



Date: August 20, 2024

Gemsong N. Ryan, P.E.
Quiddity Engineering, Inc.
3100 Alvin Devane Boulevard, Suite 150
Austin, TX 78741
512-441-9493

RE: 3012 Bee Cave – Commercial Zoning and Drainage Review – Acceptance Letter

The above-referenced report and plans were reviewed by the City for compliance with City Zoning and Drainage Ordinances.

ZONING

K Friese + Associates, Inc. (KFA) has reviewed the permit submittal for the above referenced project for compliance with the City of Rollingwood Code of Ordinances.

The applicant has submitted information demonstrating compliance with the City Zoning Ordinances, in particular Section 107 Division 2. All comments to the architect/builder were cleared.

All responsibility for the adequacy of the information contained in the application remains with the applicant. In recommending acceptance, KFA must rely upon the adequacy of the work of the applicant.

DRAINAGE

K Friese + Associates, Inc. (KFA) has reviewed the permit submittal for the above referenced project for compliance with the City of Rollingwood Drainage Code of Ordinances.

The applicant has submitted information demonstrating compliance with the City Drainage Ordinances, in particular Article IV, Division 1, Stormwater Drainage Regulations.

All responsibility for the adequacy of the above referenced report and plans remains with the engineer of record. In recommending acceptance, KFA must rely upon the adequacy of the work of the engineer of record.

Please contact Development Services at developmentservices@rollingwoodtx.gov if you have any further questions.

Regards,
K Friese + Associates, Inc.
Enclosure: Copy of final zoning & drainage submittal.

DATE OF SUBMITTAL: December 15, 2022

OWNER: MPH CAPITAL MANAGEMENT, INC. 10829 JOLLYVILLE ROAD AUSTIN, TEXAS 78759 512-494-8510 ATTN: CLAY MORGAN

ENGINEER: QUIDDITY ENGINEERING, INC. 3100 ALVIN DEVANE BOULEVARD, SUITE 150 AUSTIN, TX 78741 512-441-9493 ATTN: GEMSONG N. RYAN, P.E.

SURVEYORS: WATERLOO SURVEYORS, INC. 2208 W. ANDERSON LANE, AUSTIN, TEXAS 78757 512-481-9602 ATTN: BRYAN SUMNER

ARCHITECT: BRYAN M. EUWER 205 BARRACUDA BAYOU VISTA, TX 775631 512-923-2975

LEGAL DESCRIPTION: 0.621 ACRES OF LAND, MORE OR LESS OUT OF OF THE HENRY P. HILL LEAGUE IN TRAVIS COUNTY TEXAS, BEING ALL OF THE BEE CAVE ROAD OFFICE PARK, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, TOGETHER WITH THAT PORTION OF PEAK ROAD VACATED IN ORDINANCE NUMBER 176 AND FURTHER, SAID 0.621 ACRES BEING DESCRIBED IN VOLUME 12208, PAGE 220, REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

ZONING: C1 - PROFESSIONAL & BUSINESS OFFICE DISTRICT

SUBURBAN WATERSHED: EANES CREEK

NOTES:

- 1. THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN AS SHOWN ON FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM COMMUNITY PANEL NO(S). 48453C0445K, REVISED JANUARY 22, 2020, TRAVIS COUNTY, TEXAS. THIS TRACT IS IN THE FLOOD HAZARD ZONE "A" (LIGHT BLUE), DEFINED AS SPECIAL FLOOD HAZARD AREAS WITHOUT BASE FLOOD ELEVATION (BFE).
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
3. THIS PROPERTY LIES WITHIN THE EDWARDS AQUIFER RECHARGE ZONE AS IDENTIFIED ON MAPS PROVIDED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND IS REGULATED BY THE TCEQ UNDER THE EDWARDS AQUIFER PROTECTION PROGRAM.

ACCEPTED FOR CONSTRUCTION:

Bernard Brandon 8/20/24 CITY ENGINEER, CITY OF ROLLINGWOOD

ACCEPTED FOR CONSTRUCTION:

Jane Rodriguez 8/20/24 CITY PLANNER, CITY OF ROLLINGWOOD

NOTE: THE CITY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY ENGINEER AND CITY STAFF HAS REVIEWED THIS DOCUMENT AND HAS FOUND IT TO BE IN GENERAL CONFORMANCE WITH THE CITY OF ROLLINGWOOD CODE OF ORDINANCES OR APPROVED VARIANCES TO THOSE REGULATIONS. THE CITY ENGINEER, THROUGH THE ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE SEAL AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.

NOTE: THE CITY PLANNER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY PLANNER AND CITY STAFF HAS REVIEWED THIS DOCUMENT AND HAS FOUND IT TO BE IN GENERAL CONFORMANCE WITH THE CITY OF ROLLINGWOOD CODE OF ORDINANCES OR APPROVED VARIANCES TO THOSE REGULATIONS. THE CITY PLANNER, THROUGH THE ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. RESPONSIBILITY FOR THE CODE COMPLIANCE ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL WHOSE SEAL AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.

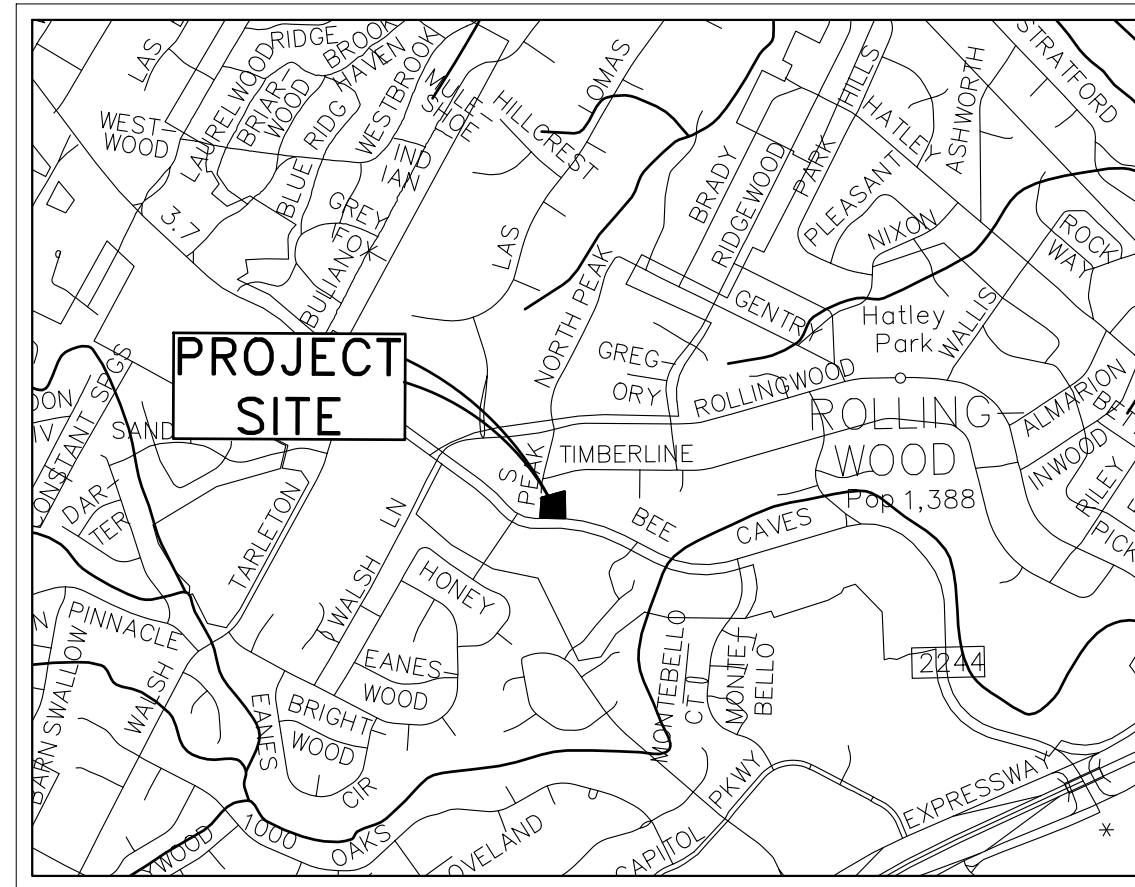
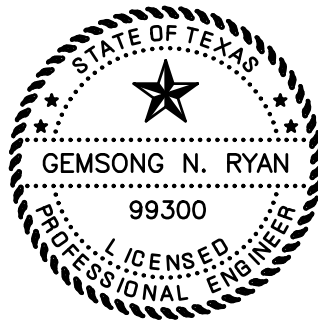
REVISIONS/CORRECTIONS

Table with 7 columns: No., DESCRIPTION, REVISE (R) DELETE (D) ADD (A) SHEET No's, TOTAL SHEETS IN PLAN SET, NET CHANGE IMPERV. COVER SF, TOTAL SITE IMPERV. COVER SF / %, CITY OF AUSTIN APPROVAL DATE, DATE IMAGED

BENCHMARK INFORMATION:

THE ELEVATIONS (AND/OR CONTOURS) SHOWN HEREON ARE REFERENCED TO BM #2 A TxDOT BRASS DISC MONUMENT ALONG THE EAST BOUND LANES OF BEE CAVES ROAD LOCATED APPROXIMATELY 85 FEET EAST OF THE SOUTHWESTERLY CORNER OF THE SUBJECT TRACT. ELEVATION: 596.06' (NAD83) AND WERE DETERMINED AS A RESULT OF AN ON THE GROUND SURVEY COMPLETED ON MARCH 7, 2018.

BM #1 TxDOT BRASS DISC MONUMENT N: 50071221.43, E: 3097929.14 ELEV: 596.06
BM #2 TRAVSPIN N: 50071892.51, E: 3097508.88 ELEV: 633.51



VICINITY MAP

1" = 1,500'

GEMSONG N. RYAN, P.E. May 24, 2024

May 24, 2024

PREPARED BY



Texas Board of Professional Engineers and Land Surveyors Reg. No. F-23290 3100 Alvin Devane Boulevard, Suite 150 • Austin, TX 78741 • 512.441.9493

JOB NUMBER 15877-0001-00

SITE DEVELOPMENT PLANS

FOR

3012 BEE CAVES RD. OFFICE

ROLLINGWOOD, TX 78746

FOR

MPH CAPITAL MANAGEMENT, INC.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Index of Drawings

Table with 2 columns: Sheet Number, Sheet Title. Lists 34 sheets including Cover Sheet, Construction Notes, Final Plat, Demolition & Initial Erosion Control Plan, etc.

APPROVALS

Table for approvals with columns for signature and date.

TEXAS ONE CALL SYSTEM

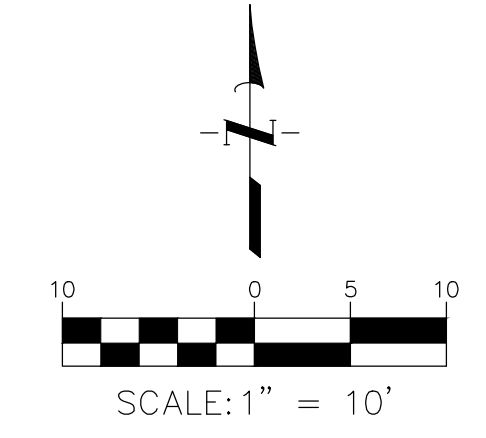
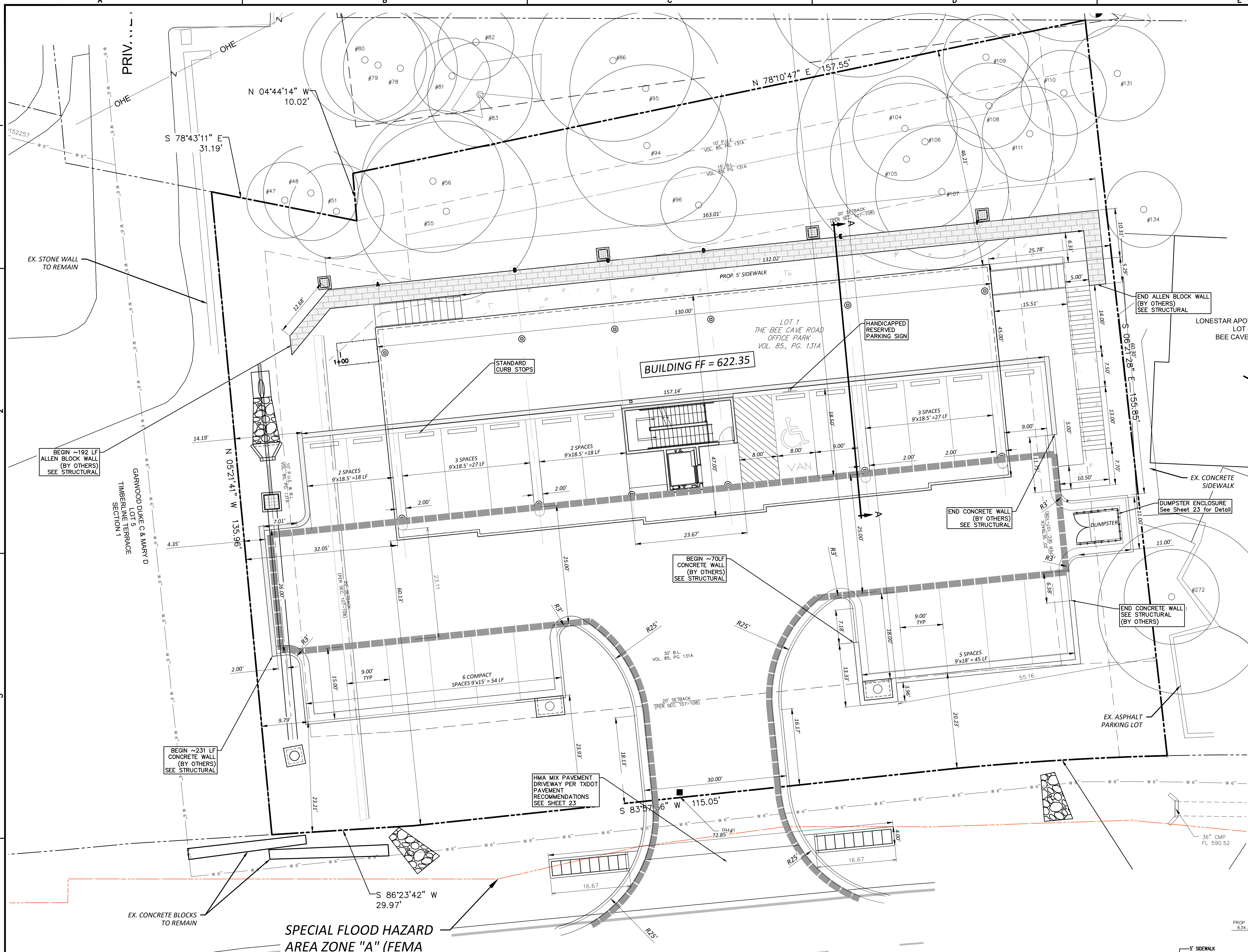
1-800-245-4545

CALL BEFORE YOU. TEXAS ONE CALL PARTICIPANTS REQUEST 72 HOURS NOTICE BEFORE YOU DIG, DRILL, OR BLAST

SHEET NO.

OF 34

1



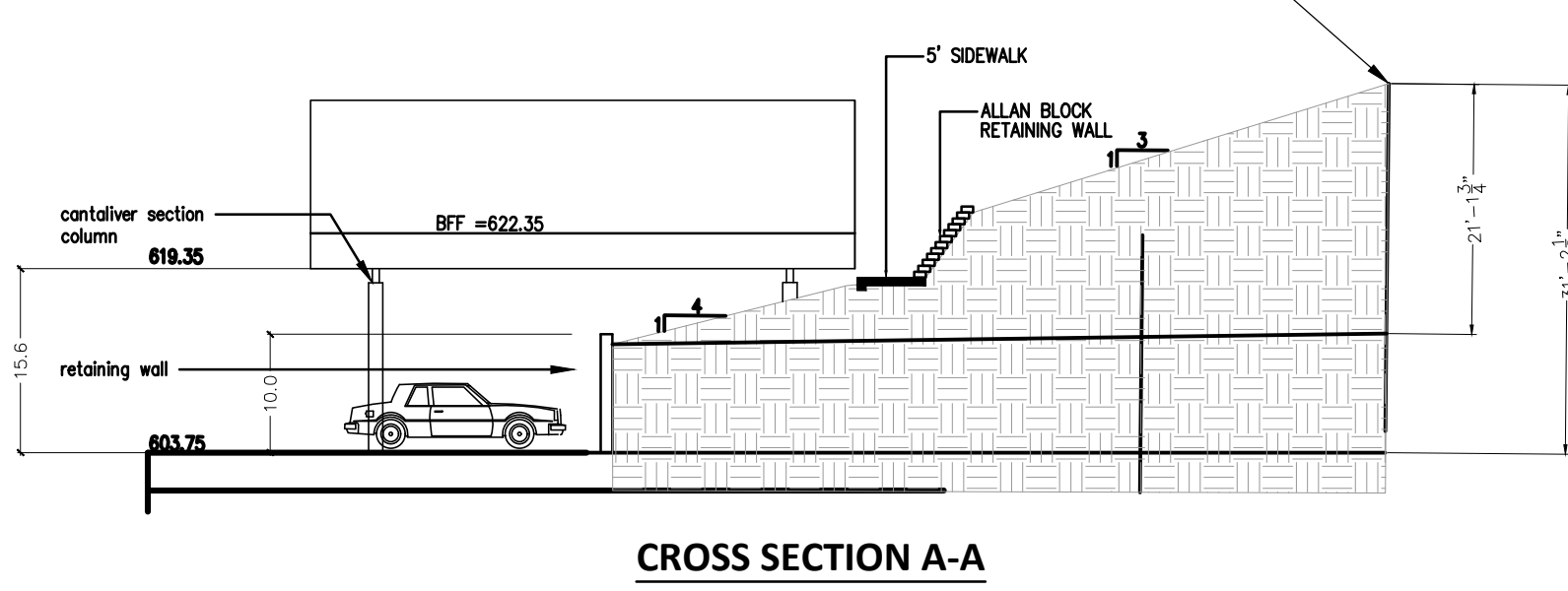
- EXISTING LEGEND**
- W W FIRE HYDRANT W/ GATE VALVE
 - W W WATERLINE W/ GATE VALVE
 - W W WATERLINE W/ METER
 - WW WW WASTEWATER W/ MANHOLE
 - WW WW WASTEWATER W/ CLEANOUT
 - SS SS STORM SEWER W/ MANHOLE
 - SS SS STORM SEWER W/ CURB INLET
 - OHE OHE OVERHEAD ELECTRIC W/ POWER POLE
 - GAS LINE
 - 700 GROUND CONTOUR
 - 123 TREE TO REMAIN
- PROPOSED LEGEND**
- W W FIRE HYDRANT W/ GATE VALVE
 - W W WATERLINE W/ GATE VALVE
 - W W WATERLINE W/ METER
 - WW WW WASTEWATER W/ MANHOLE
 - WW WW WASTEWATER W/ CLEANOUT
 - SS SS STORM SEWER W/ MANHOLE
 - SS SS STORM SEWER W/ CURB INLET
 - OHE OHE OVERHEAD ELECTRIC W/ POWER POLE
 - GAS LINE
 - 700 FINISHED CONTOUR
 - FIRE LANE
 - EASEMENT LINE
 - BUILDING SETBACK LINES
 - L.O.C. LIMIT OF CONSTRUCTION
 - 100-YR FEMA FLOODPLAIN

- SITE PLAN NOTES:**
- ALL DISTANCES ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - EACH COMPACT PARKING SPACE/AISLE WILL BE SIGNED "SMALL CAR ONLY."
- SITE PLAN RELEASE NOTES:**
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
 - ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
 - WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN (OR IDENTIFY THE SERVICE PROVIDER IF OTHER THAN THE CITY OF AUSTIN).
 - FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGE TO UTILITIES.
 - FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A TXDOT DRIVEWAY AND UTILITY PERMIT IS REQUIRED.

LEGAL:
 0.621 ACRES OF LAND, MORE OR LESS OUT OF OF THE HENRY P. HILL LEAGUE IN TRAVIS COUNTY TEXAS, BEING ALL OF THE BEE CAVE ROAD OFFICE PARK, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, TOGETHER WITH THAT PORTION OF PEAK ROAD VACATED IN ORDINANCE NUMBER 176 AND FURTHER, SAID 0.621 ACRES BEING DESCRIBED IN VOLUME 12208, PAGE 220, REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

CAUTION: OVERHEAD ELECTRIC
 CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION, AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

NOTICE
 CALL AT LEAST 2 WORKING DAYS (48 HOURS) BEFORE YOU DIG:
 TEXAS811 (DIG YESS) (1-800-344-8377)
 -OR-
 LONE STAR NOTIFICATION CENTER (1-800-569-0344)



CROSS SECTION A-A

IMPERVIOUS COVER TABLE

IMPERVIOUS COVER	AREA (SF)	AC.
PAVEMENT	10544.4	0.24
WALLS	1035.3	0.02
SIDEWALKS	1098.0	0.03
PILINGS	42.4	0.0010
TOTAL IMPERVIOUS COVER	12720.1	0.29
GROSS SITE AREA	27038.2	0.62
IMPERVIOUS COVER (%)	47%	

SITE PLAN TABLE

IMPERVIOUS COVER	EXISTING	PROPOSED	NET INCREASE	REQUIRED
ZONING	C1	C1		
LAND USE	OFFICE	OFFICE		
GROSS SITE AREA (AC)	0.62	0.62	0	> 0.34
IMPERVIOUS COVER (SF)	207	12,678	12,470.71	< 13,504
IMPERVIOUS COVER (%)	1%	47%	46%	< 50%
BUILDING COVER (SF)	0	5,972	5,972	> 1,800
BUILDING HEIGHT (FT)	0	23.25	23.25	< 35

PARKING PROVIDED

USE	COUNT	PERCENT
STANDARD	17	71%
COMPACT	6	25%
HCA	1	4%
Total=	24	

PARKING REQUIRED

1 SPACE / 250 SF BUILDING GFA	24
5980 SF/250=	24

SPECIAL FLOOD HAZARD AREA ZONE "A" (FEMA 100 YEAR FLOODPLAIN)

BEE CAVES ROAD (FM 2244)
 (PUBLIC R.O.W. VARIES)

REVISIONS
 No. Date
 App.

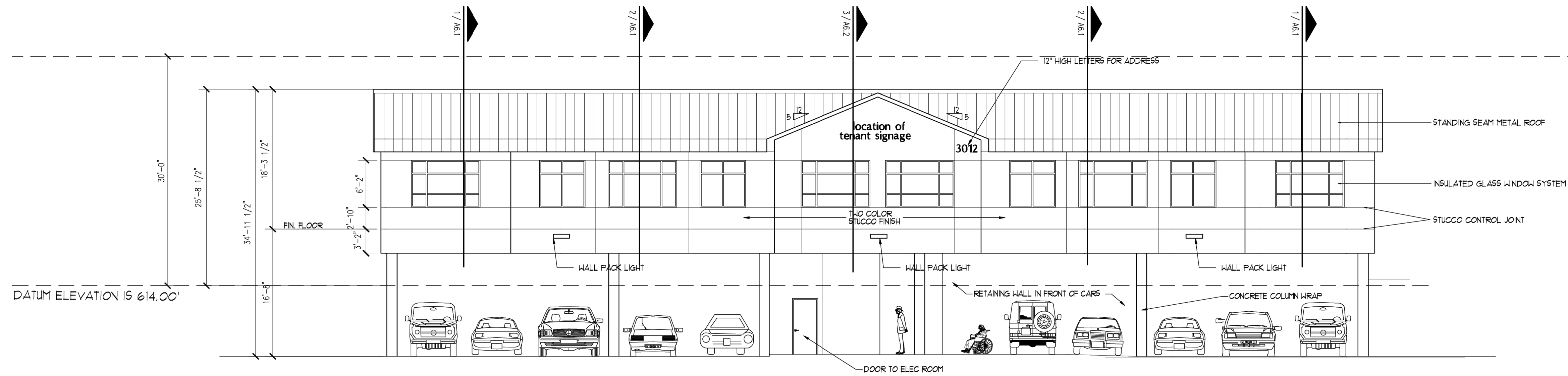
QUIDDITY
 3100 Alvin Chevrolet Boulevard, Suite 150 • Austin, Texas 78754 • 512-441-8899

SCALE: AS SHOWN
 DATE: June 2023
 JOB NO.: 15877-001-00

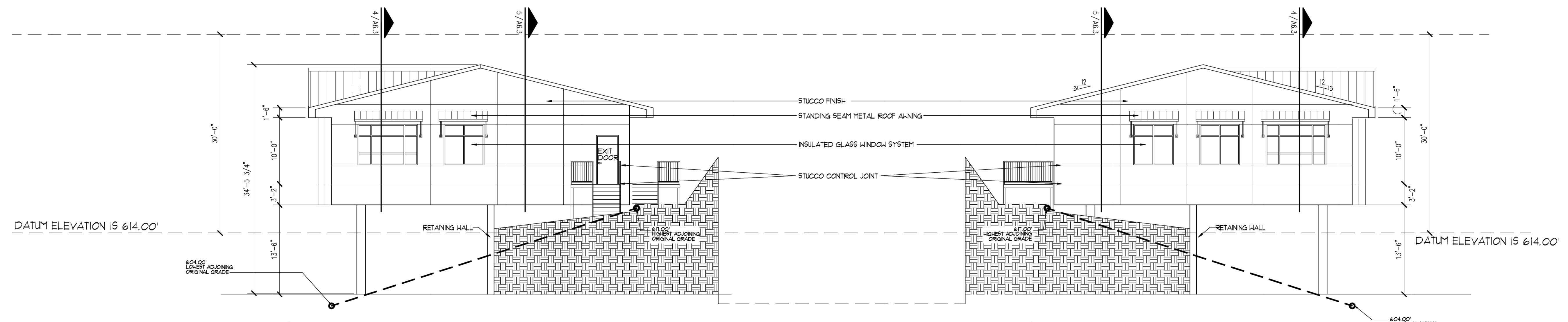
DESIGNED BY: ECV
 CHECKED BY: RWL
 DRAWN BY: PKC

STATE OF TEXAS
 GEMSONG N. RYAN
 LICENSED PROFESSIONAL ENGINEER
 99300
 5/24/24

SITE DEVELOPMENT PLANS OF 3012 BEE CAVES RD. OFFICE
 3012 BEE CAVES RD.
SITE PLAN
 SHEET NO. **9**
 OF 34



1 FRONT ELEVATION
1/8"=1'-0"



2 RIGHT SIDE ELEVATION
1/8"=1'-0"

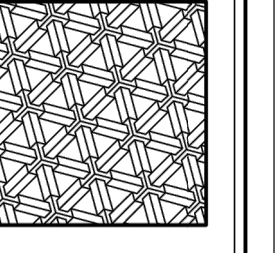
4 LEFT SIDE ELEVATION
1/8"=1'-0"



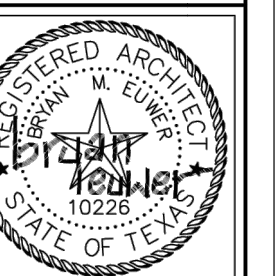
3 REAR ELEVATION
1/8"=1'-0"

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Euwer & Associates
205 BARRACUDA ST.
BAYLOR VISTA TX. 77563
(512) 923-2875



ROLLINGWOOD OFFICE
3012 BEE CAVES ROAD
AUSTIN TX. 78746



DATE ISSUED
1/31/2019

REVISIONS		
NO.	DATE	BY

DRAWN BY CHECKED

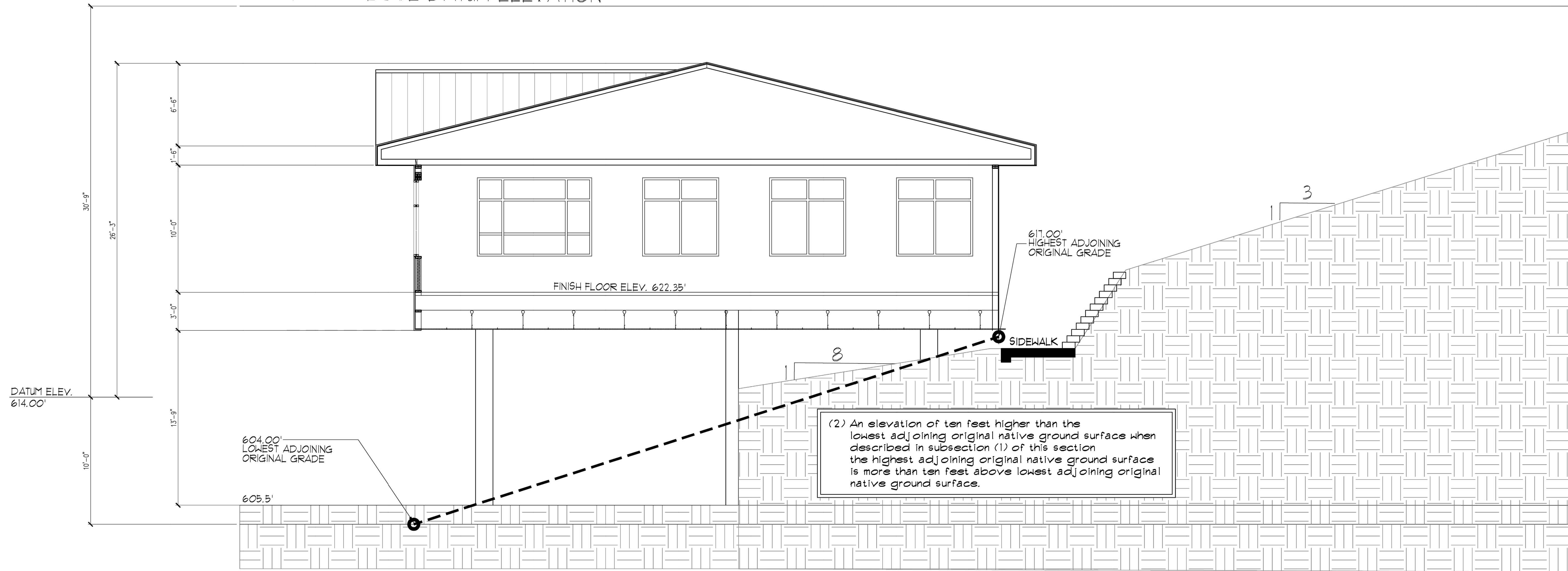
FILE NAME

SHEET NO.

A4.1

EXTERIOR ELEVATIONS

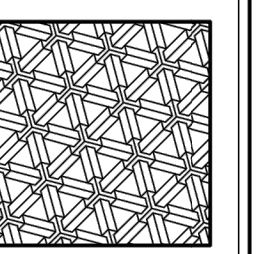
30' HEIGHT ABOVE DATUM ELEVATION



1 DATUM ELEVATION USING OPTION 2
1/4"=1'-0"

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Eller & Associates
205 BARRACUDA ST
AUSTIN, TX 78763
(512) 823-8978



ROLLINGWOOD OFFICE
3012 BEE CAVES ROAD
AUSTIN TX. 78746



DATE ISSUED
1/31/2019

REVISIONS		
NO.	DATE	BY

DRAWN BY CHECKED

FILE NAME

SHEET NO.

A5.1

BUILDING SECTIONS

TREATED WOOD BLOCKING AS REQUIRED
 5/8" EXTERIOR GRADE OSB
 ON INSIDE OF PARAPET WALL

MECHANICALLY ATTACHED TPO ROOF
 60 MIL MINIMUM
 5/8" PLYWOOD DECKING

R-30 BATT INSULATION
 ROOF TRUSS REFER TO STRUCTURAL
 R-19 BATT INSULATION

ALUMINUM WINDOW SYSTEM

R-19 BATT INSULATION

5/8" EXTERIOR SHEATHING WITH WATERPROOF
 BUILDERS WRAP

CONCRETE FLOOR
 REFER TO STRUCTURAL

R-19 CLOSED CELL SPRAY INSULATION

2x2 CEILING GRID WITH EXTERIOR GRADE
 CEILING TILES

METAL GUTTER AND DOWNSPOUT

ALLEN BLOCK
 RETAINING WALL

TIE DOWNSPOUTS INTO 12" PVC PIPE
 DAYLIGHT AT SIDE OF BUILDING

SIDEWALK

10'-0"

9'-0" 1/4"

6'-0"

14'-0" 1/4"

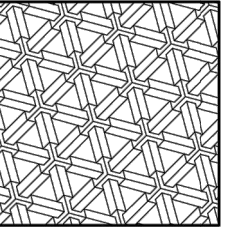
3'-0"

3'-2"

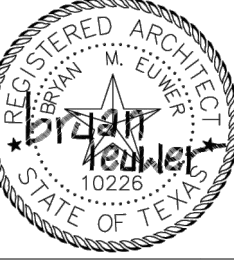
6 WALL SECTION
 1/2"=1'-0"

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Euwer & Associates
 205 BARACUDA ST.
 BAYOU VISTA, TX. 77563
 (512) 923-2975



ROLLINGWOOD OFFICE
 3012 BEE CAVES ROAD
 AUSTIN TX. 78746



DATE ISSUED
 1/31/2019

REVISIONS			
NO.	DATE	BY	
1	2/12/2018		

DRAWN BY [CHECKED]

FILE NAME

SHEET NO.

A6.4

WALL SECTIONS