

UPDATED POOL BARRIER:
 CIVIL UPDATES: REFER TO CIVIL DRAWINGS FOR DETAILS REGARDING:
 -GRADING
 -DEFENTION POND
 -SPILLWAY

CONTAINERS, AND MATERIALS SHOULD BE KEPT ON SITE AT ALL TIMES. NO CHANGES TO THE PLANS SHALL BE MADE WITHOUT APPROVAL FROM THE OFFICE OF DEVELOPMENT SERVICES.

A SET OF STAMPED, OR OTHERWISE APPROVED PLANS BY THE OFFICE OF DEVELOPMENT SERVICES MUST BE KEPT ON SITE AT ALL TIMES. NO CHANGES TO THE PLANS SHALL BE MADE WITHOUT APPROVAL FROM THE OFFICE OF DEVELOPMENT SERVICES.

A COPY OF THE BUILDING PERMIT ISSUED BY THE OFFICE OF DEVELOPMENT SERVICES SHALL BE KEPT ON SITE AT ALL TIMES, AND SHALL LIST ALL REQUIRED INSPECTIONS AS DETAILED IN THE PLAN REVIEW.

TO READ THE ENTIRE CODE AS IT RELATES TO THE MANNER OF CONDUCTING CONSTRUCTION, SEE SECTIONS 101-245 TO 101-254, OR VISIT:
[HTTPS://LIBRARY.MUNICODE.COM/TX/ROLLINGWOOD/CODES/CODE_OF_ORDINANCES?NODEID=PTIMLADECO_CH101BUCC_ARTVIMACOCORE](https://library.municode.com/tx/rollingwood/codes/code_of_ordinances?nodeid=PTIMLADECO_CH101BUCC_ARTVIMACOCORE)

BUILDING HEIGHT:
 REFERENCE DATUM SELECTED: 579.77

TREE LEGEND
 ○ CRITICAL ROOT ZONE (NO CUT/FILL)
 ⊗ CRITICAL ROOT ZONE (NO CUT/FILL > 4')
 ⊕ DRIP ZONE

TREE LIST

DEMO	TAG NO.	SIZE	SPECIES
REMOVE	38	12"	ELM
REMOVE	39	20"	ELM
REMOVE	40	11"	LIVE OAK
REMOVE	41	7"	HACKBERRY
REMOVE	42	12"	ELM
REMOVE	43	22"	JUNIPER
REMOVE	44	8"	PARASOL
REMOVE	45	9"	ELM
REMOVE	46	11"	HACKBERRY
REMOVE	47	8"	JUNIPER
REMOVE	48	9"	ELM
REMOVE	49	9"	ELM
REMOVE	50	8"	JUNIPER
REMOVE	51	7"	ELM
REMOVE	52	9"	ELM
REMOVE	53		
REMOVE	54		
REMOVE	55		
REMOVE	56		
REMOVE	57		
REMOVE	58		
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REMOVE	102		
REMOVE	103		
REMOVE	104		
REMOVE	105		
REMOVE	117		
REMOVE	118		
REMOVE	119		

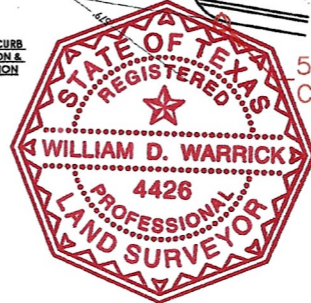
SITE LEGEND

- CONSTRUCTION FENCE
- SILT FENCE
- ⊕ BENCHMARK
- ⊞ ELECTRIC TRANSFORMER
- ⊞ ELECTRIC BOX
- ⊞ ELECTRIC METER
- ⊞ DROP INLET
- ⊞ SEWER
- ⊞ CLEANOUT
- ⊞ GAS METER
- ⊞ GAS MARKER
- ⊞ WATER METER
- ⊞ TELEPHONE PEDESTAL
- ⊞ C.A.T.V. PEDESTAL
- ⊞ FIBER OPTICS
- ⊞ TELECOMMUNICATIONS
- ⊞ MANHOLE - WATER
- ⊞ MANHOLE - TELEPHONE
- ⊞ MANHOLE - ELECTRIC
- ⊞ MANHOLE - SEWER
- ⊞ UTILITY POLE
- ⊞ FIRE HYDRANT

This survey substantially complies with the current Texas Society of Professional Surveyors Manual Practice for a Category 8, Condition 1, Vertical Control Survey. Elevations shown herein were established using the published elevation shown on Cornerstone Architects PORTNER SPEC sheet A2. Finished Floor Elevation (MAIN LEVEL) of 585.00 was held as vertical datum control.

The USGS NAVD '88 vertical datum varied by 3.91 feet difference, with the Finished Floor Elevations using USGS Datum of 581.09.

William D. Warrick Aug. 08, 2022
 William D. Warrick, RPLS No. 4426
 State of Texas.



LOCATIONS

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 Zamora, L.L.C.
 Professional Land Surveyors
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PROJECT: ROLLINGWOOD
 601 RILEY RD.
JOB NUMBER: 1027-36
DATE: AUGUST 2022
SCALE: 1" = 20'
SURVEYOR: WARRICK
TECHNICIAN: ALM
DRAWING: 1027-36 ROLLINGWOOD.dwg
FIELDNOTES:
PARTYCHIEF:
FIELDBOOKS:

PORTNER SPEC
 601 RILEY RD
 ROLLINGWOOD, TX 78746