

Zoning Board of Appeals Meeting of August 12, 2026

Application No. PUD-2026-012 GDP & SIP

Applicant: Wayne Lensing

Location: 13750 Metric Road (04-16-326-003)

Requested Actions: PUD, Planned Unit Development for the construction of a new building to expand the existing museum use.

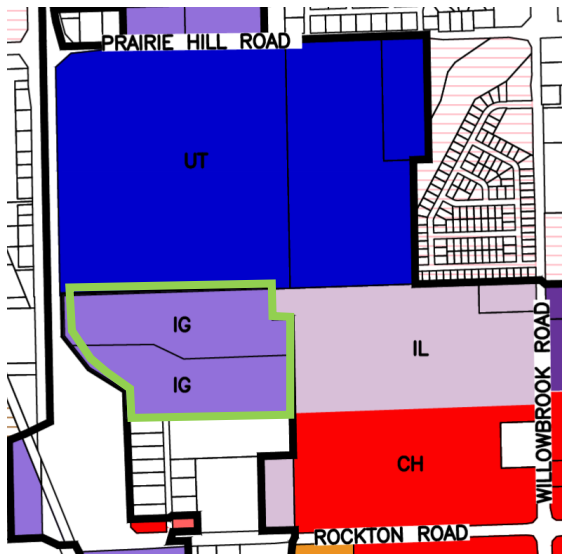
Existing Use: Self-Storage, Museum, and Retail Sales

Proposed Use: Self-Storage, Museum, and Retail Sales

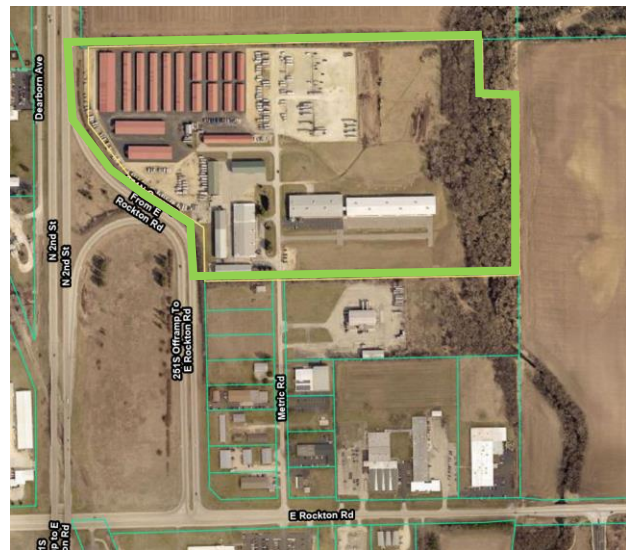
Existing Zoning: IG (General Industrial)

Adjacent Zoning: North: UT (Urban Transitional)
East: IL (Light Industrial)
South: IL (Light Industrial Winnebago County)
West: Access ramps to and from Route 251

Current Zoning Map



Location Map



Background: The subject property was originally developed in unincorporated Winnebago County and was annexed into the Village in 2021. The site contains multiple existing buildings and a mix of uses, including self-storage, museum, and retail sales. These uses were established before annexation.

As part of the annexation process, a map amendment was approved zoning the property IG, General Industrial, along with a Special Use Permit to allow for the continuation and expansion of the existing self-storage and auto museum uses. Additionally, a variance was granted from the requirement to install curb and gutter on site as part of parking lot design standards. The agreement also required the dedication of right-of-way and the construction of a cul-de-sac at the end of Metric Drive.

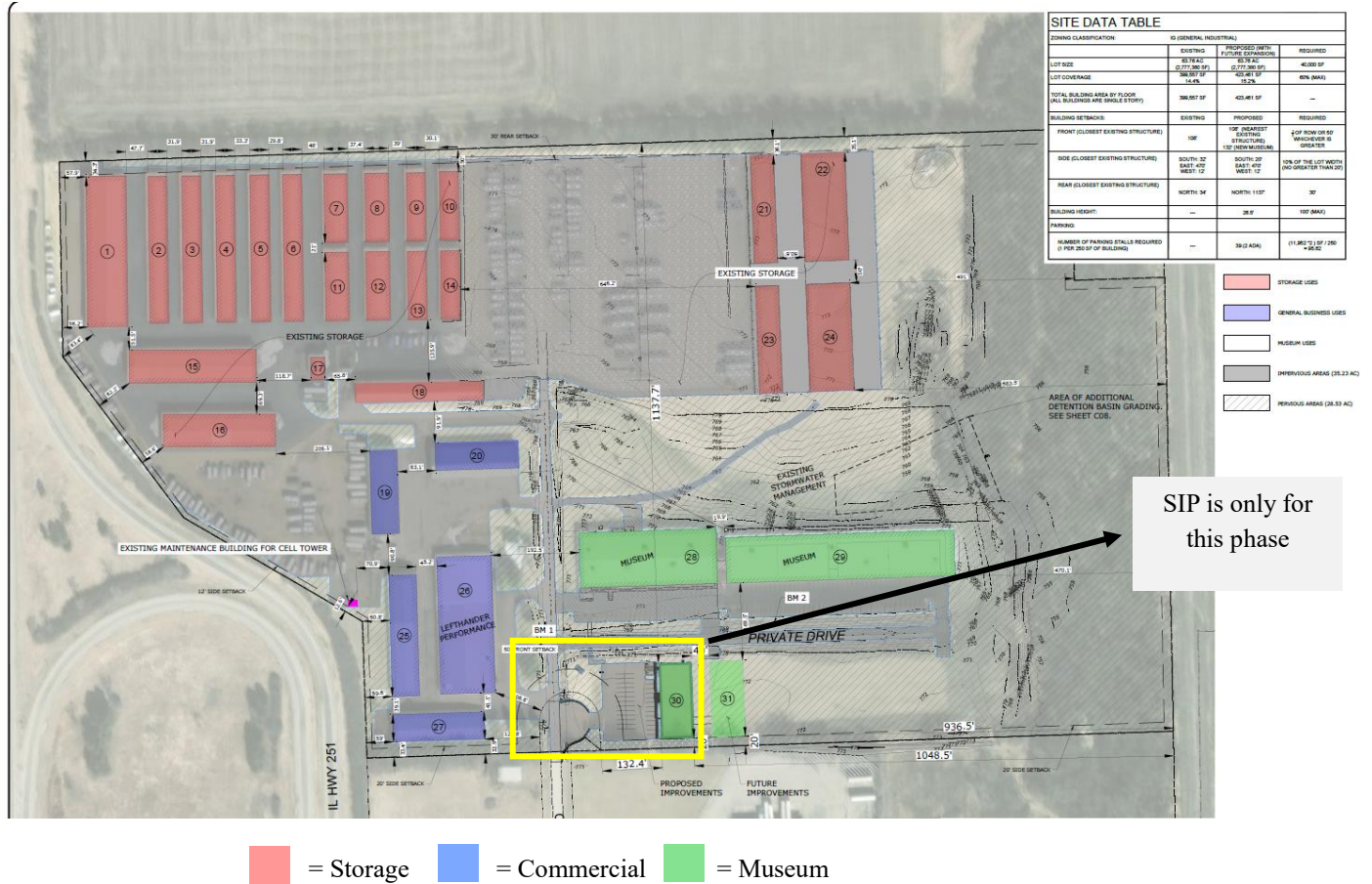
On April 8, 2026, the applicant received Design Review approval for the construction of an 11,952-square-foot building to house a fire truck exhibit, along with associated site improvements for the additional museum building. Following approval, the applicant requested modifications to the approved plans that include deviations from the requirements of the current Zoning Ordinance.

To accommodate the proposed deviations and establish a comprehensive zoning framework for the property moving forward, a Planned Unit Development (PUD) is being established. The PUD will establish a site-specific development plan governing future development on the property while recognizing the existing site configuration and uses. There are no proposed changes to the existing land uses. The SIP/Design Review associated with this application is limited to the proposed new museum building, associated site improvements, and the requested deviations from the Zoning Ordinance.

Zoning: The subject property is currently zoned IG, General Industrial. This district is intended to accommodate manufacturing and industrial uses. Through the proposed GDP rezoning, the property will establish a customized GDP and use the IG zoning district as the comparable district under the Planned Unit Development.

Permitted Uses: Section 15-460 of the Village of Roscoe Zoning Ordinance lists the permitted, special, and accessory uses of the IG, General Industrial zoning district.

Concept Plan / General Development Plan (GDP)

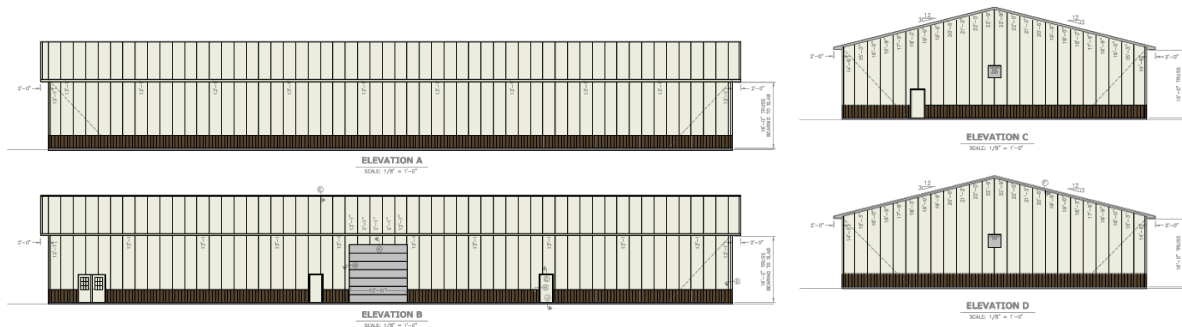


The subject property currently contains 29 buildings. The applicant is proposing the construction of Building 30, which will serve as a Fire Truck Museum. The General Development Plan (GDP) also identifies a future Building 31, located behind Building 30, as a planned museum addition. Building 31 is not included in the current Specific Implementation Plan (SIP) request.

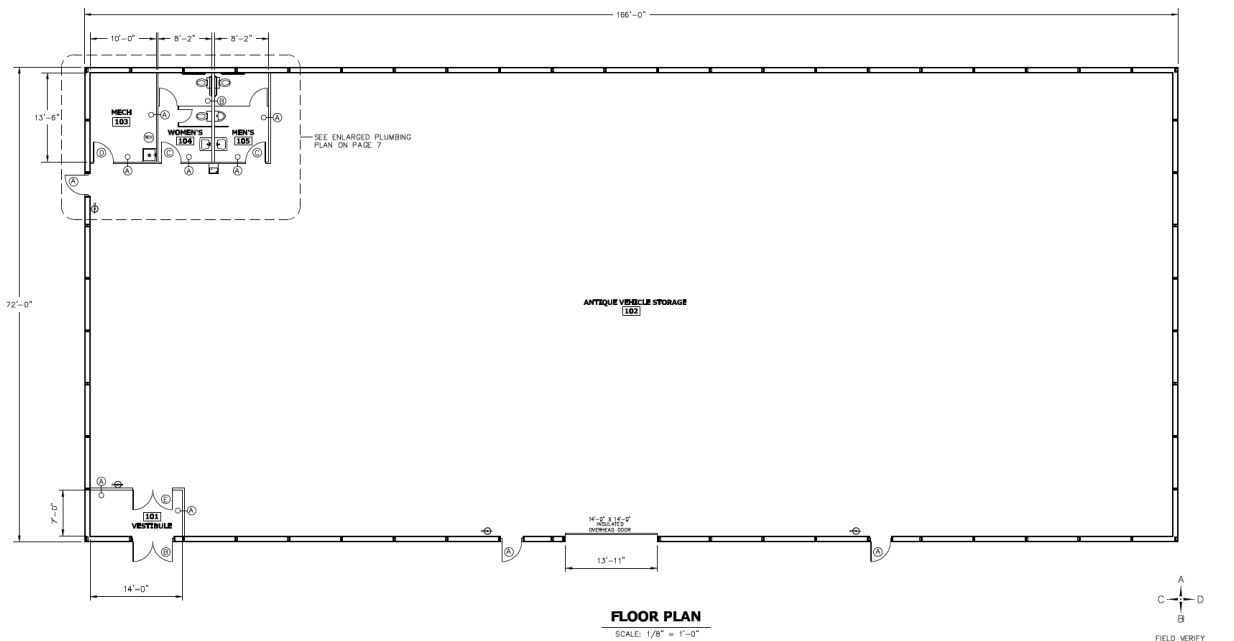
Specific Implementation Plan (SIP)

Much of the information presented in this section was previously reviewed by the Zoning Board of Appeals at its April 8 meeting. Any modifications made after that review are identified and noted throughout this section.

Building Design (no change): The proposed elevations indicate that the exterior will feature Max-Rib II steel panel siding in a light stone color, accented by a 3-foot steel wainscot trim in Tudor Brown, and will be constructed on a concrete slab. The color palette is designed to complement and align with the existing museum's aesthetic. The building's location meets the IG zoning setback requirements and complies with height regulations, as the proposed height of 26.5 feet is well below the maximum allowed.



Building Elevations



Floor Plan

Lighting (no change): A photometric plan has been provided demonstrating that the proposed improvements meet the ordinance lighting standards for footcandle levels, mounting height, location, and color temperature of fixtures.

Bulk Dimensions (no change): Section 15-459 of the Village of Roscoe Zoning Ordinance provides the bulk dimensions for the IG district. The applicant has not requested any deviations from the General Industrial Bulk Dimensional Standards.

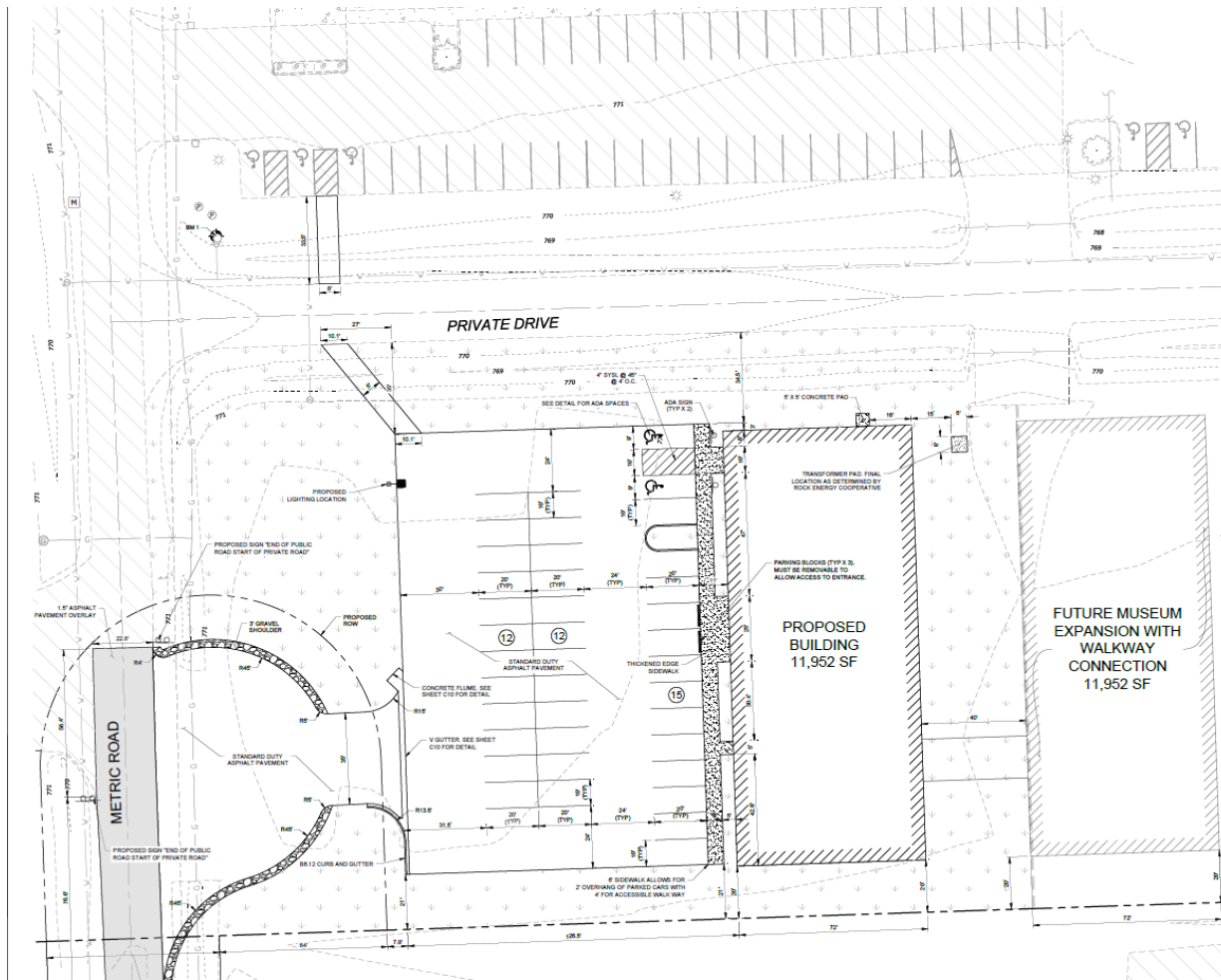
Lot Requirements		
	Village Standards IG	Proposed
Min. Site Area	40,000 sf	2,777,380 sf
Min. Lot Width	120'	+/- 1781.08 ft
Min. Depth	150'	+/- 1,332.74 ft
Max. Building Height	100'	35'
Max Lot Coverage	60%	15.2 %
Front Yard	½ of ROW or 50 ft., whichever is greater (1)	50 ft
Side Yard	10% of the lot width (2)	20 ft
Rear	30'	34 ft

Parking Lot Design and Layout: Access to the site will be provided from Metric Road and a new dedicated cul-de-sac, in compliance with the annexation agreement. Wheel guards are required for parking spaces adjacent to sidewalks, pedestrian circulation areas, or landscape areas so that no part of a parked vehicle will encroach, but are not required for interior stalls. The applicant has asked to thicken the sidewalk along the front facade of the building instead of providing wheel stops. Engineering has agreed that this meets the intent of the code.

The proposed parking lot will be surfaced with asphalt, and the parking stall dimensions and drive aisles comply with the Zoning Ordinance. The parking stall width has been increased from 9.5 feet to 10 feet, and the drive aisles range from 24 feet to 31 feet in width, meeting and exceeding applicable code requirements. The reduction in paved area and corresponding increase in setback areas do not create any zoning compliance issues and are consistent with the requirements of the Code.

Pavement surface striping should define each parking space, and shall be a minimum of four inches in width from the length of each space. Striping for each parking space shall be painted yellow or white. Thermoplastic pavement markings are an acceptable alternative. A 5-foot-wide concrete pedestrian access has been added from the existing Museum parking lot to the new proposed parking lot to improve on-site circulation.

Section 15-619 of the Zoning Code regulates off-street parking requirements. Museum land uses require one off-street parking stall per 250 square feet of building. Based on the size of the proposed building, 48 off-street parking spaces are required. The proposed site plan provides 38 parking spaces, including two ADA-compliant accessible spaces. The applicant stated the combination of the existing parking available throughout the site and the 38 spaces proposed for the museum will provide adequate parking to accommodate the anticipated demand for the addition.



Proposed Site Plan

Landscaping: The applicant has provided 198 linear feet of landscaping along the building façade, covering 83% of its length and exceeding the 80% minimum requirement. The landscaping includes a mix of trees, shrubs, native grasses, and groundcover. Perimeter landscaping along the parking lot edge, which is required to be at least seven feet wide, is met by clustering shrubs and native grasses in landscaped beds next to the parking area, in line with code allowances. While the landscape layout has been reconfigured from the originally approved plan, the proposed landscaping exceeds the minimum landscape requirements in both the original and proposed plans.

The updated plans removed two interior landscape islands, each measuring 9 feet by 18 feet, that were previously located along the ends of the continuous double rows of parking. The applicant is requesting flexibility from this requirement.

Stormwater: A stormwater management report was submitted for review. The report concludes the proposed basin discharge rate exceeds the maximum allowable release rate established by the Stormwater Management Ordinance. A revised stormwater management report is required to be submitted for review and approval by the Village Engineer.

Background Information about Planned Unit Developments

Section 15-719 of the Village of Roscoe Zoning Ordinance outlines the purpose, intent, potential zoning flexibilities, and applicability associated with a PUD. Additionally, Section 15-723 of the Zoning Ordinance outlines the procedural steps associated with a PUD.

A Planned Unit Development is a unique zoning district that is specific to a particular project or area. In addition to enabling flexibilities from zoning requirements, Planned Unit Developments also enable the implementation of additional standards for design and operation, and/or requirements related to timing. With the resulting combination of customized flexibility and control, every Planned Unit Development is reviewed on its relation to the subject property, nearby properties, and the community as a whole. The applicant has chosen to run the GDP and SIP process concurrently.

Every Planned Unit Development has three steps:

1. Conceptual discussion to identify project concepts and concerns.
 - Completed – February 20, 2026 with Village Staff
2. General Development Plan (GDP) to establish the unique zoning district equivalent to a Zoning Map Amendment.
 - Current Step -August 12, 2026
3. Specific Implementation Plan (SIP) to approve design and operation details equivalent to Site Plan and Design Review.
 - Current Step -August 12, 2026

Required Findings: Section 15-721(1) states that no application for a planned unit development shall be approved unless all the following findings are made about the proposal. Indented text below indicates staff-suggested findings for use by the Zoning Board of Appeals.

a. Comprehensive plan. The planned unit development shall conform with the general planning policies of the village as set forth in the comprehensive plan.

The proposed project is consistent with the Comprehensive Plan's Future Land Uses Map classification of I, Industrial District. The Industrial designation is intended to accommodate industrial development in areas with appropriate access and separation from sensitive land uses. Complementary commercial uses that support and enhance industrial areas are also permitted. The proposed uses are consistent with the intent of the Industrial land use designation.

b. Public welfare. The planned unit development shall be so designed, located, and proposed to be operated and maintained that it will not impair an adequate supply of light and air to adjacent property and will not substantially increase the danger of fire or otherwise endanger the public health, safety, and welfare.

The proposed Planned Unit Development has been designed, located, and will be operated and maintained in a manner that will not impair access to light and air on adjacent properties. The project will be required to comply with all applicable regulations and will be served by existing public infrastructure and emergency service providers.

c. Impact on other property. The planned unit development shall not be injurious to the use or enjoyment of other property in the neighborhood for the purposes permitted in the district, shall not impede the normal and orderly development and improvement of surrounding properties for uses permitted in the zoning district, shall not be inconsistent with the community character of the neighborhood, shall not alter the essential character of the neighborhood and shall be consistent with the goals, objectives, and policies set forth in the comprehensive plan, and shall not substantially diminish or impair property values within the neighborhood, or be incompatible with other property in the immediate vicinity.

The proposed Planned Unit Development is not expected to negatively impact the use, enjoyment, or orderly development of nearby land. It is not anticipated to adversely affect surrounding property values and is considered compatible with the uses along Metric Road.

d. Impact on public facilities and resources. The planned unit development shall be so designed that adequate utilities, road access, drainage, and other necessary facilities will be provided to serve it. The planned unit development shall include such impact donations as may be reasonably determined by the village board. These required impact donations shall be calculated in reasonable proportion to impact of the planned unit development on public facilities and infrastructure.

The proposed Planned Unit Development is not anticipated to create additional demands on existing public facilities or infrastructure. The property is currently served by private well and septic systems and is not proposing connection to water or sanitary sewer at this time. Access to the site is being improved through the extension and construction of a cul-de-sac at the northernmost point of Metric Road, providing improved circulation and access. Based on the proposed General Development Plan and Specific Implementation Plan, no additional impact donations or contributions are anticipated at this time. Any required impact fees, donations, or infrastructure contributions will be evaluated and collected as applicable in accordance with Village ordinances.

e. Archaeological, historical or cultural impact. The planned unit development shall not substantially adversely impact a known archaeological, historical, or cultural resource located on or off the parcels proposed for development.

There are no known archaeological, historical, or cultural resources on or near the site. The proposed development is not expected to impact any such resources.

f. Parking and traffic. The planned unit development shall have or make adequate provision to provide necessary parking and ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets and provides adequate access for emergency vehicles.

The property consists of approximately 63 acres and provides sufficient area to accommodate the proposed museum use, including current and future parking needs. The property owner has indicated that the existing parking supply is adequate to serve typical museum operations, as well as occasional increases in visitor traffic associated with

special events or periodic influxes. Additionally, the various uses located on the property have different peak demand periods, reducing the likelihood that all uses will require maximum parking capacity at the same time.

g. Adequate buffering. The planned unit development shall have adequate landscaping, public open space, and other buffering features to protect uses within the development and surrounding properties.

The site contains existing buffering features, including a vegetative buffer along the property perimeter and a chain-link fence surrounding the storage use, which provide separation and screening from surrounding properties. The proposed museum building includes a landscape plan that meets applicable Zoning Ordinance requirements and provides appropriate site landscaping and buffering. The existing and proposed improvements provide adequate protection and compatibility with surrounding uses.

Modification Standards: Section 15-721(2) states, in addition to the findings required above, the following standards shall be utilized in considering applications for modifications of the conventional zoning and subdivision regulations for a planned unit development. These standards shall not be regarded as inflexible but shall be used as a framework by the village to test the quality of the amenities, benefits to the community, and design and desirability of the proposal. Indented text below indicates staff-suggested findings for use by the Zoning Board of Appeals.

a. Integrated design.

The property contains multiple existing uses and structures that have developed over time. Uses are generally grouped based on their operational needs, with commercial and visitor-oriented uses separated from storage and service-related activities. The property's location at the end of an industrial area, along with existing building setbacks and spacing, provides adequate separation and minimizes conflicts between uses and adjacent properties.

b. Beneficial common open space.

The northeast portion of the site is wooded and undeveloped, but no formal open space is provided; staff does not anticipate that the absence of a dedicated common open space will negatively impact the quality of the development or its compatibility with neighboring properties.

c. Location of taller buildings.

All existing and proposed buildings within the Planned Unit Development are intended to be no taller than 35 feet. This is consistent with the surrounding industrial developments and is not expected to create any adverse impacts on neighboring properties.

d. Functional and mechanical features.

The subject property is relatively isolated, with existing storage and loading areas located in the northern portion of the site and separated from the retail and museum uses. Mechanical equipment associated with the proposed museum expansion will be screened with landscaping and located in accordance with applicable zoning requirements.

e. Visual and acoustical privacy.

The proposed development meets the intent of this standard. Existing site conditions, including the property's location at the end of a public roadway and limited adjacent development, provide adequate separation from neighboring properties. The proposed improvements are not anticipated to create adverse visual or acoustical impacts.

f. Energy efficient design.

The Planned Unit Development is utilizing land efficiently and will incorporate best practices in stormwater management and building design.

g. Landscape conservation and visual enhancement.

The existing tree line along the entire property boundary should be preserved where feasible, where vegetation is in good condition and provides effective screening and landscape value. A landscaping plan has been provided as part of the SIP which meets the required standards.

h. Drives, parking and circulation.

The proposed development meets this standard. The site is accessed from a dedicated public roadway, and improvements to the dead-end portion of the roadway have been required as part of this development phase to improve circulation and emergency access.

i. Surface water drainage.

Stormwater detention has been provided on site. An approved drainage study will be required to demonstrate compliance with applicable stormwater management requirements. Any revisions, comments, and conditions will be addressed through staff.

Staff Recommendation Regarding the PUD: Staff recommends approval of the Planned Unit Development (PUD) General Development Plan (GDP) and Specific Implementation Plan (SIP) submitted by Wayne Lensing for the expansion of the museum use within the existing mixed-use development located on the 63.75-acre property at 13750 Metric Road (PIN: 04-16-326-003), finding that the applicable criteria for PUD submittal and approval have been satisfied.

Staff further recommends approval of the associated GDP Zoning Map Amendment to rezone the property from IG, General Industrial District, to PUD, subject to compliance with the approved flexibilities, staff-recommended conditions of approval, and any additional conditions imposed by the Zoning Board of Appeals.

Approved Flexibilities:

- Off-Street Parking: Approval of the proposed off-street parking count, including the provision of 38 parking spaces for Building 30, as proposed on the SIP.
- Parking Lot Landscape Islands: Approval to omit interior parking lot landscape islands within the parking lot serving Building 30, as proposed on the SIP.

Conditions of Approval:

1. The applicant shall obtain all required state, county, and local permits and approvals before commencement of work.
2. The applicant shall provide a thickened concrete sidewalk adjacent to the parking area along the front façade of Building 30 to serve as a durable vehicle stopping edge in lieu of wheel stops, as approved by the Village Engineer.
3. The parking lot shall be striped in full compliance with all applicable code requirements.
4. All proposed signage shall comply with the applicable sign regulations of the IG, General Industrial zoning district.
5. The project shall maintain adequate fire lanes, emergency access, and fire protection measures as required by the Fire Department.
6. The applicant shall address all Village Engineer comments regarding stormwater, utilities, cul-de-sac construction, and detailed site grading before issuance of an occupancy permit.
7. The approvals, conditions, and deviations previously established through the annexation agreement shall remain in full force and effect. Approval of this Planned Unit Development is intended to build upon the existing approvals and shall not be interpreted to supersede, invalidate, or render null and void any previously approved rights, conditions, or deviations.
8. Development of the site shall substantially conform to the approved General Development Plan and Planned Unit Development documents. If any standards, requirements, or design elements not expressly modified through the Planned Unit Development approval shall comply with the applicable provisions of the IG, General Industrial zoning district, and all other applicable Village ordinances.
9. Future improvements depicted on the approved General Development Plan (GDP) may be approved through the Design Review process, provided the improvements are consistent with the approved GDP and do not require additional deviations from the Zoning Ordinance. Any future additions, alterations, expansions, changes in use, or modifications not shown on the approved GDP, or that require additional zoning deviations, shall require approval of a Planned Unit Development (PUD) amendment prior to issuance of any permits.