GENERAL NOTES

1 REVIEW OF CONTRACT DOCUMENTS AND FIELD CONDITIONS BY CONTRACTOR
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH AS-BUILT DRAWINGS PROVIDED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

2 INTENT OF CONTRACT DOCUMENTS
THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETED AND APPROPRIATELY OPERABLE. FURNISH AND INSTALL ALL SPECIFIED AND APPROPRIATE ITEMS, AND ALL INCIDENTAL, ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED ASSEMBLY.

3 DEFECTIVE WORK
NO WORK DEFECTIVE IN WORKMANSHIP OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

4 FIREPROOFING
PATCH AND REPAIR ALL FIREPROOFING DAMAGE INCURRED DURING DEMOLITION AND/OR CONSTRUCTION. FIREPROOF AS REQUIRED BY CODE ALL NEW PENETRATIONS GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.

5 AS BUILT DRAWINGS
DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS OF CONSTRUCTION ITEMS DENOTED IN THE CONSTRUCTION DOCUMENTS SHALL BE INDICATED TO SCALE. IN CONTRASTING INK ON THE DRAWINGS FOR ALL RUNS OF MECHANICAL, SPRINKLER, PLUMBING AND ELECTRICAL WORK; INCLUDING SITE UTILITIES AND CONCEALED DEVIATIONS FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT THE ARCHITECT WILL PROVIDE THE CONTRACTOR W/ A REPRODUCIBLE SET OF ORIGINAL DOCUMENTS FOR "AS-BUILT" DOCUMENTATION. THIS SET SHALL BE CONSPICUOUSLY MARKED "AS-BUILTS" AND DELIVERED TO THE ARCHITECT.

6 CONTRACTOR'S RESPONSIBILITY
IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.

7 UNENFORCEABLE WORK
SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASONS, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT.

8 LIENS
THROUGHOUT THE DURATION OF THE PROJECT THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF CLAIMS OF LIEN BY SUBCONTRACTORS, SUPPLIERS OF MATERIALS, LABOR, SERVICE, EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS REASONABLE AND JUSTIFIABLE CAUSE CAN BE SHOWN. APPROVAL FOR PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO THE ARCHITECT SIGNED RELEASES FROM SUCH INDIVIDUALS OR COMPANIES.

9 COORDINATION OF THE WORK
THE CONTRACTOR IS RESPONSIBLE FOR REVIEW AND VERIFICATION OF CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR SHALL SUBMIT THEM, IN WRITING, TO THE ARCHITECT AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.

10 WORK SHOULD COMPLY W/ APPLICABLE CODES
EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, FEDERAL CODES, MANUFACTURER'S RECOMMENDATIONS, TRADE AND REFERENCE STANDARDS INCLUDING BUT NOT LIMITED TO: UBC, IBC, SEISMIC CODES, NEC, NFPA, ASMC, UMC, IMC, LATEST ENFORCED EDITIONS.

11 DIMENSIONS
DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. WRITTEN SPECIFICATIONS SHALL GOVERN OVER ALL.

12 CLARIFICATIONS
CLARIFY ALL DISCREPANCIES RELATIVE TO CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND FIELD CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK.

13 SUBSTITUTIONS
THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.

14 DRAWING DISTRIBUTION
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION.

15 CHANGES IN THE WORK
DO NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.

16 EXISTING WORK
ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.

17 PUNCHLIST
UPON COMPLETION OF THE WORK BY THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH COMPLETION. THE ARCHITECT SHALL PREPARE A PUNCH-LIST OF CORRECTIONS, UNSATISFACTORY, NON-COMPLIANT AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER/CONTRACTOR AGREEMENT.

18 MATERIALS
ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.O.N.

19 INSURANCE
THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW, IN ADDITION TO THE TERMS OF THE OWNER'S CONTRACT, WHICH EVER IS GREATER THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

20 EXISTING TENANTS
COORDINATE ALL WORK WITH BUILDING OWNER SO AS NOT TO DISTURB OR CAUSE DAMAGE TO ANY TENANT IN THE BUILDING. AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATIONS BY COMPLYING WITH THE BUILDING'S REGULATIONS REGARDING SCHEDULING AND USE OF ELEVATORS AND LOADING DOCKS FOR DELIVERIES, HANDLING OF MATERIALS, EQUIPMENT, AND DEBRIS.

21 COORDINATION
VERIFY IN THE FIELD, THAT NO CONFLICTS EXIST WHICH WOULD PROHIBIT THE LOCATION OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL REQUIRED PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.

22 PROTECTION OF EXISTING WORK
PROVIDE PROTECTION TO ALL EXISTING FINISHES IN ALL SPACES WITHIN OR ADJACENT TO THE SCOPE OF WORK AND THE TENANT'S SPACE. THE CONTRACTOR SHALL PATCH REFINISH TO AND REPAIR ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS. MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.

23 EXISTING DEFECTS
CORRECT ANY DEFECTS FOUND IN EXISTING BUILDING CONSTRUCTION WHICH AFFECT THE SCOPE OF WORK. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GYPSUM BOARD OR DAMAGED FIREPROOFING. PATCH AND REPAIR SURFACES TO MATCH ADJACENT, ADJOINING SURFACES.

24 "TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS U.O.N.

25 "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.

26 "VERIFY" OR "VER." MEANS TO ASCERTAIN AND CONFIRM APPLICATION WITH ARCHITECT.

27 FURNITURE
FURNITURE SHOWN IS FOR REFERENCE ONLY AND INSTALLED BY OTHERS, U.O.N.

28 FILE CABINETS, AS SHOWN ON DRAWINGS, ARE SUPPLIED BY OTHERS. COORDINATE FILE SIZE(S) W/ FURNITURE INSTALLER FOR REQ'D CLEARANCES.

29 CLEANING
PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM MIGRATING FROM CONSTRUCTION AREA.

30 ADJACENT SPACES
CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING OF ACCESS INTO ADJACENT TENANT SPACES WITH THE BUILDING MANAGEMENT AS REQUIRED FOR PRICING AND EXECUTION OF THE WORK.

31 EXISTING CONDITIONS
CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT INDICATED ON THE CONTRACT DOCUMENTS.

32 CONTRACT DOCUMENTS
ALL CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE AS BINDING AS IF CALLED FOR BY ALL. ALL WORK SHOWN OR REFERRED TO ON ANY CONTRACT DOCUMENT SHALL BE PROVIDED AS THOUGH THEY ARE ON ALL RELATED DOCUMENTS.

33 CONTRACTOR RESPONSIBILITY TO NOTIFY ARCHITECT
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS HEREIN – EITHER APPARENT OR OBVIOUS – PRIOR TO THE START OF NEW WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.

34 DUPLICATION OF DOCUMENTS
ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/OWNER AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/OWNER.

35 EXISTING PENETRATIONS
ALL PENETRATIONS TO THE FLOOR/CEILING ASSEMBLY SHALL BE GROUTED SOLID WITH A QUICK-SET CONC. FILLER. THE SLAB BETWEEN THE MECH. EQPT. ROOM AND THE TENANT SPACE SHALL BE ACOUSTICALLY SEALED AIRTIGHT WITH FIRE SEAL PER APPLICABLE CODE.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	ROOF LIVE LOAD	WIND SPEED	SIES DESIGN CAT.	S(s)	S(1)	SUBJECT TO DAMAGE FROM: WEATH-ERING	FROST DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHLD UNDER LAYMNT	FLOOD HAZRD	CLIMATE ZONE	AIR FRZ INDEX	MEAN ANNUAL TEMP	HTG DEGR DAYS
30PSF	25PSF	115MPH	A/B	17.0%g	6.0%g	SEVERE	42"	MOD/HV	SLT/MOD	-4°	REQ'D	SEE CITY MAP	5A	NA	54° / 39	6440

MIN. 2018 ENERGY CONSERVATION REQUIREMENTS

CLIMATE ZONE	ROOF	WALLS	FLOOR	HTD/ UNHTD SLABS	SWING DOORS	OPAQUE DOORS	ENTR DOORS	FENESTRATION FIXED/ OPER SHGC
5A	R-49	R-20	R-30	R10 24" DEP	U=0.3T R=2.1	R=4.75	U=0.7T	0.32 0.45 / 0.51 N 0.38 SEW

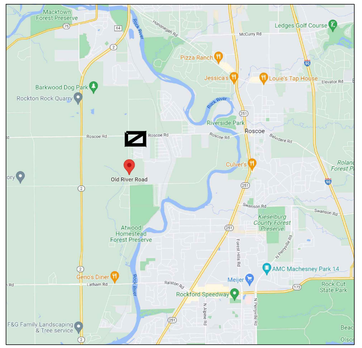
SYMBOLS

- A / 1 — COLUMN GRID LINE
- OFFICE / 100 — ROOM NAME AND NUMBER
- 1 / A5.1 — DETAIL REFERENCE
- 1 / A5.1 — DETAIL REFERENCE WITH ARROW
- 1 / A5.1 — DETAIL FLAG
- A / A5.1 — ELEVATION REFERENCE
- 1 — DRAWING NOTE
- 1 — CLOUD WITH REVISION DELTA
- 4'-3 1/2" — DIMENSIONS TO FINISH FACE
- DIMENSION TO CENTERLINE
- ALIGN
- DATUM POINT

NEW TOWNHOUSES FOR:

HAWKES POINTE - B

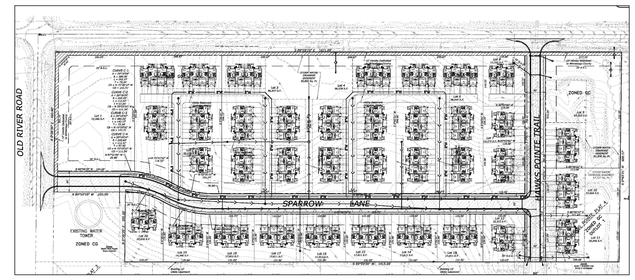
VILLAGE OF ROSCOE, WINNEBAGO COUNTY, ILLINOIS



N

ARCHITECTURAL PLANS AS PREPARED BY:
DAVID L. JENKINS & ASSOC. P.C.
2020 GLENVIEW RD
ROCKFORD, IL 61107
P (815) 397-9771
F (815) 397-9795
WWW.DLJENKINSARCHITECTS.COM

SITE LOCATION MAP



1. ALL OCCUPANCIES SHALL PROVIDE A MINIMUM OF PORTABLE (2A) (10B) FIRE EXTINGUISHERS IN A VISIBLE LOCATION AT NOT MORE THAN 75' MAX. TRAVEL DISTANCE TO EXTINGUISHER. FINAL LOCATIONS SHALL BE DETERMINED BY THE LOCAL FIRE DEPARTMENT.
2. THE BUILDING ADDRESS SHALL APPEAR ON THE FACE OF THE BUILDING. NUMBERS SHALL BE A MIN. OF 3" HIGH.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE FOR INTERPRETATIONS, CLARIFICATIONS, RECONCILIATION OF CONTRADICTIONS OR INSUFFICIENT INFORMATION OR SHALL SUBMIT DETAILS TO THE ARCHITECT BEFORE CONSTRUCTION. WHERE CONTRADICTIONS OCCUR (FOR BIDDING PURPOSES) THE ITEMS REQUIRING THE GREATER LABOR OR MATERIALS SHALL GOVERN.
4. THE GENERAL CONTRACTOR AND ALL SUB-DONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE FOR COMPLYING WITH FEDERAL, STATE, COUNTY AND MUNICIPAL ORDINANCES WEATHER SHOWN ON THE PLANS OR NOT.
5. THE DESIGN AND PLANNING IDEAS CONTAINED IN THESE DRAWINGS ARE THE SOLE PROPERTY OF THE DESIGNER. THESE DRAWINGS, OR ANY PORTION THEREOF ARE NOT TO BE USED OR COPIED BY ANY OTHER PERSON, ASSOCIATION, CORPORATION OR COMPANY WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THIS ACTION CONSTITUTES PLAGIARISM AND IS PROHIBITED BY LAW.

PLAN REVIEW INFORMATION

2015 INTERNATIONAL BUILDING CODE - 2015 INTERNATIONAL FIRE CODE - 2015 INTERNATIONAL PLUMBING CODE - 2015 INTERNATIONAL MECHANICAL CODE - 2015 INTERNATIONAL FUEL GAS CODE - 2017 NATIONAL ELECTRICAL CODE - 2014 ILLINOIS PLUMBING CODE - 2018 INTERNATIONAL ENERGY CONSERVATION CODE - 2018 ILLINOIS ACCESSIBILITY CODE - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

NAME OF PROJECT: HAWKES POINTE - A

STREET ADDRESS: VILLAGE OF ROSCOE, WINNEBAGO COUNTY, ILLINOIS

1. Type of Project:
Specify one:
New Construction: TOWNHOUSES
Addition:
Change in use (occupancy):

2. Height/Area (Chapter 5):
Use Group (list all that apply if mixed use): R3'-TOWNHOUSES
Type of Construction (list all that apply if multiple fire areas/buildings): 5B
Allowable Area/Height (Tabular): NA
Area Modification - Open Perimeter (506.2) (20' from property line, another building on same lot or centerline of street or alley): NOT USED
Height Modification - automatic fire suppression (504.2): NA
Area Modification - automatic fire suppression (506.3): NA
Allowable Area/Height (total modified): NA
Actual Area/Height (list all if multiple fire areas/buildings): 3 UNIT - 2,864 SF FF / 2,864 SF 2F; 4 UNIT - 3,553 SF FF / 3,553 SF 2F
Maximum allowable area of building (503.3): NA
Total Actual area of building on all floors: 3 UNIT - 5,326 s.f.; 4 UNIT - 7,106 s.f.

3. Fire Suppression (Chapter 9):
Throughout (Occupancy requirment)(903.2.1 through 903.2.11): NA
Throughout (building area or height increase)(504.2 and 506.3): NA
Throughout (high rise, underground, special amusement, aircraft hangers and unlimited area buildings) (403.2, 403.3, 405.3, 411.4, 412.5, 412.6, 507): NA
Partial (incidental use areas [302.1.1], stories w/o opngs. [903.2.12], rubbish and linen chutes [903.2.12.2], buildings over 55' to highest floor [903.2.12.3]' as listed in table 903.2.15 or kitchen exhaust hood [904.2])
1-5 heads-domestic ([IPC 890.1130d)]): NA
>5-20 (up to 40 if multiple systems) heads-limited area (903.3.5.1.1): NA
>20 Heads (903.3.1): NA

4. Incidental Use Area (Table 302.1.1) excluding within dwelling units:
Furnace Room with single piece of equip. >400k btuh input: NA
Boiler room with single piece of equip. >15psi & 10hp: NA
Refrigerant Machinery Rooms: NA
Automotive parking garage other than occupancy R-3: NA
Incinerator Rooms: NA
Paint Shops not classified as occupancy H located w/in other than occupancy F: NA
Laboratories and vocational shops not classified as occupancy H located within occupancies E and I-2: NA
Laundry Rooms >100sf: NA
Storage Rooms >100sf: NA
Occupancy I3 padded cells: NA
Waste and Linen Collection rooms >100sf: NA
Stationary lead-acid battery acid systems having >100 gal used for standby power, emergency power, or uninterrupted power supplies: NA

5. Mixed Use Options: (specify one)
Non-Separated Uses (302.3.2): ALLOWABLE AREA/HEIGHT CONTROLLED BY MOST RESTRICTIVE USE
Separated Uses (302.3.3) allowable height controlled by each use. Allowable area controlled by ratio of actual areas/allowable areas [act./allow. + act./allow + etc.<1]: ____ + ____ + ____ + ____ < ____ NA
Separate Buildings/Fire Walls (705, 503.2) note open perimeter area increase independent for each building: NA

Enclosed Parking structures under occupancies A, B, M or R (508.2): NA
Enclosed Parking structures under open parking structure (508.3): NA
Open Parking structure under occupancies A, I, B, M and R (508.8): NA

6. Table 601-Fire Ratings of structural frame:
Structural Frame including columns, girders and trusses: 0
Bearing Walls
Exterior: 0
Interior: NOT RATED
Non-bearing Walls
Exterior: 0
Interior: 0
Floor construction including supporting beams and joists: 0
Roof construction including supporting beams and joists: 0
See Section 713 for requirements for protection of structural members

7. Table 602-Fire rating of Exterior walls based upon separation distance:

	(<5')	(5' to <10')	(10' to <30')	(30' or more)
Occupancy H				
Occupancies F-1, M, S-1				
Occupancies A, B, E, F-2, R, S-2, U	2 HR			

See Section 713 for requirements for protection of structural members

8. Other fire resistive assemblies:
Fire Walls (705 - separating buildings): NA
Fire Barriers (706):
Vertical exit enclosure (1019): NA
Exit passageways (1020): NA
Horizontal exits (1021): NA
Incidental use areas (302.1.1): SEE ITEM 4 ABOVE
Mixed Occupancy (302.3.3): SEE ITEM 5 ABOVE
Shaft and vertical exit enclosures (707):
Mechanical Shafts (707.4) 2-3 stories, 4 stories or more: NA
Refuse and laundry chutes (707.13): NA
Elevators and dumbwaiter Shafts (707.14): NA
Fire partitions (708):
Dwelling Unit Separation (420): 2 HR
Guestroom in R-1 occupancy separations (708.3): NA
Tenant space in covered mall (708.3, 402.7.2): NA
Exit Access Corridors (708.3, T1004.3.2.1): NA
Smoke barriers (709): NA
Horizontal assemblies (710):
Fire Areas (903): NA

9. Openings, penetrations and joints:
Penetrations (711) by metal conduits and pipe, plastic pipe, ductwork:
Vertical and horizontal Fire resistance rated assemblies (711.3, 711.4): NA
Non-Fire resistance rated assemblies [connecting >2 stories](711.4.3): NA
Joints (712) where walls meet walls, walls meet floors or walls meet roofs
Assemblies tested in accordance with UL 2079: NA

Openings (714)	assembly type	assembly rating	opening rating
Doors and shutters	fire wall/barrier	>1hr	NA
	Shaft/exit enclosure	1hr	NA
	Other fire barriers	1hr	NA
	Corridor partitions	1hr	NA
	Other fire partitions	1hr	NA
	Exterior Walls		
	Glazing (714.3) assembly rating	NA	maximum glazing size NA

10. Interior Finish Class (T 803.4):
Vertical exits and exit passageways
Exit access corridors and other exit ways
Rooms/Enclosed Spaces: NA

11. Fire Alarm and detection systems (907): (1621.1.1):
Manual fire alarm
Automatic fire detection
Single/multiple station: NA

12. Occupant Load (1003.2.1):

	Lower Level	1st Floor	2nd Floor	3rd Floor
Number by Table (1003.2.2.2)	NA	NA	NA	NA
Actual number (1003.2.2.1)	NA	4	NA	NA

13. Egress Width (per floor): Stairways - Other components - Total @ level of exit discharge
Calculated (T1003.2.3): .2 x 4 = .8" MIN 36"
Actual: (2) AT 36" = 72" (OK)

14. Number of exits
Spaces with 1 exit (T1004.2.1)- max. occupant load NA max. travel distance NA
Buildings with 1 exit (T1005.2.2) # of stories 2 # of occ's 4 travel dist. NA
> 1 exit required (T1005.2.1) Occupant load NA Number of exits required NA

15. Exit Travel Distance (1004.2.4):
Actual: 60'
Allowed (T1004.2.4): NA

16. Attic and underfloor ventilation (1202.2 and 1202.3)
Area(s) of attic: SEE PLAN ventilation 1/300 SF OF ATTIC = SEE PLAN W/50% IN SOFFITS
Area(s) of underfloor: NA ventilation NA

17. Roof Covering Class (1505): B

18. Structural Design Loads (1603): (Should appear on structural drawings)
Floor Live Load(s)(T1607.1): 40 P.S.F.
Roof Live Load(s)(T1607.11): 24 P.S.F.
Ground Snow Load (T1607.11): 30 P.S.F.
Snow Exposure Factor (T1608.3.1 & 1609.4): 1
Thermal Factor (T1608.3.2): 1
Snow Importance Factor (T1604.5): 1
Roof Snow Load (1608.3 through 1608.9): 21
Basic Wind Speed (3 second gust) (F1609): 115 M.P.H.
Wind Exposure Factor (1609.4): A
Wind Importance Factor (T1604.5): 1
Applicable internal pressure coefficient: NA
Wind Building Design Pressure: 23 P.S.F.
Wind components and cladding design pressure (at area 4 on F16.09)
Rain Loads (1611): NA
Flood Loads (1612): NA
Seismic Acceleration of 0.2 second spectral response (F1615(1)) S_s: 0.17
Seismic Acceleration of 1.0 second spectral response (F1615(2)) S_1: 0.06
Site classification (1615.1.1) PRESUMED D DETERMINED D
Site coefficient for short periods (T1615.1.2(1)) F_a: (WIND
Site coefficient for 1.0 second period (T1615.1.2(2)) F_v: GOVERNS)
Spectral response coefficient for short periods (1615.1.3) S_{DS}: NA
SPECTRAL RESPONSE COEFFICIENT AT 1 SECOND PERIODS (1615.1.3) - NA S_{pl}
SEISMIC USE GROUP AND OCCUPANCY IMPORTANCE FACTOR (1616.2) - NA
SEISMIC DESIGN CATEGORY (T1616.3(1&2)) - NA
BASIC SEISMIC-FORCE-RESISTING-SYSTEM:
Design base shear (1617.4.1, 1617.5.1, 1618.7): SHEATHING
Seismic analysis procedure (1616.6) Architectural, Mechanical & Electrical Component Seismic Design applicable
Special loads Description NA Applicable section(s) NA
Soil Design Pressure: 2,000 P.S.F. ASSUMED

Presumed soil bearing pressure of 1500 PSF may be permitted if the following conditions are met:
1. Single story building without a basement
25' max. height (avg. grade to mean height of highest roof) if no masonry: NA
20' max. height (avg. grade to mean height of highest roof) if any masonry: NA
2. Building seismic use group is not II or III as listed in 1616.2: NA
3. Footings bear on virgin soil that is not questionable including, but not limited to, plastic, liquefied, highly sensitive clays, weakly cemented, peats or organic and expansive materials.
4. Statement, in accordance with 1704.1.1, listing design professional or soils engineer who is conduct site inspection submitted at time of permit application. Copy of site inspection is submitted to code official prior to foundation inspection listed in 109.3.1.

19. List of specified special inspections (1603.1.8 & 1704.1.1 with local amendment):

20. Submittal of sealed, signed and dated [current and license expiration] Structural Calculations Required with Application (106.1): ROOF TRUSSES

21. List of all Construction Elements/Specification Sections which will require structural calculations/ submittals by installers'/manufactures' Architect or Structural Engineer during course of construction (i.e. cold formed metal framing, metal building system, precast concrete or wood trusses, etc.) SEE ENGINEERING DRAWINGS PREPARED BY OTHERS

SHEET INDEX

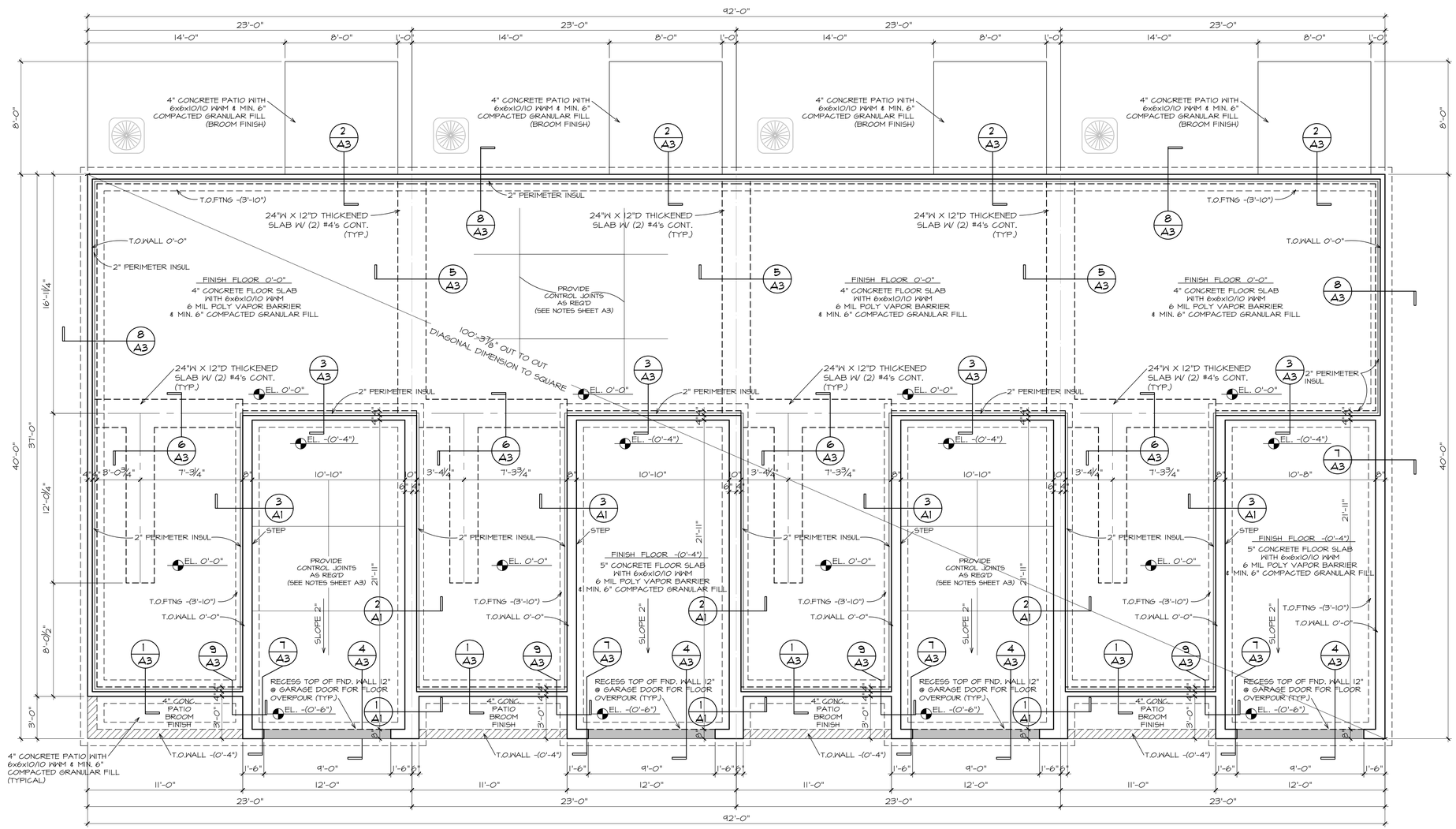
COMPLIANCE STATEMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF ILLINOIS AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

SIGNED _____ DATED _____

David L. Jenkins & Assocs., P.C.
ARCHITECTS AND PLANNERS
• 2020 GLENVIEW RD – ROCKFORD, ILLINOIS
PHONE (815) 397-9771 — FAX (815) 397-9795 •

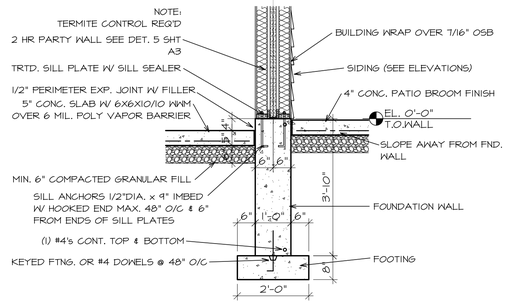
FILE NAME:	CONTRACTOR:	PROJECT NO.:
044-22 RTB	White Oak Home Builders, LLC	044-22
DATE: 12-12-22	PROJECT NAME: HAWKS POINTE - B ROSCOE, IL	SHT. NO.: T1
REVISED:		



OVERALL FOUNDATION PLAN 4 UNIT

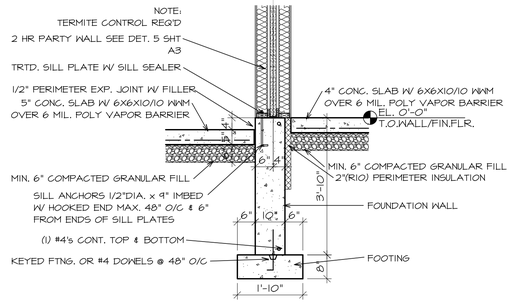
SCALE 1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN ARE TO EITHER FACE OF FOUNDATION WALL OR CENTERLINE OF THICKENED SLAB



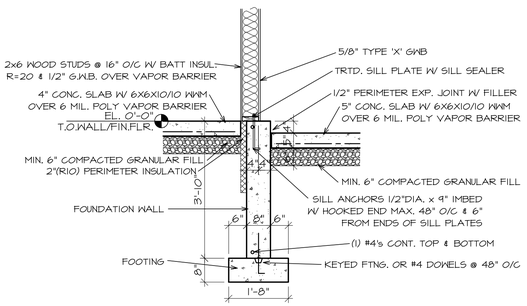
1 PARTY WALL FOUNDATION

SCALE: 1/2" = 1'-0"



2 PARTY WALL FOUNDATION

SCALE: 1/2" = 1'-0"

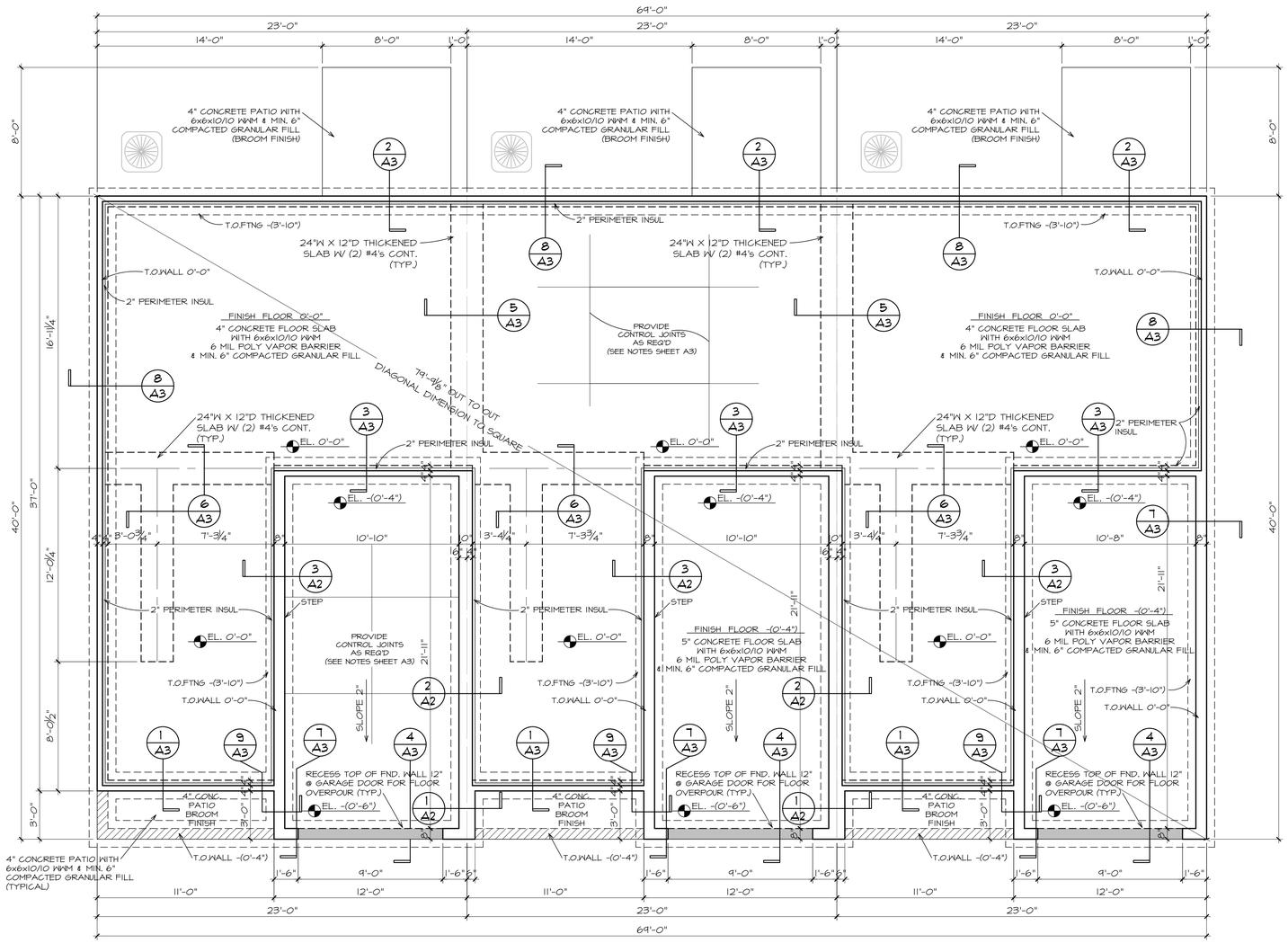


3 GARAGE FOUNDATION WALL

SCALE: 1/2" = 1'-0"

David L. Jenkins & Assocs., P.C.
ARCHITECTS AND PLANNERS
2020 GLENVIEW RD — ROCKFORD, ILLINOIS
PHONE (815) 397-9771 — FAX (815) 397-9795

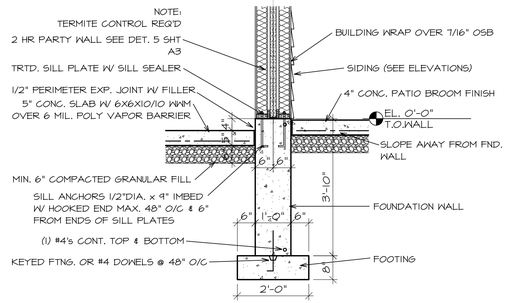
FILE NAME: 044-22 RTB	CONTRACTOR: White Oak Home Builders, LLC	PROJECT NO.: 044-22
DATE: 12-12-22	PROJECT NAME: HAWKS POINTE - B, ROSCOE, IL	SHT. NO.: A1
REVISED:		OF: 7



OVERALL FOUNDATION PLAN 3 UNIT

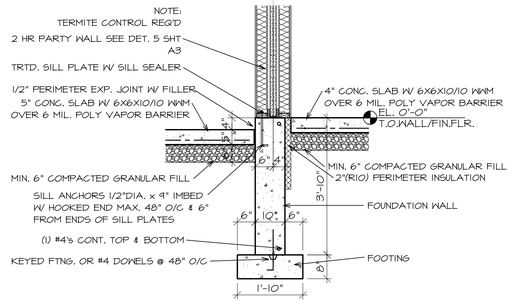
SCALE 1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN ARE TO EITHER FACE OF FOUNDATION WALL OR CENTERLINE OF THICKENED SLAB



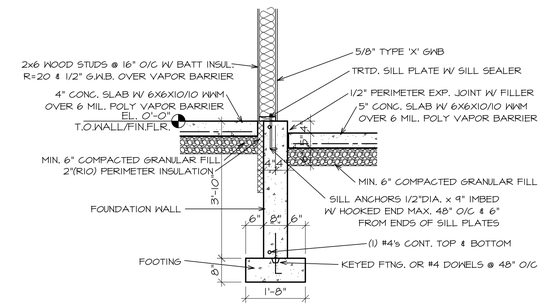
1 PARTY WALL FOUNDATION

SCALE: 1/2" = 1'-0"



2 PARTY WALL FOUNDATION

SCALE: 1/2" = 1'-0"



3 GARAGE FOUNDATION WALL

SCALE: 1/2" = 1'-0"

David L. Jenkins & Assocs., P.C.
ARCHITECTS AND PLANNERS
2020 GLENVIEW RD — ROCKFORD, ILLINOIS
PHONE (815) 397-9771 — FAX (815) 397-9795

FILE NAME: 044-22 RTB	CONTRACTOR: White Oak Home Builders, LLC	PROJECT NO.: 044-22
DATE: 12-12-22	PROJECT NAME: HAWKS POINTE - B, ROSCOE, IL	SHT. NO.: A2
REVISED:		OF: 7

CONCRETE NOTES

1. READY MIXED CONCRETE SHALL BE AS FOLLOWS. ALL CONCRETE WORK IN ACCORDANCE WITH ACI LATEST CODES AND APPLICABLE SPECIFICATIONS.
   - STRUCTURAL CONCRETE - (FOOTINGS, WALLS, PIERS, ETC.)
   - STRENGTH - MINIMUM OF 3,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
   - MIX - MINIMUM OF 5 BAG MIX OR 4 1/2 BAG WITH THE ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.
   - SLUMP - MAXIMUM OF 5" FOR STANDARD MIXES OR 6" WITH THE ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.
   - WATER CEMENT RATIO - SHALL NOT EXCEED 0.53 BY WEIGHT.
   - AIR ENTRAINMENT - 4% MINIMUM TO 7% MAXIMUM.
   - NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDIMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.
   - INTERIOR SLABS CONCRETE
   - STRENGTH - MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
   - MIX - MINIMUM OF 6 BAG OR 5-1/2 BAG WITH ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.
   - SLUMP - MAXIMUM OF 5" FOR STANDARD MIXES OR 6" WITH ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.
   - WATER CEMENT RATIO - SHALL NOT EXCEED 0.50 BY WEIGHT.
   - AIR ENTRAINMENT - 0% MINIMUM TO 3% MAXIMUM.
   - NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDIMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.
   - FLOOR FLATNESS AND LEVELNESS - FLOORS UNDER TOPPINGS, TILE AND BEDS = (FF) of 20, (FL) of 13. FLOORS UNDER VCT, SEALERS, PAINT AND CARPET = (FF) of 20, (FL) of 17.
   - MIN LOCAL VALUE FF15 / FL10
   - EXTERIOR SLABS CONCRETE
   - STRENGTH - 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
   - MIX - MINIMUM 6 BAG.
   - SLUMP - MAXIMUM 4".
   - WATER CEMENT RATIO - SHALL NOT EXCEED 0.45 BY WEIGHT.
   - AIR ENTRAINMENT - 5% MINIMUM TO 8% MAXIMUM.
   - COARSE AGGREGATE
   - SHALL BE STATE OF ILLINOIS "SUPERSTRUCTURE QUALITY" GRADE AND SHALL CONTAIN NO MORE THAN 2% TOTAL BY WEIGHT OF DELETERIOUS MATERIALS WHOSE DISINTEGRATION IS ACCOMPANIED BY AN INCREASE IN VOLUME WHICH MAY CAUSE SPALLING IN THE CONCRETE.
   - FINE AGGREGATE
   - CLEAN NATURAL SAND.
   - GENERAL NOTES
   - NOTE: ON ALL EXTERIOR FLATWORK POURED AFTER SEPT. 15 THE MINIMUM CEMENT CONTENT SHALL BE INCREASED TO 6-1/2 BAG AND CALCIUM CHLORIDE SHALL BE ADDED TO A RATE OF 1/2%-2% BY WEIGHT. CALCIUM CHLORIDE SHALL BE ADDED IN SOLUTION AND MIXED THOROUGHLY. DO NOT USE WATER REDUCING AGENTS.
   - NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDIMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.
2. INTERIOR CONCRETE SLABS SHALL BE OF THICKNESS AS SHOWN ON THE DRAWINGS AND REINFORCED AS SHOWN ON THE DRAWINGS AND SHALL RECEIVE ONE COAT OF A HARDENER; DAYTON-SUPERIOR (J-5) OR SONNEBORN'S LAPIDOLITH OR A CURER/SEALER; DAYTON-SUPERIOR (J-20) OR SONNEBORN'S KURE-N-SEAL 25 FOR CURE ONLY USE DAYTON-SUPERIOR'S (J-III) OR W.R. MEADOWS 1100-CLEAR. FOR APPLIED FLOORS (VCT, CERAMIC, ETC.) SHEET OR WET CURE ONLY.
3. INTERIOR CONCRETE SLABS SHALL HAVE A MONOLITHIC STEEL-TROWELED FINISH.
4. CURE AND PROTECT ALL CAST IN PLACE CONCRETE PER ACI CODE REQUIREMENTS.
5. FOUNDATION WALLS SHALL BE AS PER ARCHITECTURAL PLANS. ALL COLD POURS SHALL BE DOWELED TOGETHER WITH #4 DOWELS, 12" O/C VERTICALLY. ALL REINFORCING SHALL BE CONTINUOUS FROM POUR TO POUR.
6. ALL REINFORCING BARS TO BE BILLET STEEL BARS ASTM A-15, GRADE 40.
7. CONSTRUCTION AND/OR CONTROL JOINTS SHALL BE PROVIDED AS REQUIRED. NOT MORE THAN 225 SQUARE FOOT AREAS. WHERE JOINT FILLER IS CALLED FOR USE: SONOMERIC 1, SONOLASTIC, TREMCO DYMERIC, TREMCO LASTO-MERIC OR EQUAL IE VINYL SIDING.
8. A 2" EXPANSION JOINT SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF THE BUILDING FLOOR AND 1/2" AROUND EACH PIER AND CENTER COLUMNS.
9. PROVIDE 6" COMPACTED GRANULAR FILL UNDER CONCRETE SLABS ON GRADE AS A MINIMUM REQUIREMENT WHEN FILL IS NOT SPECIFIED IN THE DRAWINGS. COVER W/ 6 MIL POLY VAPOR BARRIER
10. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE REQUIRED CONCRETE PADS FOR ELECTRICAL AND HVAC EQUIPMENT.
11. ALL CONCRETE HAS BEEN DESIGNED BASED ON THE GEOTECHNICAL ENGINEERING REPORT'S BEARING CAPACITY OF 3,000 PSF. IF THE CONTRACTOR SHOULD ENCOUNTER POOR SOIL, HE WILL CONTACT THE ARCHITECT IMMEDIATELY.
12. WHERE CONTRADICTIONS ON THE PLANS AND/OR SPECIFICATIONS EXIST, THE ITEM REQUIRING THE GREATER MATERIAL AND/OR LABOR SHALL TAKE PRECEDENT.
13. AIR-ENTRAINING ADMIXTURE SHALL BE USED FOR ALL CONCRETE EXPOSED TO THE WEATHER. NO OTHER ADMIXTURES SHALL BE ADDED TO THE CONCRETE.
14. SEE ARCHITECTURAL,MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, DEPRESSIONS, CURBS, FLOOR FINISHES, INSERTS AND OTHER EMBEDDED ITEMS. VERIFY SIZES AND LOCATION FOR ALL OPENINGS IN CONCRETE PRIOR TO FORMING.
15. ALL CONCRETE TOPPING SLABS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 POUNDS PER SQUARE INCH AT 28 DAYS.
16. ELEVATION TOP OF FOOTINGS IS SHOWN ON THE PLANS. VERIFY ALL BEARING MATERIAL WITH THE ARCHITECT. ALL FOOTINGS SHALL BEAR ON SOLID UNDISTURBED SOIL. NO CONCRETE SHALL BE POURED IN EXCAVATIONS CONTAINING WATER.
17. ALL FILL AND BACKFILL FOR INTERIOR SLABS ON GRADE SHALL BE COMPACTED TO 95% OF ASTM 1557.

ANCHOR BOLT NOTES

ANCHOR BOLTS SHALL BE AS SHOWN AND CALLED FOR, INCLUDING PROJECTION FROM CONCRETE, DIAMETER, AND QUANITY.

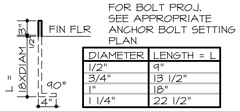
ALL ANCHOR BOLTS SHALL BE ASTM A307 OR EQUAL IE VINYL SIDING INORDER TO CONFORM TO A.B.C. DESIGN ASSUMPTIONS BASED ON ALLOWABLE STRESSES GIVEN IN THE MANUAL OF STEEL CONSTRUCTION, 8TH EDITION, A.I.S.C. 1980, SECTION 1.5.

BOLT LENGTHS SHOULD BE SUFFICIENT TO ALLOW ENOUGH EMBEDMENT INTO THE CONCRETE FOR THE BOND STRENGTH (WITH OR WITHOUT HOOK) TO DEVELOP AT LEAST 75% OF THE ALLOWABLE TENSILE CAPACITY OF THE BOLT, AND IN NO CASE SHALL THE LENGTH BE LESS THAN 20 TIMES THE NOMINAL DIAMETER OF THE BOLT UNLESS OTHERWISE NOTED.

ALL ANCHOR BOLT DESIGN IS BASED ON THEIR PLACEMENT IN CONCRETE WITH AN ULTIMATE CONCRETE WITH AN ULTIMATE CONCRETE COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

FOOTING ALTERNATE #1
IN LIEU OF KEYED FOOTING
PROVIDE #4 "J" BARS @ 4'-0" O.C.

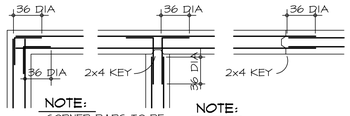
FOOTING ALTERNATE #2
IN LIEU OF KEYED FOOTING
PROVIDE #4 ANGLED BARS @ 4'-0" O/C



FOR BOLT PROJ. SEE APPROPRIATE ANCHOR BOLT SETTING PLAN

DIAMETER	LENGTH = L
1/2"	9"
3/4"	13 1/2"
1"	18"
1 1/4"	22 1/2"

REC. A. B. DETAIL



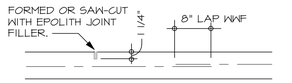
NOTE: CORNER BARS TO BE SAME SIZE & SPACING AS HORIZ WALL REINF & TOP & BTM BARAS

NOTE: SUBMIT JOINT LOCATION LAYOUT FOR APPROVAL

WALL CORNER | WALL INTERSECTION | WALL CONSTR-JOINT

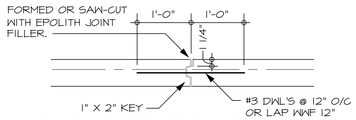
PLAN DETAIL - WALL REINFORCING

SCALE: 1/2" = 1'-0"



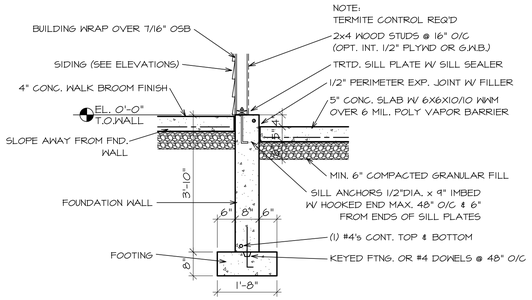
SLAB CONTROL JOINT

SCALE: 3/4" = 1'-0"



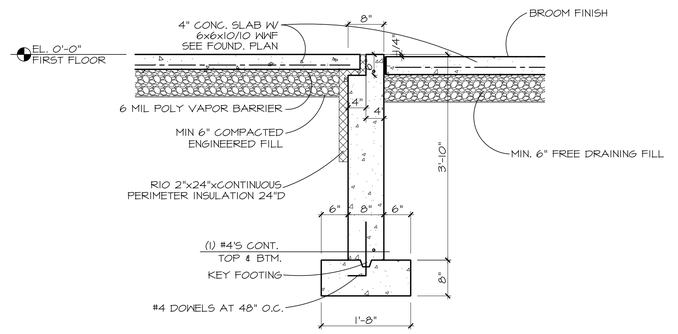
SLAB CONSTRUCTION JOINT

SCALE: 3/4" = 1'-0"



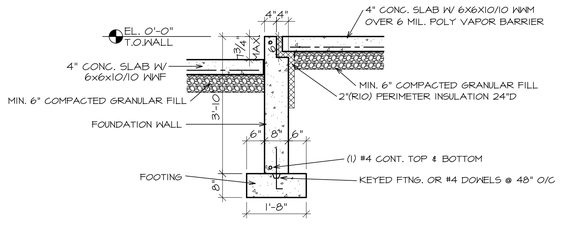
9 GARAGE FOUNDATION WALL

SCALE: 1/2" = 1'-0"



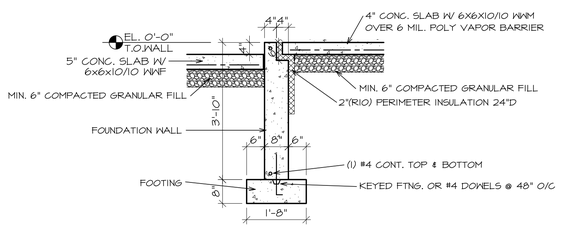
1 FND. WALL @ ENTRY DOORS

SCALE: 3/4" = 1'-0"



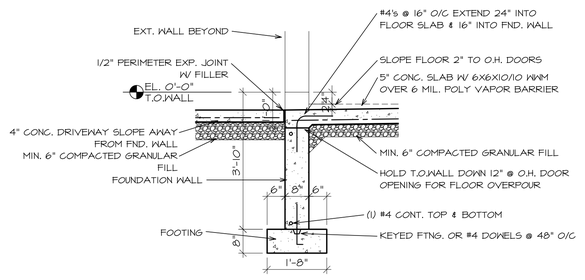
2 FOUNDATION WALL AT PATIO

SCALE: 1/2" = 1'-0"



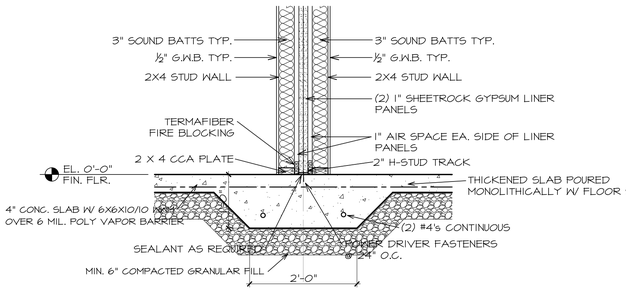
3 FND WALL AT GARAGE

SCALE: 1/2" = 1'-0"



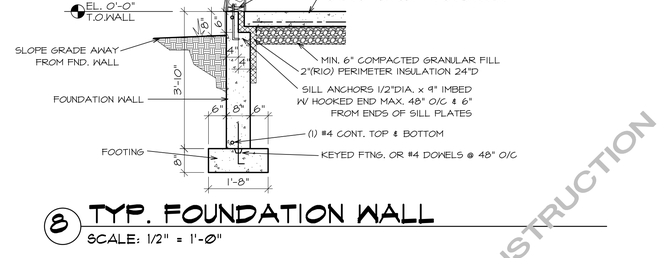
4 FND. WALL AT O.H. DOOR

SCALE: 1/2" = 1'-0"



5 THICKENED SLAB DETAIL @ PARTY WALL

SCALE: 3/4" = 1'-0"



6 THICKENED SLAB DETAIL

SCALE: 3/4" = 1'-0"

7 GARAGE FOUNDATION WALL

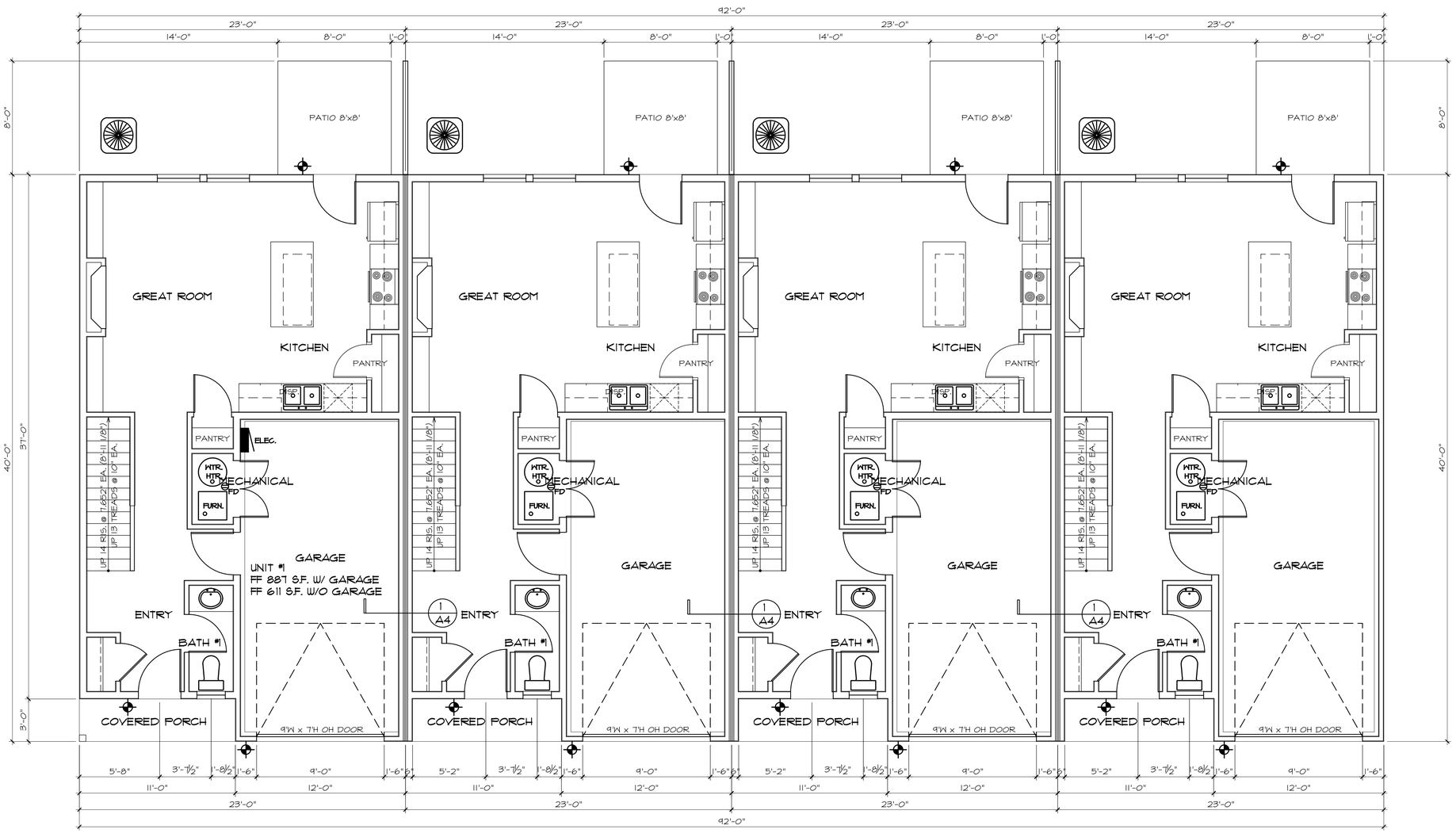
SCALE: 1/2" = 1'-0"

8 TYP. FOUNDATION WALL

SCALE: 1/2" = 1'-0"

David L. Jenkins & Assocs., P.C.
ARCHITECTS AND PLANNERS
2020 GLENVIEW RD — ROCKFORD, ILLINOIS
PHONE (815) 397-9771 — FAX (815) 397-9795

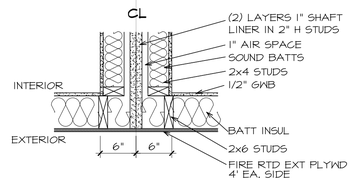
FILE NAME: 044-22 RTB	CONTRACTOR: White Oak Home Builders, LLC	PROJECT NO.: 044-22
DATE: 12-12-22	PROJECT NAME: HAWKS POINTE - B, ROSCOE, IL	SHT. NO.: A3
REVISED:		OF: 7



OVERALL FIRST FLOOR PLAN 4 UNIT

SCALE 1/4" = 1'-0"

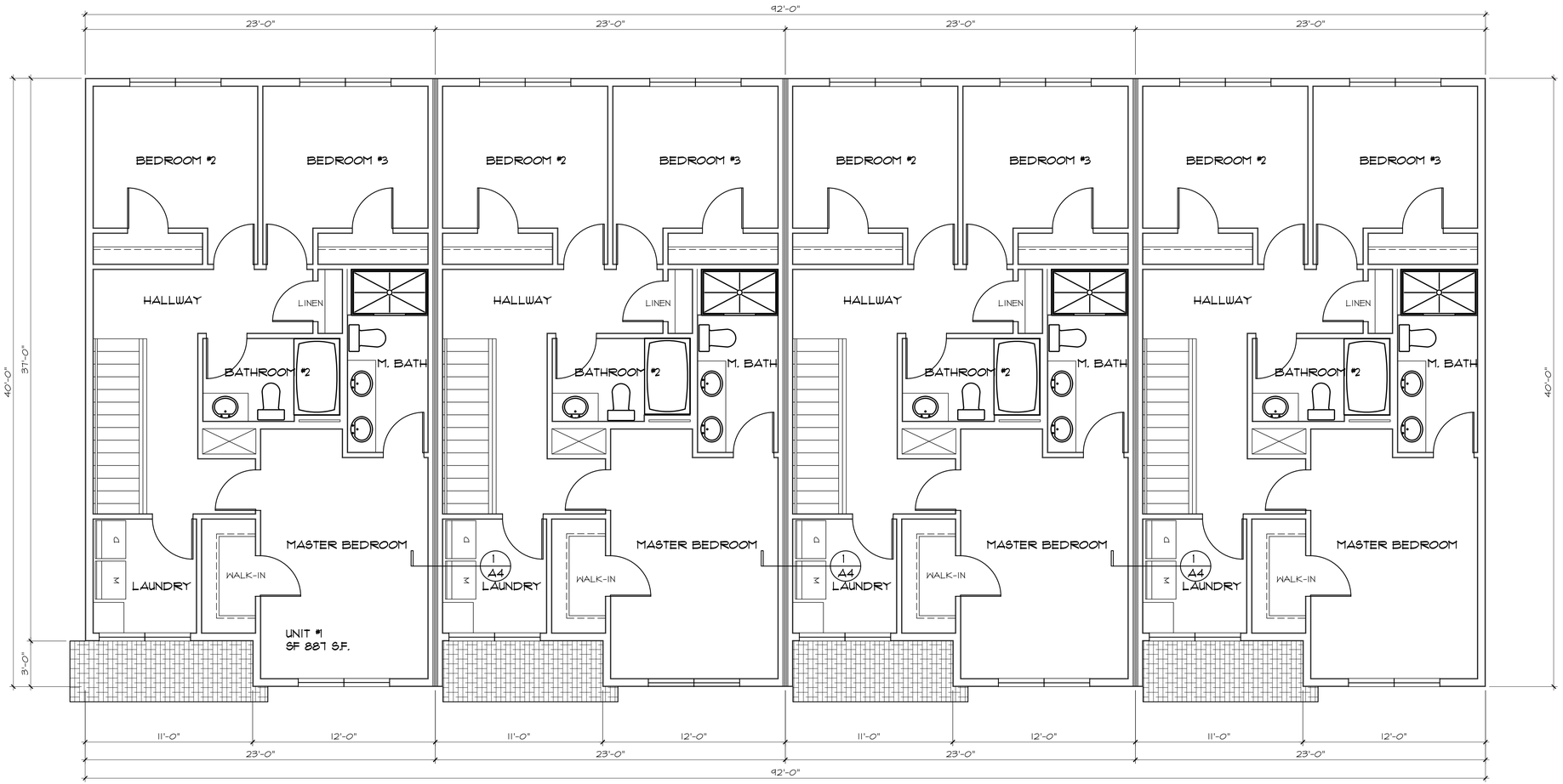
NOTE: DIMENSIONS SHOWN ARE TO EITHER FACE OF FOUNDATION WALL OR CENTERLINE OF THICKENED SLAB



1 2HR PARTY WALL
SCALE 1" = 1'-0"

David L. Jenkins & Assocs., P.C.
ARCHITECTS AND PLANNERS
• 2020 GLENVIEW RD — ROCKFORD, ILLINOIS •
PHONE (815) 397-9771 — FAX (815) 397-9795 •

FILE NAME: 044-22 RTB	CONTRACTOR: White Oak Home Builders, LLC	PROJECT NO.: 044-22
DATE: 12-12-22	PROJECT NAME: HAWKS POINTE - B, ROSCOE, IL	SHT. NO.: A4
REVISED:		OF: 7



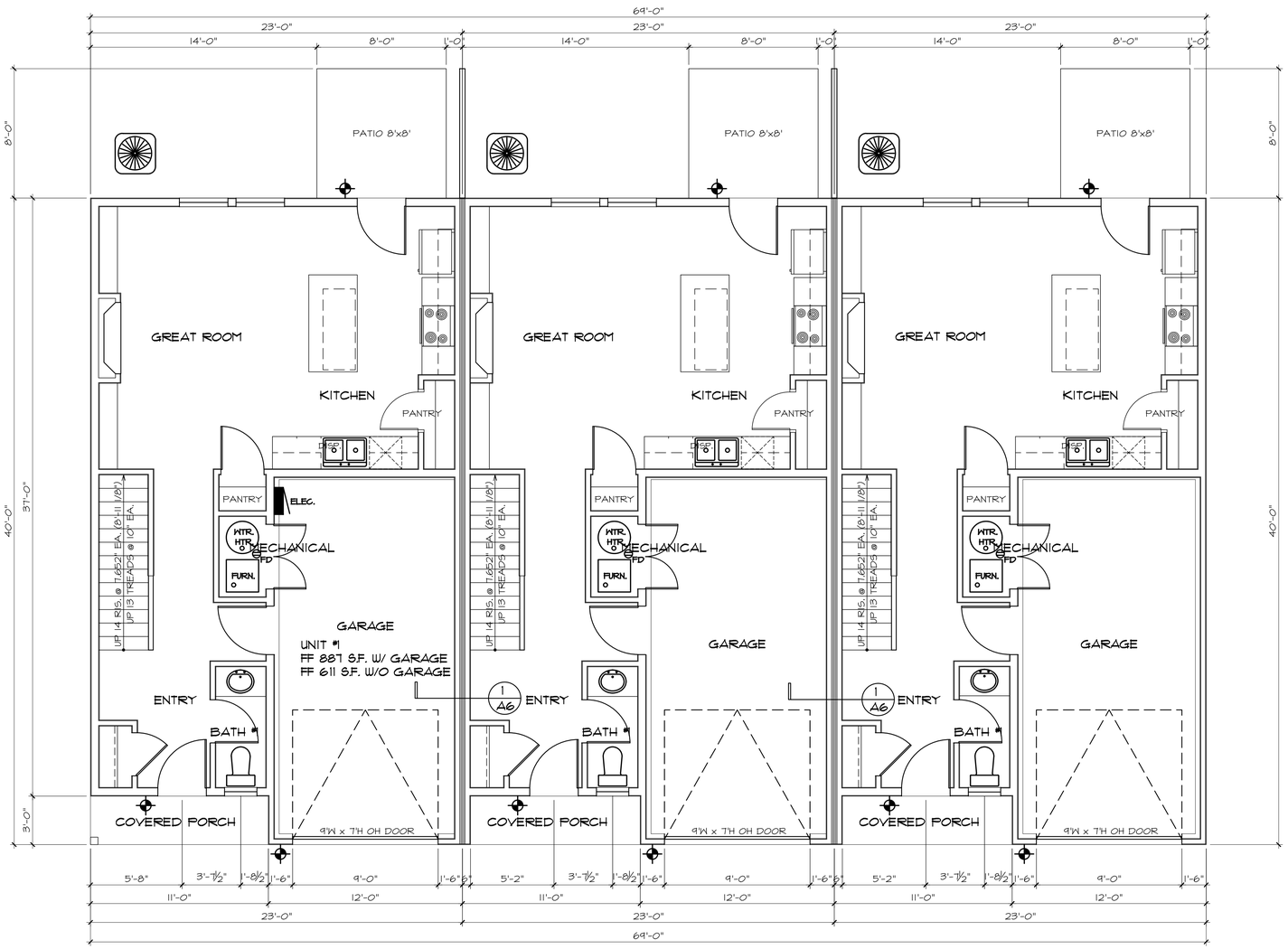
OVERALL SECOND FLOOR PLAN 4 UNIT

SCALE 1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN ARE TO EITHER FACE OF FOUNDATION WALL OR CENTERLINE OF THICKENED SLAB

David L. Jenkins & Assocs., P.C.
ARCHITECTS AND PLANNERS
• 2020 GLENVIEW RD — ROCKFORD, ILLINOIS •
PHONE (815) 397-9771 — FAX (815) 397-9795 •

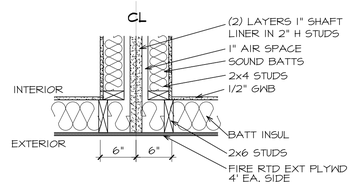
FILE NAME: 044-22 RTB	CONTRACTOR: White Oak Home Builders, LLC	PROJECT NO.: 044-22
DATE: 12-12-22	PROJECT NAME: HAWKS POINTE - B, ROSCOE, IL	SHT. NO.: A5 OF: 7
REVISED:		



OVERALL FIRST FLOOR PLAN 3 UNIT

SCALE 1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN ARE TO EITHER FACE OF FOUNDATION WALL OR CENTERLINE OF THICKENED SLAB

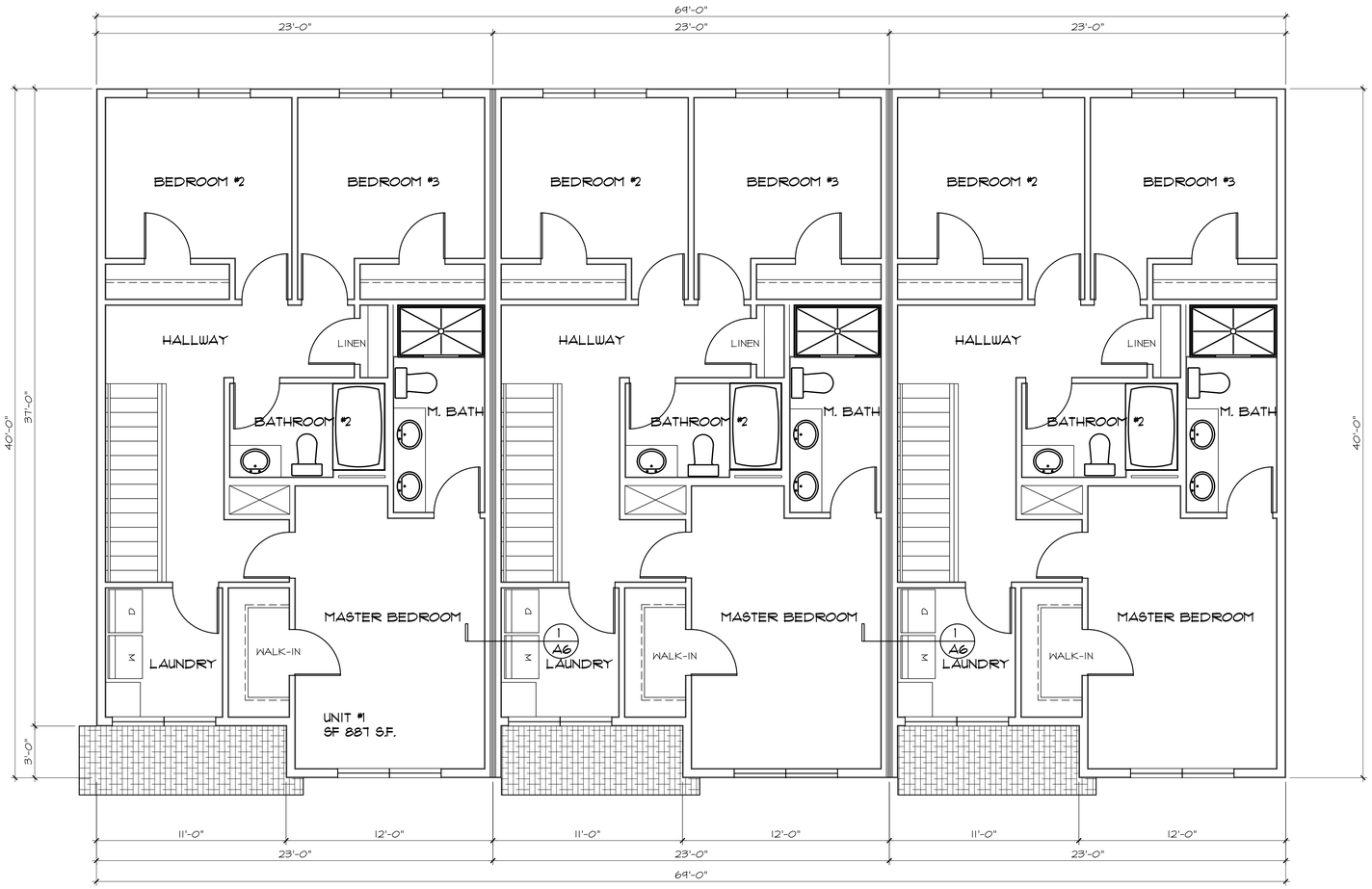


1 2HR PARTY WALL

SCALE 1" = 1'-0"

David L. Jenkins & Assocs., P.C.
ARCHITECTS AND PLANNERS
2020 GLENVIEW RD — ROCKFORD, ILLINOIS
PHONE (815) 397-9771 — FAX (815) 397-9795

FILE NAME: 044-22 RTB	CONTRACTOR: White Oak Home Builders, LLC	PROJECT NO.: 044-22
DATE: 12-12-22	PROJECT NAME: HAWKS POINTE - B, ROSCOE, IL	SHT. NO.: A6
REVISED:		OF: 7



OVERALL SECOND FLOOR PLAN 3 UNIT

SCALE 1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN ARE TO EITHER FACE OF FOUNDATION WALL OR CENTERLINE OF THICKENED SLAB

David L. Jenkins & Assocs., P.C.
ARCHITECTS AND PLANNERS
• 2020 GLENVIEW RD — ROCKFORD, ILLINOIS •
PHONE (815) 397-9771 — FAX (815) 397-9795 •

FILE NAME: 044-22 RTB	CONTRACTOR: White Oak Home Builders, LLC	PROJECT NO.: 044-22
DATE: 12-12-22	PROJECT NAME: HAWKS POINTE - B, ROSCOE, IL	SHT. NO.: A7
REVISED:		OF: 7