

DATE OF SUBMITTAL: December 15, 2022

OWNER: MPH CAPITAL MANAGEMENT, INC. 10829 JOLLYVILLE ROAD AUSTIN, TEXAS 78759 512-494-8510 ATTN: CLAY MORGAN

ENGINEER: QUIDDITY ENGINEERING, INC. 3100 ALVIN DEVANE BOULEVARD, SUITE 150 AUSTIN, TX 78741 512-441-9493 ATTN: GEMSONG N. RYAN, P.E.

SURVEYORS: WATERLOO SURVEYORS, INC. 2208 W. ANDERSON LANE, AUSTIN, TEXAS 78757 512-481-9602 ATTN: BRYAN SUMNER

ARCHITECT: BRYAN M. EUWER 205 BARRACUDA BAYOU VISTA, TX 775631 512-923-2975

LEGAL DESCRIPTION: 0.621 ACRES OF LAND, MORE OR LESS OUT OF THE HENRY P. HILL LEAGUE IN TRAVIS COUNTY TEXAS, BEING ALL OF THE BEE CAVE ROAD OFFICE PARK, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, TOGETHER WITH THAT PORTION OF PEAK ROAD VACATED IN ORDINANCE NUMBER 176 AND FURTHER, SAID 0.621 ACRES BEING DESCRIBED IN VOLUME 12208, PAGE 220, REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

ZONING: C1 - PROFESSIONAL & BUSINESS OFFICE DISTRICT

SUBURBAN WATERSHED: EANES CREEK

NOTES:

- 1. THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN AS SHOWN ON FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM COMMUNITY PANEL NO(S). 48453C0445K, REVISED JANUARY 22, 2020, TRAVIS COUNTY, TEXAS. THIS TRACT IS IN THE FLOOD HAZARD ZONE "A" (LIGHT BLUE), DEFINED AS SPECIAL FLOOD HAZARD AREAS WITHOUT BASE FLOOD ELEVATION (BFE).
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
3. THIS PROPERTY LIES WITHIN THE EDWARDS AQUIFER RECHARGE ZONE AS IDENTIFIED ON MAPS PROVIDED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND IS REGULATED BY THE TCEQ UNDER THE EDWARDS AQUIFER PROTECTION PROGRAM.

ACCEPTED FOR CONSTRUCTION:

Bernard Brandon 8/20/24 CITY ENGINEER, CITY OF ROLLINGWOOD

ACCEPTED FOR CONSTRUCTION:

Jane Rodriguez 8/20/24 CITY PLANNER, CITY OF ROLLINGWOOD

NOTE: THE CITY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY ENGINEER AND CITY STAFF HAS REVIEWED THIS DOCUMENT AND HAS FOUND IT TO BE IN GENERAL CONFORMANCE WITH THE CITY OF ROLLINGWOOD CODE OF ORDINANCES OR APPROVED VARIANCES TO THOSE REGULATIONS. THE CITY ENGINEER, THROUGH THE ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE SEAL AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.

NOTE: THE CITY PLANNER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY PLANNER AND CITY STAFF HAS REVIEWED THIS DOCUMENT AND HAS FOUND IT TO BE IN GENERAL CONFORMANCE WITH THE CITY OF ROLLINGWOOD CODE OF ORDINANCES OR APPROVED VARIANCES TO THOSE REGULATIONS. THE CITY PLANNER, THROUGH THE ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. RESPONSIBILITY FOR THE CODE COMPLIANCE ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL WHOSE SEAL AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.

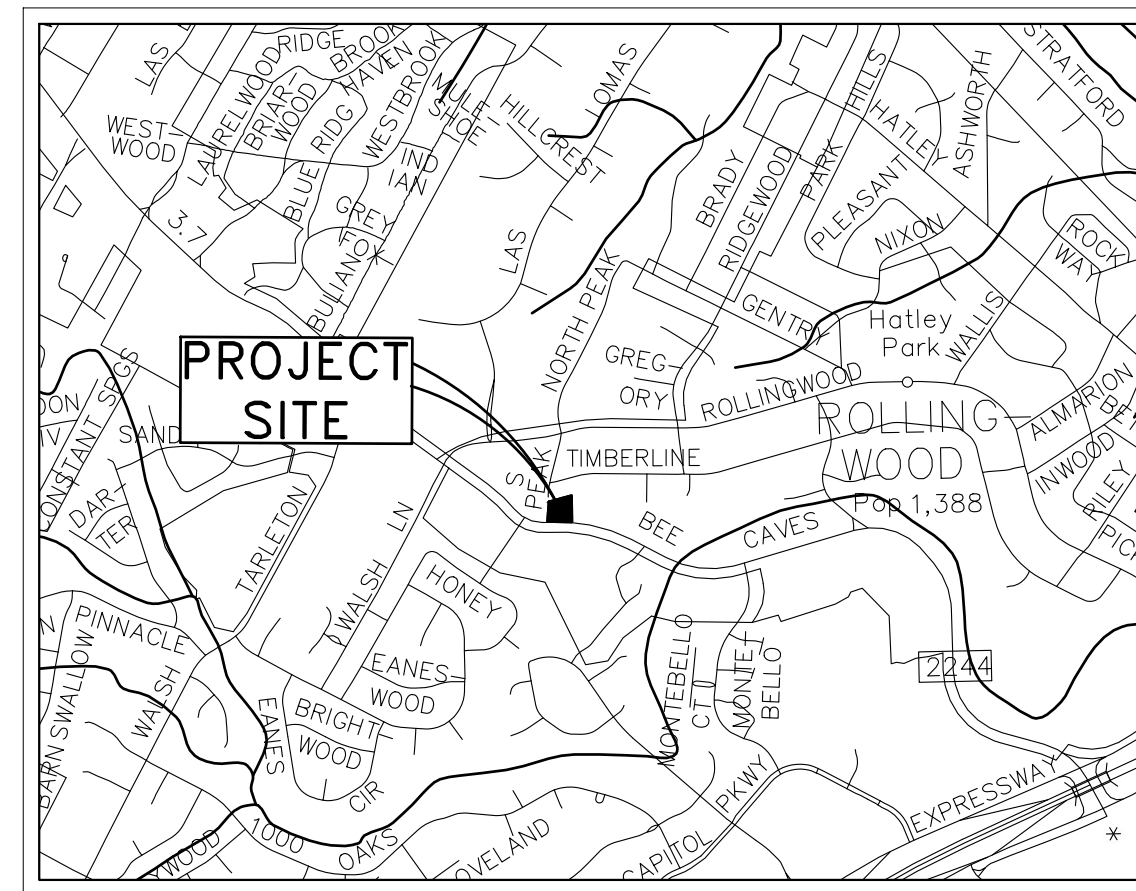
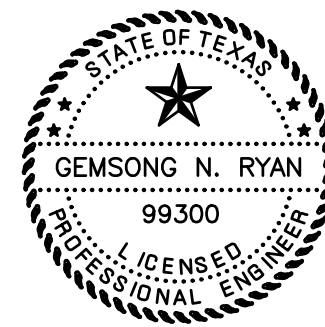
REVISIONS/CORRECTIONS

Table with 7 columns: No., DESCRIPTION, REVISE (R) DELETE (D) ADD (A) SHEET No's, TOTAL SHEETS IN PLAN SET, NET CHANGE IMPERV. COVER SF, TOTAL SITE IMPERV. COVER SF / %, CITY OF AUSTIN APPROVAL DATE, DATE IMAGED

BENCHMARK INFORMATION:

THE ELEVATIONS (AND/OR CONTOURS) SHOWN HEREON ARE REFERENCED TO BM #2 A TxDOT BRASS DISC MONUMENT ALONG THE EAST BOUND LANES OF BEE CAVES ROAD LOCATED APPROXIMATELY 85 FEET EAST OF THE SOUTHWESTERLY CORNER OF THE SUBJECT TRACT. ELEVATION: 596.06' (NAD83) AND WERE DETERMINED AS A RESULT OF AN ON THE GROUND SURVEY COMPLETED ON MARCH 7, 2018.

BM #1 TxDOT BRASS DISC MONUMENT N: 50071221.43, E: 3097929.14 ELEV: 596.06
BM #2 TRAVSPIN N: 50071892.51, E: 3097508.88 ELEV: 633.51



VICINITY MAP

1" = 1,500'

GEMSONG N. RYAN, P.E. May 24, 2024

May 24, 2024

PREPARED BY



Texas Board of Professional Engineers and Land Surveyors Reg. No. F-23290 3100 Alvin Devane Boulevard, Suite 150 • Austin, TX 78741 • 512.441.9493

JOB NUMBER 15877-0001-00

SITE DEVELOPMENT PLANS

FOR

3012 BEE CAVES RD. OFFICE

ROLLINGWOOD, TX 78746

FOR

MPH CAPITAL MANAGEMENT, INC.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Index of Drawings

Table with 2 columns: Sheet Number, Sheet Title. Lists 34 sheets including Cover Sheet, General Construction Notes, Final Plat, Demolition & Initial Erosion Control Plan, etc.

APPROVALS

Table for approvals with columns for signature and date.

TEXAS ONE CALL SYSTEM

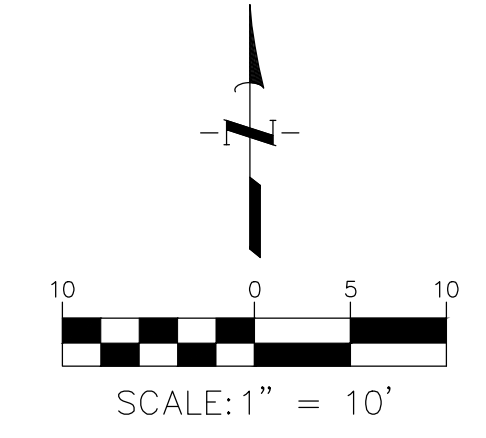
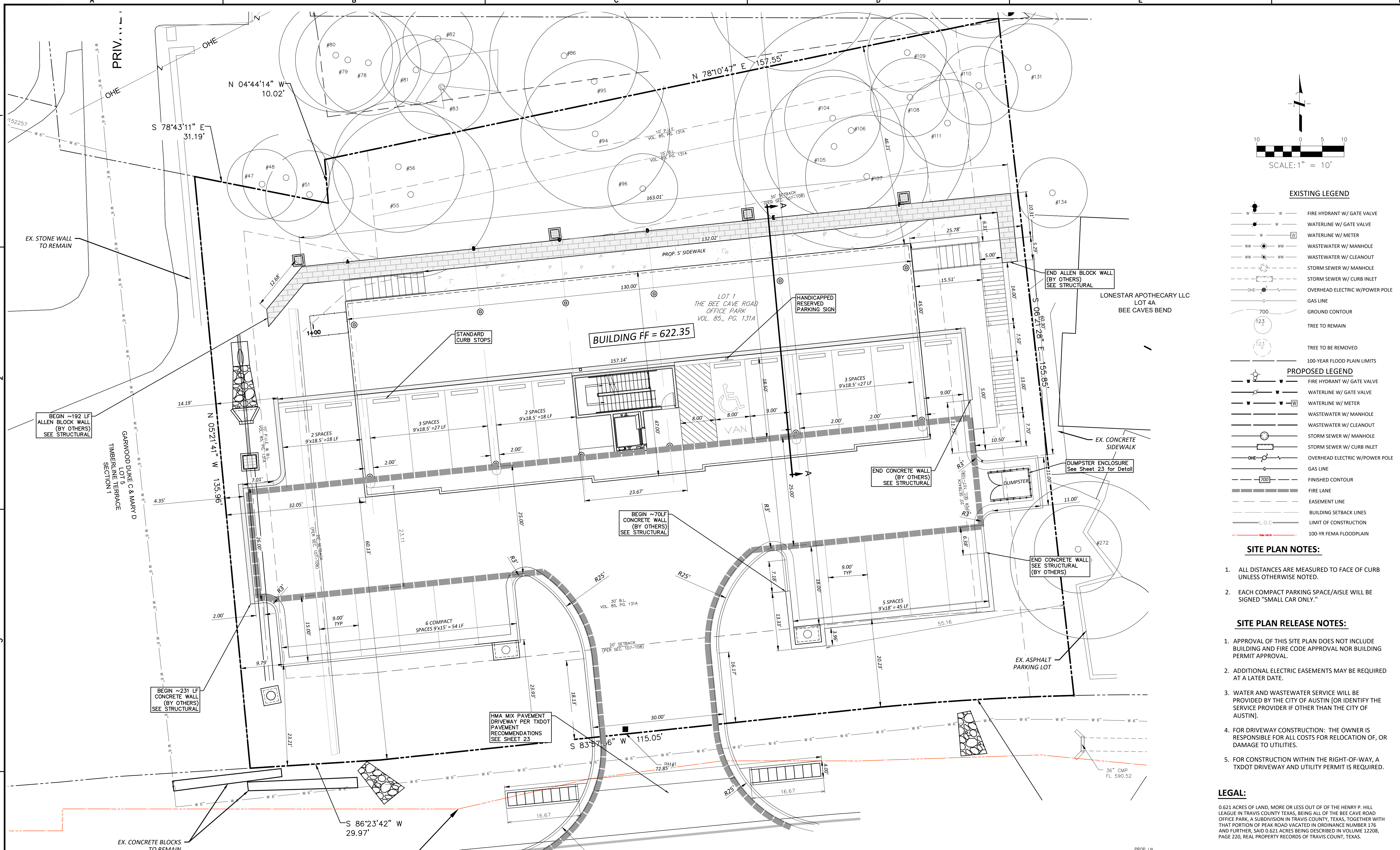
1-800-245-4545

CALL BEFORE YOU. TEXAS ONE CALL PARTICIPANTS REQUEST 72 HOURS NOTICE BEFORE YOU DIG, DRILL, OR BLAST

SHEET NO.

OF 34

1



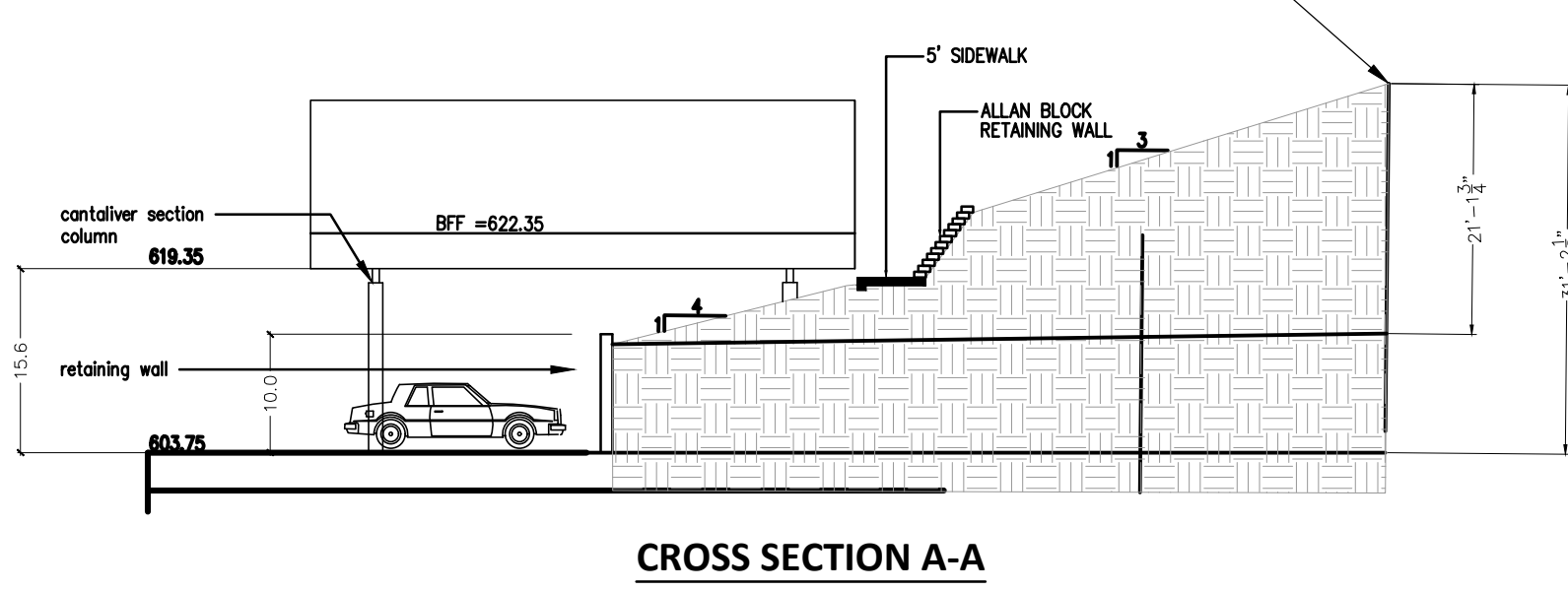
- EXISTING LEGEND**
- W W FIRE HYDRANT W/ GATE VALVE
 - W W WATERLINE W/ GATE VALVE
 - W W WATERLINE W/ METER
 - WW WW WASTEWATER W/ MANHOLE
 - WW WW WASTEWATER W/ CLEANOUT
 - SS SS STORM SEWER W/ MANHOLE
 - SS SS STORM SEWER W/ CURB INLET
 - OHE OHE OVERHEAD ELECTRIC W/ POWER POLE
 - GAS LINE
 - 700 GROUND CONTOUR
 - 123 TREE TO REMAIN
- PROPOSED LEGEND**
- W W FIRE HYDRANT W/ GATE VALVE
 - W W WATERLINE W/ GATE VALVE
 - W W WATERLINE W/ METER
 - WW WW WASTEWATER W/ MANHOLE
 - WW WW WASTEWATER W/ CLEANOUT
 - SS SS STORM SEWER W/ MANHOLE
 - SS SS STORM SEWER W/ CURB INLET
 - OHE OHE OVERHEAD ELECTRIC W/ POWER POLE
 - GAS LINE
 - 700 FINISHED CONTOUR
 - FIRE LANE
 - EASEMENT LINE
 - BUILDING SETBACK LINES
 - L.O.C. LIMIT OF CONSTRUCTION
 - 100-YR FEMA FLOODPLAIN

- SITE PLAN NOTES:**
- ALL DISTANCES ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - EACH COMPACT PARKING SPACE/AISLE WILL BE SIGNED "SMALL CAR ONLY."
- SITE PLAN RELEASE NOTES:**
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
 - ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
 - WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN (OR IDENTIFY THE SERVICE PROVIDER IF OTHER THAN THE CITY OF AUSTIN).
 - FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGE TO UTILITIES.
 - FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A TXDOT DRIVEWAY AND UTILITY PERMIT IS REQUIRED.

LEGAL:
 0.621 ACRES OF LAND, MORE OR LESS OUT OF OF THE HENRY P. HILL LEAGUE IN TRAVIS COUNTY TEXAS, BEING ALL OF THE BEE CAVE ROAD OFFICE PARK, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, TOGETHER WITH THAT PORTION OF PEAK ROAD VACATED IN ORDINANCE NUMBER 176 AND FURTHER, SAID 0.621 ACRES BEING DESCRIBED IN VOLUME 12208, PAGE 220, REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

CAUTION: OVERHEAD ELECTRIC
 CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION, AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

NOTICE
 CALL AT LEAST 2 WORKING DAYS (48 HOURS) BEFORE YOU DIG:
 TEXAS811 (DIG YESS) (1-800-344-8377)
 -OR-
 LONE STAR NOTIFICATION CENTER (1-800-569-0344)



CROSS SECTION A-A

IMPERVIOUS COVER TABLE

IMPERVIOUS COVER	AREA (SF)	AC.
PAVEMENT	10544.4	0.24
WALLS	1035.3	0.02
SIDEWALKS	1098.0	0.03
PILINGS	42.4	0.0010
TOTAL IMPERVIOUS COVER	12720.1	0.29
GROSS SITE AREA	27038.2	0.62
IMPERVIOUS COVER (%)	47%	

SITE PLAN TABLE

IMPERVIOUS COVER	EXISTING	PROPOSED	NET INCREASE	REQUIRED
ZONING	C1	C1		
LAND USE	OFFICE	OFFICE		
GROSS SITE AREA (AC)	0.62	0.62	0	> 0.34
IMPERVIOUS COVER (SF)	207	12,678	12470.71	< 13,504
IMPERVIOUS COVER (%)	1%	47%	46%	< 50%
BUILDING COVER (SF)	0	5,972	5972	> 1,800
BUILDING HEIGHT (FT)	0	23.25	23.25	< 35

PARKING PROVIDED

USE	COUNT	PERCENT
STANDARD	17	71%
COMPACT	6	25%
HCA	1	4%
Total=	24	

PARKING REQUIRED

1 SPACE / 250 SF BUILDING GFA	24
5980 SF/250=	24

SPECIAL FLOOD HAZARD AREA ZONE "A" (FEMA 100 YEAR FLOODPLAIN)

BEE CAVES ROAD (FM 2244)
 (PUBLIC R.O.W. VARIES)

REVISIONS
 No. Date
 App.

QUIDDITY
 3100 Alvin Drive, Suite 150 • Austin, Texas 78741 • 512-441-8899

SCALE: AS SHOWN
 DATE: June 2023
 JOB NO.: 15877-001-00

DESIGNED BY: ECY
 CHECKED BY: RWL
 DRAWN BY: PKC

STATE OF TEXAS
 GEMSONG N. RYAN
 LICENSED PROFESSIONAL ENGINEER
 99300
 5/24/24

SITE DEVELOPMENT PLANS OF 3012 BEE CAVES RD. OFFICE
 3012 BEE CAVES RD.
SITE PLAN
 SHEET NO. **9**
 OF 34