

# CITY of AUSTIN

C I P I D # 6066.052

CSP# CLM B339



BID DOCUMENTS FIRST ADVERTISEMENT DATE: XXX

## ZILKER METRO PARK - ZILKER CLUBHOUSE REHABILITATION

2 0 0   A R N U L F O   A L O N Z O   W A Y   A U S T I N ,   T E X A S   7 8 7 0 4

### Consultants

#### ARCHITECTS

Limbacher & Godfrey Architects, Inc.  
2124 East Sixth Street, Suite 102  
Austin, Texas 78703  
Ph: 512-450-1518, Fax: 512-320-1916  
email: info@limbacher-godfrey.com

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#### MEP ENGINEER

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#### CIVIL ENGINEER

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#### LANDSCAPE ARCHITECTURE

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### Owner

#### CITY of AUSTIN

SPONSORING DEPARTMENT  
Parks and Recreation Department  
Kimberly McNeeley, Director

#### MANAGING DEPARTMENT

Parks and Recreation Department  
Kimberly McNeeley, Director

#### PROJECT MANAGER

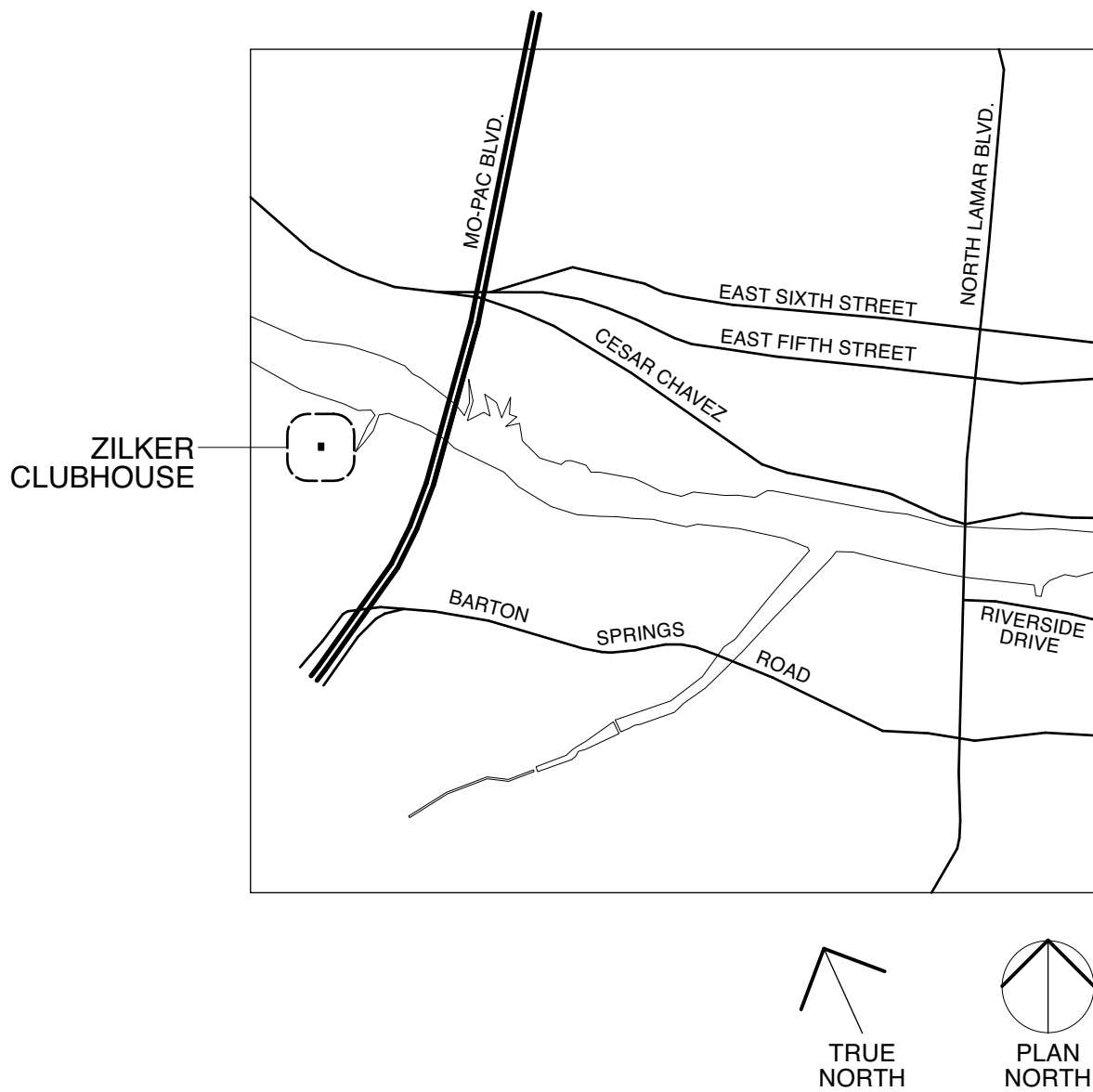
Parks and Recreation Department  
Ellen Colfax  
919 West 28 1/2 Street  
Austin, Texas 78705  
Ph: 512-974-9506  
email: ellen.colfax@austintexas.gov

#### CITY COUNCIL

Mayor Steve Adler  
Council Member Natasha Harper-Madison  
Council Member Vanessa Fuentes  
Council Member Sabino Renteria  
Council Member Gregorio Casar  
Council Member Ann Kitchen  
Council Member Mackenzie Kelly  
Council Member Leslie Pool  
Council Member Paige Ellis  
Council Member Kathie Tovo  
Council Member Alison Alter

City Manager Spencer Cronk

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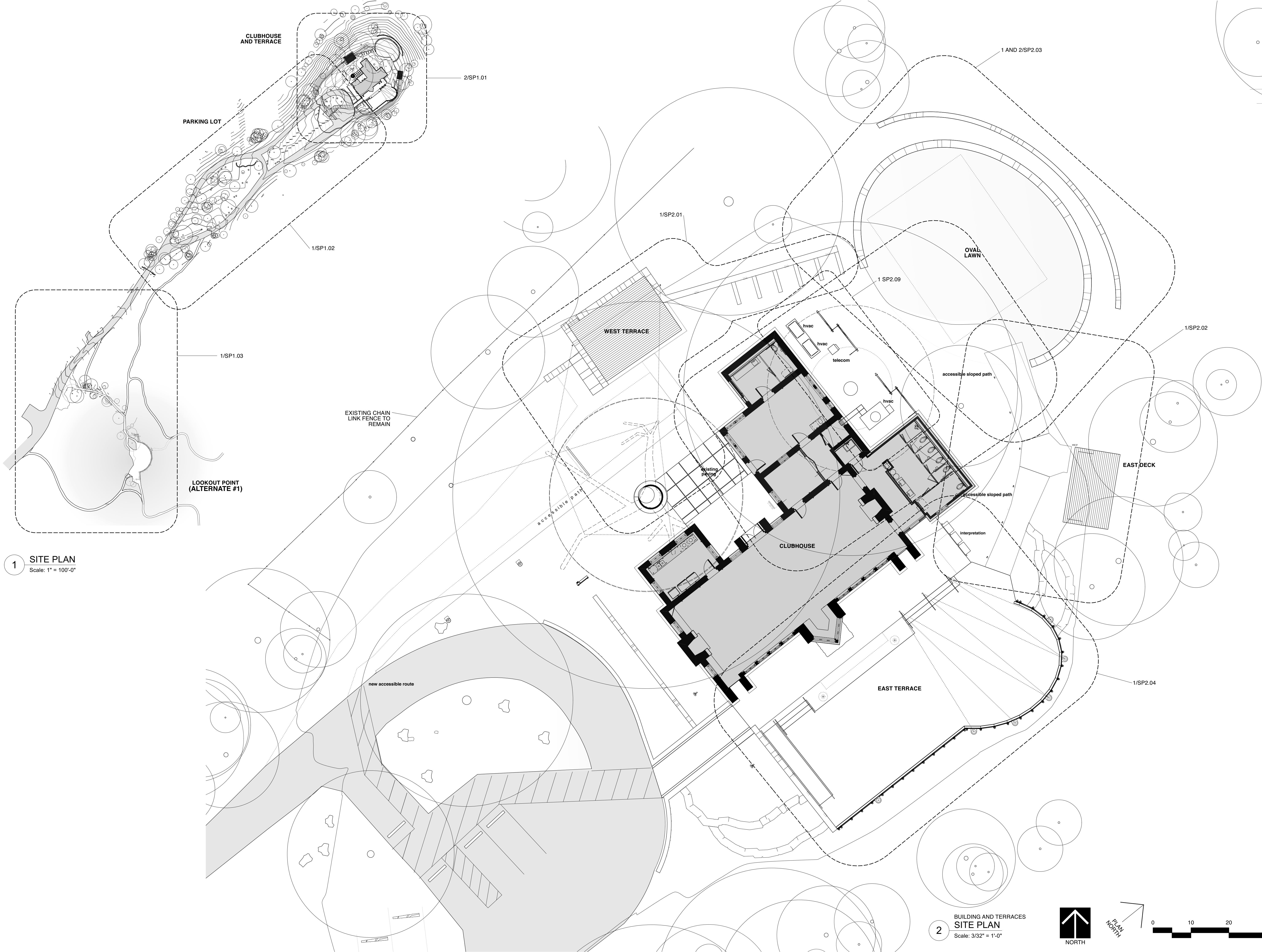
G-1 SLP - Lookout Point  
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"It is the policy of the City of Austin to involve certified Minority Owned Business Enterprises (MBEs) and Women Owned Business Enterprises (WBEs) in City contracting. MBE and WBE goals for this solicitation are contained in Volume II M/WBE Participation for construction projects."

1 SITE PLAN  
Scale: 1" = 100'-0"



2 BUILDING AND TERRACES  
SITE PLAN  
Scale: 3/32" = 1'-0"



SITE PLAN

SP1.01

ZILKER METRO PARK  
ZILKER CLUBHOUSE REHABILITATION  
200 Arnulfo Alonzo Way  
AUSTIN, TEXAS 78704

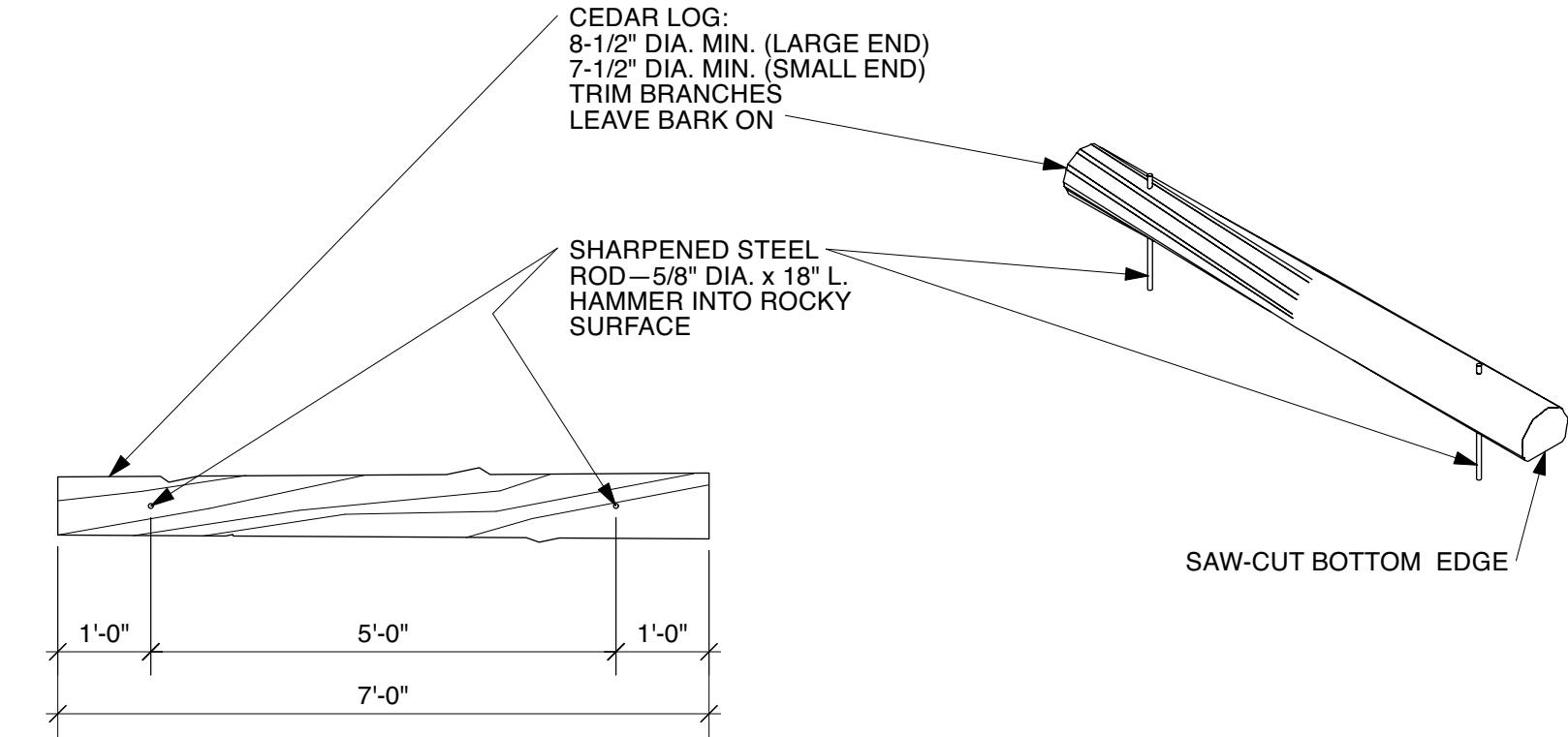
DATE: NOV 19, 2021  
REVISIONS:

90% CDS

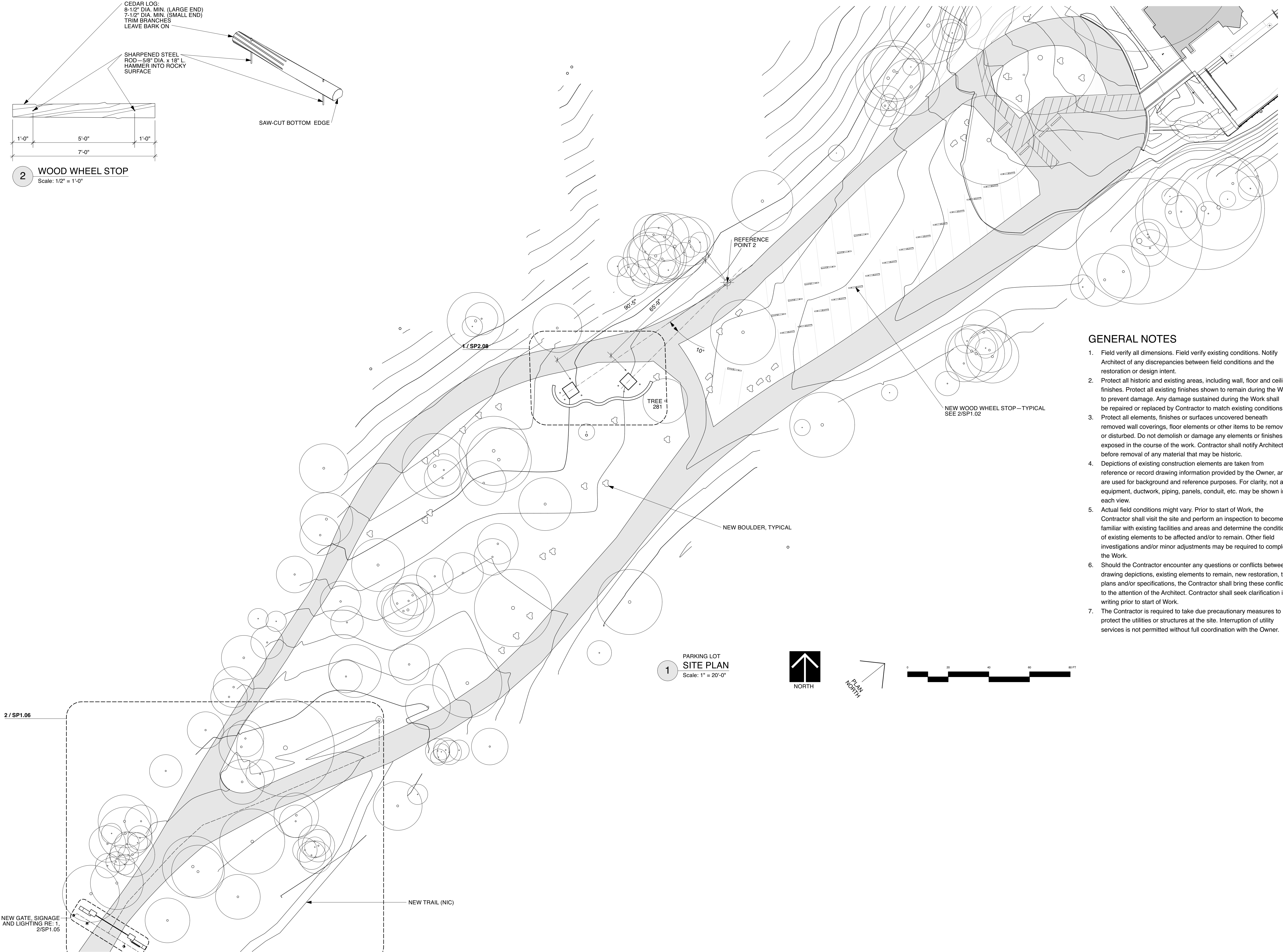
PRELIMINARY  
Not for regulatory approval,  
permitting or construction  
ALFRED GODFREY,  
ARCHITECT  
NOV. 19, 2021

LIMBACHER & GODFREY  
ARCHITECTS  
2124 East 6th Street, #102 Austin, Texas 78702  
512.460.1518





2 WOOD WHEEL STOP  
Scale: 1/2" = 1'-0"



### GENERAL NOTES

1. Field verify all dimensions. Field verify existing conditions. Notify Architect of any discrepancies between field conditions and the restoration or design intent.
2. Protect all historic and existing areas, including wall, floor and ceiling finishes. Protect all existing finishes shown to remain during the Work to prevent damage. Any damage sustained during the Work shall be repaired or replaced by Contractor to match existing conditions.
3. Protect all elements, finishes or surfaces uncovered beneath removed wall coverings, floor elements or other items to be removed or disturbed. Do not demolish or damage any elements or finishes exposed in the course of the work. Contractor shall notify Architect before removal of any material that may be historic.
4. Depictions of existing construction elements are taken from reference or record drawing information provided by the Owner, and are used for background and reference purposes. For clarity, not all equipment, ductwork, piping, panels, conduit, etc. may be shown in each view.
5. Actual field conditions might vary. Prior to start of Work, the Contractor shall visit the site and perform an inspection to become familiar with existing facilities and areas and determine the condition of existing elements to be affected and/or to remain. Other field investigations and/or minor adjustments may be required to complete the Work.
6. Should the Contractor encounter any questions or conflicts between drawing depictions, existing elements to remain, new restoration, the plans and/or specifications, the Contractor shall bring these conflicts to the attention of the Architect. Contractor shall seek clarification in writing prior to start of Work.
7. The Contractor is required to take due precautionary measures to protect the utilities or structures at the site. Interruption of utility services is not permitted without full coordination with the Owner.

**PRELIMINARY**  
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permitting or construction  
**ALFRED GODFREY,  
ARCHITECT**  
NOV. 19, 2021

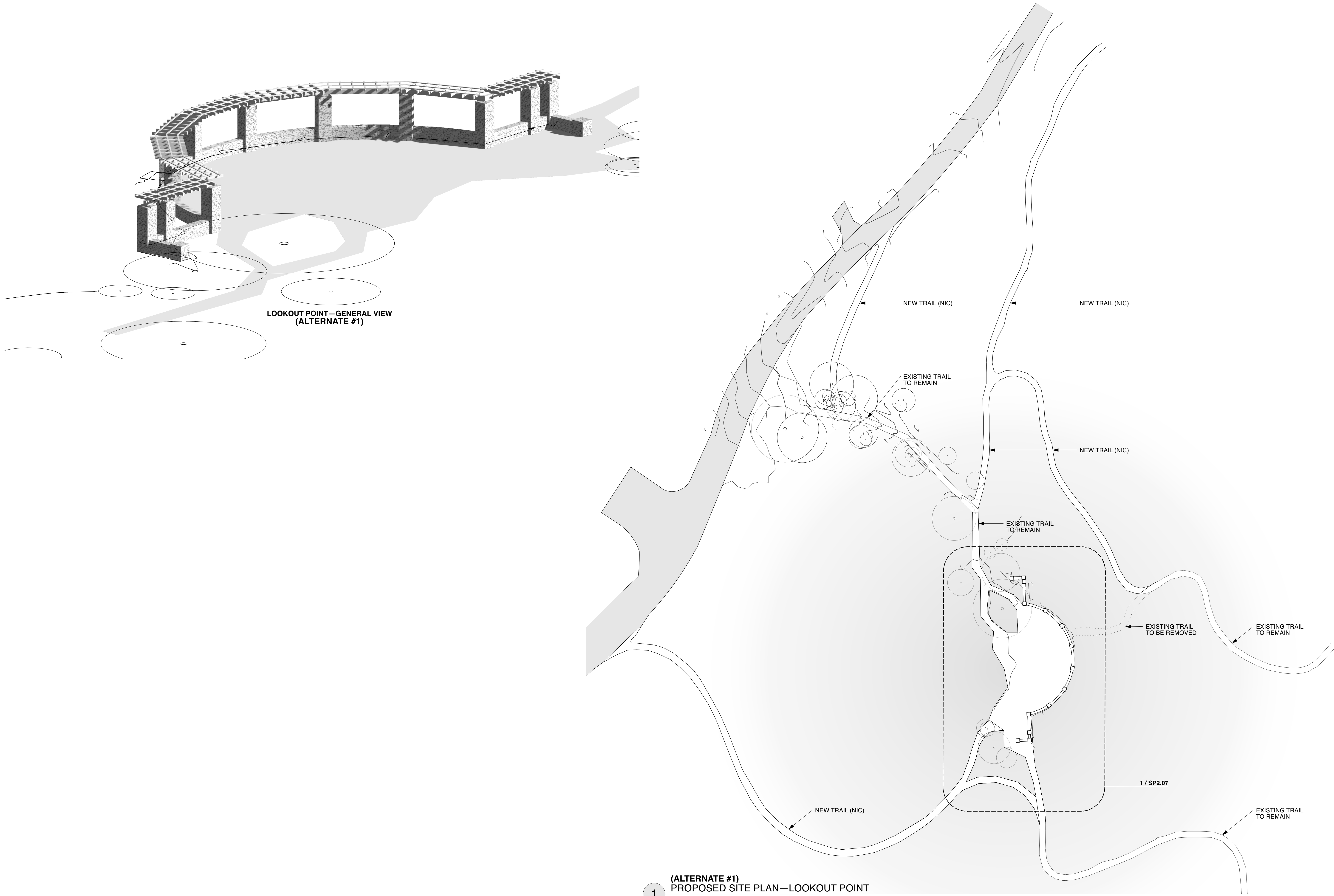
**ZILKER METRO PARK  
ZILKER CLUBHOUSE REHABILITATION**  
200 Arnufo Alonzo Way  
AUSTIN, TEXAS 78704

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DATE: NOV 19, 2021  
REVISIONS:

SITE PLAN—PARKING

**SP1.02**

**LIMBACHER & GODFREY  
ARCHITECTS**  
2124 East 6th Street, #102 Austin, Texas 78702  
512.450.1518



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**ALFRED GODFREY,  
ARCHITECT**  
NOV. 19, 2021

**ZILKER METRO PARK  
ZILKER CLUBHOUSE REHABILITATION**  
200 Arnulfo Alonzo Way  
AUSTIN, TEXAS 78704

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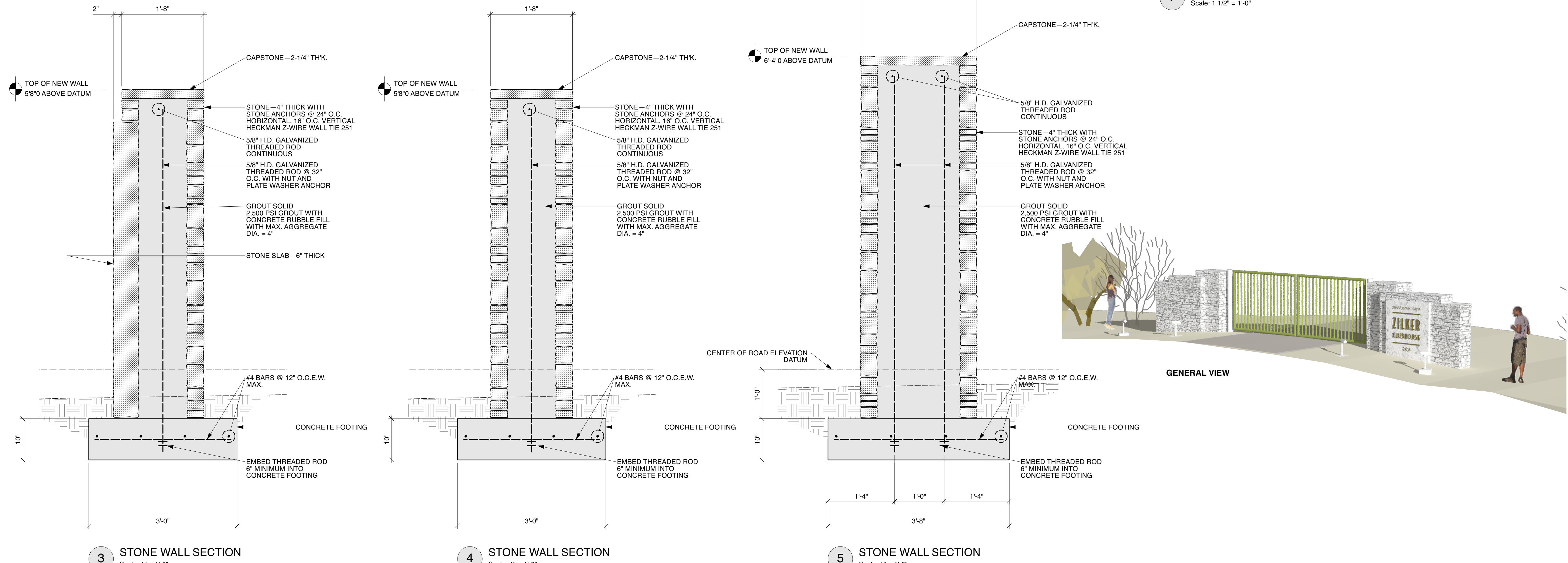
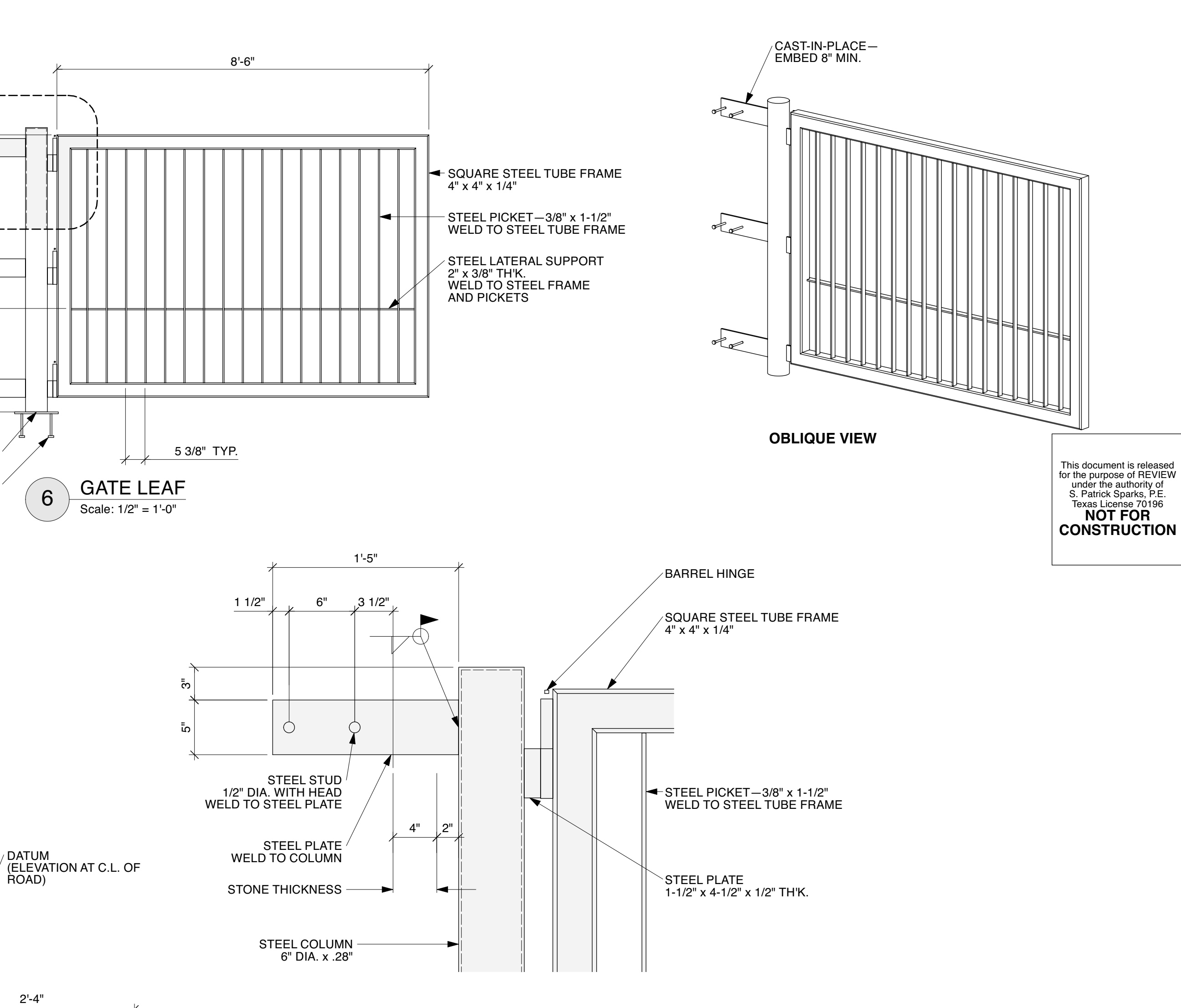
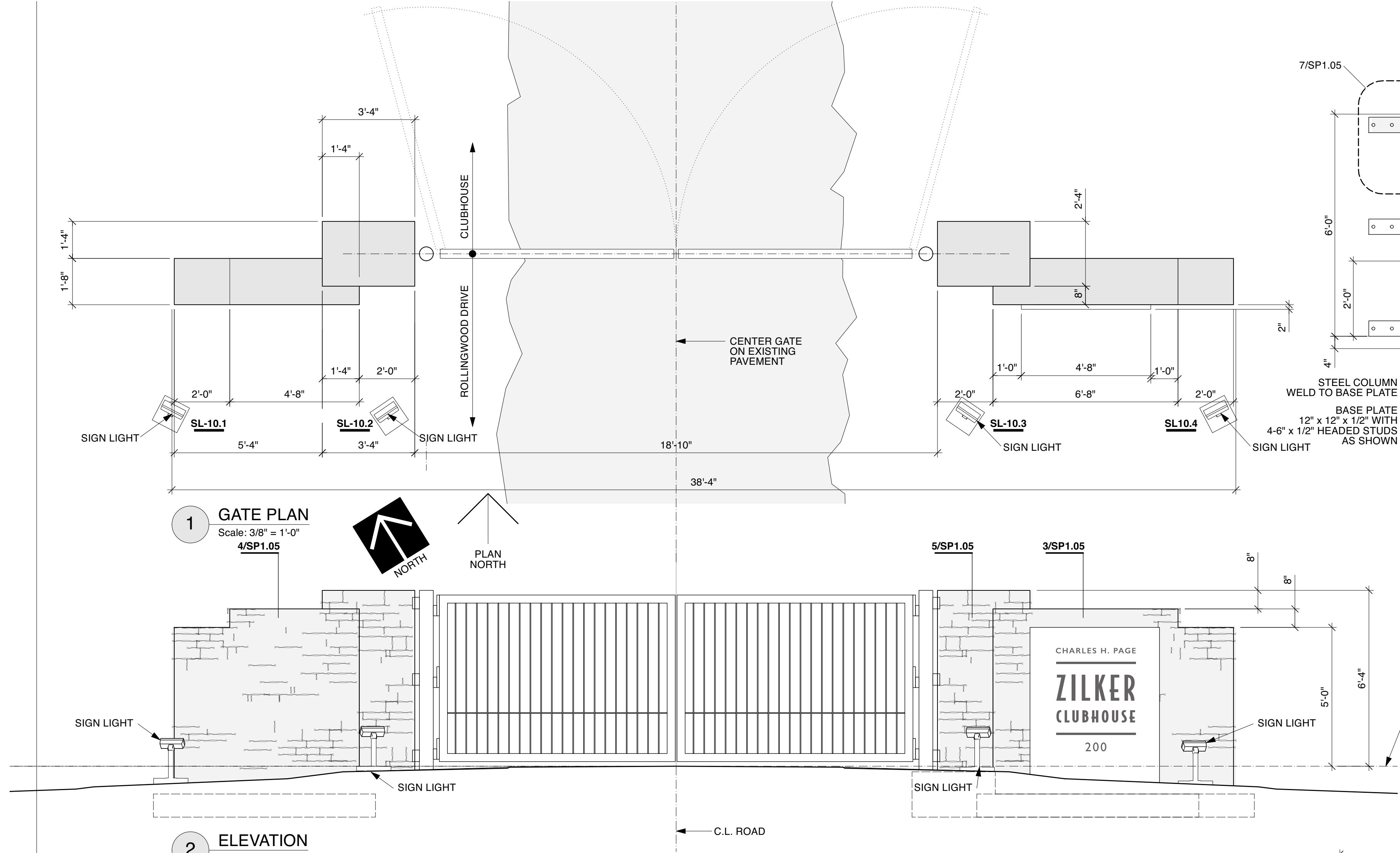
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REVISIONS:

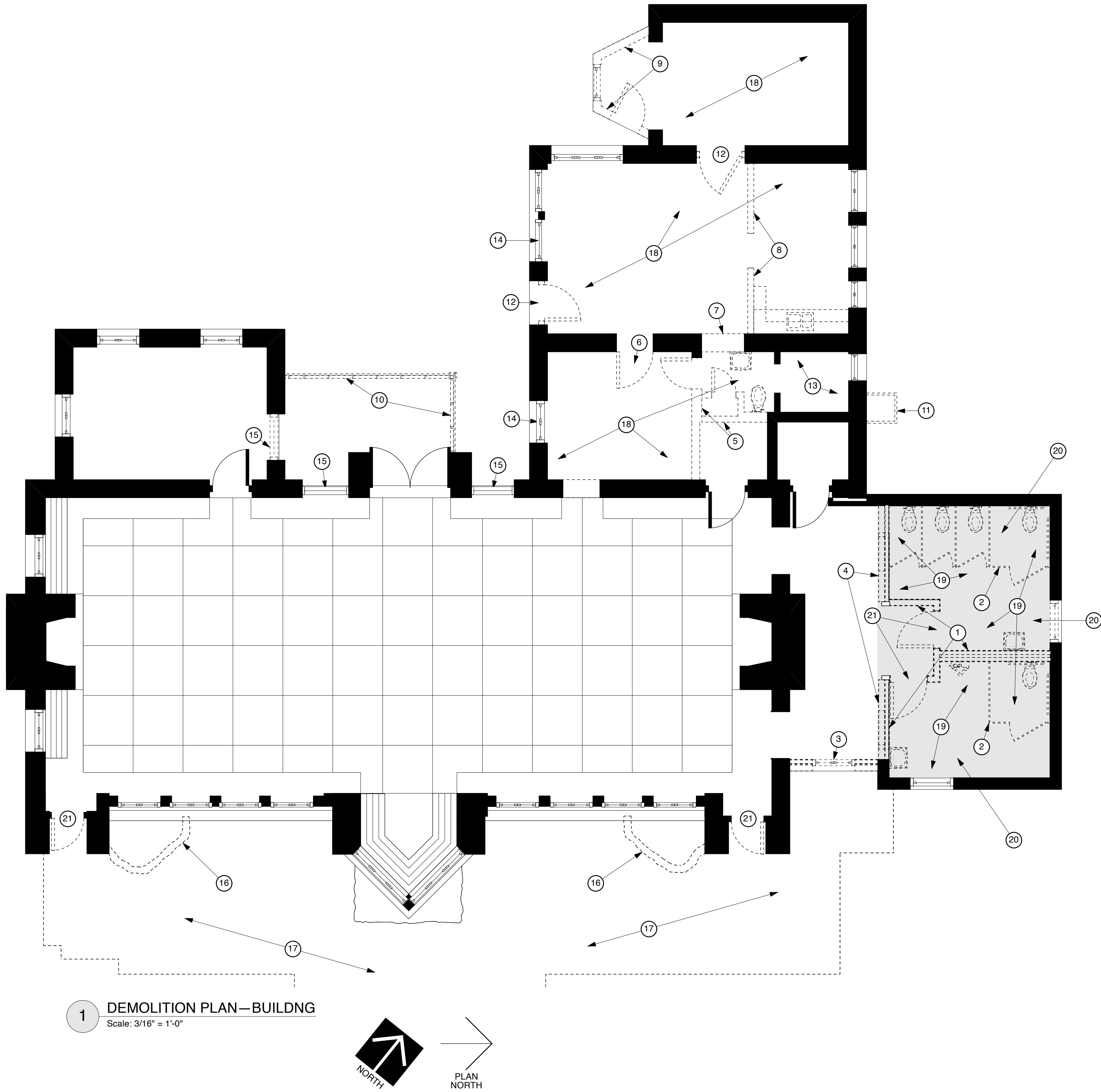
SITE  
PLAN—LOOKOUT  
POINT

SP1.03

**LIMBACHER & GODFREY  
ARCHITECTS**  
2124 East 6th Street, #102 Austin, Texas 78702  
512.450.1518







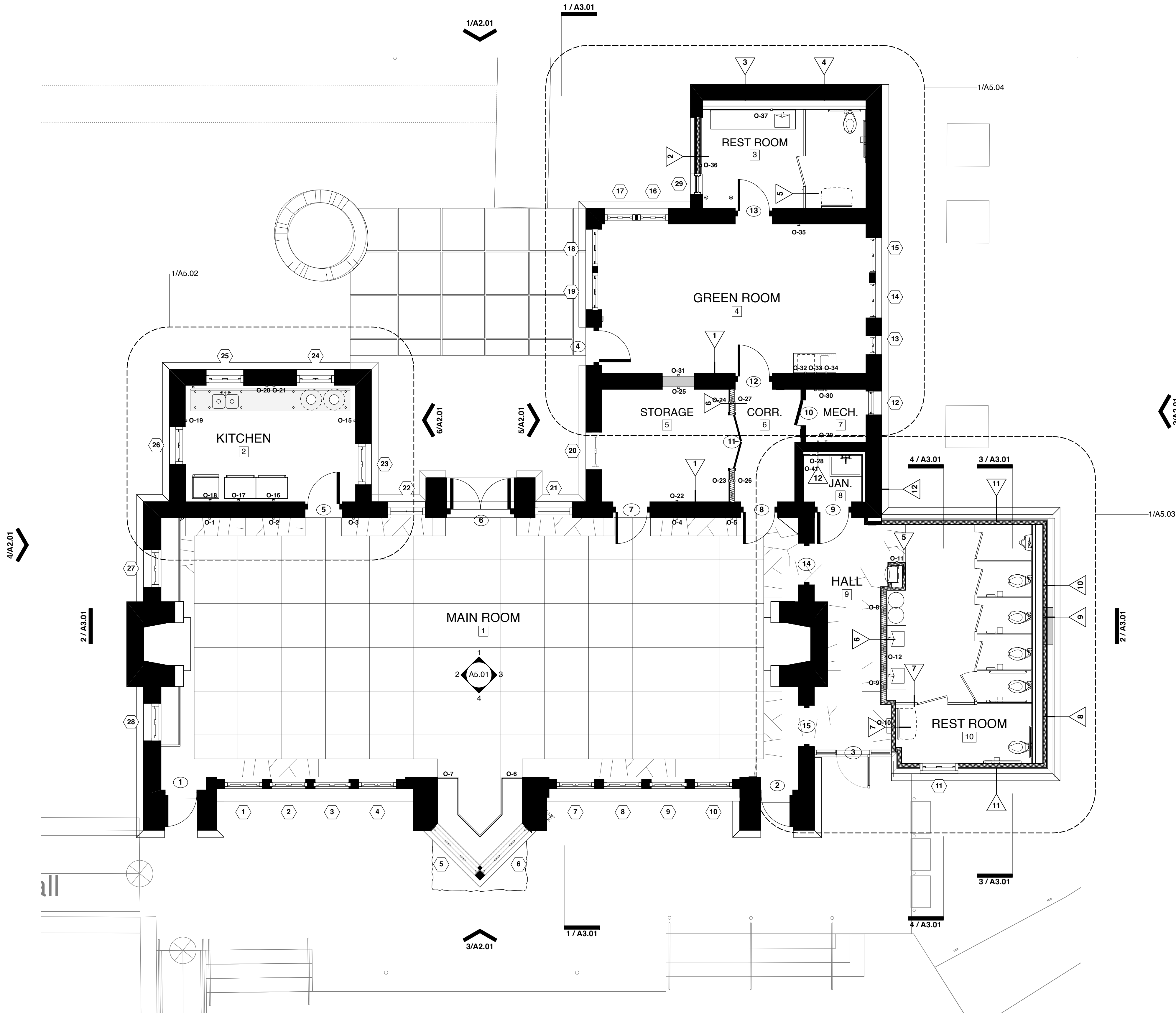
## DEMOLITION GENERAL NOTES

- Building has lead-containing paints and coatings. Contractor to refer to included lead-containing materials report prior to conducting any work. Coordinate all demolition with report. Follow all local, state and federal regulations when removing any lead-containing materials.
- Architect has no knowledge of any asbestos or other hazardous materials on jobsite. Contractor shall immediately isolate the affected area if asbestos or other hazardous materials are discovered during construction. Notify Owner for further instruction before proceeding with other work.
- Demolition plans are provided to give a general indication of the scope of the work. Confirm exact extent of the demolition on site.
- Items to be removed, relocated or salvaged are shown with dashed line and are as listed in the keyed demolition notes. All other items are intended to remain in place. Do not damage items, surfaces, finishes and building elements to remain.
- Remove only non-load bearing construction and partitions. Contractor to verify, prior to removal, that no structural components, i.e. bearing walls, beams, headers, etc. supporting floor, roof or ceiling joists are designated for removal. Contact the Architect prior to removal of any construction in question or deviating from the design intent.
- All service locations to be confirmed prior to the commencement of work. Maintain existing utilities to remain in service and protect against damage during demolition operations.
- Protect all existing finishes shown to remain during demolition to prevent damage. Any damage sustained during demolition shall be repaired or replaced by Contractor to match existing conditions.
- Protect all finishes uncovered beneath demolished wall coverings, or other removed elements. Do not damage finishes uncovered in the demolition work.
- All demolition activities shall be performed so as to produce minimal disturbance to existing facility. Maintain separation between areas undergoing demolition work and surrounding areas by providing temporary barriers to prevent dust migration.
- Comply with local jurisdiction requirements for demolition work.
- Where Contractor is designated to make removals, disposition of materials is the sole responsibility of the Contractor. All removed and demolished items/materials to be included in Waste Management Plan. (Re: Spec Section 01505-Construction and Demolition Waste Management.)
- Carefully remove items identified for salvage and reinstallation. Store and protect until reinstallation.
- Carefully remove items identified for salvage and conveyance to Owner. Coordinate delivery to Owner's storage facility, location to be identified. Assume location is within 10 miles of project site.
- Refer to Structural, Mechanical and Electrical drawings for specific demolition notes regarding those disciplines.
- Upon completion of demolition activities, clean the entire area of demolition to a tidy, uniform condition, removing all debris, dust partitions and associated materials used during the demolition. Clean all areas impacted by the demolition, including but not limited to, adjacent occupied areas and areas not within the scope of work.

## DEMOLITION KEYED NOTES

- Carefully remove existing metal stud and plaster partitions. Remove associated wood door frames and doors. Remove associated plumbing fixtures and piping as noted in MEP drawings and specifications. Remove ceramic tile flooring and base.
- Carefully remove existing metal toilet partitions.
- Carefully remove existing mortared limestone exterior wall and wood window sash and frame.
- Carefully remove existing masonry veneer finish and header and shelf trim.
- Carefully remove existing wood stud and plaster partitions. Remove associated wood door frames and doors. Remove associated plumbing fixtures and piping as noted in MEP drawings and specifications.
- Carefully remove existing wood door and frame.
- Carefully remove portion of existing masonry and plaster wall for new opening.
- Carefully remove existing wood stud and plaster partitions. Remove associated wood cabinets. Remove associated plumbing fixtures and piping as noted in MEP drawings and specifications.
- Carefully remove existing wood framed partitions and associated wood door, sash and frames. Carefully remove existing hip roof and framing, exterior wood siding and air conditioning unit.
- Carefully remove existing wood framed walls, roof framing and roof.
- Carefully remove existing wood framed water heater enclosure, roof framing and roof. Remove associated water heater and piping, as noted in MEP drawings and specifications.
- Carefully remove non-original door. Retain frame and repair and prepare as needed for installation of restored wood door and hardware.
- Carefully remove ceramic tile flooring. Remove plumbing fixtures and piping, as noted in MEP drawings and specifications.
- Carefully remove non-original fixed sash panel and associated window unit air-conditioner. Retain frame and repair and prepare as needed for installation of restored operable wood sash and hardware.
- Carefully remove non-original sash infill panel or cabinet element. Retain frame and repair and prepare as needed for installation of restored operable wood sash and hardware. Retain existing sash units and repair and prepare as needed for restoration.
- Carefully remove non-original limestone planters.
- Remove existing slab and its stone topping.
- Carefully remove non-original laminate flooring and vinyl base.
- Carefully remove existing ceramic tile and base.
- Remove existing concrete slab as may be required to create access for new plumbing installations.
- Carefully remove non-original door and salvage for reinstallation.





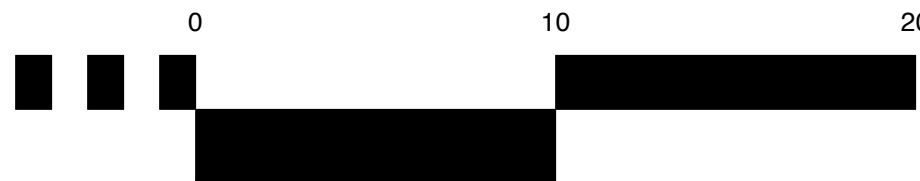
OUTLET SCHEDULE		
MARK	HEIGHT	AFF
O-1	18"	
O-2	18"	
O-3	18"	
O-4	18"	
O-5	18"	
O-6	18"	
O-7	18"	
O-8	18"	
O-9	18"	
O-10	18"	
O-11	18"	
O-12	40"	
O-14	18"	
O-15	18"	
O-16	18"	
O-17	18"	
O-18	18"	
O-19	18"	
O-20	40"	
O-21	40"	
O-22	18"	
O-23	18"	
O-24	18"	
O-25	18"	
O-26	18"	
O-27	18"	
O-28	18"	
O-29	18"	
O-30	18"	
O-31	18"	
O-32	40"	
O-33	40"	
O-33	40"	
O-34	18"	
O-35	18"	
O-36	18"	
O-37	40"	
O-38	18"	
O-39	18"	
O-40	18"	
O-41	84"	

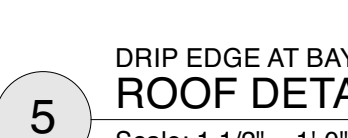
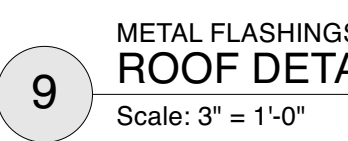
- GENERAL NOTES**
- Field verify all dimensions. Field verify existing conditions. Notify Architect of any discrepancies between field conditions and the restoration or design intent.
  - Protect all historic and existing areas, including wall, floor and ceiling finishes. Protect all existing finishes shown to remain during the Work to prevent damage. Any damage sustained during the Work shall be repaired or replaced by Contractor to match existing conditions.
  - Protect all elements, finishes or surfaces uncovered beneath removed wall coverings, floor elements or other items to be removed or disturbed. Do not demolish or damage any elements or finishes exposed in the course of the work. Contractor shall notify Architect before removal of any material that may be historic.
  - Depictions of existing construction elements are taken from reference or record drawing information provided by the Owner, and are used for background and reference purposes. For clarity, not all equipment, ductwork, piping, panels, conduit, etc. may be shown in each view.
  - Actual field conditions might vary. Prior to start of Work, the Contractor shall visit the site and perform an inspection to become familiar with existing facilities and areas and determine the condition of existing elements to be affected and/or to remain. Other field investigations and/or minor adjustments may be required to complete the Work.
  - Should the Contractor encounter any questions or conflicts between drawing depictions, existing elements to remain, new restoration, the plans and/or specifications, the Contractor shall bring these conflicts to the attention of the Architect. Contractor shall seek clarification in writing prior to start of Work.
  - The Contractor is required to take due precautionary measures to protect the utilities or structures at the site. Interruption of utility services is not permitted without full coordination with the Owner.

**1 FLOOR PLAN**  
Scale: 3/16" = 1'-0"



PLAN NORTH





ROOF PLAN

**A1.02**



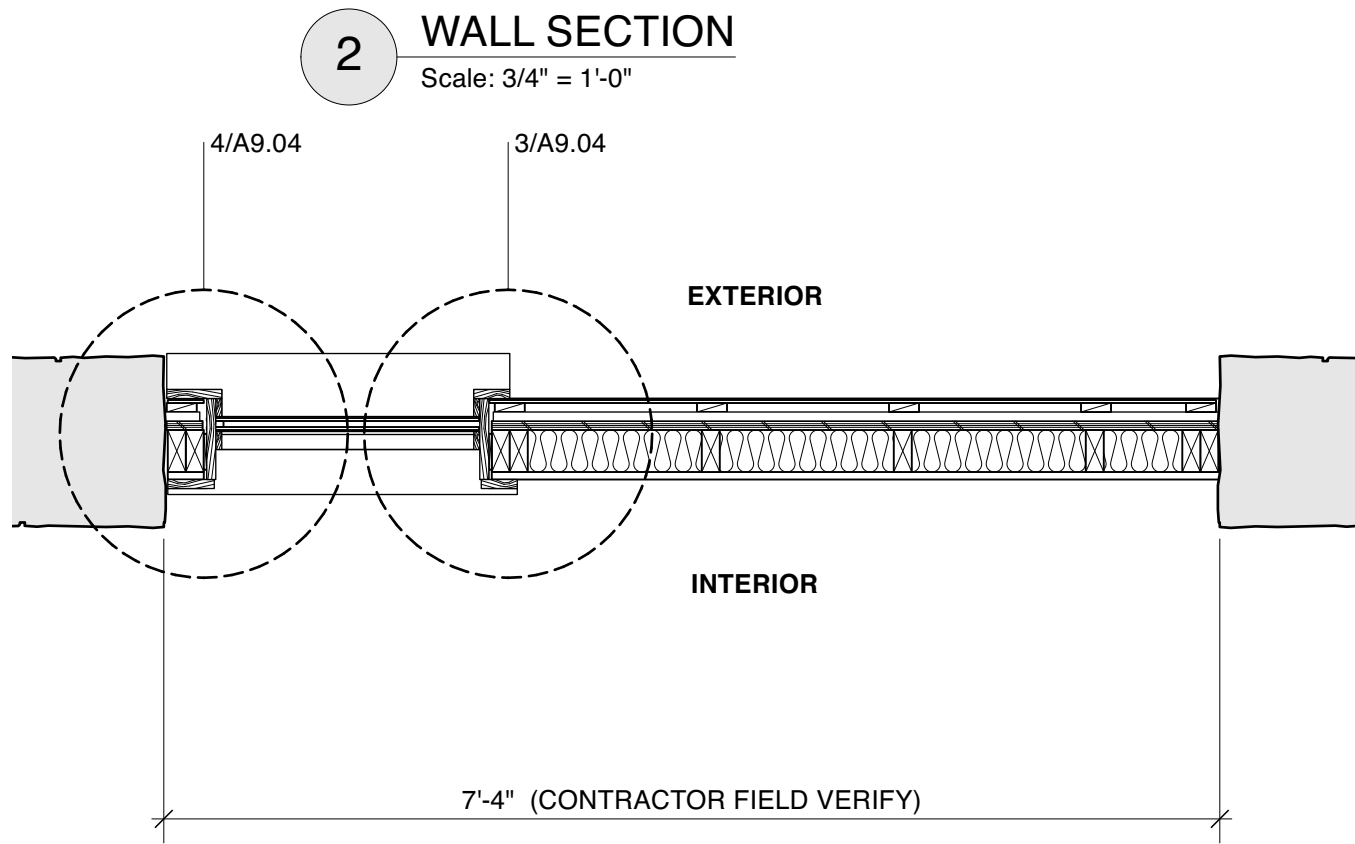
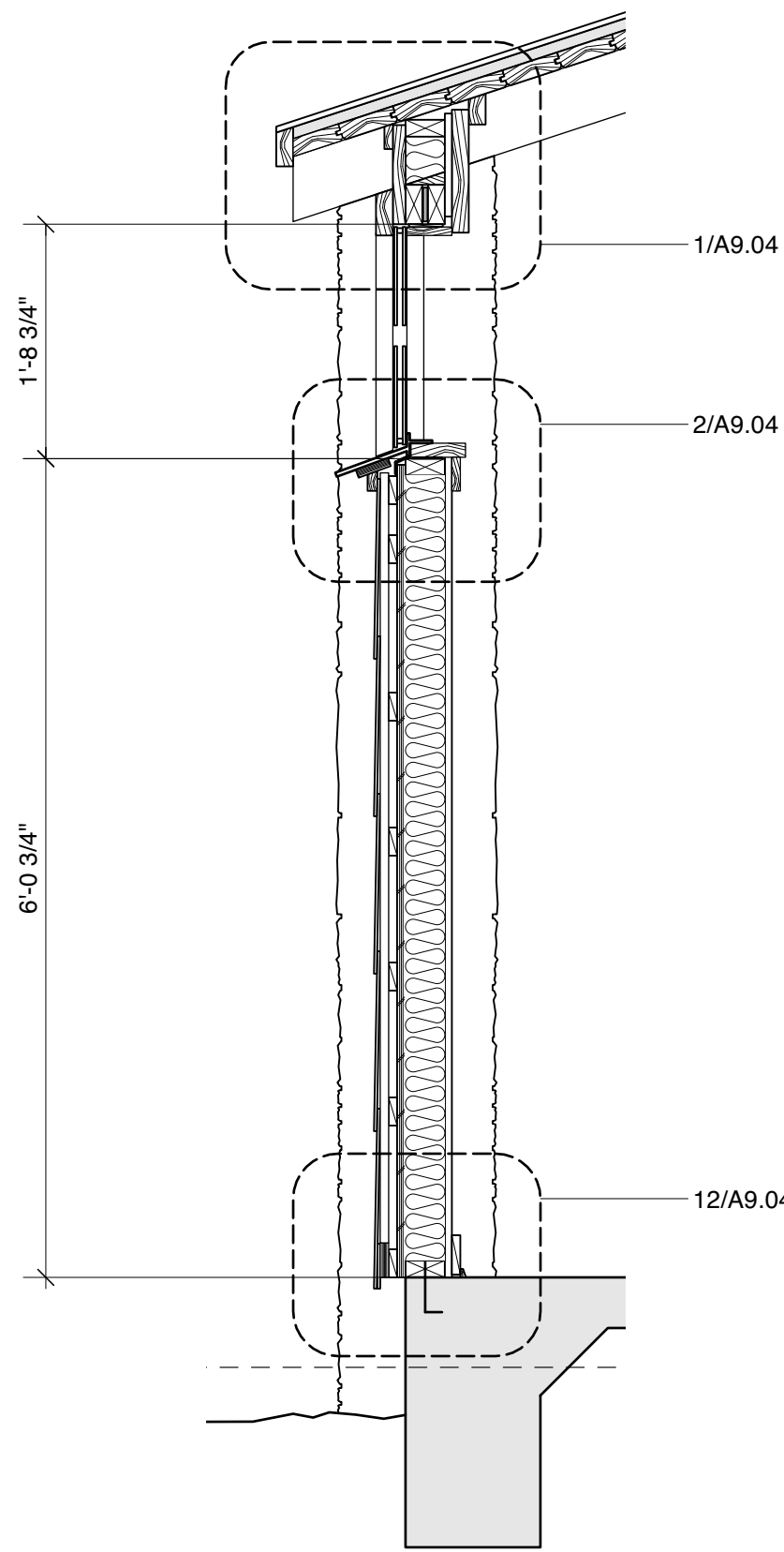
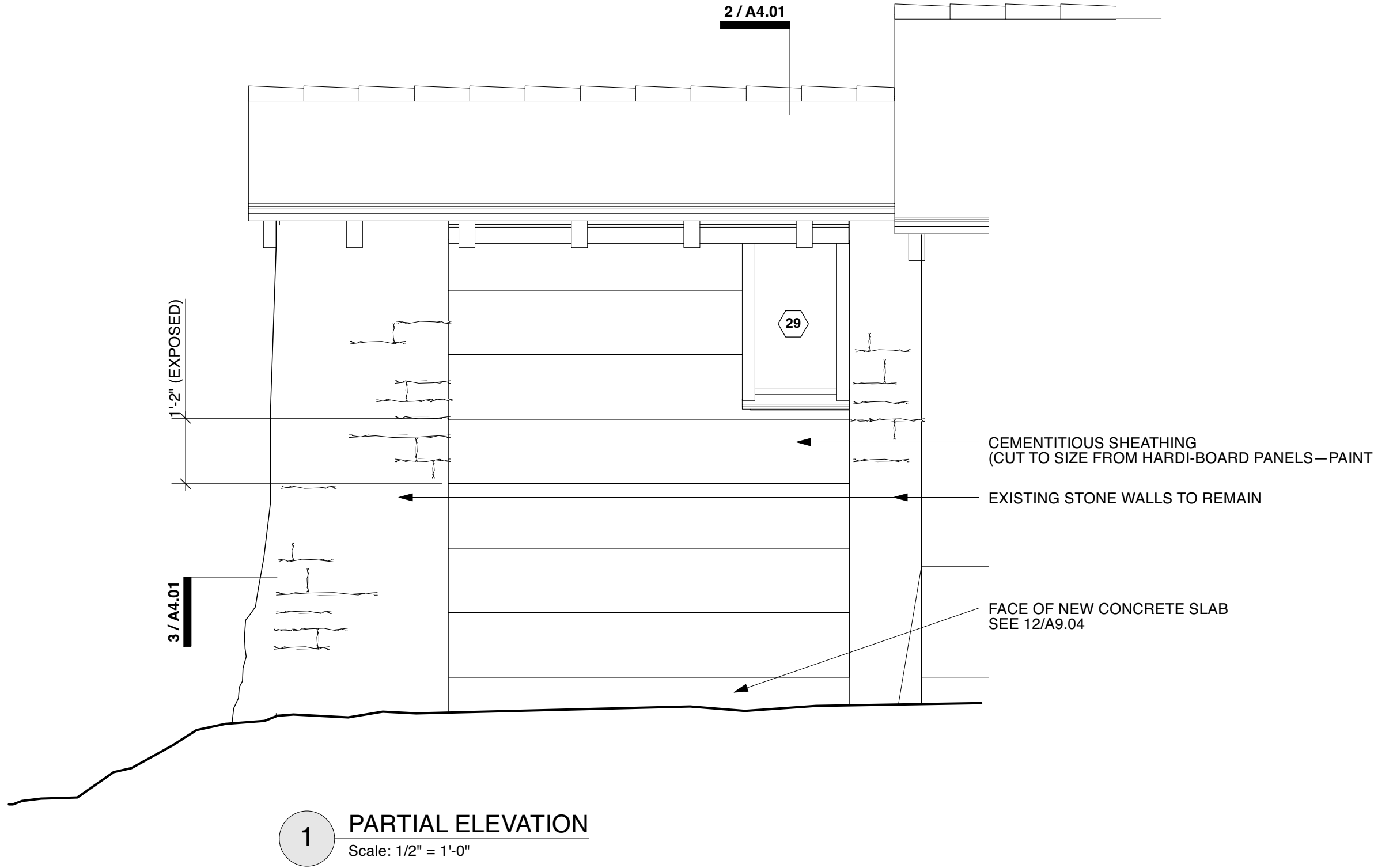


GENERAL NOTES

1. Building has lead-containing paints and coatings. Contractor to refer to included lead mitigation documents prior to conducting any work. Coordinate all demolition with lead mitigation documents. Follow all local, state and federal regulations when removing any lead-containing materials.
2. Field verify existing conditions. Notify Architect of any discrepancies between field conditions and the restoration or design intent.
3. Protect all historic and existing building elements, including stone work, wood trim, doors and windows. Any damage sustained during the Work shall be repaired or replaced by Contractor to match existing conditions.
4. Protect all elements, finishes or surfaces uncovered beneath removed wood stairs, trim or other items to be removed or disturbed. Do not demolish or damage any elements or finishes exposed in the course of the work. Contractor shall notify Architect before removal of any material that may be historic.

EXTERIOR NOTES

- Note that most elements depicted are existing, to remain. New work is described below.
1. See Owner's separate lead mitigation documents for required lead paint removal requirements.
  2. Perform repair to wood trim, using material matching existing adjacent conditions in appearance, dimension and detail. Assume a total of 20% of wall area of wood trim patching, in small areas scattered across the wall surface.
  3. Prepare wood surfaces to receive new paint finish.
  4. Provide 3-coat opaque finish system, using replica historic paint colors identified in Owner's paint analysis investigation.
  5. Remove window sashes and doors for repair. Secure openings with temporary enclosure that will not damage adjacent wall/trim.



3 THROUGH WINDOW  
PLAN SECTION  
Scale: 3/4" = 1'-0"

This document is released  
for the purpose of REVIEW  
under the authority of  
S. Patrick Sparks, P.E.  
Texas License 70196  
**NOT FOR  
CONSTRUCTION**

**PRELIMINARY**  
Not for regulatory approval,  
permitting or construction  
**ALFRED GODFREY,**  
ARCHITECT  
NOV. 19, 2021

**ZILKER METRO PARK  
ZILKER CLUBHOUSE REHABILITATION**  
200 Arnulfo Alonzo Way  
AUSTIN, TEXAS 78704

90% CDS

DATE: NOV 19, 2021  
REVISIONS:

EXTERIOR DETAILS

**A4.01**

**LIMBACHER & GODFREY**  
**ARCHITECTS**  
2124 East 6th Street, #102 Austin, Texas 78702  
512.450.1518

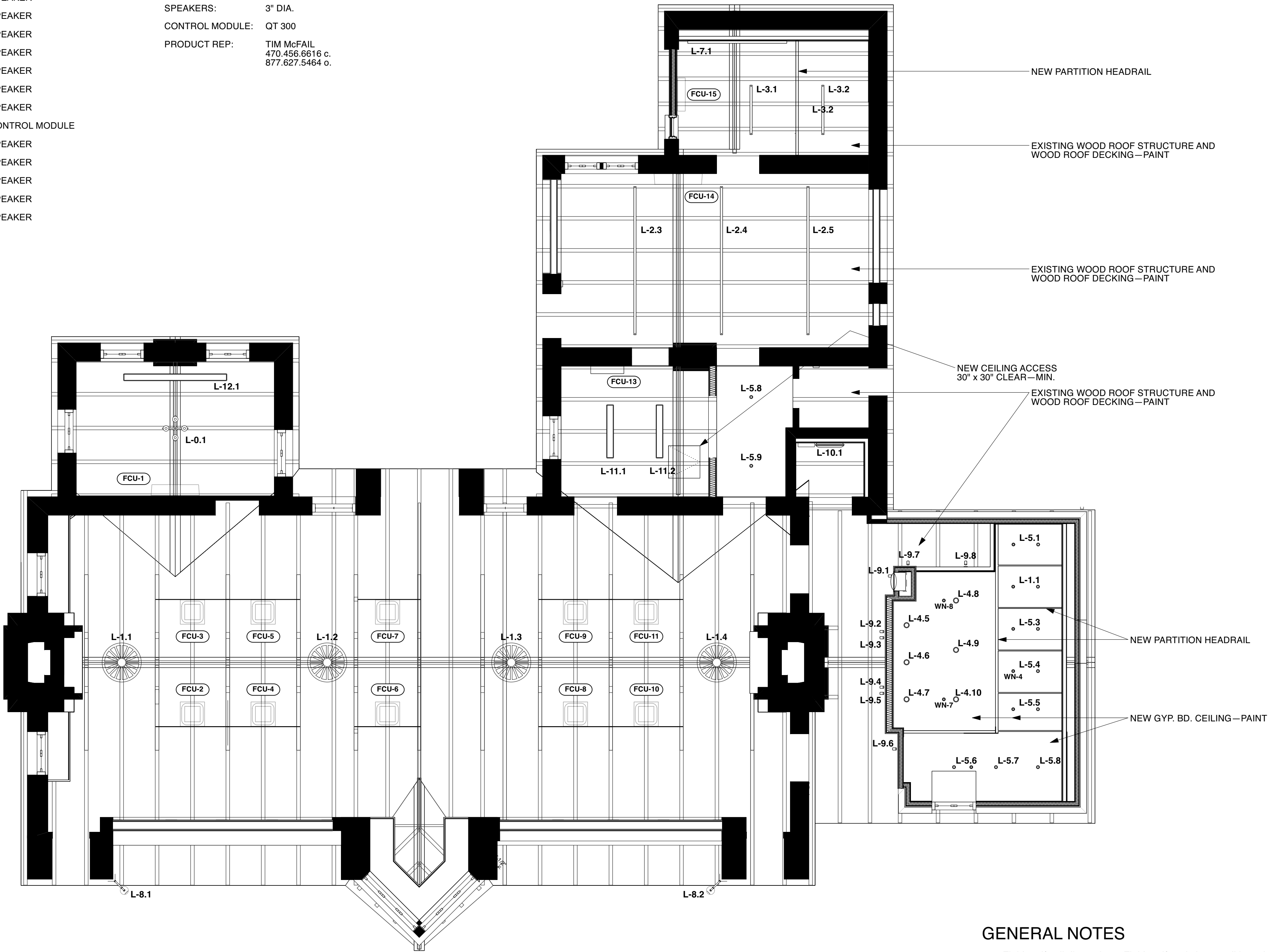


SOUND MASK COMPONENTS

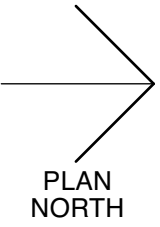
WN-1	SPEAKER
WN-2	SPEAKER
WN-3	SPEAKER
WN-4	SPEAKER
WN-5	SPEAKER
WN-6	SPEAKER
WN-7	SPEAKER
WN-8	SPEAKER
WN-9	CONTROL MODULE
WN-10	SPEAKER
WN-11	SPEAKER
WN-12	SPEAKER
WN-14	SPEAKER
WN-15	SPEAKER

CAMBRIDGE SOUND  
SOUND MASKING SYSTEM

SPEAKERS: 3" DIA.  
CONTROL MODULE: QT 300  
PRODUCT REP: TIM McFAIL  
470.456.6616 c.  
877.627.5464 o.



1 REFLECTED CEILING PLAN  
Scale: 3/16" = 1'-0"



GENERAL NOTES

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LIGHT FIXTURE SCHEDULE

MARK	HEIGHT REFERENCE	TYPE	HEIGHT AFF	NEW LAMP
L-0.1	C.L. OF LAMP	A	EXISTING	BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED)
L-1.1	C.L. OF LAMP	A	8'-0"	
L-1.1	C.L. OF LAMP	A	9'-6"	BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED)
L-1.2	C.L. OF LAMP	A	9'-6"	BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED)
L-1.3	C.L. OF LAMP	A	9'-6"	BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED)
L-1.4	C.L. OF LAMP	A	9'-6"	BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED)
L-2.3	UNDERSIDE OF FIXTURE	B	9'-0"	
L-2.4	UNDERSIDE OF FIXTURE	B	9'-0"	
L-2.5	UNDERSIDE OF FIXTURE	C	7'-0"	
L-3.1	UNDERSIDE OF FIXTURE	D	8'-6"	
L-3.2	UNDERSIDE OF FIXTURE	E	6'-8"	
L-4.5	CEILING HEIGHT	F	7'-4"	
L-4.6	CEILING HEIGHT	F	7'-4"	
L-4.7	CEILING HEIGHT	F	7'-4"	
L-4.8	CEILING HEIGHT	F	7'-4"	
L-4.9	CEILING HEIGHT	F	7'-4"	
L-4.10	CEILING HEIGHT	F	7'-4"	
L-5.1	CEILING HEIGHT	G	7'-4"	
L-5.3	CEILING HEIGHT	G	7'-4"	
L-5.4	CEILING HEIGHT	G	7'-4"	
L-5.5	CEILING HEIGHT	G	7'-4"	
L-5.6	CEILING HEIGHT	G	7'-4"	
L-5.7	CEILING HEIGHT	G	7'-4"	
L-5.8	CEILING HEIGHT	G	7'-4"	
L-5.8	CEILING HEIGHT	G	7'-6"—verify	
L-5.9	CEILING HEIGHT	G	7'-6"—verify	
L-7.1	UNDERSIDE OF FIXTURE	I	8'-0"	
L-8.1	UNDERSIDE OF DECORATIVE CAGE	J	8'-0"	BULBRITE LED G25 8.5W GLOBE. (1 REQUIRED)
L-8.2	UNDERSIDE OF DECORATIVE CAGE	J	8'-0"	BULBRITE LED G25 8.5W GLOBE. (1 REQUIRED)
L-9.1	C.L. OF BASE	K	8'-6"	
L-9.2	C.L. OF BASE	K	11'-0"	
L-9.3	C.L. OF BASE	K	11'-0"	
L-9.4	C.L. OF BASE	K	11'-0"	
L-9.5	C.L. OF BASE	K	11'-0"	
L-9.6	C.L. OF BASE	K	8'-6"	
L-9.7	C.L. OF BASE	K	8'-6"	
L-9.8	C.L. OF BASE	K	8'-6"	
L-10.1	C.L. OF FIXTURE	L	7'-0"	
L-11.1	TOP OF LENS	M	8'-0"—verify	TOP OF LENS = BOTTOM OF FRAMING
L-11.2	TOP OF LENS	M	8'-0"—verify	TOP OF LENS = BOTTOM OF FRAMING
L-12.1	TOP OF LENS	N	9'-0"	

LIGHT FIXTURE TYPES

TYPE	MANUFACTURER	MODEL	TYPE DESCRIPTION
A	EXISTING	---	---
B	FINELITE	HIGH PERFORMANCE 2"	LINEAR PENDANT
C	FINELITE	HIGH PERFORMANCE 2"	LINEAR PENDANT
D	FINELITE	HIGH PERFORMANCE 2"	LINEAR PENDANT
E	NOT USED	---	---
F	JUNO	4" IC LED 600 LUMENS	4" ROUND DOWNLIGHT
G	JUNO	2" IC LED 600 LUMENS	2" ROUND DOWNLIGHT
I	FINELITE	HIGH PERFORMANCE 2"	LINEAR WALL-MOUNT
J	EXISTING	NA	HISTORIC WALL SCONCE
K	JUNO	R600L G2 with MONOPOINT ADAPTER	WALL-MOUNTED SPOT
L	LITHONIA	FEM LED	LINEAR WALL-MOUNT
M	LITHONIA	FEM LED	MOUNT BETWEEN FRAMING MEMBERS
N	LITHONIA	FEM LED	PENDANT MOUNTED

REFLECTED CEILING PLAN NOTES

Note that most elements depicted are existing, to remain. New work is described below.

- Provide new lighting fuxtures and reinstall existing historic decorative light fixtures as shown on Electrical drawings.
- See Owner's separate lead mitigation documents for lead paint removal and handling requirements.
- Repaint existing interior wood sheathing, wood beaded board, plaster or gypsum board ceilings with new, three-coat paint system.

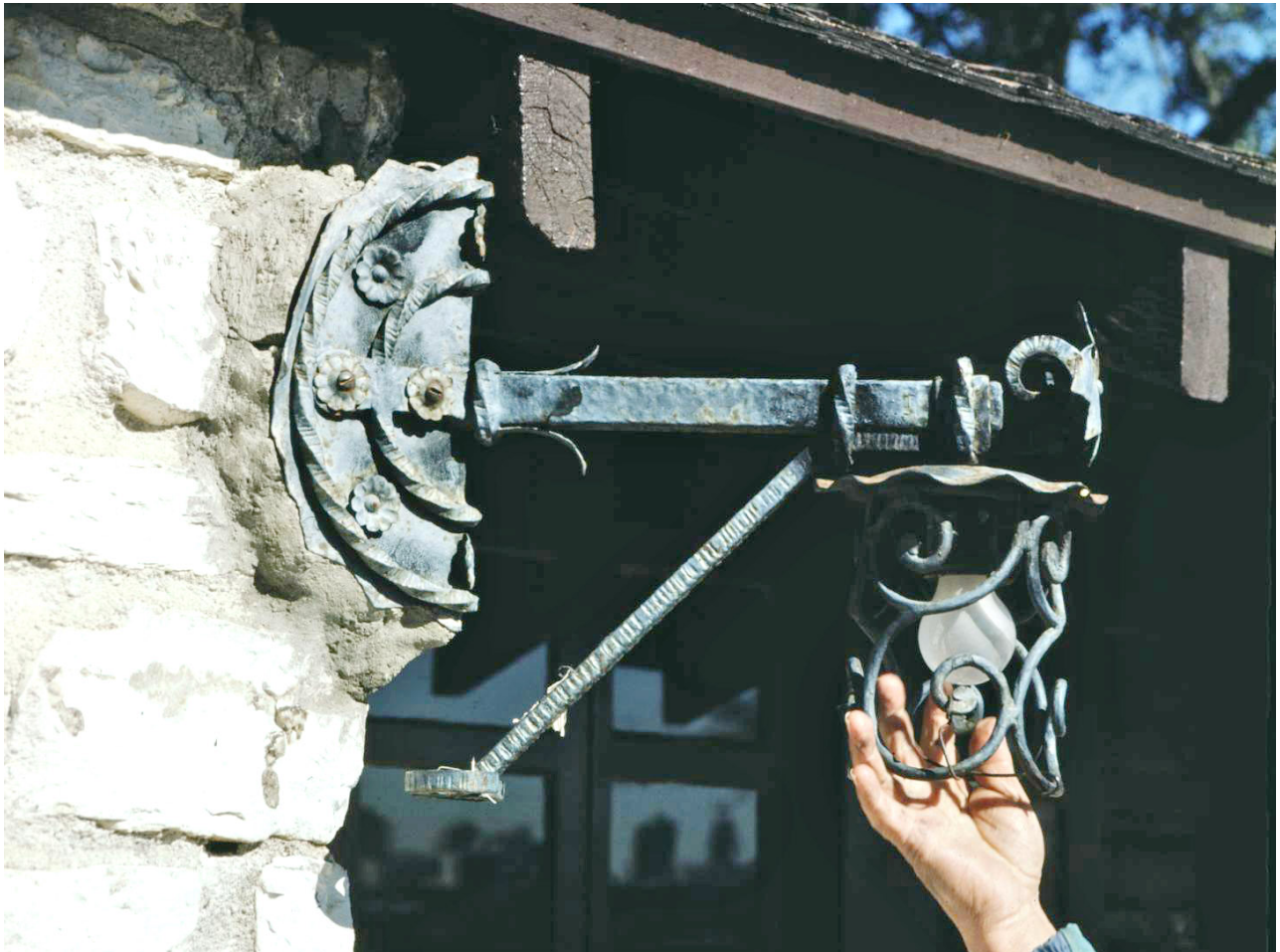
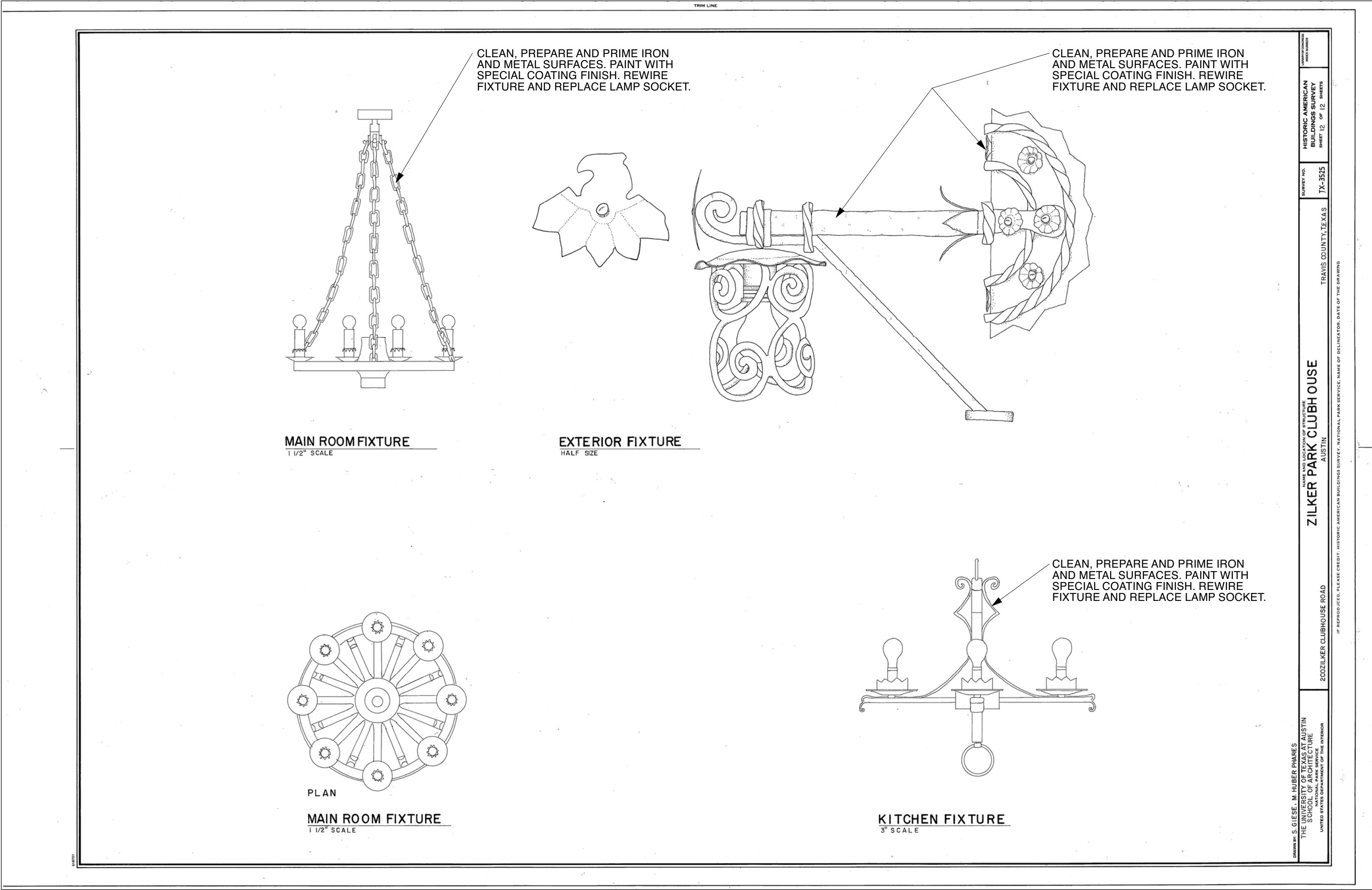


HISTORIC WAGON WHEEL PENDANT  
L-1



HISTORIC SCONCE  
L-7

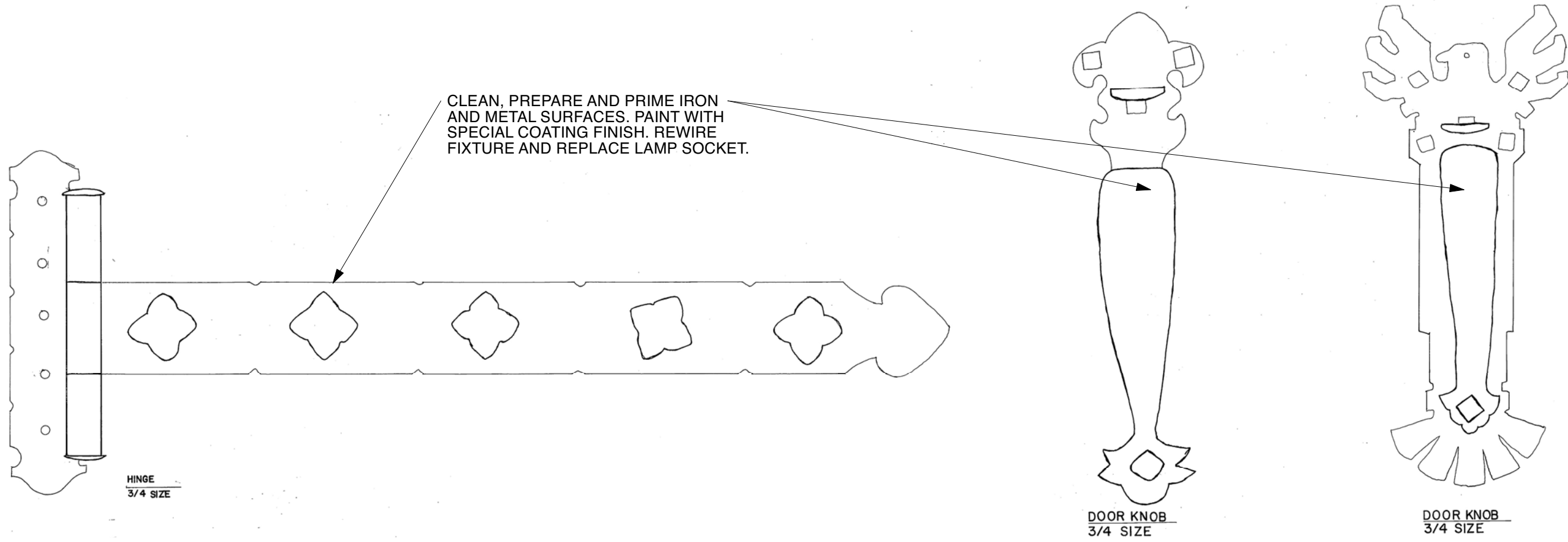




EXTERIOR FIXTURE



MAIN ROOM FIXTURE



DOOR KNOB





WINDOW SCHEDULE

MARK	TYPE	MATERIAL	OPENING		JAMB	HEAD	SILL	FINISH		HARDWARE	NOTES
			WD.	HT.				SASH	FRAME		
01	A	WOOD/ EXISTING TO REMAIN	1'7 1/4"	2'8"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
1	A	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
2	A	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
3	A	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 3 (3 PANES)
4	A	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
5	B	WOOD/ EXISTING TO REMAIN	5'11 1/2"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 3 (1 PANE)
6	B	WOOD/ EXISTING TO REMAIN	5'11 1/2"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 3 (2 PANES)
7	A	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
8	A	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
9	A	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
10	A	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
11		WOOD/ EXISTING TO REMAIN	3'6 3/4"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
12	A	WOOD/ EXISTING TO REMAIN	2'2 1/2"	3'0"	Detail	Detail	Detail	PAINT	PAINT	HW 1	REMOVE EXISTING OPENING AROUND NEW DUCT.
13	F	WOOD/ EXISTING TO REMAIN	1'9"	2'10 1/2"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
14	D	WOOD/ EXISTING TO REMAIN	3'3 3/8"	2'10 1/2"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 3 (3 panes), Note 5
15	C	WOOD/ EXISTING TO REMAIN	3'3 3/8"	2'10 1/2"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
16	E	WOOD/ EXISTING TO REMAIN	2'10"	5'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 3 (1 pane)
17	E	WOOD/ EXISTING TO REMAIN	2'10"	5'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 3 (1 pane)
18	G	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
19	G	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 8
20	G	WOOD	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 8
21	G	WOOD	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 8
22	G	WOOD	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 8
23	G	WOOD	3'9 5/8"	4'6 3/4"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 8
24	G	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 3 (1 pane)
25	G	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
26	H	WOOD/ EXISTING TO REMAIN	3'6 1/4"	3'5 1/2"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
27	G	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	Note 5
28	G	WOOD/ EXISTING TO REMAIN	3'6"	4'6"	Detail	Detail	Detail	PAINT	PAINT	HW 1	
29	A	WOOD/ EXISTING TO REMAIN	1'7 1/4"	2'9"	Detail	Detail	Detail	PAINT	PAINT	HW 1	

NOTES:

1. REPLACE GLAZING COMPOUND.

2. HARDWARE MISSING.

3. REPLACE PLEXIGLAS WITH GLASS.
5. WOODWORK DAMAGED. REPAIR REQUIRED.

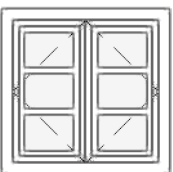
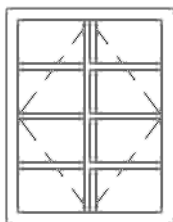
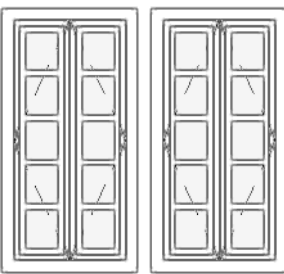
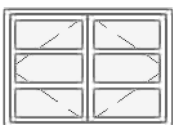
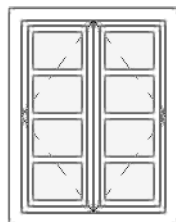
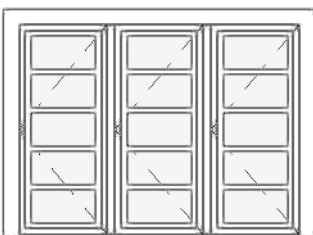
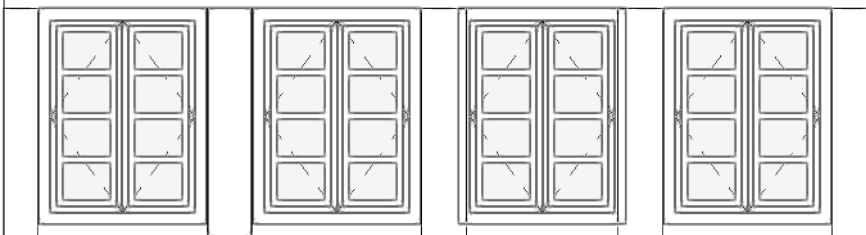
6. ROTTEN MEMBER.

7. HARDWARE BROKEN.

8. BUILD NEW SASH, MATCHING ADJACENT WINDOW TYPE. REPAIR/ FRAME AS REQUIRED.

GENERAL NOTE:

ALL EXISTING SASH ARE TO BE REMOVED FOR ASSESSMENT AND REPAIR.  
SECURE OPENINGS WITH TEMPORARY ENCLOSURES THAT WILL NOT DAMAGE  
FRAMES/ TRIM.



A

B

C

D

E

F

G

H

18

WINDOW TYPES

Scale: 1/4" = 1'-0"

PRELIMINARY  
Not for regulatory approval,  
permitting or construction.  
ALFRED GODFREY,  
ARCHITECT  
NOV. 19, 2021

ZILKER METRO PARK  
ZILKER CLUBHOUSE REHABILITATION  
200 Arnulfo Alonzo Way  
AUSTIN, TEXAS 78704

90% CDS

DATE: NOV 19, 2021  
REVISIONS:

SCHEDULES

A9.02

LIMBACHER & GODFREY  
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