
MEMORANDUM

CITY: City of Rollingwood

SUBJECT: 3225 Park Hills Drive and 601 Riley Road
Setbacks

DATE: August 17, 2022

Background

Form surveys for 3225 Park Hills Drive and 601 Riley Road were conducted and sealed by licensed surveyors and submitted to the City for review. K Friese + Associates (KFA) has reviewed the surveys and found the properties are in conformance with the City of Rollingwood Code of Ordinances. This memo includes the code sections related to the yard setbacks as well as the specific code sections each property complies with.

Rollingwood Codes

Sec. 107-75. - Yards generally.

- (a) Each lot shall have a front yard, two side yards and a rear yard.
- (b) On each lot, the rear yard shall be to the rear of the front yard.
- (c) The building official shall determine the street address, and thus the front yard, of each corner lot.

Sec. 107-76. - Minimum required depth and width of yards.

- (a) In order to determine compliance with the minimum yard depth and width requirements of this section, measurements shall be made from the closest point on the foundation line of a "qualified building," as the term is defined in this section, to either the lot line or street right-of-way line, whichever results in the shortest distance.
- (b) The front yard of each lot shall have a minimum depth of 30 feet. For purposes of this subsection, "qualified building" means either a main building, a garage, or a covered front porch or covered front terrace.

(c) The side yard of each lot shall have a minimum width of:

- (1) Ten feet, when the lot abuts another lot, except that the sum total of the two side yards of any lot shall not be less than 25 feet;
- (2) Thirty feet, when the lot borders a street other than described in subsection (c)(3) of this section;
- (3) Twenty feet, when two lots extend the length of one block and have abutting rear lot lines.

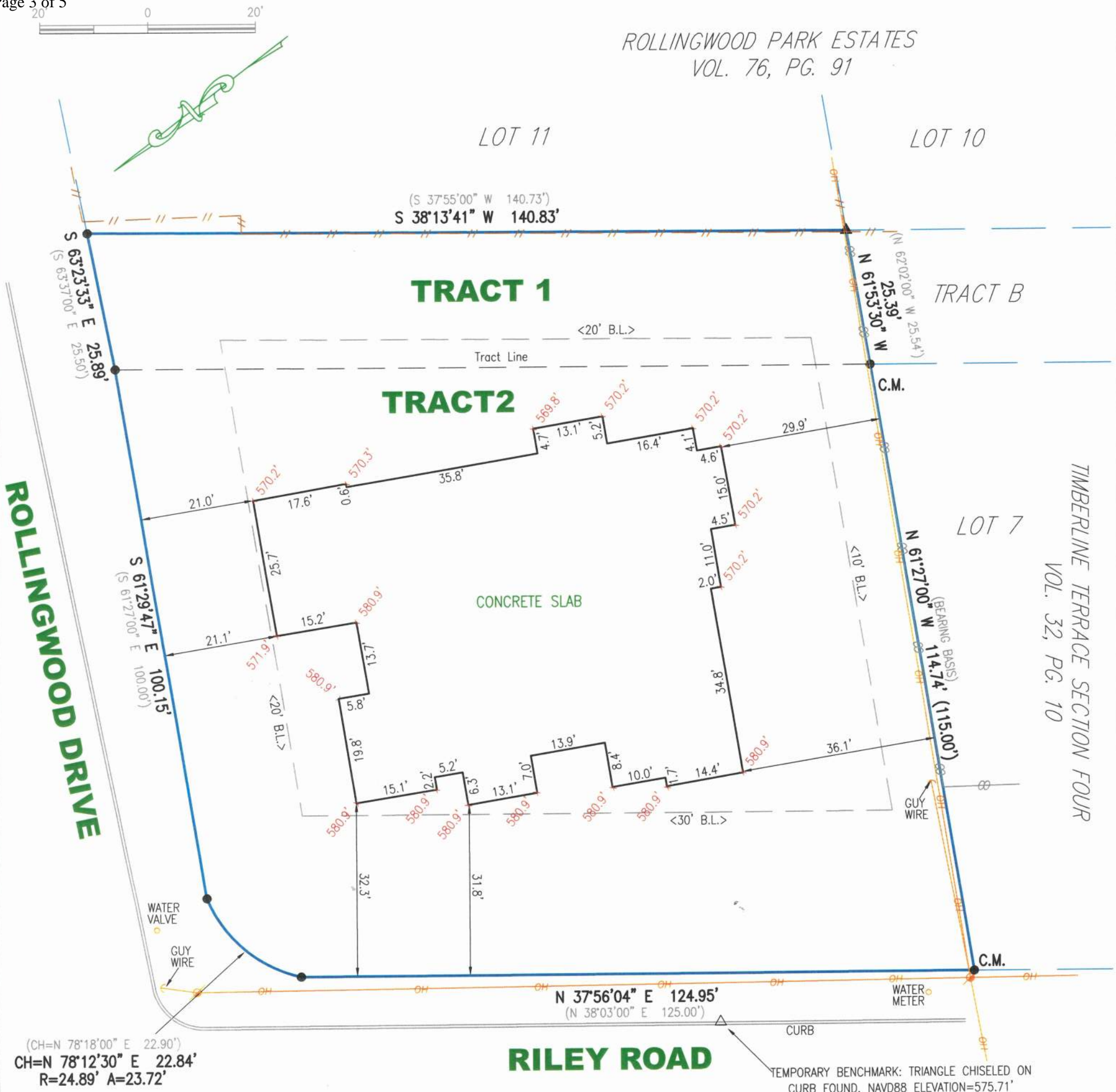
For purposes of this section, the term "qualified building" means a main building or accessory building.

(d) The rear yard of each lot shall have a minimum depth of 20 feet. For purposes of this subsection, "qualified building" means an accessory building, or a main building or any projection thereof other than a projection of uncovered steps, unenclosed balconies, or unenclosed porches.

601 Riley Road

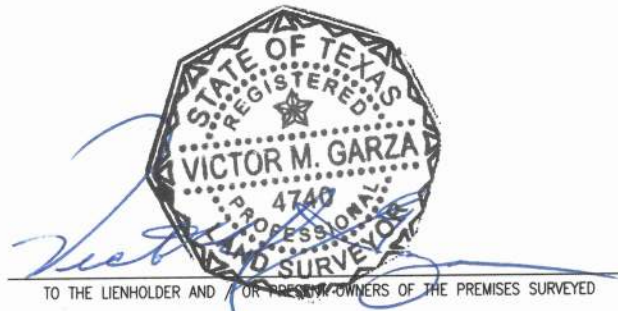
Based on the Survey below for 601 Riley the site is in compliance with Rollingwood Code Section 107-76, with a front yard setback of 30-feet per Section 107-76 (b), backyard setback of 20-feet per Sections 107-76 (d) and a minimum of 10-feet of side yard per Section 107-76 (c)(1) and 20-feet per Section 107-76(c)(3).

ROLLINGWOOD PARK ESTATES
 VOL. 76, PG. 91



LEGEND

- 1/2" REBAR FOUND
- 1/2" CAPPED REBAR SET
- 1/2" IRON PIPE FOUND
- ▲ CONCRETE NAIL FOUND
- ▲ 60D NAIL SET AT PROPOSED HOUSE CORNER
- CAPPED REBAR FOUND
- ⊗ "X" SET IN CONCRETE
- ⊗ "X" FOUND IN CONCRETE
- COTTON SPINDLE FOUND
- PUNCH HOLE FOUND
- BREAK IN SCALE
- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- () PER DOC. NO. 2020167797
- < > BASED ON SITE PLAN
- BUILDING LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- C.M. CONTROL MONUMENT
- R.O.W. RIGHT OF WAY
- OH OVERHEAD UTILITY LINE
- POWER POLE
- AC AIR CONDITIONER
- x570.20' TOP OF SLAB ELEVATION



IMPORTANT NOTICE
 This Survey was prepared without the benefit of a title commitment. There may be additional setback lines, easements and interests which are relevant to this property and unknown to B & G SURVEYING, LLC.

STREET ADDRESS: 601 RILEY ROAD CITY: ROLLINGWOOD COUNTY: TRAVIS STATE OF TEXAS

TRACT 1: BEING A TRACT OUT OF THE HENRY P. HILL SURVEY CONVEYED IN DOC. NO. 2020167797, T.C.O.P.R.

TRACT 2: PARCEL "A" SUBDIVISION: ROLLINGWOOD PARK ESTATES VOL/CAB 76 PG/SLD 91 PLAT RECORDS

REFERENCE NAME: ARTERBERRY COOKE ARCHITECTURE

MAYA SLAB SURVEY: 04/20/22
 AW3ADDED BENCHMARK: 12/09/21



B & G SURVEYING, LLC
 FIRM REGISTRATION NO. 100363-00
 WWW.BANDGSURVEY.COM
 1404 West North Loop Blvd.
 Austin, Texas 78756 - Office 512*458-6969

JOB #: B0407422_TA
 ORIGINAL SURVEY DATE: 11/23/21
 SCALE: 1" = 20'

FIELD WORK BY	WILLIAM	11/22/21
CALC'D BY	CAP	11/23/21
DRAFTED BY	CAP	11/23/21
CHECKED BY	VG/ML	11/23/21

3225 Park Hills Drive

Based on the Survey below for 3225 Park Hills the site is in compliance with Rollingwood Code Section 107-76, with a front yard setback of 30-feet per Section 107-76 (b), backyard setback of 20-feet per Section 107-76 (d), and a minimum of 10-feet of side yard on each side with the total side yard depths equal to 25-feet per Section 107-76 (c)(1).

