

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE PAYMENT FOR AND ACQUISITION OF ALL REQUIRED PERMITS AND FEES ASSOCIATED WITH HIS/HER PORTION OF THE PROJECT.
2. THE CONTRACTORS SHALL CONFIRM THE LOCATION OF ALL EXISTING UTILITIES AND COORDINATE THE INSTALLATION OF ALL NEW UTILITIES AND METER LOCATIONS WITH THE UTILITY COMPANY OR GOVERNMENTAL AUTHORITY HAVING JURISDICTION OVER THE PROJECT.
3. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO THOROUGHLY REVIEW AND BECOME FAMILIAR WITH ALL PERTINENT DOCUMENTS AVAILABLE REGARDING THE CONSTRUCTION OF THIS PROJECT. ANY AMBIGUITY OR DISCREPANCY DISCOVERED IN THE DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER WHO SHALL MAKE CLARIFICATIONS AND INTERPRETATIONS IN A TIMELY MANNER. THE CONTRACTOR'S FAILURE TO DISCOVER AND NOTIFY THE DESIGNER OF SAID AMBIGUITY OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY RELATING TO THE MATTER.
4. CHANGES OR DEVIATIONS FROM THE DOCUMENTS, MADE BY THE CONTRACTOR OR THEIR SUPPLIERS, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER, ARE UNAUTHORIZED CHANGES TO THE WORK AND AS SUCH SHALL RELIEVE THE DESIGNER OF ALL RESPONSIBILITY FOR THE CONSEQUENCES ARISING THEREFROM.
5. PRIOR TO BEGINNING ANY NEW WORK OR INSTALLATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT PREVIOUSLY INSTALLED WORK AND/OR SUBSTRATE AND VERIFY THAT ALL SUCH WORK IS SATISFACTORY AND COMPLETE TO THE REQUIRED LEVEL OF ACCEPTANCE TO ALLOW FOR THE START OF SUBSEQUENT WORK. THE COMMENCEMENT OF ANY WORK SHALL INDICATE THAT ALL PREVIOUSLY INSTALLED WORK AND/OR SUBSTRATE WAS FOUND TO BE ACCEPTABLE AND INSTALLED ACCORDING TO INDUSTRY STANDARDS. ANY WORK FOUND TO BE IN UNACCEPTABLE CONDITION SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER OR TENANT.
6. THE CONTRACTOR(S) SHALL VISIT THE PROJECT SITE PRIOR TO ESTIMATING THE COST OF THE SCOPE OF WORK AND PRIOR TO ORDERING OR FABRICATING MATERIALS OR BEGINNING ANY CONSTRUCTION RELATED ACTIVITIES FOR THE PURPOSE OF BECOMING COMPLETELY FAMILIAR WITH THE SITE AND ALL EXISTING CONDITIONS WHICH MIGHT IMPACT THE COST OF, OR PERFORMANCE OF THE SCOPE OF WORK.
7. ALL CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE REQUIREMENTS OF ALL REGULATORY AGENCIES HAVING JURISDICTION OVER THE PROJECT. UNDER NO CONDITION DOES THE DESIGNER HAVE RESPONSIBILITY FOR THE MEANS OR METHODS USED BY THE CONTRACTOR IN THE PERFORMANCE OF THE WORK OR FOR CONDITIONS OF SAFETY AT THE JOB SITE.
8. THE CONTRACTOR SHALL COORDINATE ALL FINISHES, MATERIALS, AND COLORS WITH THE DESIGNER, GENERAL CONTRACTOR, OWNER AND TENANT.
9. ALL EXPOSED STEEL SURFACES THAT ARE WELDED ARE TO BE GROUND SMOOTH, PRIMED AND PAINTED.
10. DIMENSIONS OF AND FROM EXISTING CONDITIONS HAVE BEEN TAKEN FROM EXISTING DRAWINGS AND/OR FIELD MEASUREMENTS. ALL EXISTING DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE ON DRAWINGS. THE CONTRACTOR(S) SHALL FIELD VERIFY ALL DIMENSIONS PERTAINING TO THE EXISTING CONDITIONS, INCLUDING ALL WORK ALREADY IN PLACE, PRIOR TO ORDERING OR FABRICATING MATERIALS, AND PRIOR TO START OF CONSTRUCTION.
11. IF, DURING THE COURSE OF ANY REQUIRED DEMOLITION WORK PERFORMED BY THE CONTRACTOR(S), OWNERS, OR OTHERS UNDER THE TERMS OF THE SUBCONTRACT OR OTHER AGREEMENT, HAZARDOUS WASTE IS ENCOUNTERED, SAME SHALL BE REMOVED AND DISPOSED OF AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. THE DESIGNER AND GENERAL CONTRACTOR IS NOT KNOWLEDGEABLE OF THE EXISTENCE OF HAZARDOUS WASTE AND SHALL NOT BE HELD RESPONSIBLE FOR THE EXISTENCE OR REMOVAL OF HAZARDOUS WASTE.
12. THE CONTRACTOR(S) SHALL KEEP PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND DEBRIS.
13. ALL DIMENSIONS OF NEW WALLS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE ON DRAWING.
14. DO NOT SCALE THE DRAWINGS. IF QUESTIONS ARISE AS TO DIMENSIONAL REQUIREMENTS, CONTACT THE DESIGNER FOR CLARIFICATION.
15. ITEMS OF EQUIPMENT OR CONSTRUCTION NOTED N.I.C. ARE NOT TO BE PROVIDED UNDER THE CONTRACT, AND UNLESS NOTED OTHERWISE SHALL BE FURNISHED AND INSTALLED BY OWNER'S SEPARATE CONTRACT.
16. ALL MATERIALS, FIXTURES AND EQUIPMENT PROVIDED UNDER THIS CONTRACT ARE TO BE PROVIDED IN NEW CONDITION WITH FULL MANUFACTURER'S WARRANTY, UNLESS NOTED OTHERWISE. AN ARE TO BE STORED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. DAMAGED ITEMS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
17. PROVIDE WATER RESISTANT SHEET ROCK AT ALL APPLICATIONS WHICH MAY BE SUBJECT TO THE ADVERSE EFFECTS OF MOISTURE.
18. INSTALL PORTABLE FIRE EXTINGUISHERS PER LOCAL CODE. LOCAL FIRE MARSHALL TO CONFIRM LOCATIONS WITH GENERAL CONTRACTOR.
19. NORTH ARROWS AS DEPICTED ON DRAWING SET ARE FOR PROJECT REFERENCE ONLY. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ORIENTATION OF PROJECT SITE AND SCOPE OF WORK TO BE COMPLETED PRIOR TO START OF WORK.



1 NAPKIN SKETCH - NEW DECK
A0.00 SCALE: N.T.S.



2 VICINITY MAP
A0.00 SCALE: N.T.S.

ABBREVIATIONS:

C	CENTERLINE	EA.	EACH	M.O.	MASONRY OPENING	SEC.	SECTION
(E)	EXISTING	ELEV.	ELEVATION	MECH.	MECHANICAL	SH.	SHEET
A.F.F.	ABOVE FINISHED FLOOR	ELEC.	ELECTRICAL			SPEC.	SPECIFICATION
		EQ.	EQUAL	MFR.	MANUFACTURER	SQ.	SQUARE
		EXT.	EXTERIOR	MIN.	MINIMUM	STD.	STANDARD
F.F.E.	FINISH FLOOR ELEVATION	F.D.	FLOOR DRAIN	MISC.	MISCELLANEOUS	STR.	STRUCTURAL
		FDN.	FOUNDATION	N.T.S.	NOT TO SCALE		
A.P.	ACCESS PANEL	FLR.	FLOOR (ING)	O.A.	OVERALL	T-HOLD	THRESHOLD
ADJT.	ADJUSTABLE	FT.	FOOT OR FEET	O.C.	ON CENTER	T.C.	TREAD
ARCH.	DESIGNERURAL	F.C.	FOOTING	OH.	OVERHEAD	T.C.	TOP OF CURB
		FUR.	FURRING	OPG.	OPENING	T.G.	TONGUE AND GROOVE
		FUT.	FUTURE			T.O.W.	TOP OF WALL
BLDG.	BUILDING					T.O.S.	TOP OF STEEL
BLKG.	BLOCKING	G.BD.	GYPSUM BOARD	P.S.F.	POUNDS PER SQ. FT.	TYP.	TYPICAL
BLK.	BEAM	GA.	GAUGE	P.S.I.	POUNDS PER SQ. IN.		
BOT.	BOTTOM			P.WD.	PLYWOOD		
BRG.	BEARING	H.C.	HANDICAPPED	PL.	PLATE		
BSMT.	BASEMENT	HGT.	HEIGHT	PNT.	PAINT (ED)		
		HOR.	HORIZONTAL	PT.	PRESSURE TREATED		
CLG.	CEILING	HVAC.	HEATING, VENTILATING AND AIR CONDITIONING	R.O.	RISER		
COL.	COLUMN			R.O.	ROUGH OPENING		
CONC.	CONCRETE	INS.	INSULATION	SAD.	SAD.		
CONT.	CONTINUOUS	INT.	INTERIOR	RE	REFERENCE		
CTR.	CENTER	LAM.	LAMINATE	REV.	REVISE (D), REVISION		
				RFL.	REFLECT (ED) (IVE)		
DBL.	DOUBLE			RM.	ROOM		
DET.	DETAIL						
DIAM.	DIAETER						
DIM.	DIMENSION						
DN.	DOWN						
DR.	DOOR						
DNGS	DRAWING						

INDEX:

ARCHITECTURAL SHEETS

A0.00 = COVER SHEET
A0.01 = SITE PLAN
A0.02 = SEPARATION DIAGRAM/ASSEMBLIES
A1.01 = MAIN FLOOR PLAN
A1.02 = SECOND FLOOR PLAN
A1.03 = GARAGE PLAN & SECTIONS
A5.00 = BUILDING ELEVATIONS
A5.01 = BUILDING ELEVATIONS
A5.02 = GARAGE ELEVATIONS & SECTION
A6.00 = BUILDING SECTIONS & ENERGY ANALYSIS
A6.01 = BUILDING SECTIONS
A6.02 = TRUSS PROFILES

STRUCTURAL SHEETS

S1.00 = FOUNDATION PLAN & NOTES
S1.03 = GARAGE. FOUNDATION & ROOF FRAME
S2.00 = SECOND FLOOR FRAMING & NOTES
S3.00 = LOWER ROOF FRAMING & NOTES
S3.01 = UPPER ROOF FRAMING & NOTES
D-1 = STRUCTURAL DETAILS
D-2 = STRUCTURAL DETAILS

ENERGY CODE ANALYSIS

SEE A6.00

PROJECT CONTACT LIST

OWNER:
NIJHAWAN ROCHE FAMILY TRUST
304 TWO RIVERS ROAD
SALIDA, CO 81201
650 387-4085
EMAIL: sandeep@electrasteel.com

DESIGN CONSULTANT:
NATURAL HABITATS DESIGN
P.O. BOX 745
SALIDA, CO 81201
TOM POKORNY
719-539-4481 OFFICE
719-539-4482 FAX
916-960-9397 CELL
EMAIL: tpokorny@naturalhabitats.biz

STRUCTURAL ENGINEER:
G/T STRUCTURAL ENGINEERS
1517 E. NICHOLS DR.
CENTENNIAL, CO 80122
GARY BOLTE
(303) 246-0664
EMAIL: gtstructural8435@gmail.com

LEGAL DESCRIPTION

LOT 42B TWO RIVERS TOWNHOMES SUBDIVISION EXEMPTION, TWO RIVERS SUBDIVISION, PHASE 1, ACCORDING TO THE PLAT RECORDED ON NOV. 3, 2017 AT RECEPTION NO. 478158 IN THE RECORDS OF THE CHAFFEE COUNTY CLERK & RECORDER, CITY OF SALIDA, CHAFFEE COUNTY, COLORADO.

GENERAL SCOPE OF WORK

ADDITION OF A DECK AT THE 2ND LEVEL

CODE INFORMATION:

APPLICABLE CODES:
2015 IRC
2017 NEC
2006 IEEC
CITY OF SALIDA LAND USE CODE

NOTE:
IF THERE IS A CONFLICT BETWEEN THESE PLANS AND THE ADOPTED/MANDATED CODES, THE CODES SHALL GOVERN.

AREAS	302 TWO RIVERS			
MAIN FLOOR	EXISTING	662 S.F.		
SECOND FLOOR	EXISTING	630 S.F.		
TOTAL CONDITIONED S.F.	EXISTING	1292 S.F.		
DECK	EXISTING	0 S.F.	NEW	85 S.F.
GARAGE/CARPORT/STOR.	EXISTING	337 S.F.		

DIMENSIONAL STANDARDS - PER TWO RIVERS PD					
NOTE: HATCH PATTERN INDICATES PROJECT ZONING					PROPOSED
DIMENSIONAL STANDARD	R-1	R-2	R-3	R-4	302 OLD STAGE ROAD
MIN. LOT SIZE (SQ. FT.)	7,500	5,625	5,625	4,000	N/A
DENSITY (LOT S.F./MIN. LOT AREA PER DWELLING UNIT)	3,750	3,125	2,400	2,400	1.04
MIN. LOT SIZE (SQ. FT.) - ATTACHED UNITS	N/A	3,125	2,400	2,400	2476
MIN. LOT FRONTAGE	50'	37'-6"	37'-6"	37'-6"	N/A
MIN. LOT FRONTAGE - ATTACHED UNITS	N/A	20'	15'	15'	18'-6"
MAX. LOT COVERAGE: STRUCTURES (ADDITIVE COVERAGE TOTAL FOR STRUCTURES)	35%	40%	45%	45%	43.8% 1084 S.F.
MAX. LOT COVERAGE: UNCOVERED PARKING/ACCESS (ADDITIVE COVERAGE TOTAL FOR STRUCTURES AND UNCOVERED PARKING CANNOT EXCEED 90% EXCEPT IN C-2) *****	10%	15%	25%	25%	19.8% 497 S.F.
MIN. LANDSCAPE AREA	55%	45%	30%	30%	34% 854 S.F.
MIN. SETBACK FROM SIDE LOT LINE FOR A PRIMARY BLDG.	8'	5'	5'	5'	0'-0"
MIN. SETBACK FROM SIDE LOT LINE FOR A DETACHED ACCESSORY BLDG.	3'	3'	3'	3'	0'-0"
MIN. SETBACK FROM REAR LOT LINE: PRINCIPAL BLDG.	30'	20'	20'	15'	60'-6"
MIN. SETBACK FROM REAR LOT LINE: ACCESSORY BLDG.	5'	5'	5'	5'	13'-0"
MIN. SETBACK FROM FRONT LOT LINE	30'	(10') per PD	(10') per PD	15'	21'-1"
MAX BUILDING HEIGHT FOR A PRIMARY BLDG.	35'	35'	35'	35'	26'-6"
MAX BUILDING HEIGHT FOR A DETACHED ACCESSORY BLDG.	25'	25'	25'	25'	16'-6"

NOTES:
*IF A PROPERTY DOES NOT UTILIZE THE ZERO SETBACK ALLOWANCE, THE MINIMUM LANDSCAPE AREA SHALL BE 10%
*IF THE PROPERTY ADJOINS A RESIDENTIAL ZONE DISTRICT, SETBACKS ON THE SIDE AND REAR LOT LINE SHALL BE THE SAME AS THOSE IN THE RESIDENTIAL ZONE.
*** EXISTING STRUCTURES ARE NOT REQUIRED TO MEET OFF-STREET PARKING REQUIREMENTS. NEW STRUCTURES AND ADDITIONS SHALL MEET OFF-STREET PARKING REQUIREMENTS.
**** A COVERED PORCH MAY ENCR OACH INTO THE FRONT YARD SETBACK BY TWENTY-FIVE PERCENT
***** IF A FRONT-LOAD GARAGE IS SET BACK AT LEAST TEN (10) FEET BEHIND THE PRIMARY STREET-FACING BUILDING FACADE, THE LOT COVERAGE BETWEEN THE GARAGE ENTRANCE AND THE PRIMARY, STREET-FACING BUILDING FACADE SHALL NOT BE INCLUDED IN THE CALCULATION OF LOT COVERAGE FOR UNCOVERED PARKING/ACCESS.

FOR CONSTRUCTION

COVER SHEET

Date:

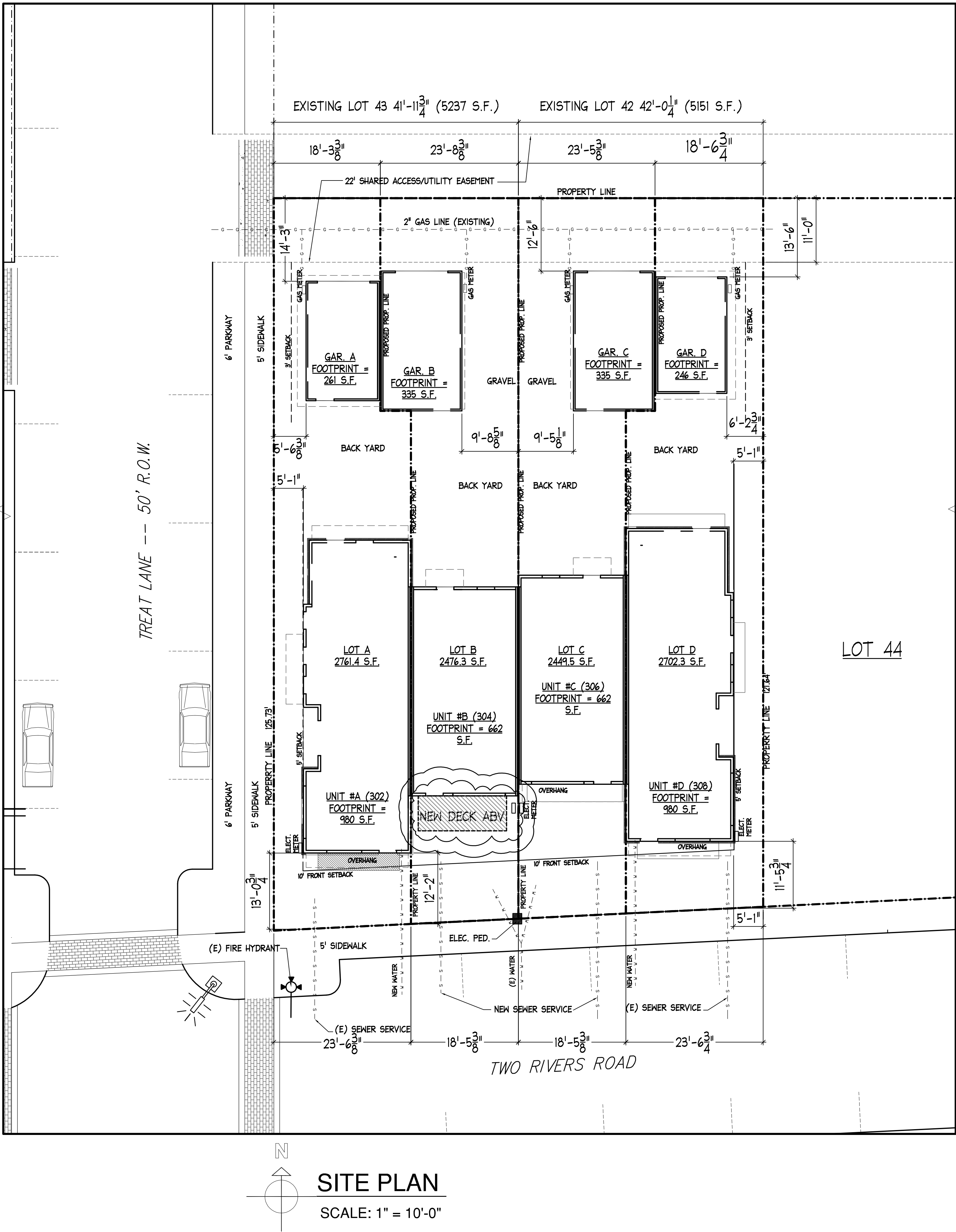
3-15-22

DRAWN BY:
T. POKORNY

Sheet
A0.00

304 Two Rivers Road
DECK ADDITION
SALIDA, CO 81201

Scale: 1/4" = 1'-0"



FOR CONSTRUCTION

304 Two Rivers Road
DECK ADDITION
SALIDA, CO 81201

SITE PLAN

Date:

3-15-22

REV.

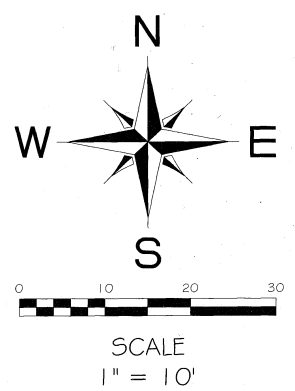
REV.

DRAWN BY:
T. Pokorny

Sheet
A0.01

Scale: 1" = 10'

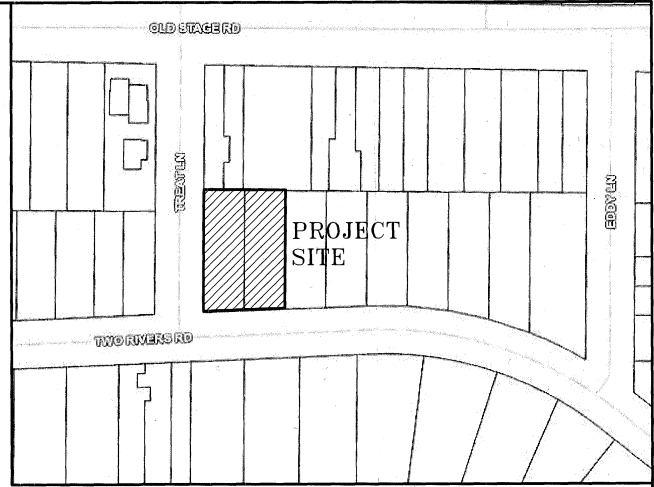
TWO RIVERS TOWNHOMES
SUBDIVISION EXEMPTION DUPLEX CONVERSION
LOCATED WITHIN LOTS 42 AND 43
TWO RIVERS SUBDIVISION FILING 1
CITY OF SALIDA
CHAFFEE COUNTY, COLORADO



LEGEND

- 1 1/2" ALUMINUM CAP L5 37937
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- GAS METER
- WATER VALVE
- WATER METER
- SEWER CLEAN OUT
- TELEPHONE PEDESTAL
- FIRE HYDRANT
- FENCE
- UNDERGROUND SEWER
- UNDERGROUND GAS LINE
- UNDERGROUND WATER LINE
- CONCRETE

TREAT LANE



VICINITY MAP
NOT TO SCALE

CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW ALL PERSONS BY THESE PRESENTS THAT TOM POKORNY, THE FEE OWNER OF THE FOLLOWING DESCRIBED PROPERTY:

LOTS 42 AND 43
TWO RIVERS SUBDIVISION PHASE 1
CITY OF SALIDA
CHAFFEE COUNTY, COLORADO

HAS LAID-OUT, PLATTED AND SUBDIVIDED THE SAME INTO 4 LOTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF:

TWO RIVERS TOWNHOMES SUBDIVISION EXEMPTION DUPLEX CONVERSION
IN THE
CITY OF SALIDA
CHAFFEE COUNTY, COLORADO

IN WITNESS WHEREOF THE UNDERSIGNED HAS CAUSED THESE PRESENTS TO BE EXECUTED THIS 10th DAY OF Feb 2022

BY: TOM POKORNY

COUNTY OF CHAFFEE)
) SS.
STATE OF COLORADO)

ALLISON BROOKE KARLESKINT
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20184036101
MY COMMISSION EXPIRES SEPTEMBER 12, 2022

THE FORGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS 10 DAY OF February 2022, BY TOM POKORNY.
WITNESS MY HAND AND SEAL.

MY COMMISSION EXPIRES Sept. 12, 2022

Allison Brooke Karleskint
NOTARY PUBLIC

GENERAL NOTES

- 1) BASIS OF BEARING FOR THIS SURVEY IS GRID NORTH FROM COLORADO STATE PLANE COORDINATE SYSTEM CENTRAL ZONE, BASED ON G.P.S. OBSERVATIONS ALONG THE EAST RIGHT-OF-WAY OF TREAT LANE BETWEEN TWO 1 1/2" ALUMINUM CAPS STAMPED 'L5 37937' HAVING A BEARING OF NORTH 00°29'26" EAST.
- 2) ZONE: PLANNED DEVELOPMENT
- 3) ADDITIONAL HARDSCAPING AND IMPROVEMENTS WERE NOT COMPLETED AND ARE UNDER CONSTRUCTION AT TIME OF SURVEY
- 4) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. FOR ALL INFORMATION REGARDING TITLE OF RECORD, LANDMARK SURVEYING & MAPPING RELIED UPON DOCUMENTS PROVIDED BY THE CLIENT. EASEMENTS OF RECORD WERE NOT SHOWN PER CLIENTS REQUEST.
- 5) A COMMON WALL MAINTENANCE AGREEMENT EXISTS AND IS RECORDED AT RECEPTION NO. 478157 AT THE CHAFFEE COUNTY CLERK AND RECORDER'S OFFICE.
- 6) UNDERGROUND UTILITIES SHOWN AS MARKED ON THE SURFACE BY UTILITY NOTIFICATION CENTER OF COLORADO AND OTHERS. LANDMARK SURVEYING AND MAPPING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY UNDERGROUND UTILITIES DEPICTED HEREON.

ACKNOWLEDGMENT OF LIEN HOLDER

HCB AS LIEN HOLDER, HEREBY ACKNOWLEDGES AND APPROVES THE TERMS, CONDITIONS AND DEDICATION AS DISCLOSED UPON THIS PLAT.

DATE 2/10/22

COUNTY OF Chaffee)
) SS.
STATE OF CO)

ALLISON BROOKE KARLESKINT
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20184036101
MY COMMISSION EXPIRES SEPTEMBER 12, 2022

THE FORGOING ACKNOWLEDGMENT OF LIEN HOLDER WAS ACKNOWLEDGED BEFORE ME THIS 10 DAY OF February 2022, BY James Bove WITNESS MY HAND AND SEAL.

MY COMMISSION EXPIRES Sept. 12, 2022

Allison Brooke Karleskint
NOTARY PUBLIC

CERTIFICATION OF TITLE

I, Brett E. Ellis, A LICENSED TITLE INSURANCE AGENT IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE PROPERTY HEREBY DEDICATED AND AS SHOWN AND DESCRIBED ON THIS PLAT AND FOUND TITLE VESTED IN TOM POKORNY, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES EXCEPT AS LISTED BELOW:

Effective February 14, 2022 at 7:45 a.m. - Deed of Trust #468210

DATED THIS 14th DAY OF February 2022.

Brett E. Ellis
TITLE AGENT

CITY ADMINISTRATOR APPROVAL

THIS PLAT IS APPROVED BY THE CITY OF SALIDA ADMINISTRATOR THIS 15th DAY OF February 2022.

ADMINISTRATOR, CITY OF SALIDA

CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED IN THE OFFICE OF THE CLERK AND RECORDER OF CHAFFEE COUNTY, COLORADO, AT 11:34 A.M. ON THIS 10th DAY OF February 2022 UNDER RECEPTION NUMBER 478158

Patricia Travnicek (Deputy Recorder)
CHAFFEE COUNTY CLERK AND RECORDER

LAND SURVEYOR'S CERTIFICATE

I, SYDNEY A. SCHIEREN, A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION, AND THAT THE PLAT REPRESENTS THE RESULTS OF SAID SURVEY AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Sydney A. Schieren
SYDNEY A. SCHIEREN
COLORADO P.L.S. 37937



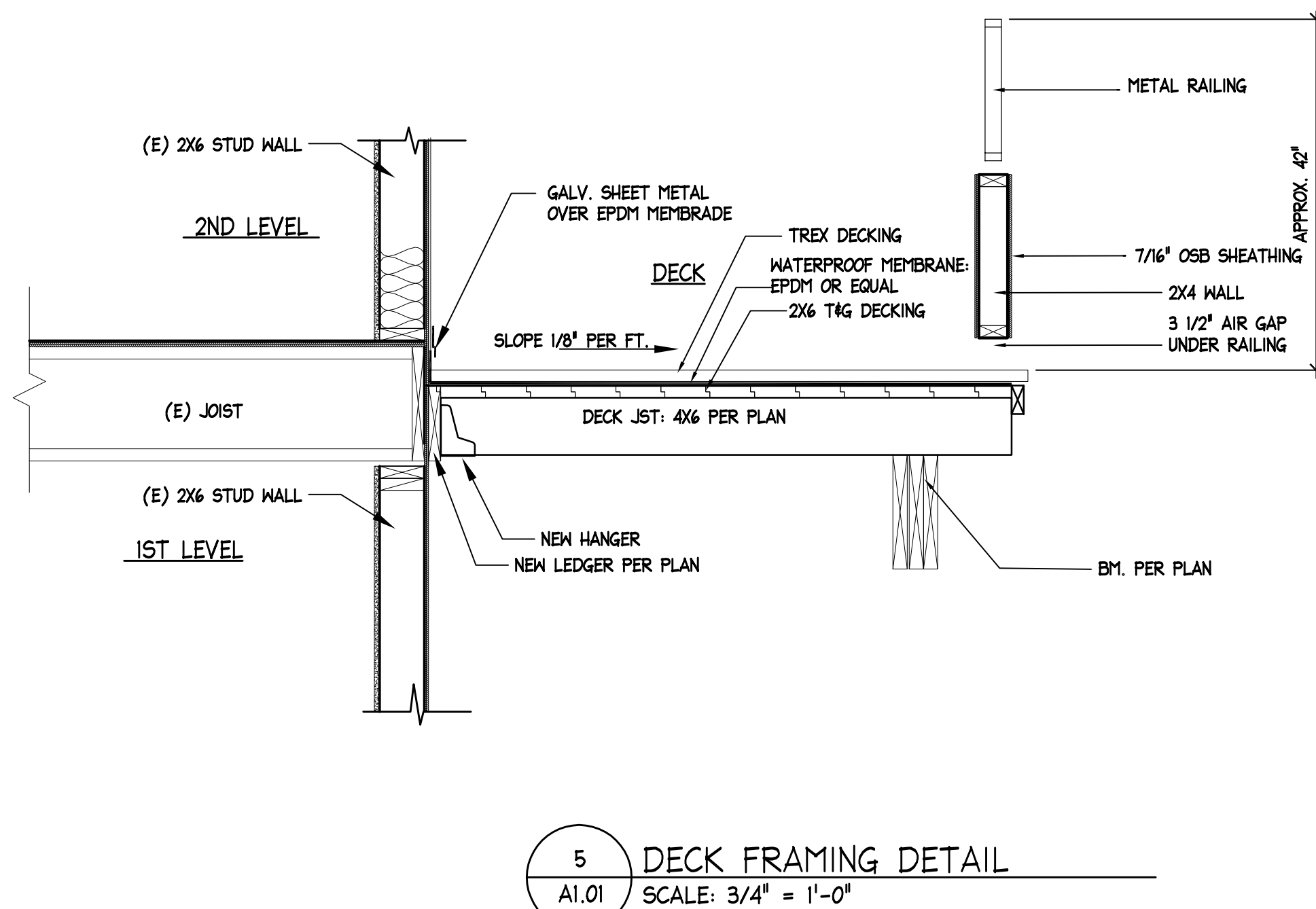
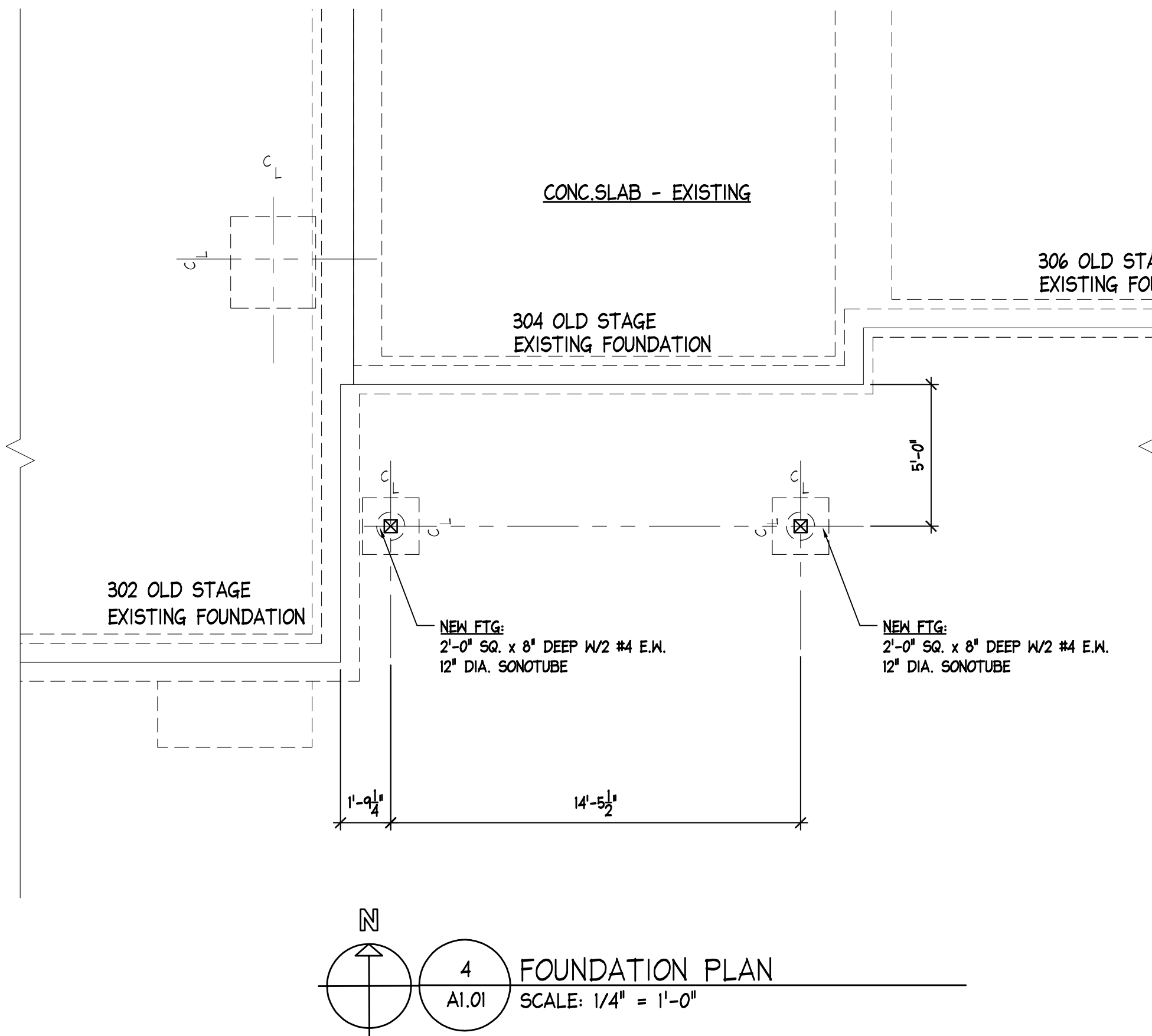
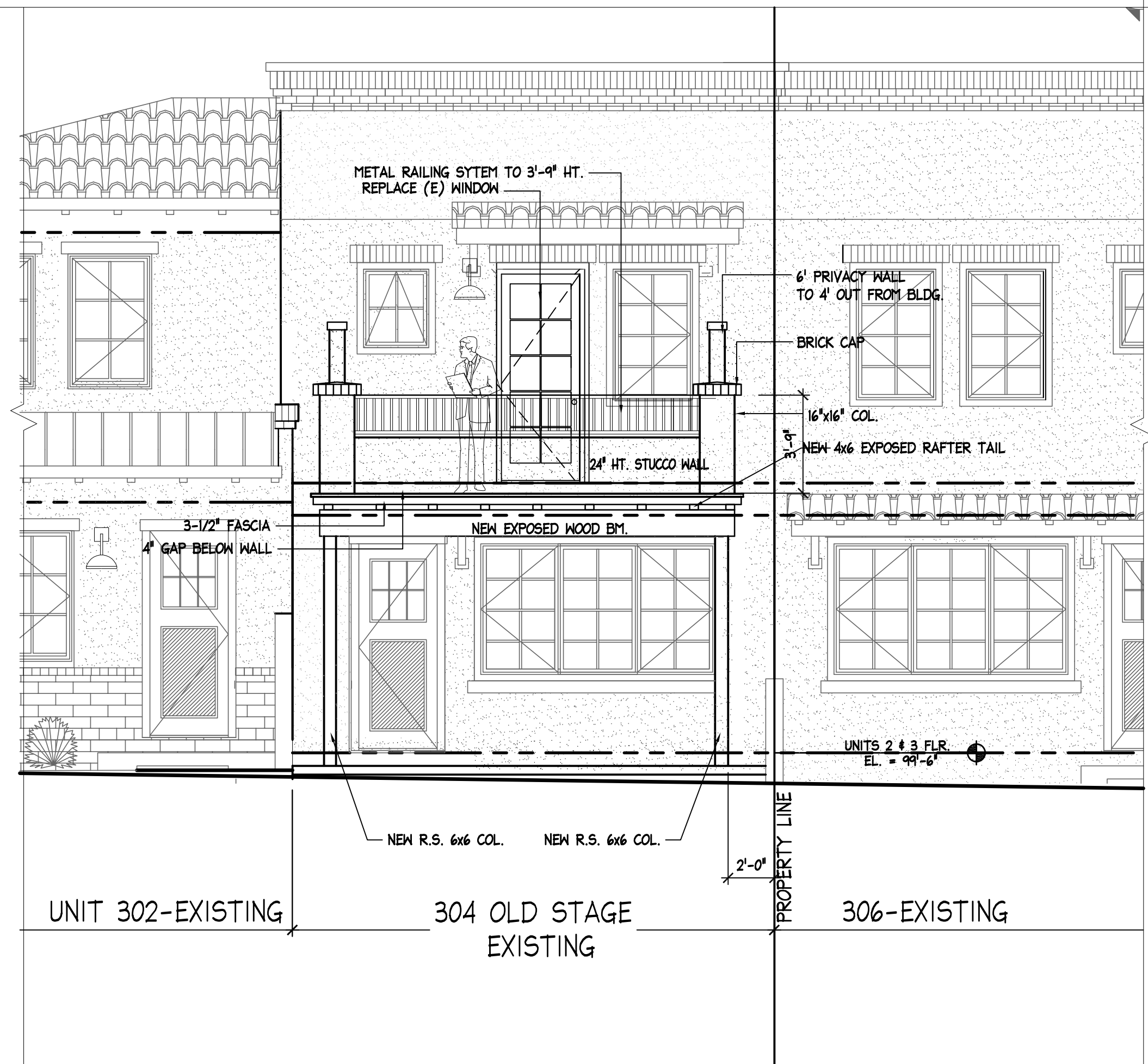
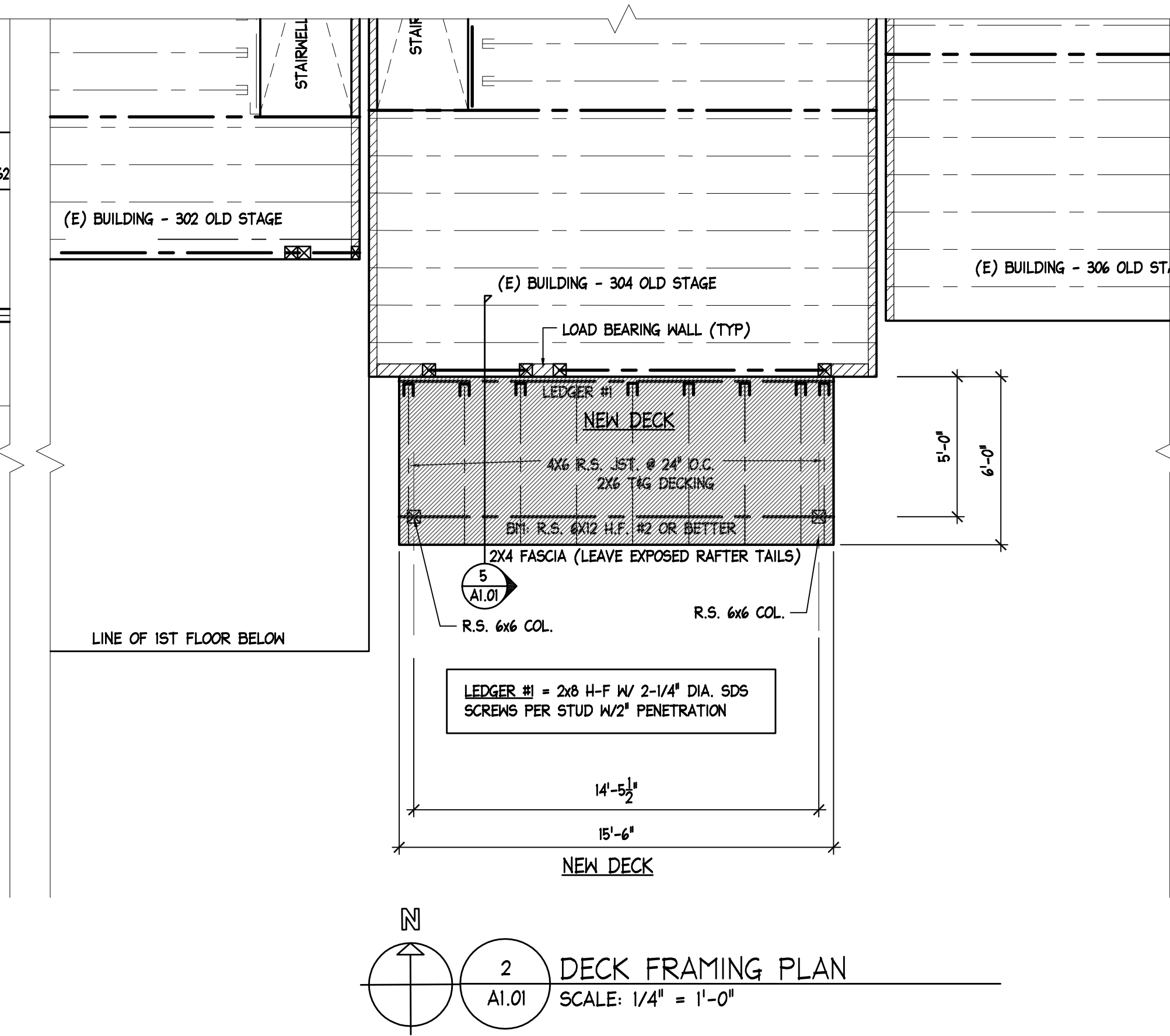
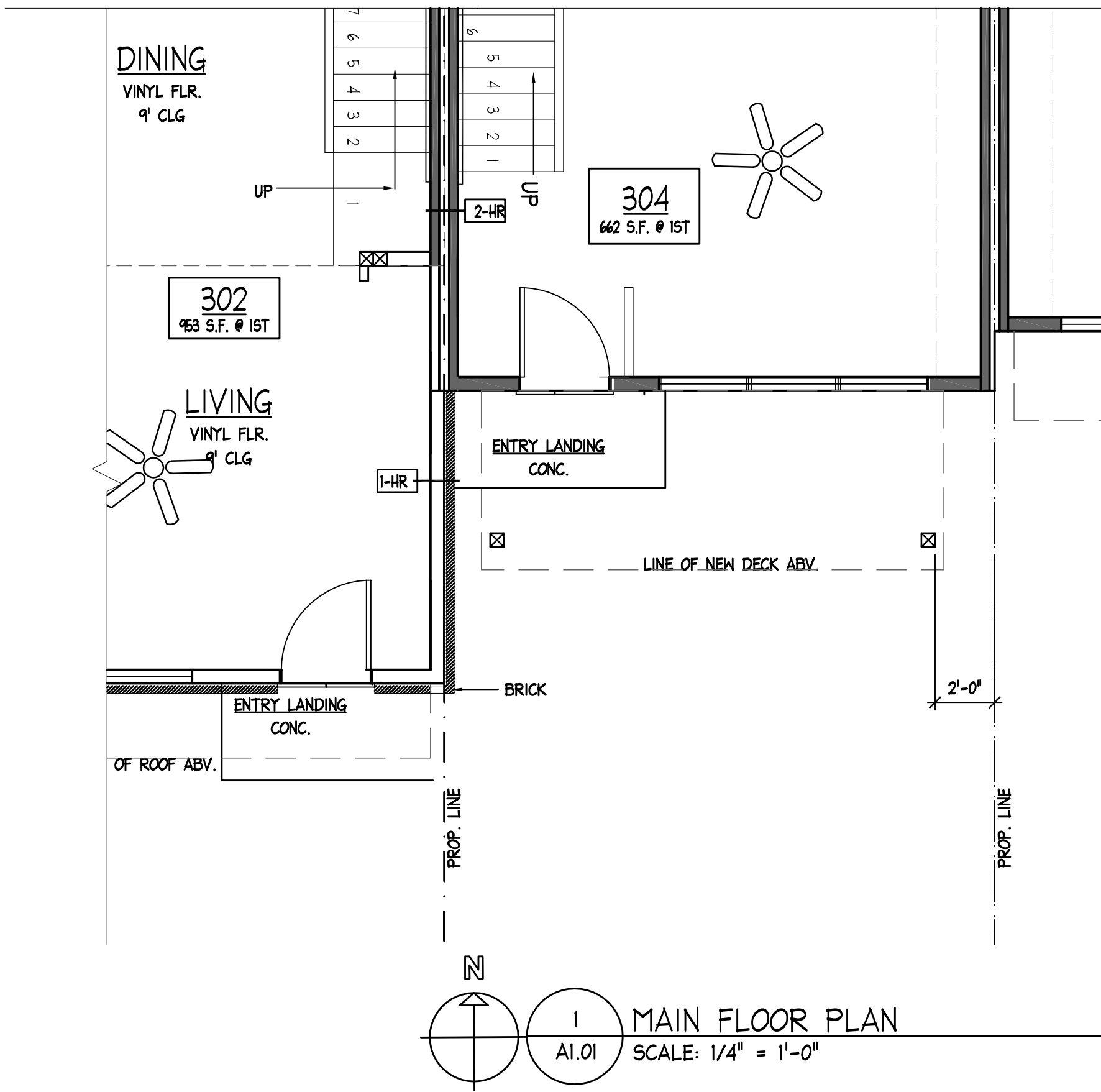
478158
478158 2/16/2022 11:34 AM
1 of 1 PLAT \$513.00 D\$0.00
Lori Mitchell
Chaffee County Clerk

REVISED:
SAL
580
JOB # 2124
DATE: JANUARY 28, 2022
SHEET 1 OF 1

TWO RIVERS TOWNHOMES
SUBDIVISION EXEMPTION
DUPLEX CONVERSION

LOCATED WITHIN LOTS 42 AND 43
TWO RIVERS SUBDIVISION FILING 1
CITY OF SALIDA
CHAFFEE COUNTY, COLORADO

LANDMARK
SURVEYING & MAPPING
P.O. BOX 668 SALIDA, CO 81201
PH 719.539.4021 FAX 719.539.4031



FOR CONSTRUCTION