR TEMPORARY SERVICE, ALL UTILITIES SHALL BE PLACED UNDERGROUND UNLESS REQUIRED TO BE ABOVE-GROUND BY THE UTILITY PROVIDING THE SERVICE.

AND THE LOTS ARE SUBJECT TO THE RIGHTS OF OTHERS TO OPERATE, MAINTAIN, INSPECT AND REPAIR THE EXISTING OVERHEAD ELECTRIC TELEPHONE AND TELEVISION LINES CROSSING THE PROPERTY, AND THOSE EXISTING OVERHEAD AND UNDERGROUND UTILITY LINES ADJACENT TO THE BOUNDARIES OF THE LOTS.

AND LOT 1-RA IS SUBJECT TO THE RIGHTS OF OTHERS TO OPERATE, MAINTAIN, INSPECT AND REPAIR THE NATURAL GAS MAIN LOCATED ON SAID LOT.

AND LOT 1-RA SHALL BE SUBJECT AN EASEMENT FOR OPERATION, MAINTENANCE, INSPECTION AND REPAIR OF AN EXISTING SEEP DITCH LOCATED ON SAID LOT.

AND LOT 1-RA AND LOT 6 SHALL BE SUBJECT TO AN AVIGATION EASEMENT AS SHOWN AN DESCRIBED ON SHEET 4 CONTAINED HEREIN.

AND THE LOTS SHALL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE DECLARATION OF RECIPROCAL EASEMENTS AND RESTRICTIVE COVENANTS FOR HEART OF THE ROCKIES MEDICAL CAMPUS PLANNED DEVELOPMENT AS RECORDED AT RECEPTION NO. 380584 OF THE CHAFFEE COUNTY RECORDS.

ACKNOWLEDGEMENTS:

IN WITNESS WHEREOF, ROBERT MORASKO, CEO, FOR SALIDA HOSPITAL DISTRICT, HAS CAUSED THESE PRESENTS TO BE EXECUTED ON THIS _____ DAY OF _____, 201__.

SALIDA HOSPITAL DISTRICT:

ROBERT MORASKO, CEO

STATE OF COLORADO }
COUNTY OF CHAFFEE }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 201__.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC: _____
ADDRESS: _____

SHEET GUIDE:

- SHEET 1 DEDICATIONS AND APPROVALS.
- SHEET 2 PLANNED DEVELOPMENT TABLES WITH ADDITIONS, NOTES & VICINITY MAP.
- SHEET 3 DEVELOPMENT PERIMETER, PUBLIC ACCESS & UTILITY EASEMENT (RUSH DRIVE), NEW PEDESTRIAN TRAIL, OVER-ALL DEVELOPMENT PLAN.
- SHEET 4 NEW LOTS 9A & 9B, SEWER EASEMENT & AVIGATION EASEMENT.

CERTIFICATE OF TITLE INSURANCE COMPANY:

I, BRETT W. EAKINS, A LICENSED TITLE INSURANCE AGENT REPRESENTING FIRST AMERICAN TITLE INSURANCE COMPANY IN THE STATE OF COLORADO DO CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE REAL PROPERTY DEDICATED, SHOWN AND DESCRIBED ON THESE PLATS AND FOUND TITLE VESTED IN SALIDA HOSPITAL DISTRICT, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES, EXCEPT _____

BRETT W. EAKINS

LAND SURVEYOR'S STATEMENT:

I, MICHAEL K. HENDERSON, A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF COLORADO, DO HEREBY STATE THAT THESE PLATS WERE PREPARED UNDER MY DIRECT SUPERVISION AND ARE BASED ON A MONUMENTED LAND SURVEY OF THE PROPERTY AND NEW LOTS SHOWN AND DESCRIBED ON THESE PLATS, WHICH SURVEY WAS PERFORMED UNDER MY RESPONSIBLE CHARGE, AND THAT SAID SURVEY AND THE PLATS PERTAINING TO SAID SURVEY ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.
DATED THIS _____ DAY OF _____, 201__.

MICHAEL K. HENDERSON
REG. L.S. NO. 16117
STATE OF COLORADO

GENERAL LAND SURVEYOR'S NOTES:

- 1) PROPERTY DESCRIPTION IS BASED ON THE FILED PLAT OF HEART OF THE ROCKIES MEDICAL CAMPUS PHASES 3 AND 4 PLANNED DEVELOPMENT REVISION (RECEPTION NO. 440644).
- 2) RECORD EASEMENT RESEARCH BASED ON FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBERS 16-02465 AND 16-3050218 ISSUED BY CENTRAL COLORADO TITLE & ESCROW, EFFECTIVE MAY 5, 2016 AND JUNE 22, 2016.
- 3) DEED LINES ARE BASED ON THE AFOREMENTIONED PLAT OF HEART OF THE ROCKIES MEDICAL CAMPUS PHASES 3 AND 4 PLANNED DEVELOPMENT REVISION AND ON THE LOCATIONS OF THE PREVIOUSLY RECOVERED SURVEY MONUMENTS SHOWN AND ON THE PLATS CONTAINED HEREIN.
- 4) PLANNED DEVELOPMENT TABLES CONTAINED ON SHEET 2 WERE COMPILED AND PREPARED BY THE CRABTREE GROUP, WHO ASSISTED WITH THE PREPARATION OF THESE PLATS.

CITY OF SALIDA APPROVAL OF PLAT:

THIS PLANNED DEVELOPMENT MODIFICATION IS APPROVED BY THE CITY OF SALIDA PLANNING COMMISSION ON THIS _____ DAY OF _____, 201__.

CHAIRMAN

THIS PLANNED DEVELOPMENT MODIFICATION IS APPROVED FOR FILING PER ORDINANCE 2018-____
SIGNED THIS _____ DAY OF _____, 201__.

BY: _____
MAYOR OF THE CITY OF SALIDA

COUNTY CLERK & RECORDER'S CERTIFICATE:

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE CLERK AND RECORDER OF CHAFFEE COUNTY, COLORADO, AT _____ M. ON THIS _____ DAY OF _____, 201__ UNDER RECEPTION NO. _____.

CHAFFEE COUNTY CLERK & RECORDER

SURVEYOR CONTACT INFORMATION:

MICHAEL K. HENDERSON
203 'B' STREET
SALIDA, CO 81201
PHONE: 719-534-6166

OWNERS:

SALIDA HOSPITAL DISTRICT
1000 RUSH DRIVE
SALIDA, CO 81201

ASSISTED BY:

THE CRABTREE GROUP
325 'D' STREET
SALIDA, CO 81201
PHONE: 719-534-1675

SHEET 1 OF 4

1ST MODIFICATION TO HRRMC PHASE 3 & 4 PD REVISION IN LOTS 9 AND 1-RA, HEART OF THE ROCKIES MEDICAL CAMPUS CHAFFEE COUNTY, CITY OF SALIDA, COLORADO	
Job Number: J-18-196 TPC FILE: J-05-081 DRAWN BY: M.K.H. CHECKED: TMOO CADDO FIG. BOOK: 5309 Pgs. 8-16, 80 & 81 D.C. 1363	HENDERSON LAND SURVEYING CO., INC. P.O. BOX 812 SALIDA, COLORADO DATE: 11/17/18 DRAWING NO. L-18-90

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE SURVEYOR'S STATEMENT CONTAINED HEREON.

HRRMC PLANNED DEVELOPMENT REVISION PHASES 1-4

PD STRUCTURAL COVERAGE TABLE	ZONE		SITE ACRES		MAXIMUM LOT COVERAGE STRUCTURES (ACRES)	MAXIMUM LOT COVERAGE (%)	NOTES
	C1	46.415	GROSS BUILDING FLOOR SPACE (S.F.)	MAXIMUM LOT COVERAGE STRUCTURES (S.F.)			
Phase 1 Main Hospital Building	99,402	69,850	1.60	3.5%	existing Phase 1-2		
Phase 1 Maintenance Building	2,250	2,250	0.05	0.1%	existing Phase 1-2		
Phase 2 Medical Campus Lot 2	6,032	7,000	0.16	0.3%	existing		
Phase 2 Medical Campus Lot 3	4,700	5,700	0.13	0.3%	existing		
Phase 2 Medical Campus Lot 4	3,200	5,700	0.13	0.3%	existing		
Phase 2 Medical Campus Lot 5	5,700	5,700	0.13	0.3%	existing vacant lot		
Phase 3 Medical Office Building	47,988	13,000	0.30	0.6%	new		
Phase 3 Helo-Hanger/Dormitory Lot 6	8,160	8,160	0.19	0.4%	new		
Phase 3 North Medical Clinic Lot 7	7,935	7,935	0.18	0.4%	new		
Phase 3 North Medical Clinic Lot 8	8,000	8,000	0.18	0.4%	new		
Phase 3 North Medical Clinic Lot 9A	3,000	3,000	0.07	0.1%	new		
Phase 3 North Medical Clinic Lot 9B	5,000	5,000	0.11	0.2%	new		
Phase 3 North Medical Clinic Lot 10	17,600	17,600	0.40	0.9%	new		
Phase 4 Hospital Expansion	100,800	33,600	0.77	1.7%	new		
Phase 4 Medical and Employee Housing	120,000	120,000	2.75	5.9%	new		
PD Totals	439,767	312,495	6.31	15.4%	C1 ZONE ALLOWS 60%		

PD Lot Coverage Parking & Access	Descriptions	Max Lot Coverage (S.F.)	Max Lot Coverage (Acres)	Max Lot Coverage (%)	Notes
Phase 1 & 2 Existing Interior Streets	53,305	1.2	2.64%		
Phase 3 Parking Lots	97,585	2.2	4.83%		
Phase 3 Interior Streets	40,501	0.9	2.00%		
Phase 3 Concrete Trail	10,929	0.3	0.54%		
Phase 3 Crusher Fines Trail	20,818	0.5	1.03%		
Helo Pad & Hanger Drive	4,210	0.1	0.21%		
Phase 4 Concrete Trail	10,000	0.2	0.49%		
Phase 4 Interior Streets	30,000	0.7	1.48%		
Phase 4 Parking Lots	125,000	2.9	6.18%		
PD Totals	505,224	12.0	25.0%	C1 allows 60%	

Dimensional Standards Table 4	C1	PD
Min. lot size (sq. ft.)	5,625	3,000
Density (Lots s.f./per dwelling unit)	2,800	2,800
Min Lot Frontage	37'6"	37'6"
Min Lot Frontage Attached Units	20	20
Max Lot Coverage: Structures (additive coverage total for structures and uncovered parking can not exceed 90%)	60%	60%
Max Lot Coverage: Structures + Uncovered Parking (additive coverage total for structures and uncovered parking can not exceed 90%)	60%	60%
Min Landscape Area (for PD includes Open Space Areas naturally vegetated with trees and grasses)	10%	10%
Min. Setback from side lot line ft.	5'	5'
Min setback from rear lot line ft.	5'	5'
Min setback from front lot line ft. (interior lots)	10'	0'
Minimum setback from front lot line (exterior campus boundary)	10'	10'
Max Height Institutional Building	54'	54'
Max height primary building (non-institutional building)	35'	35'
Max height accessory building	25'	25'

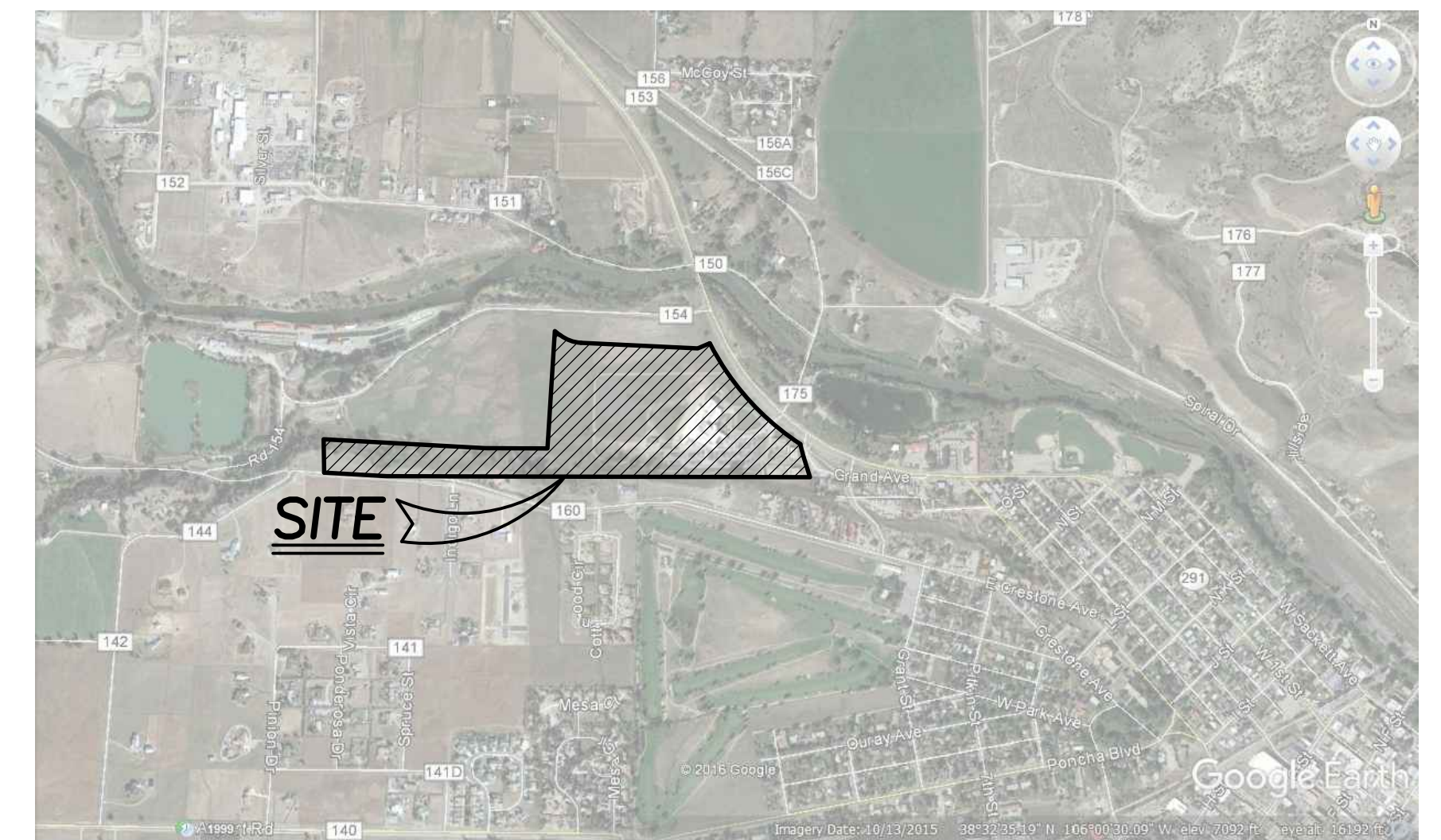
PD & C1 SCHEDULE OF USES	C-1	PD	Standards ¹
N = Not Permitted			
P = Permitted			
AC = Administrative			
Conditional Use			
C = Conditional Use			
AR = Administrative Review			
LR = Limited Impact Review			
MR = Major Impact Review			
Residential Uses			
Accessory buildings and structures.	P	P	
Multiple principal structures	LR	P	Sec. 16-4190(b)
Accessory dwelling units	AR	AR	Sec. 16-4190(c)
Duplex dwelling units	LR ¹	AR ¹	
Residential (3 - 4 units)	AR ¹	AR ¹	
Residential (5 - 19 units)	LR ¹	LR	
Residential (20 or more units)	MR ¹	LR	
Single-family dwelling units	AR ¹	LR	
Single Mobile Home	N ¹	N ¹	
Medical marijuana cultivation—patient or primary caregiver—up to six plants	P	N ¹	Sec. 16-4190(g)
Medical marijuana cultivation—patient or primary caregiver—more than six plants	LR	N	Sec. 16-4190(g)
Mobile home parks	N	N	Sec. 16-4190(d)
One or more dwelling units on the same site as a commercial or industrial use	LR	P	
Recreational vehicles—long term occupancy	AR	N	Sec. 16-4-190
Recreational vehicle parks	LR	P	Sec. 16-4-190(e)
Rooming or boarding houses ²	LR ¹	LR	
Residential Business Uses	C-1	PD	Standards ¹
Bed and breakfast inns	P	N	
PD & C1 SCHEDULE OF USES			
N = Not Permitted			
P = Permitted			
AC = Administrative			
Conditional Use			
C = Conditional Use			
AR = Administrative Review			
LR = Limited Impact Review			
MR = Major Impact Review			
Day care, adult	AR	P	Sec. 16-4-190(f)
Day care, small	AC	P	Sec. 16-4-190(f)
Day care, large	AC	P	Sec. 16-4-190(f)
Home occupations	P	N	
Home Businesses	P	N	
Public/Institutional Uses	C-1	PD	Standards ¹
Bus Stations	LR	LR	
Churches, parish homes and religious education buildings	AR	AR	
Clubs operated by and for their members	P	P	
Community buildings	AR	AR	
Government administrative facilities and services	AR	P	
Group homes	C	P	
Hospitals	MR	AR	
Nursing homes	MR	LR	
Parks	AR	P	
Public parking facilities	LR	P	
Recreation facilities	AR	AR	
Schools	LR	AR	
PD & C1 SCHEDULE OF USES			
N = Not Permitted			
P = Permitted			
AC = Administrative			
Conditional Use			
C = Conditional Use			
AR = Administrative Review			
LR = Limited Impact Review			
MR = Major Impact Review			
Commercial, Personal Service and Office Uses	C-1	PD	Standards ¹
Commercial lodging	AR	LR	
Commercial parking lots and garages	LR	P	
Drive-in facilities	LR	AR	Sec. 16-4-190(i)
Drive-in food or beverage facilities	LR	N	Sec. 16-4-190(i)
Outdoor amusement establishment	LR	N	
Eating and drinking establishments	P	N	
Medical marijuana centers	AR	N	Sec. 16-4-190(k)
Retail marijuana store	AR	N	Sec. 16-4-190(k)
Marijuana cultivation facilities	LR	N	Sec. 16-4-190(k)
Professional offices	P	P	
Recreational Vehicle Park	MR	P	Sec. 16-4-190(e)
Retail sales and rental establishments	P	AR	Sec. 16-4190(m)
Temporary commercial activities	AR	AR	Sec. 16-4190(n)
General Services	C-1	PD	Standards ¹
Automobile sales, service and repairs	P	N	
Gasoline service stations and car washes	AR	N	
Mobile home and recreational vehicle sales and services	P	N	
Veterinary clinics	LR	N	
PD & C1 SCHEDULE OF USES			
N = Not Permitted			
P = Permitted			
AC = Administrative			
Conditional Use			
C = Conditional Use			
AR = Administrative Review			
LR = Limited Impact Review			
MR = Major Impact Review			
Industrial Uses	C-1	PD	Standards ¹
Light industrial	AR	N	
Heavy industrial	MR	N	
Marijuana infused products manufacturing operation (Medical or Retail)	N	N	
Medical marijuana optional premises cultivation operation	N	N	
Communication facility	MR	LR	Sec. 16-4-190(o)
Storage yards	LR	LR	
Warehouses, enclosed storage and truck terminals	LR	N	
Wholesale businesses	LR	N	
Bulk fuel storage facilities and wholesale sales of fuels	N	P (#4)	Helo Fueling Station
Junkyards, salvage yards or automobile wrecking yards	N	N	

Notes:
¹ The standards referenced herein are in addition to all other applicable standards of provided that State Health Code space and sanitation requirements are met.
² An existing dwelling can be modified or rebuilt as a matter of right provided it is in compliance with the standards of the SH 291 Corridor Overlay (291 CO). Refer to Section 16-5-50 regarding the SH 291 Corridor (291 CO) District.
⁴ 4000 Gallon Max Fueling Tank for Helo Fueling Only.

⊗ DENOTES AN ADDITION TO ORIGINAL TABLE

PLAT NOTES:

- THIS IS THE 1st MODIFICATION TO THE HEART OF THE ROCKIES MEDICAL CAMPUS (HRRMC) PHASE 3 & 4 PLANNED DEVELOPMENT REVISION RECORDED FEBRUARY 2, 2018 UNDER RECEPTION NO. 440644 AND INCLUDES PHASE 3 AND PHASE 4 IN THE MODIFICATION.
- PHASE 3 INCLUDES IMPROVEMENTS TO BE CONSTRUCTED IN 2017 AND 2018, WITH A FULL ENGINEERING, LANDSCAPING AND LIGHTING SUBMITTAL FOR CONSTRUCTION APPROVAL WITH THIS MAJOR IMPACT REVIEW.
- PHASE 4 DEVELOPMENT APPROVALS ARE INCLUDED IN THE PD ENTITLEMENT FOR MAXIMUM GROSS FLOOR AREA, MAXIMUM STRUCTURAL COVERAGE AND MAXIMUM PARKING COVERAGE AS WELL AS ALLOWED USES WITH THIS MAJOR IMPACT REVIEW. CONSTRUCTION APPROVAL FOR PHASE 4 ITEMS WILL REQUIRE ENGINEERING, LANDSCAPING AND LIGHTING SUBMITTALS TO MEET LIMITED IMPACT REVIEW OR ADMINISTRATIVE REVIEWS PER THE PD TABLES PRIOR TO CONSTRUCTION.
- THIS PLAT INCLUDES THE SUBDIVISION OF LOTS 9A AND 9B BUILDING PADS. CONSTRUCTION APPROVAL WILL REQUIRE ENGINEERING, DRAINAGE, LIGHTING AND LANDSCAPE PLANS FOR AN ADMINISTRATIVE REVIEW PRIOR TO CONSTRUCTION.
- THE APPROVAL OF THIS PD APPROVES MULTI-FAMILY RESIDENTIAL 20 OR MORE UNITS AND NON-RESIDENTIAL 50,000 OR GREATER APPLICATIONS FOR PHASE 3 & 4 WITH ONLY LIMITED IMPACT REVIEW OR ADMINISTRATIVE REVIEW PER THE PD USE TABLES WITHOUT A MAJOR IMPACT REVIEW. CREATION OF BUILDING PADS (LOTS) OR LOTS SHALL ALSO ONLY REQUIRE LIMITED IMPACT REVIEW FOR SUBDIVISION.
- ALL STREETS ON THE PROPERTY ARE PRIVATE STREETS AND PRIVATELY MAINTAINED BY THE OWNER.
- GRAVEL FINE TRAILS ARE PUBLIC TRAIL EASEMENTS MAINTAINED BY THE OWNER.
- CONCRETE TRAILS ARE PRIVATE TRAILS THAT WILL BE OPEN TO PUBLIC ACCESS, BUT UNDER REGULATIONS ADOPTED BY THE OWNER FOR HEALTH, SAFETY AND SECURITY. THE OWNER RESERVES THE RIGHT TO REMOVE INDIVIDUALS OR ACTIVITIES THAT ARE IN VIOLATION OF CAMPUS REGULATIONS.
- THE HELICOPTER APPROACH SURFACE AND HELICOPTER DEPARTURE SURFACE SHOWN ON THIS PD PLAT SHALL NOT BE ENCRUCHEDED BY VERTICAL STRUCTURES, TREES OR OTHER OBSTRUCTIONS TO INCLUDE THE HIGHWAY RIGHT OF WAY WITHOUT REVIEW OF FAA REGULATIONS FOR THE HELICOPTER APPROACH PATH.
- CITY OF SALIDA PUBLIC UTILITIES ON THE CAMPUS SITE ARE IN PUBLIC UTILITY EASEMENTS AND THE CITY HAS THE RIGHT TO REPAIR AND OR REPLACE THESE UTILITIES USING THE CITY OF SALIDA SPECIFICATIONS ADOPTED AT THE TIME OF MAINTENANCE OR REPLACEMENT REGARDING ANY REQUIRED DISTURBANCES FOR THE REPLACEMENT SUCH AS ASPHALT PATCHING, ETC.
- THE OWNER SHALL PAY IN LIEU OF LAND DEDICATION OR CONVEYANCE FOR A PUBLIC SCHOOL FACILITY AN AMOUNT OF THREE HUNDRED FIFTY-FOUR DOLLARS (\$354.00) PER RESIDENTIAL DWELLING UNIT. THE OWNER MAY ELECT FOR SUCH AMOUNT TO BE PAID BY THE OWNER OF A PARTICULAR LOT AND/OR UNIT AT THE TIME A RESIDENTIAL BUILDING PERMIT IS OBTAINED.
- THE HEART OF THE ROCKIES REGIONAL MEDICAL CAMPUS CONSISTS OF EXHIBITS A-C OF CITY OF SALIDA ORDINANCE NO. 2017-21.



VICINITY MAP
(NO SCALE)

PREPARED BY:
CRABTREE GROUP INC.
 ENGINEERING SMART GROWTH™
 325 D STREET SALIDA, CO 81201 PH: 719-539-1875
 918 CUYAMA ROAD OJAI, CA 93023 PH: 719-221-1799

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE SURVEYOR'S STATEMENT CONTAINED HEREON.

SHEET 2 OF 4

1st MODIFICATION TO HRRMC PH 3 & 4 PD REVISION	
IN LOTS 9 & 1-RA, HEART OF THE ROCKIES MEDICAL CAMPUS	
CHAFFEE COUNTY	CITY OF SALIDA COLORADO
Job Number: J-18-196	HENDERSON LAND SURVEYING CO., INC.
TPC FILE: J-05-081	203 G STREET SALIDA, COLORADO
DRAWN BY: T.L.V.	DATE: NOV 2018
CHECKED: M.K.H.	DRAWING NO. L-18-90
Plat book: 3308, Pgs. 8-16, 82 & 81, 82, 75-2	

OWNER:
 SALIDA HOSPITAL DISTRICT
 1000 RUSH DR
 SALIDA, CO 81201
 PH: (719) 530-2200