

# Exhibit A - Change Order

## CHANGE ORDER

Change Order Number	<u>4</u>
Date	<u>March 1, 2024</u>
Agreement Date	<u>October 11, 2023</u>

Project Name	<u>Rochelle Municipal Utilities Building Improvements Project</u>
Owner	<u>City of Rochelle, Illinois</u>
Contractor	<u>Larson &amp; Larson Builders Inc.</u>

The following changes are hereby made to the CONTRACT DOCUMENTS:  
Changes as noted on attached RFP's: 13, 14 Rev 1, 15, 16, 17, and 19 plus RFC 19


Original CONTRACT PRICE:	\$	<u>1,092,000.00</u>
Current CONTRACT PRICE adjusted by previous CHANGE ORDERS:	\$	<u>1,183,735.80</u>
The change in CONTRACT PRICE due to this CHANGE ORDER:	\$	<u>251,984.63</u>
The new CONTRACT PRICE including this CHANGE ORDER:	\$	<u>1,435,720.43</u>

CONTRACT TIME: New completion date will be: May 31, 2024

### APPROVALS REQUIRED:

\_\_\_\_\_  
Owner Date

\_\_\_\_\_  
Contractor Date

  
\_\_\_\_\_  
Engineer Date March 1, 2024

# REQUEST FOR PROPOSAL

Request No. 13 Date of Issuance: January 24, 2024 WHA Project Number: 1551D22

Project: City of Rochelle – RMU – Building Improvements Project

Contractor: Larson & Larson Builders, Inc., 5612 Industrial Avenue, Loves Park, IL 61111

Architect\ Engineer: Willett Hofmann & Associates, Inc., 809 East Second Street, Dixon, Illinois

**You are requested to provide a proposal for the following Work to be performed in accordance with the terms of the Contract Documents for the above referenced project.**

Move opening for Door OH-2 eight inches (8”) to the west. At the east jamb tooth in new solid grouted CMU and install salvaged exterior veneer and new metal siding. At the west jamb remove existing CMU and tooth in new solid grouted CMU, remove existing exterior veneer and metal siding.

**This is NOT an authorization to proceed with the work described above.** The Architect/Engineer and Owner shall evaluate this Proposal. If the terms of the Proposal are acceptable to the Architect/Engineer and Owner, a Change Order will be issued to modify the Contract for Construction.

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## CONTRACTOR PROPOSAL:

(Name of Contractor) Larson & Larson, Builders, Inc., shall perform the Work described above in accordance with the Contract Documents for the above referenced project for the following terms:

### COST:

The Contract Sum will be **increased** / **decreased** by the following amount:

(Stated in both words and figures, in case of a discrepancy, the amount given in words shall govern)

Ten Thousand Six Hundred Twenty One and 00/100 Dollars (\$ 10,621.00).

### TIME:

Proposed additional time requested: see attached.

### SIGNATURE:

General Contractor: see attached Date: \_\_\_\_\_

Submitted By: see attached Date: \_\_\_\_\_



**Larson & Larson Builders Inc**  
 5612 Industrial Avenue  
 Loves Park, IL 61111

# Request For Change

**Rochelle Municipal Utilities B - 195ROC23**

1030 South 7th Street  
 Rochelle, IL 61068

**RFC No. 14**

<b>Date:</b>	02/12/2024	<b>Respond By:</b>	02/19/2024
<b>Sent By:</b>	Sheri Green sheri@llbuilders.net	<b>Sent To:</b>	Thomas Houck thouck@willetthofmann.com

**Change Reason:** Owner Change                      **Scope:** Out Of Scope

**Title:** RFP 13 Move OH Door, New Solid Grout  
 CMU, Remove Exterior Veneer & Metal  
 Siding

**Description:** Labor, equipment and material to complete work as outlined in RFP 13.

**Schedule Impact:**

**Scope of Work**

Item	QTY	UM	Unit Price	Price Subtotal
Sub Weaver Construction, Inc.	1	Each	\$8,900.00	\$8,900.00
Sub Markup 5%	1	Each	\$445.00	\$445.00
L&L Self Perform - Demolition of exterior veneer & metal siding	4	Each	\$145.00	\$580.00
L&L Self Perform - Installation of exterior veneer & metal siding	4	Each	\$145.00	\$580.00
L&L Self Perform Markup 10%	1	Each	\$116.00	\$116.00
<b>Price Subtotal:</b>				<b>\$10,621.00</b>
<b>Overhead:</b>				
<b>Total Price:</b>				<b>\$10,621.00</b>

**Review and Response**

Approved
  Rejected
  Request Formal Change Order
  Other

\_\_\_\_\_  
 Sheri Green  
 Larson & Larson Builders Inc

\_\_\_\_\_  
 Thomas Houck  
 Willett Hofmann



2999 St. Vincent Avenue, PO Box 1309  
La Salle, IL 61301  
Ph: 815-223-9800

PROPOSAL #: 17351  
DATE: 12/27/2023  
PROJECT: ROCHELLE MUNICIPAL

ATTN: BRANDIN KELTNER  
LARSON & LARSON BUILDERS, INC.  
5612 INDUSTRIAL AVENUE  
LOVES PARK, IL 61111

brandin@llbuilders.net  
815-633-1773

**EXTRA WORK – RFP-5**

ADDITIONAL ELECTRICAL WORK AS PER RFI-5

**ADD**      \$ 1,427.06

PAYMENT TERMS: \_\_\_\_\_ 1.5% interest per month 18% per year due on all accounts 30 days past due.

All work to be completed as provided herein. Any Alteration or deviation from above specifications involving extra costs must be in writing. The cost of the alterations or deviation shall be in addition to the above estimate. Proposal withdrawn 30 days from above date. THIS PROPOSAL IS FURTHER SUBJECT TO THE TERMS, CONDITIONS, AND DEFINITIONS SET FORTH ON THE BACK OF THIS PROPOSAL.

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. JB Contracting Corp. ("Contractor") is authorized to begin the job specified herein. The undersigned represents and warrants that the undersigned is an authorized agent of Purchaser.

Date of Acceptance: \_\_\_\_\_

JB Contracting Corporation - JEFF SLOAN EXT 210

By: \_\_\_\_\_  
Authorized Agent

Purchaser: \_\_\_\_\_

By: \_\_\_\_\_  
Authorized Agent



# WEAVER CONSTRUCTION INC

228 W. Page St. - Sycamore, IL 60178

T: 815-899-1515 F: 815-899-7852 | Tom 815-739-5206 Todd 630-816-8735

[todd@weaverco.com](mailto:todd@weaverco.com)

No.

24-2112

## CHANGE ORDER ESTIMATE

Date: 1/29/2024

CUSTOMER:

**LARSON & LARSON BUILDERS, INC.**

Attn: **ESTIMATING**

**5612 Industrial Ave.**

**Loves Park, IL 61111**

Phone: 815-633-1773

Email: [estimating@llbuilders.com](mailto:estimating@llbuilders.com)

**CITY of ROCHELLE  
ROCHELLE MUNICIPAL UTILITIES  
RFP 13 MOVE OVERHEAD DOOR**

1030 S. 7th St.  
Rochelle, IL 61068

*We appreciate the opportunity to serve your needs.*

Project Manager:

**Todd Weaver**

Job Title:

**MASONRY**

Payment Terms:

Upon receipt of Invoice; add 1.5%  
15-days after invoice date.

*Scope of work per RFP 13 to include:*

- Supply all masonry labor and material to move overhead door per supplied RFP.
- \* No exterior metal work included in this proposal.

Exclusions: painting, caulking, masonry sealing, setting of HM doors & frames, precast cladding, shelf angles, permits and/or bonds of any type, sidewalk canopies, engineering, premium time, masonry demo if not noted in scope, dumpster for cleanup.

*All labor, material, and equipment to complete work described above provided by WCI unless otherwise noted.*

*Note - This is an estimate only per original discussion with owner; physical or cost change arising during construction performance will be discussed with owner and adjusted accordingly. Material is bid at current price; any increase after above estimate-date to be added to below total.*

*Quality is remembered long after price is forgotten*

**TOTAL this Change Order Estimate =**

**\$8,900.00**



Larson & Larson Builders Inc  
 5612 Industrial Avenue  
 Loves Park, IL 61111

# Request For Information

**Rochelle Municipal Utilities B - 195ROC23**

1030 South 7th Street  
 Rochelle, IL 61068

**RFI No. 5**

**Title:** RFI 5 Relocation Of Two Switches  
**Priority:** High  
**Reason:** Design Clarification  
**Respond By:** 12/18/2023

**Sent By:** Sheri Green  
 sheri@llbuilders.net  
 Larson & Larson Builders Inc

**Sent To:** Thomas Houck  
 thouck@willetthofmann.com  
 Willett Hofmann

## Question

Re-location of 2 switches, one duplex receptacle and the north end overhead door operator. Pictures are attached and reference drawings *D1, A1, E1 and E3. The new block wall runs right into these and they will need to be relocated.*

Suggest moving to west side of the new door location (see note 2 on D1 for location). Currently we have a 1/2" conduit with 4#14 wires and 5# 12s with no ground. The service switch for the overhead door operator is at the floor level. I suggest moving this to the operator location as is standard. See attached photos and plan for location.

## Impact

**Proposed Solution**

**Cost Impact**

**Schedule Impact**

## Additional Details

**Disciplines:**

**Reference Drawings:**

**Reference Specs:**

**Location:**

## Answer

**WE AGREE WITH THE PROPOSED  
 RELOCATION OF DEVICES AS DESCRIBED**

# REQUEST FOR PROPOSAL

Request No. 14 REV 1 Date of Issuance: February 22, 2024 WHA Project Number: 1551D22

Project: City of Rochelle – RMU – Building Improvements Project

Contractor: Larson & Larson Builders, Inc., 5612 Industrial Avenue, Loves Park, IL 61111

Architect\ Engineer: Willett Hofmann & Associates, Inc., 809 East Second Street, Dixon, Illinois

**You are requested to provide a proposal for the following Work to be performed in accordance with the terms of the Contract Documents for the above referenced project.**

Install new trench drains and oil separator, and lintel and raise existing masonry openings with new lintels at 2 locations as shown on the attached drawings. WORK BY OWNER = all saw cutting of existing slab and remove of existing concrete as required.

**This is NOT an authorization to proceed with the work described above.** The Architect/Engineer and Owner shall evaluate this Proposal. If the terms of the Proposal are acceptable to the Architect/Engineer and Owner, a Change Order will be issued to modify the Contract for Construction.

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## CONTRACTOR PROPOSAL:

(Name of Contractor) Larson & Larson, Builders, Inc., shall perform the Work described above in accordance with the Contract Documents for the above referenced project for the following terms:

### **COST:**

The Contract Sum will be **increased / decreased** by the following amount:

(Stated in both words and figures, in case of a discrepancy, the amount given in words shall govern)

Sixty One Thousand Four Hundred Ninety Six and 02/100 Dollars (\$ 61,496.02).

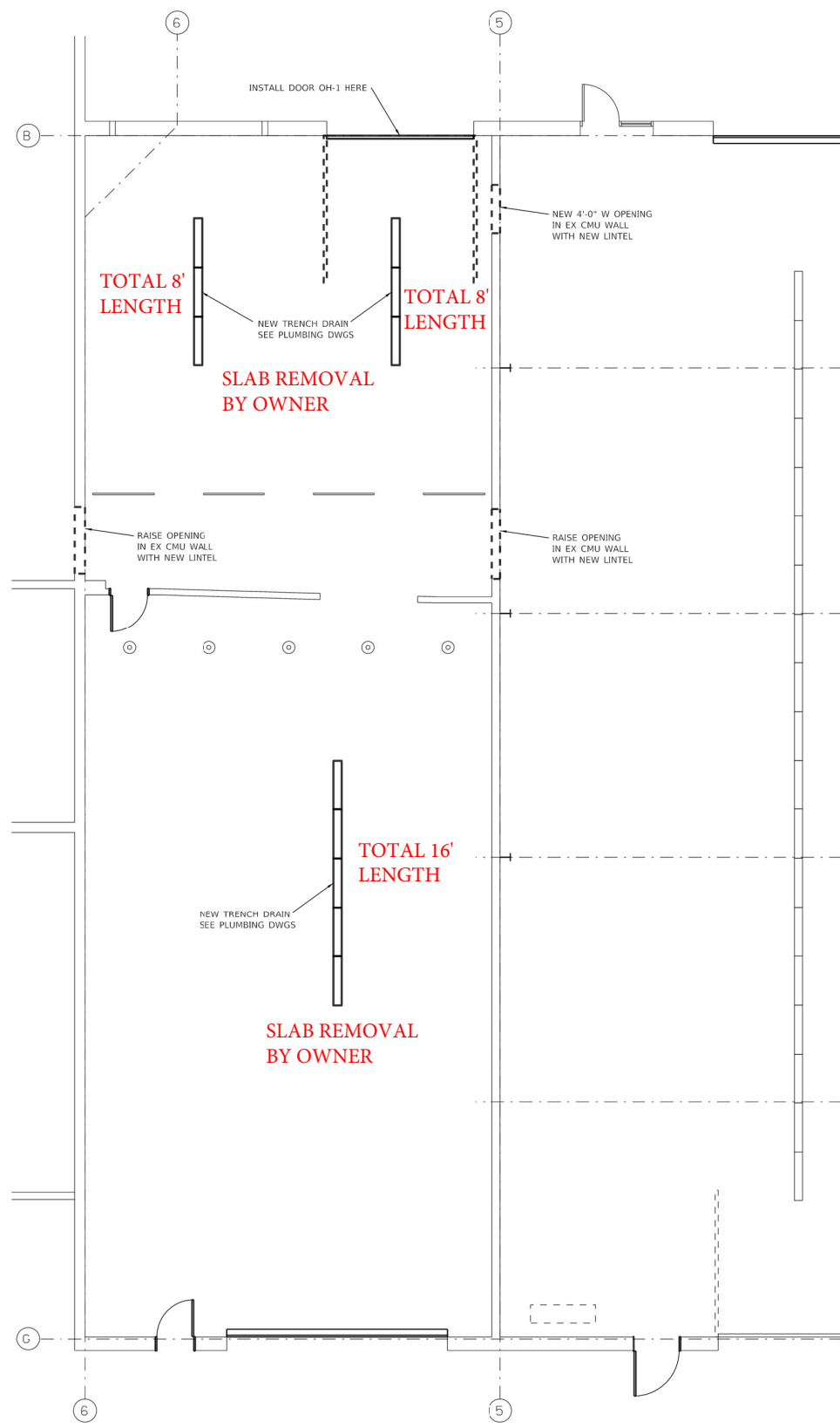
### **TIME:**

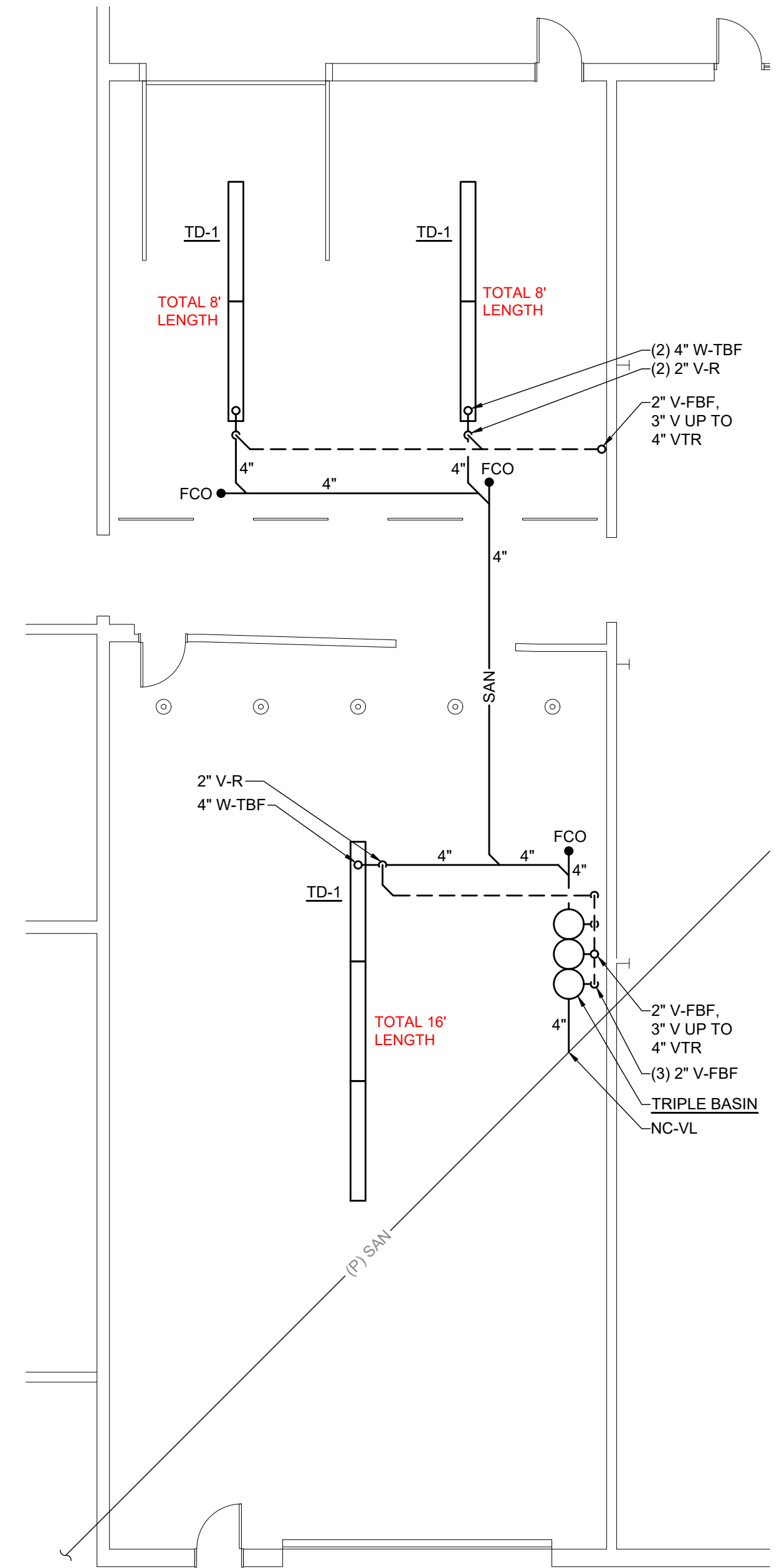
Proposed additional time requested: see attached.

### **SIGNATURE:**

General Contractor: see attached Date: \_\_\_\_\_

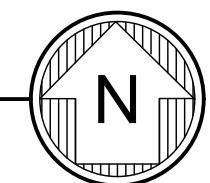
Submitted By: see attached Date: \_\_\_\_\_





**NEW WORK PLAN - SANITARY**

SCALE: 1/8" = 1'-0"



**GENERAL DRAWING NOTES: (APPLIES TO THIS SHEET)**

1. ALL UNDERGROUND PIPING IS ASSUMED. CONTRACTOR TO FIELD VERIFY SIZE, LOCATION, AND DEPTH OF ALL UNDERGROUND/INWALL PIPING PRIOR TO STARTING WORK.
2. CUT CONCRETE FLOORS AND WALLS AS NEEDED AND PATCH TO MATCH EXISTING. PLUMBING CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING OF REMOVED PLUMBING FIXTURES AND PIPING.
3. REFERENCE ORIGINAL DRAWINGS FOR TRENCH DRAIN AND TRIPLE BASIN INFORMATION.

SAW CUTTING AND REMOVAL OF EXISTING CONCRETE BY OWNER

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

DESIGNED	WHA	DATE	BY	REMARKS
DRAWN	WHA	RFP14	SUS	ADDED TRENCH DRAINS AND TRIPLE BASIN
REVIEWED	WHA			
APPROVED	WHA			



CITY OF ROCHELLE, ILLINOIS  
 ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT  
 1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068  
**SANITARY NEW WORK PLANS**

PHASE
<input type="checkbox"/> PRELIM
<input type="checkbox"/> PERMIT
<input type="checkbox"/> FINAL
<input checked="" type="checkbox"/> BID
<input type="checkbox"/> CONST

**WHA No.**  
1551D22

**DATE**  
08-09-23

**SHEET No.**

**RFP14**

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Larson & Larson Builders Inc  
 5612 Industrial Avenue  
 Loves Park, IL 61111

# Request For Change

**Rochelle Municipal Utilities B - 195ROC23**

1030 South 7th Street  
 Rochelle, IL 61068

**RFC No. 13**

**Date:** 02/12/2024  
**Sent By:** Sheri Green  
 sheri@llbuilders.net

**Respond By:** 02/19/2024  
**Sent To:** Sheri Green  
 sheri@llbuilders.net

**Change Reason:** Owner Change

**Scope:** Out Of Scope

**Title:** RFP 14 New Trench Drains, Oil Separator,  
 Relocate Door, New Masonry & Lintels REV  
 1

**Description:** Labor, equipment and material to complete work as outlined in RFP 14 REV 1 New Trench Drains, Oil Separator, Relocate Door, New Masonry & Lintels.

**Schedule Impact:**

**Scope of Work**

Item	QTY	UM	Unit Price	Price Subtotal
Sub Weaver Construction, Inc.	1	Each	\$10,350.00	\$10,350.00
Sub JB Contracting	1	Each	\$852.50	\$852.50
Sub Jack Hall Construction, Inc.	1	Each	\$11,352.00	\$11,352.00
Sub Nelson Carlson	1	Each	\$35,458.00	\$35,458.00
Sub Steel Fabricating	1	Each	\$1,048.00	\$1,048.00
Sub Markup 5%	1	Each	\$2,435.52	\$2,435.52
			<b>Price Subtotal:</b>	<b>\$61,496.02</b>
			<b>Overhead:</b>	
			<b>Total Price:</b>	<b>\$61,496.02</b>

**Review and Response**

Approved       Rejected       Request Formal Change Order       Other

*Sheri Green*      2/26/24  
 Sheri Green

Larson & Larson Builders Inc

\_\_\_\_\_  
 Sheri Green

Larson & Larson Builders Inc

228 W. Page St. - Sycamore, IL 60178

T: 815-899-1515 F: 815-899-7852 | Tom 815-739-5206 Todd 630-816-8735

[todd@weaverco.com](mailto:todd@weaverco.com)

## CHANGE ORDER ESTIMATE

Date: 2/5/2024

CUSTOMER:  
**LARSON & LARSON BUILDERS, INC.**  
Attn: **ESTIMATING**  
**5612 Industrial Ave.**  
**Loves Park, IL 61111**  
Phone: 815-633-1773  
Email: [estimating@llbuilders.com](mailto:estimating@llbuilders.com)

**CITY of ROCHELLE**  
**ROCHELLE MUNICIPAL UTILITIES**  
**RFP 14 MOVE OVERHEAD DOOR**  
**& RAISE OPENINGS**  
1030 S. 7th St.  
Rochelle, IL 61068

*We appreciate the opportunity to serve your needs.*

Project Manager:  
**Todd Weaver**

Job Title:  
**MASONRY**

Payment Terms:  
Upon receipt of Invoice; add 1.5%  
15-days after invoice date.

*Scope of work per RFP 14 to include:*

- Do all shoring and demo to raise (2) existing masonry openings to 8'.
- Do all new masonry work to finish the (2) openings.
- \* *Lintels supplied by other.*

*Total for Line Items Above = \$6,970.00*

- Cut and demo new 4" opening in masonry wall.
- Install lintel and do all finish masonry.
- \* *Lintel supplied by other.*

*Total for Line Items Above = \$3,380.00*

\* *(3) extra days required.*

Exclusions: painting, caulking, masonry sealing, setting of HM doors & frames, precast cladding, shelf angles, permits and/or bonds of any type, sidewalk canopies, engineering, premium time, masonry demo if not noted in scope, steel lintels, dumpster for cleanup.

*All labor, material, and equipment to complete work described above provided by WCI unless otherwise noted.*

Note - This is an estimate only per original discussion with owner; physical or cost change arising during construction performance will be discussed with owner and adjusted accordingly. Material is bid at current price; any increase after above estimate-date to be added to below total.

*Quality is remembered long after price is forgotten*

**TOTAL this Change Order Estimate =** **\$10,350.00**  
**TBD**



2999 St. Vincent Avenue, PO Box 1309  
La Salle, IL 61301  
Ph: 815-223-9800

PROPOSAL #: 17432  
DATE: 02/06/2024  
PROJECT: ROCHELLE MUNICIPAL

ATTN: BRANDIN KELTNER  
LARSON & LARSON BUILDERS, INC.  
5612 INDUSTRIAL AVENUE  
LOVES PARK, IL 61111

brandin@lbuilders.net  
815-633-1773

**EXTRA WORK -- RFP-14**

ELECTRICAL RE-WORK AND RE-LOCATIONS ASSOCIATED WITH RFP-14

**ADD**      \$ 852.50

PAYMENT TERMS: \_\_\_\_\_ 1.5% interest per month 18% per year due on all accounts 30 days past due.

All work to be completed as provided herein. Any Alteration or deviation from above specifications involving extra costs must be in writing. The cost of the alterations or deviation shall be in addition to the above estimate. Proposal withdrawn 30 days from above date. THIS PROPOSAL IS FURTHER SUBJECT TO THE TERMS, CONDITIONS, AND DEFINITIONS SET FORTH ON THE BACK OF THIS PROPOSAL.

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. JB Contracting Corp. ("Contractor") is authorized to begin the job specified herein. The undersigned represents and warrants that the undersigned is an authorized agent of Purchaser.

Date of Acceptance: \_\_\_\_\_

JB Contracting Corporation - JEFF SLOAN EXT 210

By: \_\_\_\_\_  
Authorized Agent

Purchaser: \_\_\_\_\_

By: \_\_\_\_\_  
Authorized Agent



# Jack Hall Construction, Inc.

5029 American Road Rockford, IL 61109

815.979.2797

Email: [estimating@jhcrockford.com](mailto:estimating@jhcrockford.com)

## REVISED PROPOSAL

TO: Larson & Larson Builders, Inc.

DATE: 02/26/2024

ATTN: Sheri Green

JOB: Rochelle Municipal Utilities Building - RFP 14 REV 1 (Rochelle, IL)

THE UNDERSIGNED PROPOSES TO FURNISH ALL MATERIAL AND PERFORM ALL LABOR NECESSARY TO COMPLETE THE FOLLOWING CONCRETE WORK:

### Scope of Work


\*All saw cutting, removal and pour back of slab necessary to install trench drains and oil separator (doweled into existing)

<u>Description of Work/Equipment/Materials</u>	<u>Cost</u>
[Labor] Prep and pour back to match existing slab	\$5,033.60
[Materials] Concrete, vapor barrier, dowels	\$5,286.40
	Subtotal: \$10,320.00
10% Markup on Subcontractor's Labor & Materials ( $\$10,320.00 \times 0.10$ ) = \$1,032.00	
<b>TOTAL INCREASE TO CONTRACT PRICE VIA RFP #14 REV 1: \$11,352.00</b>	

Notes: Concrete testing by others. Excavating down for new underground work by plumbing contractor. Joint caulking by others. Pricing assumes project is not subject to sales tax. Pricing valid for 60 days from date of Proposal.

RESPECTFULLY SUBMITTED,

Jack Hall Construction, Inc.



Adam Hall

# NELSON CARLSON MECHANICAL CONTRACTORS

1417 22nd Street. Rockford, Illinois 61108-3546 • 815 398-1910, Fax 815 398-2004

## Proposal

<b>Title</b>	<b>NCM Proposal #</b>	<b>Date</b>
<b>Plumbing</b>	<b>24-236 REV</b>	<b>2/23/2024</b>
<b>Reference/Project</b>		
<b>Rochelle Municipal Utilities Building Improvements NCM Job # 323-2737 CR # 101</b>		

<b>Purchaser:</b>	<b>Prime Bidders</b>	<b>Owner:</b>	
<b>Address:</b>		<b>Address</b>	
<b>City/ State/zip:</b>		<b>City/ State/zip:</b>	

<b>Contact</b>	<b>Phone</b>	<b>Fax</b>	<b>Email</b>
Prime Bidder			

**Proposal is based bid documents as stated below**

<b>Drawings:</b>	P1, P2, P3, P4, P5, P6, P7, & P8 RFP 14	<b>Specification:</b>	Project Manual
<b>Architect:</b>	Willet Hofman	<b>Engineer:</b>	Willet Hofman
<b>Dated:</b>	N/A	<b>Addendum:</b>	1, 2, & 3

**Scope:** This proposal and the contract that results from mutual acceptance hereof include each of the terms and conditions at the end of this proposal and on any documents, drawings, and specifications attached hereto

**We are pleased to provide the cost associated with the following**

**Clarifications and Items Included:**

- Disposal of our refuse daily
- Input into staging locations and scheduling
- Layout for concrete demolition
- Excavation, backfill, and compaction for plumbing utility trenches
- PVC DWV sanitary waste and vent piping
- Furnish and install the following fixtures
  - (1) 16' Trench drain
  - (2) 8" Trench drain
  - (1) Triple Basin Oil interceptor
  - (3) FCO floor cleanout

**Items Not Included:**

- Overtime or premium pay not noted above
- Bonds, permit fees, or liquidated damages
- Scanning, saw cutting, removal, disposal, or replacement of concrete slab
- Electrical work of any type
- Fire protection work
- HVC work of any type

**Material:     \$ 12,410.00**  
**Labor:         \$ 8,661.00**  
**Subs:          \$ 13,587.00**  
**Rental:        \$ 800.00**

<b>.00Total Price:</b>	<b>\$ 35,458.00</b>	<b>Terms:</b>	0%	Is payable with your order
<b>Tax:</b>	Not Included	STD	X	Net 30days after invoiced date, monthly progress billing, 1-1/2% monthly finance charge assessed on past due invoices
<b>Bond:</b>	Not Included	ALT		

This Proposal is not an offer to furnish equipment or services but when signed by the purchaser below, it becomes the purchaser's offer to buy the equipment and services described herein at the prices and on the terms and conditions indicated in this proposal, which can be accepted following a credit approval only by a written notice of acceptance signed by an officer of seller

Sincerely Yours, *Jason Bottensek*, Jason Bottensek, Project Estimator

**Acceptance and Authorization:** The above prices, specifications and all terms and conditions are satisfactory and are hereby accepted. We offer to buy and authorize you to do the work as specified. Payment will be made as outlined

By: \_\_\_\_\_ Title: \_\_\_\_\_ Date: \_\_\_\_\_ PO # \_\_\_\_\_

**Sellers Acceptance:** This proposal may be withdrawn by us if not accepted in 30 Days.

**The undersigned hereby accepts your offer based on this proposal**

**BY:** \_\_\_\_\_ **Title:** \_\_\_\_\_ **Date:** \_\_\_\_\_

General Conditions

The following conditions shall be considered a part of this contract.

1. Seller guarantees the equipment and workmanship of the apparatus furnished under this contract, and will replace or repair any defects, not due to ordinary wear and tear, or to improper use or maintenance, which may develop within one year from the date of completion. Seller further agrees to replace any refrigerant lost during that period, caused by defects in the installation, and not due to improper use or maintenance.
2. Seller's liability resulting from the design, manufacture, and erection of equipment, whether on warranties or otherwise, shall be limited to the cost of correcting defects in the installation, as further provided herein, in no event shall the seller be liable for consequential damages.
3. On delivery of the equipment by seller, or any part thereof, to the premises of the buyer, buyer shall assume risk of loss or damage to such equipment and shall cause same to be insured in all respects against loss or damage in an amount to protect the interest of the seller. Cost of insurance is to be paid by the buyer.
4. Unless other wise agreed work shall be preformed during regular working hours. If overtime is mutually agreed upon and preformed, the additional price, at the seller's usual rates, shall be added to the contract.
5. Buyer shall provide the seller's workman a safe place in which to work, and the seller shall have the right to discontinue work when, in the sellers opinion, this clause is being violated. Seller shall not be liable for any delay, loss, or damage caused by such delay
6. Buyer shall be responsible for structural ability of the premises to contain the equipment in the manner and location specified in the contract or shown on drawings, and the seller shall not be liable for any failure, or damage resulting from such failure, of premises, due to such structural deficiency
7. In the event that material incorporated in this contract is for delivery and installation, and buyer is unable to receive same, Seller shall have the right to bill buyer for the amount of the material in accordance with the terms of the contract and also to provide suitable storage and insurance at the buyer's expense.
8. Seller shall not be held responsible or liable for any loss, damage detention, or delay caused by accidents, strikes, lockouts, or by any other cause which is unavoidable or beyond the seller's control.
9. Title to the equipment remains in the seller until payment of the entire purchase price and all sums due the seller under this contract are fully made. All equipment, whether affixed to the reality or not, shall remain personal property and be deemed serviceable without injury to the free hold. Buyer shall do whatever may be required to maintain the seller's title.  
In the event of default of payment or any installment or failure to perform any terms or conditions of their contract, or in the event that a proceeding bankruptcy or insolvency be instituted by or against the buyer, or if equipment is misused, illegally used, or imperiled, then at seller's option the entire unpaid balance shall become immediately due and payable without notice or demand and in such case seller may enter the premises and retake, remove, and hold or resell the equipment or any part thereof at either private or public sale. If the unpaid balance plus interest is not satisfied by the proceeds of such sale after deducting the expense of retaking, repairs necessary to place the equipment in sellable condition, storage, taxes, liens, attorney's fee's and other expenses in connection therewith, buyer shall pay any deficiency as liquidated damages for breach of this contract. Seller shall retain all lien rights upon premises on which the installation is made, to the extent of the unpaid balance, until final payment is made.
10. Should the seller be delay by reason of any default on the part of the buyer of the terms and conditions of this contract, the entire contract price, less payment theretofore made, shall become due, and shall bear interest at the full legal rate from the date of billing.
11. Any price or prices herein set forth shall be increased in an amount or amounts equal to the tax or taxes which may be assessed on the equipment supplied hereunder, or which may be due or become due by the seller, or which the seller may be required to pay with respect to this contract as a result of any excise, sales, use, occupation, or similar tax not in effect but hereafter imposed or made effective by the United states Government or any State or local government.
12. Upon completion of the installation, seller shall fully instruct buyer in the regard to operation and maintenance. If for a period of eight months immediately after the equipment supplied hereunder is installed, Buyer fails to notify seller in writing of any claim that the said equipment as supplied does not fulfill the terms and conditions of this contract, specifying in what particulars it fails, this shall be an acknowledgement by the buyer that said equipment as supplied does fulfill said terms and conditions, and shall constitute a complete acceptance of the installation.  
If buyer claims that the plant does not fulfill the terms and conditions of the contract, he shall notify seller in writing the this effect, specifying in what particular it fails. A responsible length of time shall them be allowed to remedy any defects or deficiencies that may exist, or to demonstrate to buyer the capacity of the plant to fulfill the terms and conditions. If the plant then fails to fulfill the terms and conditions of the contract, seller may then remove the equipment upon refunding all moneys paid therefore, and thereafter no liability shall exist whatsoever in favor of either party as against the other and this contract shall thereupon be terminated.
13. Buyer shall keep the equipment free of taxes and encumbrances, shall not remove said equipment from the premises without written permission of seller , and shall not transfer an interest in said equipment or in this contract with out written consent of seller until all payment s due hereunder have been made.
14. Buyer shall not assign this contract or any rights there under without the seller's written consent.
15. Contractor's scope of work shall not include the identification, detection, abatement, encapsulation, or removal of asbestos, or product or materials containing asbestos or similar hazardous substances  
.In the event that contractor encounters any such products or materials in the course of performing its work, contractor shall have the right to discontinue its work and remove its employee's from the project until such products or materials and any hazards connected there within are abated, encapsulated or removed, or it is determined that no hazard exist (as the case may require), and the contractor shall receive an extension of time to complete its work hereunder and compensation for delays encountered as a result of such situation and correction of same.
16. This proposal, when signed and accepted by the buyer, and approved by an authorized representative of Nelson Carlson Mechanical Contractors shall constitute exclusively the contract between the parties, and all prior representations or agreements, whether written or verbal, not incorporated herein, are superseded.
17. This contract is not valid unless approved by a duly authorized representative of Nelson Carlson mechanical Contractors.



# Change Order Request # 1

February 5, 2024

Job # F23-093

Project: Rochelle Municipal

Please issue a change order for the following if you wish to proceed:

**Items- Main List**

- Supply 1 Lintel, B to B Angles 5x3-1/2x5/16 x 6'-0" +/-
- Supply 2 Lintels, B to B Angles 5x3-1/2x5/16 x 8'-0" +/-
- Prime Painted and Delivered
- No Specs Supplied for Lintel Sizing.

For the sum of: **\$ 1,048.00**, No Tax

Sincerely,  
Steel Fabricating, Inc.  
Greg Schlickman  
gschlickman@steelfabrkd.com  
(815) 977-5355

# REQUEST FOR PROPOSAL

Request No. 15 Date of Issuance: February 26, 2024 WHA Project Number: 1551D22

Project: City of Rochelle – RMU – Building Improvements Project

Contractor: Larson & Larson Builders, Inc., 5612 Industrial Avenue, Loves Park, IL 61111

Architect\ Engineer: Willett Hofmann & Associates, Inc., 809 East Second Street, Dixon, Illinois

**You are requested to provide a proposal for the following Work to be performed in accordance with the terms of the Contract Documents for the above referenced project.**

Expand Rooms 110, 111 and 112 as shown on the attached drawings.  
Provide required welding at lintels at 2 OH door locations per attached sketch.

**This is NOT an authorization to proceed with the work described above.** The Architect/Engineer and Owner shall evaluate this Proposal. If the terms of the Proposal are acceptable to the Architect/Engineer and Owner, a Change Order will be issued to modify the Contract for Construction.

---

## CONTRACTOR PROPOSAL:

(Name of Contractor) Larson & Larson, Builders, Inc., shall perform the Work described above in accordance with the Contract Documents for the above referenced project for the following terms:

### COST:

The Contract Sum will be **increased / decreased** by the following amount:  
(Stated in both words and figures, in case of a discrepancy, the amount given in words shall govern)

One Hundred Thirty Eight Thousand Nine Hundred Twelve and 81/100 Dollars (\$ 138,912.81).

### TIME:

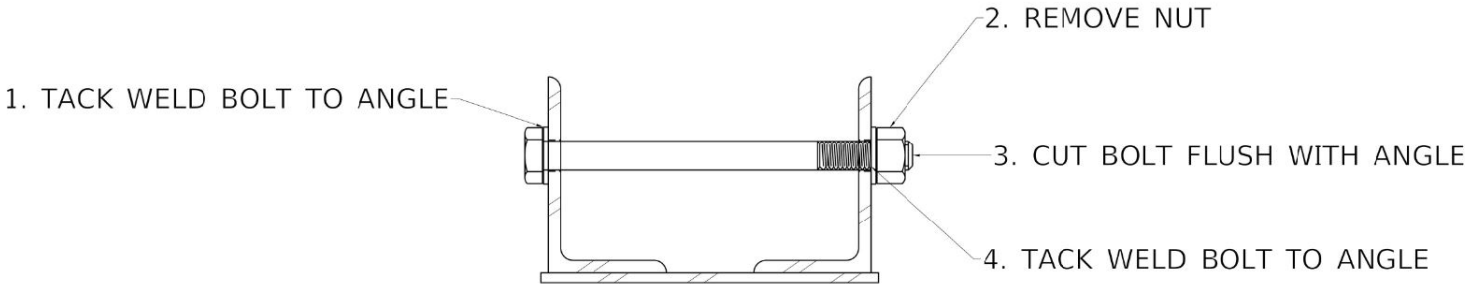
Proposed additional time requested: New Completion Date = May XX, 2024.

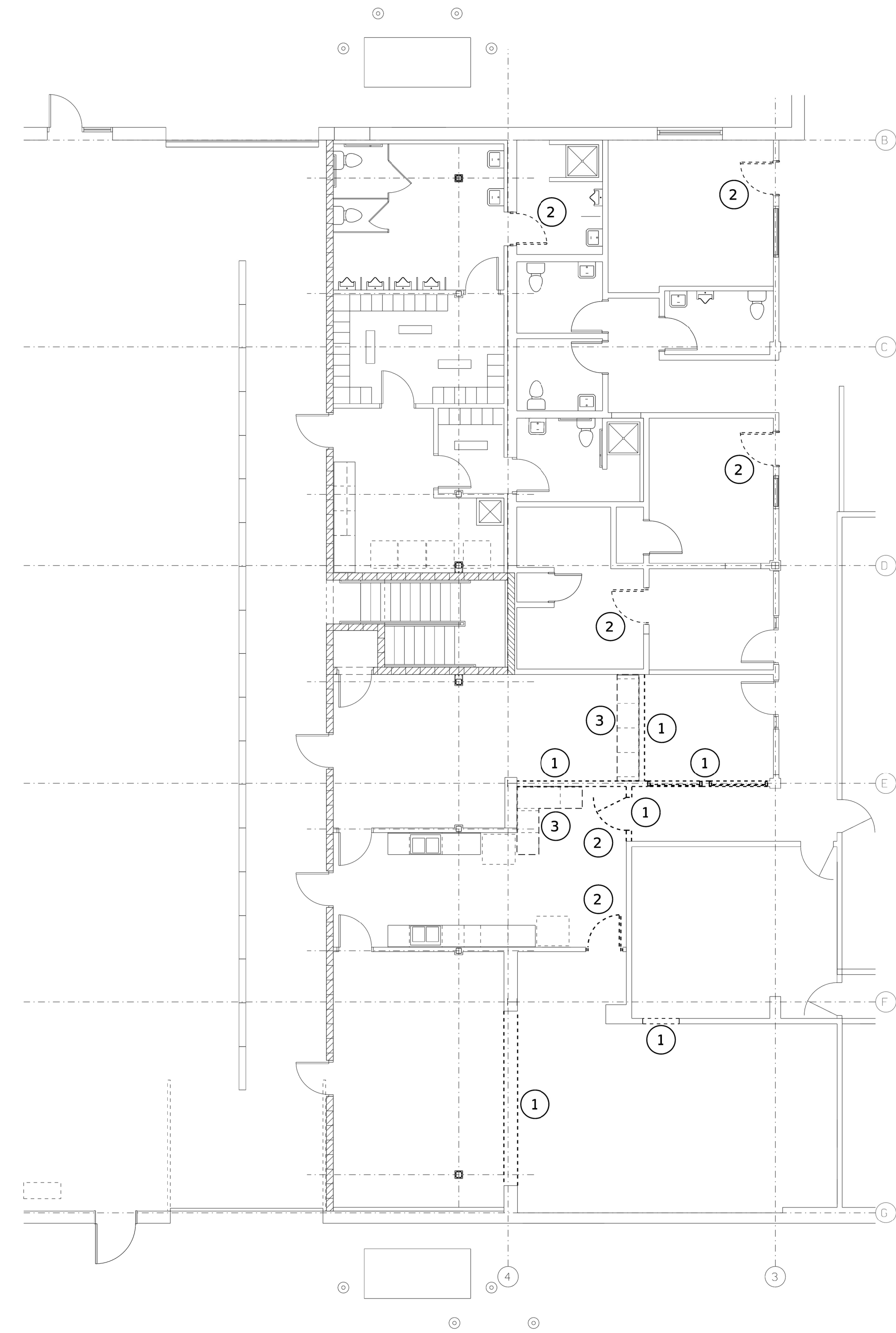
### SIGNATURE:

General Contractor: see attached Date: \_\_\_\_\_

Submitted By: see attached Date: \_\_\_\_\_

**AT OVERHEAD DOOR LINTELS AT 2 LOCATIONS:**



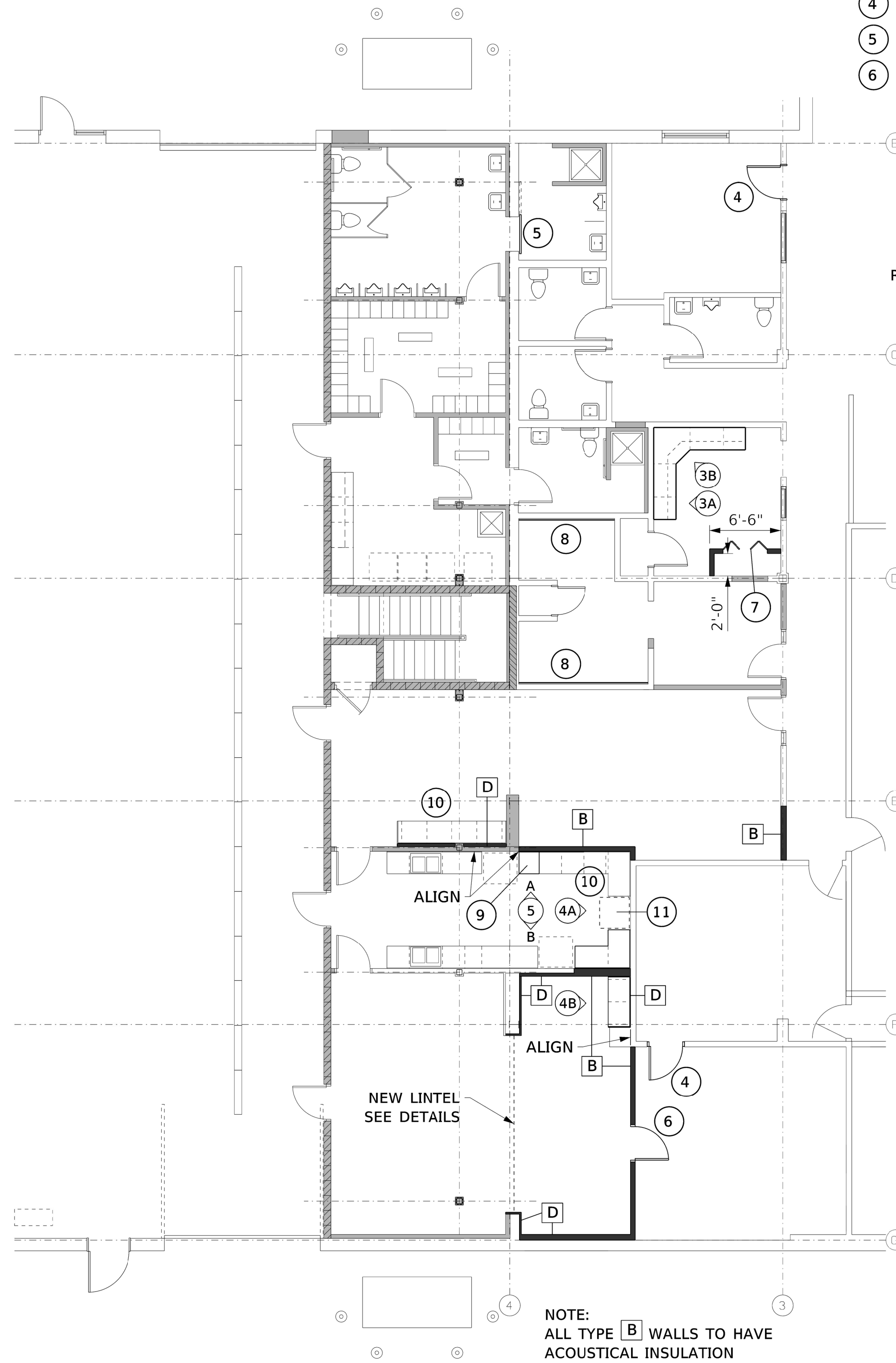


SEE MEP PLANS FOR RFP 15  
REFERENCE 1/D1 AND 1/A3 PLUS ADDENDAS, RFPs & CHANGE ORDERS

**1**  
RFP15.1  
**DEMOLITION PLAN**

SCALE  
0' 8' 16' 24'

PROJECT NORTH



SEE MEP PLANS FOR RFP 15  
REFERENCE 1/A3 PLUS ADDENDAS, RFPs & CHANGE ORDERS

**2**  
RFP15.1  
**NEW WORK PLAN**

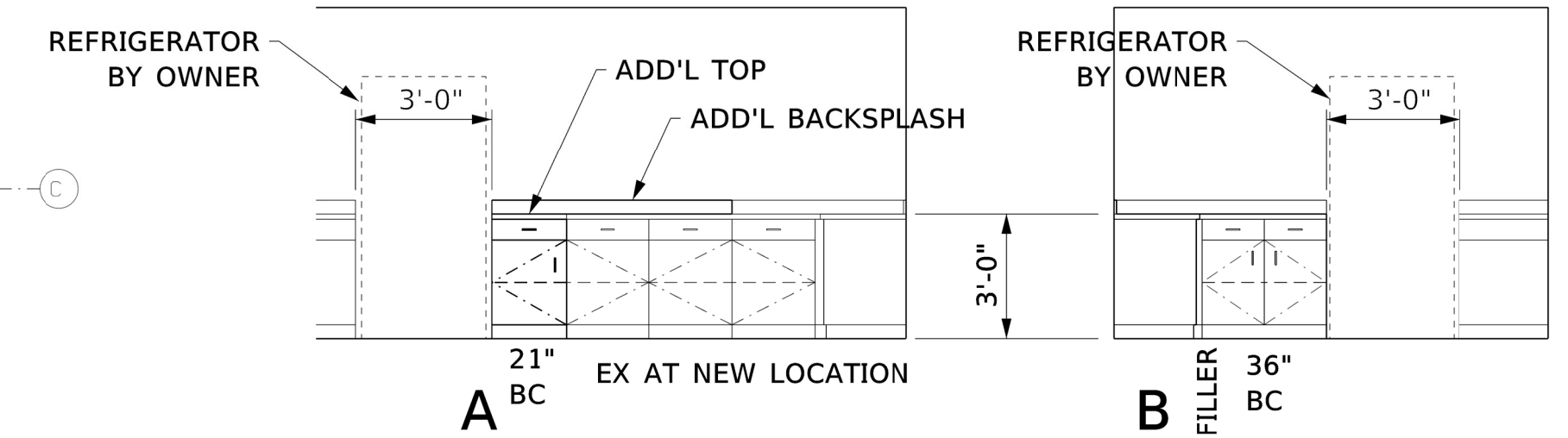
SCALE  
0' 8' 16' 24'

PROJECT NORTH

NOTE:  
ALL TYPE B WALLS TO HAVE  
ACOUSTICAL INSULATION

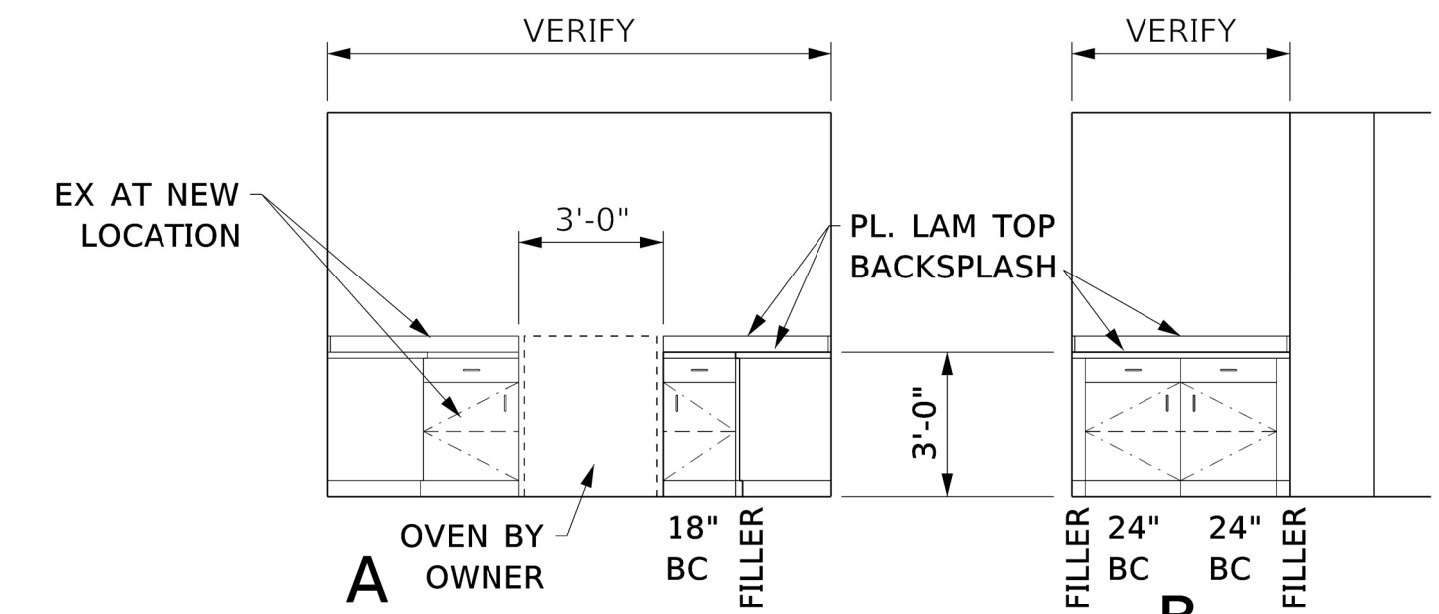
**KEY NOTES THIS SHEET**

- 1 = REMOVE EXISTING WALL
- 2 = REMOVE EXISTING DOOR
- 3 = RELOCATE CASEWORK (NOT YET INSTALLED)
- 4 = RELOCATED EXISTING DOOR
- 5 = NEW POCKET DOOR
- 6 = NEW TYPE 'F' DOOR. NEW TYPE 'F1' FRAME. PASSAGE LOCKSET, CLOSER, 3 BB HINGES.
- 7 = NEW BI-FOLD DOORS 4'-0" OPENING
- 8 = PATCH EXISTING WALL - 5/8" GWB
- 9 = ADDITIONAL BASE CABINET, COUNTERTOP & BACKSPLASH. SEE DETAIL 5.
- 10 = RELOCATED (NOT YET INSTALLED) CASEWORK NEW LOCATION.
- 11 = FUTURE RANGE/OVEN BY OWNER



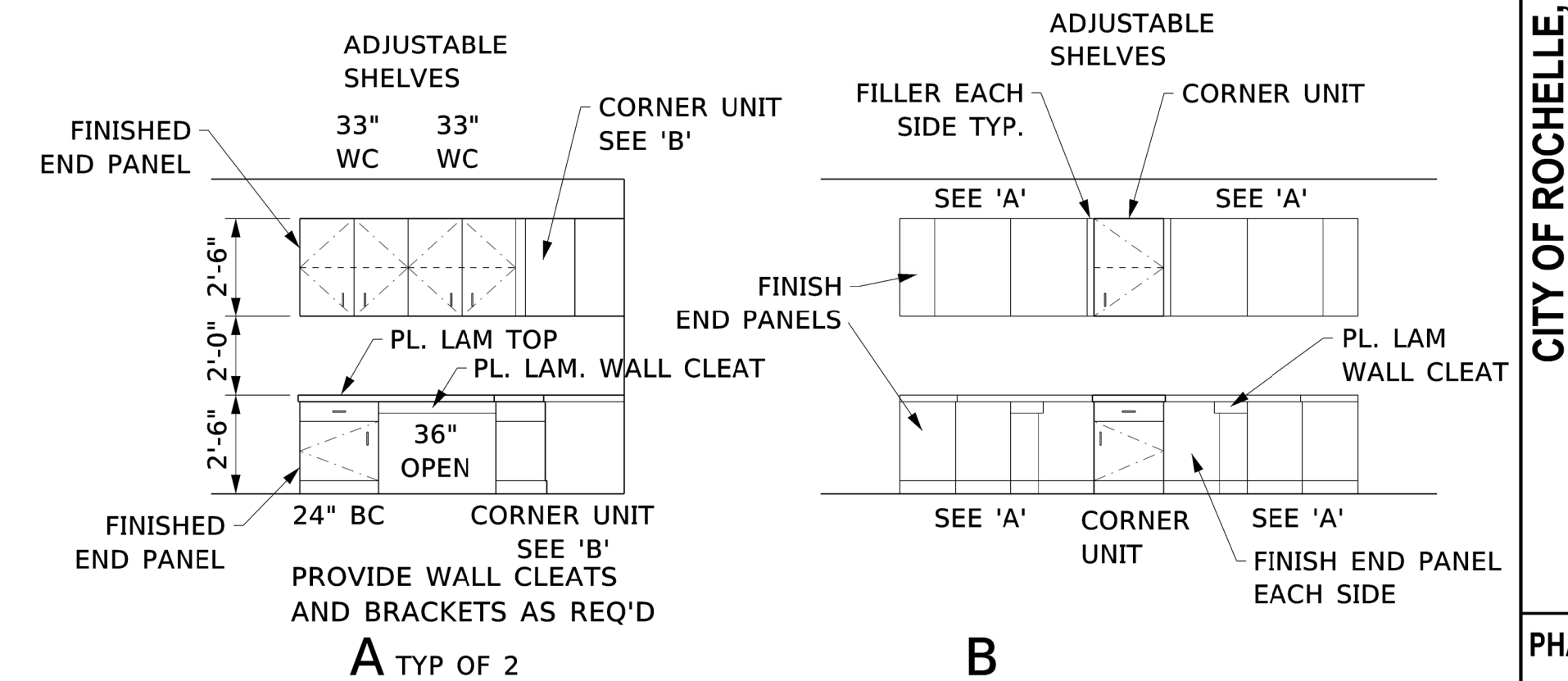
**5**  
RFP15.1  
**INTERIOR ELEVATION**

SCALE  
0' 4' 8' 12'



**4**  
RFP15.1  
**INTERIOR ELEVATION**

SCALE  
0' 4' 8' 12'



**3**  
RFP15.1  
**INTERIOR ELEVATION**

SCALE  
0' 4' 8' 12'

DESIGNED	WHA	REV	DATE	BY	REMARKS
DRAWN	WHA				
REVIEWED	TJH				
APPROVED	TJH				

**WILLET HOFMANN & ASSOCIATES, INC.**  
ENGINEERING ARCHITECTURE LAND SURVEYING  
809 EAST 2ND STREET, DOWN, IL 61021-0367  
TEL: 815-284-4338 DESIGN: RFP15-1

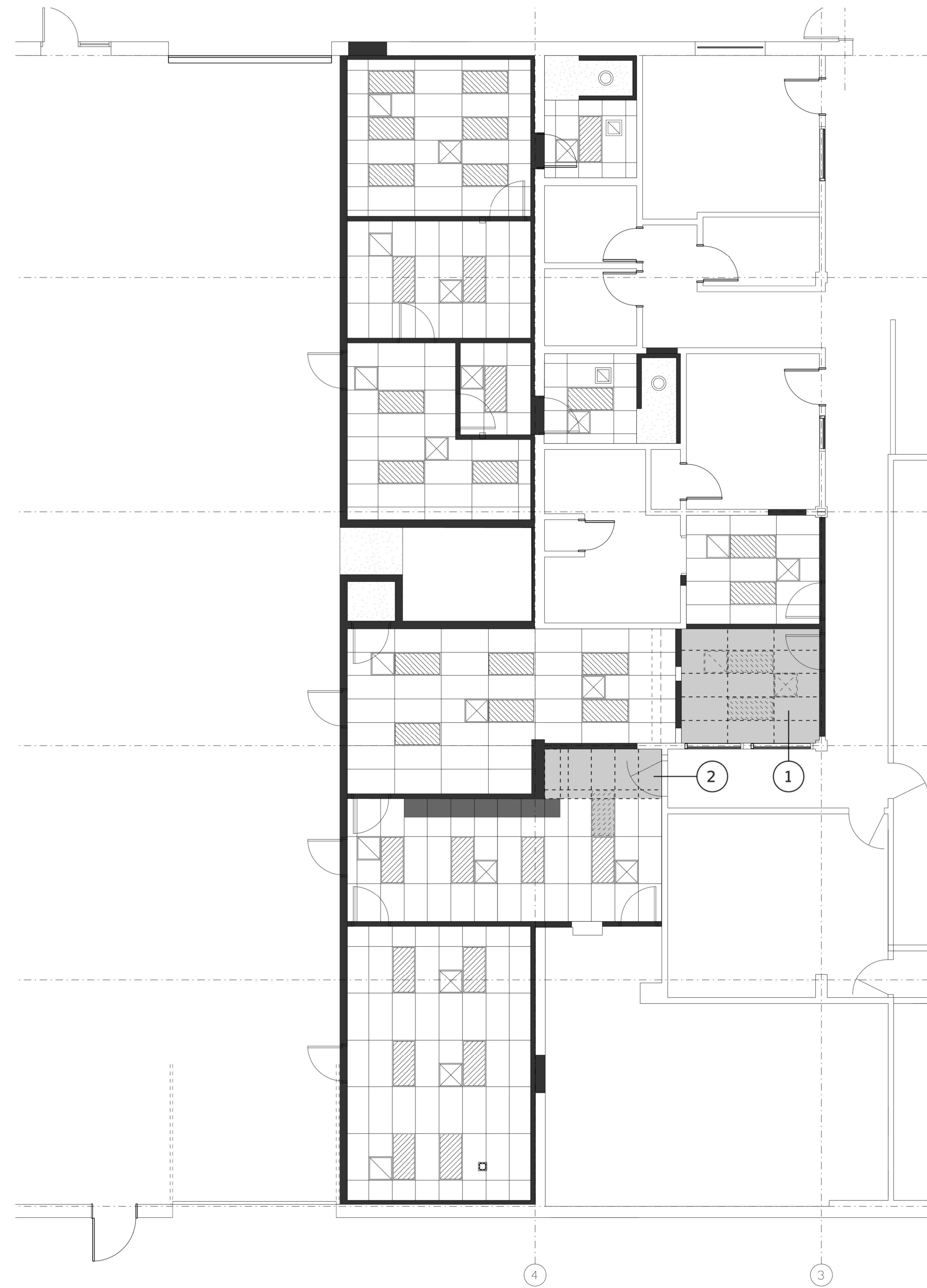
**CITY OF ROCHELLE, ILLINOIS**  
**ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT**  
1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068

**RFP 15 - FLOOR PLANS AND ELEVATIONS**

PHASE	STATUS
PRELIM	<input type="checkbox"/>
PERMIT	<input type="checkbox"/>
FINAL	<input type="checkbox"/>
BID	<input type="checkbox"/>
CONST	<input type="checkbox"/>

WHA No. 1551D22  
DATE 2-25-24  
SHEET No. RFP 15-1

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SEE MEP PLANS FOR RFP 15  
REFERENCE 1/D1 AND 1/A5 PLUS ADDENDAS, RFPS & CHANGE ORDERS

**1**  
RFP15.2

**DEMOLITION PLAN**

SCALE

0' 8' 16' 24'

PROJECT NORTH



SEE MEP PLANS FOR RFP 15  
REFERENCE 1/A5 PLUS ADDENDAS, RFPS & CHANGE ORDERS

**2**  
RFP15.2

**NEW WORK PLAN**

SCALE

0' 8' 16' 24'

PROJECT NORTH

**KEY NOTES THIS SHEET**

- ① = REMOVE EXISTING CEILING TILE/GRID/LIGHTING
- ② = RECONFIGURE ORIGINAL BID CEILING TILE/GRID/LIGHTING
- ③ = PATCH EXISTING CEILING THIS AREA - 5/8" GWB
- ④ = NEW CEILING TILE/GRID/LIGHTING

DESIGNED	WH	DATE	BY	REMARKS
DRAWN	WH			
REVIEWED	TWH			
APPROVED	TWH			

**WILJETT HOFMANN & ASSOCIATES, INC.**  
ENGINEERING ARCHITECTURE LAND SURVEYING  
809 EAST 2ND STREET, DODON, IL 61021-0367  
TEL: 815-284-4387 DESIGN PRIME #184-00018

**CITY OF ROCHELLE, ILLINOIS**  
ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT  
1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068  
RFP 15 - CEILING PLANS

PHASE

- PRELIM
- PERMIT
- FINAL
- BID
- CONST

WHA No.  
1551D22

DATE  
2-25-24

SHEET No.  
RFP 15-2

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### GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ROCHELLE MUNICIPAL CODE AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION
- THE PURPOSE OF THESE GENERAL NOTES IS TO INFORM THE CONTRACTOR OF THE STRUCTURAL DESIGN CRITERIA INCLUDING DESIGN LOAD VALUES AND MATERIAL STRENGTHS, MINIMUM INFORMATION REQUIRED ON SHOP DRAWINGS, AND MISCELLANEOUS ITEMS NOT SHOWN OR SPECIFIED ELSEWHERE.
- THE CONTRACTOR SHALL COORDINATE STRUCTURAL WORK WITH ALL OTHER DISCIPLINES INVOLVED IN THIS PROJECT. COORDINATION INCLUDES LOCATING THICKENED SLABS, DRAINS, SLOPES, ANCHOR BOLT SETTINGS, EMBEDDED STEEL PLATES, SLEEVES FOR PIPING, CONDUIT, AND ETC. BEFORE CONSTRUCTION BEGINS. THE LOCATION AND SIZES OF OPENINGS AND SLEEVES IN STRUCTURAL MEMBERS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY CONFLICTS BEFORE COMMENCEMENT OF THE WORK.
- WHERE NEW AND EXISTING STRUCTURAL FEATURES INTERFACE, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS OF EXISTING STRUCTURES THAT ARE RELEVANT TO THIS PROJECT. THESE DIMENSIONS SHALL BE SHOWN ON THE SHOP DRAWINGS AT THE TIME OF SUBMITTAL TO THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF FIELD CONDITIONS WHICH ARE IN CONFLICT WITH THE STRUCTURAL CONTRACT DOCUMENTS.
- THESE CONTRACT DRAWINGS SHALL NOT BE SCALED FOR THE PURPOSE OF ESTABLISHING CORRECT DIMENSIONS. THE CONTRACTOR SHALL OBTAIN CORRECT DIMENSIONS FROM THE ENGINEER OR AS REQUESTED ON THE SHOP DRAWINGS.
- ELEVATIONS AS SHOWN ON THE STRUCTURAL DRAWINGS ARE REFERENCE ELEVATIONS.
- TYPICAL AND CERTAIN SPECIFIC CONDITIONS HAVE BEEN DETAILED ON THE DRAWINGS. FOR CONDITIONS NOT SPECIFICALLY SHOWN, THE CONTRACTOR SHALL PREPARE DETAILS SIMILAR TO THOSE SHOWN AND SUBMIT THEM WITH RELEVANT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING/SHORING/SHEET PILING, UNDERPINNING, OR OTHER SYSTEMS AS NECESSARY TO PROTECT STRUCTURES AND FOUNDATIONS SO THAT STABILITY WILL BE MAINTAINED DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE AND FOUNDATIONS ARE DESIGNED FOR A COMPLETED CONDITION AND THEREFORE REQUIRE ADDITIONAL SUPPORT TO MAINTAIN STABILITY BEFORE COMPLETION.
- THE CONTRACTOR SHALL SUBMIT PROPOSED CONCRETE MIX DESIGNS FOR REVIEW AND APPROVAL.
- THE OWNER MAY ENGAGE THE SERVICES OF A TESTING AGENCY TO PERFORM FIELD QUALITY CONTROL INSPECTIONS AND TESTS RELATED TO THE FOLLOWING:
  - SUBGRADE FOR CONCRETE POURS
  - CONCRETE SAMPLING AND TESTING

### STRUCTURAL STEEL NOTES:

STRUCTURAL STEEL FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, LATEST EDITION. THE SERVICES PROVIDED IN THESE PLANS DO NOT REPRESENT 'SHOP FABRICATION DRAWINGS'.

THE GEOMETRY OF THE FRAMING SHALL BE VERIFIED BY THE CONTRACTOR.

DESIGN IN GENERAL ACCORDANCE WITH THE FOLLOWING CODE STANDARDS:

- AISC 360
- AISC 348 - SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 BOLTS
- AWS D1.1 - STRUCTURAL WELDING CODE - STEEL
- ASCE 7-10

MATERIALS PER THE FOLLOWING UNLESS NOTED OTHERWISE:

- WIDE FLANGE (W) & WT SHAPES.....ASTM A992
- CHANNEL (C) & ANGLE (L) SHAPES.....ASTM A36
- STRUCTURAL BARS & PLATES (PL).....ASTM A36
- HOLLOW STRUCTURAL SECTION - RECTANGULAR (HSS).....ASTM A500, GRADE C
- HOLLOW STRUCTURAL SECTION - ROUND (HSS).....ASTM A500, GRADE C
- STRUCTURAL PIPE, (PIPE) 12" DIA. AND LESS.....ASTM A53, GRADE B
- HIGH-STRENGTH BOLTS.....ASTM A325, TYPE 1, PLAIN NUTS.....ASTM A563
- WASHERS (FLAT OR BEVELED).....ASTM F436 - REQUIRED PER PLANS
- ANCHOR RODS.....ASTM F1554, GR. 36
- WELDING ELECTRODES.....70 KSI

BOLTED CONNECTIONS:

- HIGH STRENGTH BOLTS SHALL BE OF THE ASTM GRADE AND TYPE SPECIFIED IN THE MATERIALS SECTION. UNLESS NOTED OTHERWISE, INSTALL BOLTS IN JOINTS IN ACCORDANCE WITH THE RCSC SPECIFICATION AS JOINT TYPE ST, "SNUG TIGHT" - PER RCSC SPECIFICATION TABLE 4.1.
- ALL BOLTS SHALL INCLUDE NUTS AND WASHERS.
- ALL BOLT HOLES SHALL BE 1/16" LARGER THAN BOLT DIAMETER UNLESS NOTED OTHERWISE.

WELDING:

- WELDING SHALL CONFORM TO AWS D1.1 AND VISUALLY CONFORM TO AWS SECTION 6 AND TABLE 6.1.
- FABRICATION/ERECTION INSPECTIONS BY THE CONTRACTOR PER AWS D1.1 SECTIONS 6, SHALL BE BY CERTIFIED INSPECTORS PER AWS QCI OR AWS B5.1.
- WELDERS SHALL BE QUALIFIED FOR THE SPECIFIC PREQUALIFIED JOINTS REQUIRED BY THE DESIGN AND CERTIFIED IN ACCORDANCE WITH AWS REQUIREMENTS.
- WELDING SHALL BE DONE IN ACCORDANCE WITH APPROPRIATE WELD PROCEDURE SPECIFICATIONS (WPS'S). WELDERS SHALL BE FAMILIAR WITH THE APPLICABLE WPS'S.
- WELDING SHALL BE DONE WITH AWS PREQUALIFIED WELDING PROCESSES UNLESS OTHERWISE APPROVED.
- WELDER QUALIFICATIONS AND WPS'S SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR AND AVAILABLE UPON REQUEST, BOTH IN THE SHOP AND IN THE FIELD.
- USE 70 KSI STRENGTH ELECTRODES APPROPRIATE FOR THE PROCESS SELECTED.
- VISUALLY INSPECT ALL WELDS PER SPECIAL INSPECTION REQUIREMENTS FOR STEEL AND AWS SECTION 6.5 AND TABLE 6.1.
- WELDING OF ANCHOR RODS IS PROHIBITED.

INSPECTION REQUIREMENTS:

STRUCTURAL WELDING INSPECTIONS AND QUALIFICATIONS SHALL CONFORM TO THE AWS D1.1. SPECIAL INSPECTOR SHALL REVIEW THE PROCEDURES FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE AND THE WORK.

FURTHER SHOP SPECIAL INSPECTIONS MAY BE WAIVED IF THE FABRICATOR IS "AISC CERTIFIED" OR OTHERWISE "APPROVED" BY THE BUILDING AUTHORITY HAVING JURISDICTION PER IBC SECTION 1704.2.2.

PERIODIC INSPECTIONS SHALL INCLUDE THE INITIAL QUALITY VERIFICATION INSPECTION, AN INSPECTION DURING THE FABRICATION OF THE FIRST 5 TONS OF STEEL AND ONE SHOP VISIT FOR EVERY 1/4 FRACTION THEREAFTER AND A FINAL INSPECTION AT THE COMPLETION OF FRAMING.

ERECTION:

- CONFORM TO AISC 303, SECTION 7 "ERECTION", SECTION 8 "QUALITY ASSURANCE: AND AISC 360, SECTION M4.
- THE ERECTOR SHALL MAINTAIN DETAILED FABRICATION AND ERECTION QUALITY CONTROL PROCEDURES THAT ENSURE THAT THE WORK IS PERFORMED IN ACCORDANCE WITH AISC 360 SECTION M, AISC 303, AND THE CONTRACT DOCUMENTS.
- STEEL WORK SHALL BE CARRIED UP TRUE AND PLUMB WITHIN THE LIMITS DEFINED IN AISC 303 SECTION 7.13.
- STRUCTURAL WELDING TO CONFORM TO THE AWS D1.1.
- SPECIAL INSPECTOR SHALL INSPECT THE STEEL FRAMING TO VERIFY COMPLIANCE WITH THE DETAILS SHOWN ON THE CONTRACT DOCUMENTS INCLUDING MEMBER SIZE, LOCATION, BRACING AND THE APPLICATION OF PROPER JOINT DETAILS AT EACH CONNECTION.
- HIGH STRENGTH BOLTING SHALL BE PERIODICALLY INSPECTED BY THE SPECIAL INSPECTOR PER IBC SECTION 1704.3.3.

BRACING PROTECTIONS:

THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SAFETY PROTECTION REQUIRED BY AISC 360 SECTION M4.2 AND AISC 303 SECTION 7.10 AND 7.11.

COATING REQUIREMENTS:

SHOP PAINTING: CONFORM TO AISC 360 SECTION M3 AND AISC 303 SECTION 6.5 UNLESS A MULTI-COAT SYSTEM IS REQUIRED PER THE OWNER. WELD AREAS SHALL BE PAINTED AFTER TESTING.

EXTERIOR STEEL: EXPOSED EXTERIOR STEEL SHALL BE PROTECTED BY AN EXTERIOR MULTI-COAT SYSTEM AS PER THE OWNER WITH FIELD TOUCH-UP PAINTING ON ALL PERFORATED AREAS OF THE SHOP OR EXTERIOR COAT SYSTEM.

### STRUCTURAL DESIGN LOADS:

INTERNATIONAL BUILDING CODE, 2015

6" CMU WALL DEAD LOAD = 64 PSF

SNOW

NOT APPLICABLE

WIND

V = 107 MPH (RC II)  
EXPOSURE CATEGORY: B  
GCPI = 0  
C&C P = 30 PSF

SEISMIC

SDS = 0.13  
SD1 = 0.10  
SITE CLASS = D  
SEISMIC DESIGN CATEGORY = B

REVISION	DATE	BY	REMARKS

DESIGNED	CTC
DRAWN	CTC
REVIEWED	XXX
APPROVED	XXX

CITY OF ROCHELLE, ILLINOIS  
 ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT  
 1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068



**WILLETT HOFMANN & ASSOCIATES INC.**  
 ENGINEERING ARCHITECTURE LAND SURVEYING  
 57 AIRPORT DRIVE, ROCKFORD, IL 61109  
 T: 815-964-2897 DESIGN FIRM NO. 184-00918-0015

STRUCTURAL GENERAL NOTES (1 OF 2)

PHASE		
<input type="checkbox"/> PRELIM	<input type="checkbox"/> FINAL	<input type="checkbox"/> CONST
<input checked="" type="checkbox"/> PERMIT	<input type="checkbox"/> BID	<input type="checkbox"/> _____

WHA No.	SHEET No.
1551D22	1
DATE	
02/28/2024	

**WILLETT HOFMANN AND ASSOCIATES**  
 Illinois Professional Design Firm No. 184-00918  
 5 Sheets Only  
 For Structural Adequacy Only

CHAD T. CLAUSON  
 LICENSED STRUCTURAL ENGINEER  
 081-009025  
 STATE OF ILLINOIS

*Chad T. Clauson* DATE 2/26/24  
 CHAD T. CLAUSON  
 ROCKFORD, ILLINOIS  
 ILLINOIS LICENSED STRUCTURAL ENGINEER NO. 081-005981  
 EXPIRES 11-30-2024

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## STRUCTURAL CONCRETE NOTES:

### GENERAL

1. COMPLY WITH PROVISIONS OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," AND CRSI "MANUAL OF STANDARD PRACTICE," LATEST REVISIONS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED.

### CONCRETE MIXES

1. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
2. ALL EXPOSED EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED 4 TO 7 PERCENT. ADMIXTURE TO CONFORM TO ASTM C260.
3. WATER SHALL NOT BE ADDED TO CONCRETE AT THE JOBSITE BEYOND THE MIX DESIGN AMOUNT. ADDITIONAL WATER SERIOUSLY REDUCES CONCRETE STRENGTH AND INCREASES SHRINKAGE. REQUEST A "HIGH RANGE WATER REDUCER" (SUPERPLASTICIZER) FOR MORE WORKABLE CONCRETE. ADMIXTURE TO CONFORM TO ASTM C494 TYPE F OR G.
4. THE CONTRACTOR SHALL ENGAGE A TESTING AGENCY ACCEPTABLE TO THE ENGINEER TO DESIGN CONCRETE MIXES IF ACCEPTABLE FIELD-TESTED MIXES ARE NOT AVAILABLE. SUBMIT PROPOSED MIX DESIGN(S) TO THE ENGINEER FOR REVIEW WELL IN ADVANCE OF THE TIME FOR PLACING CONCRETE.
5. ALL AGREGATES MUST BE CERTIFIED TO BE NON-REACTIVE AND ANY ADMIXTURES MUST BE CERTIFIED TO BE FREE OF CHLORIDES.
6. PORTLAND CEMENT TO BE TYPE II OR AT THE CONTRACTOR'S OPTION, TYPE I WITH FLY ASH OR TYPE II WITH SILICA FUME MINERAL MIXTURE.

### CONCRETE REINFORCING

1. ALL DEFORMED REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615, LATEST REVISION, GRADE 60.
2. WELDED WIRE FABRIC SHALL CONFORM TO ASTM 185, LATEST REVISION. FURNISH IN SHEETS OR MATS.
3. UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES"-ACI 315.
4. SPLICES FOR REINFORCING BARS SHALL BE CLASS "B" LAP SPLICES CALCULATED USING THE APPROPRIATE ACI CATEGORY, UNLESS NOTED OTHERWISE.
5. EMBED ENDS OF BARS FOR FULL TENSION DEVELOPMENT LENGTH, UNLESS OTHERWISE DETAILED.
6. HOOKS AT ENDS OF BARS SHALL BE ACI STANDARD 90 DEG. HOOKS UNLESS NOTED OTHERWISE.
7. ALL REINFORCING BAR SPLICE LENGTHS AND LOCATIONS, EMBEDMENT LENGTHS, HOOKS, ETC., SHALL BE MADE AS SHOWN ON THE DRAWINGS. DEVIATIONS SHALL ONLY BE MADE UPON APPROVAL OF THE ENGINEER.
8. UNLESS OTHERWISE DETAILED, PROVIDE CORNER BARS AT ALL WALL AND CURB CORNERS. BARS SHALL BE 48 BAR DIA. X 48 BAR DIA. LONG, AND SHALL BE THE SAME SIZE AND SPACING AS THE HORIZONTAL BARS THAT THEY ARE LAPPING.
9. WELDED WIRE FABRIC SHALL BE LOCATED IN THE UPPER 1/3 OF THE SLAB AND SHALL BE LAPPED A MINIMUM OF 8 INCHES AT ALL SPLICES.

### CONCRETE CLEARANCES

UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM CLEAR CONCRETE COVER FOR REINFORCING BARS:

CONCRETE EXPOSED TO EARTH OR WEATHER:

FOOTING BOTTOMS 3" U.N.O.

FORMED SURFACES 2"  
IN CONTACT WITH  
SOIL OR WATER

CONCRETE NOT EXPOSED TO EARTH OR WEATHER:

SLABS 1" (TOP)  
3/4" (BOT.)

WALLS 2" (INT. SURFACES ONLY)

### TESTING OF FIELD-PLACED CONCRETE

1. AN INDEPENDENT TESTING AGENCY MAY PERFORM TESTING OF FIELD - PLACED CONCRETE. THE AGENCY SHALL PREPARE, STORE, AND TEST ALL CONCRETE TEST CYLINDERS IN ACCORDANCE WITH ACI 301 AND ASTM C172, C31, AND C39. AT LEAST ONE COMPLETE SET OF TEST CYLINDERS SHALL BE PREPARED EACH DAY CONCRETE IS PLACED. A SET CONSISTS OF THREE TEST CYLINDERS: ONE CYLINDER TO BE TESTED AT 7 DAYS AND 2 CYLINDERS TO BE TESTED AT 28 DAYS. NOTIFY ENGINEER IMMEDIATELY IF ANY 28 DAY STRENGTH TEST FALLS BELOW THE SPECIFIED STRENGTH. IN ADDITION, SLUMP, AIR CONTENT, AND CONCRETE TEMPERATURE MEASUREMENTS SHALL BE TAKEN.

## FOUNDATION AND SLAB-ON-GRADE NOTES:

1. ANY ABANDONED VAULTS, PIPES, OR OTHER VOIDS WITHIN THE ZONE OF INFLUENCE EXTENDING DOWN AND AWAY AT 45 DEGREES FROM THE BOTTOM EDGES OF COLUMN FOOTINGS SHALL BE REMOVED OR FILLED WITH CONTROLLED FILL AS APPROVED BY THE GEOTECHNICAL ENGINEER.
2. FOOTINGS SHALL BE CENTERED ABOUT COLUMN LINES UNLESS INDICATED OTHERWISE.
3. BACKFILL BENEATH FOUNDATIONS, TRENCHES, AND SLABS SHALL BE COMPACTED TO A MINIMUM OF 98 PERCENT OF STANDARD PROCTOR DENSITY IN ACCORDANCE WITH ASTM D 698 AND COMPACTED AND TESTED IN LIFTS NOT TO EXCEED 8 INCHES. COMPACTED "CRUSHER RUN" STONE MAY BE USED IN LIEU OF SOIL. OBSERVATION OF BACKFILLING AND COMPACTION TESTING SHALL BE PERFORMED BY A REGISTERED GEOTECHNICAL ENGINEER.
4. NO CONCRETE SHALL BE PLACED UNTIL EMBEDDED OR UNDERGROUND WORK HAS BEEN INSTALLED AND INSPECTED.
5. REFER TO DRAWINGS OF OTHER TRADES FOR PENETRATIONS IN CONCRETE WALLS, FLOORS, AND ROOFS REQUIRING SLEEVES OR OTHER EMBEDDED ITEMS NOT SHOWN.
6. REFER TO ELECTRICAL DRAWINGS FOR GROUNDING DETAILS.
7. PREPARE, PLACE, AND FINISH CONCRETE IN ACCORDANCE WITH ACI 301 "STRUCTURAL CONCRETE FOR BUILDINGS" AND IN ACCORDANCE WITH ACI 305R "HOT WEATHER CONCRETING" AND ACI 306R "COLD WEATHER CONCRETING" AS APPLICABLE.
8. CONSTRUCTION JOINTS FOR CONTINUOUS WALL FOOTINGS SHALL CONSIST OF A BULKHEAD FORM WITH A 2 INCH BY 4 INCH MID-HEIGHT KEY AND FOOTING REINFORCING PROJECTING THROUGH THE FORM 48 BAR DIA, UNLESS DETAILED OTHERWISE.
9. UNLESS OTHERWISE NOTED, CHAMFER ALL EXPOSED CONCRETE CORNERS WITH A 3/4 INCH X 45 DEGREE CHAMFER.
10. FOOTING SIZES SHOWN ON THE DRAWINGS HAVE BEEN BASED ON AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF.
11. ALL FOUNDATIONS SHALL BE INSPECTED AND CERTIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER.

REVISION	DATE	BY	REMARKS

DESIGNED	CTC
DRAWN	CTC
REVIEWED	XXX
APPROVED	XXX

**CITY OF ROCHELLE, ILLINOIS**  
**ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT**  
**1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068**

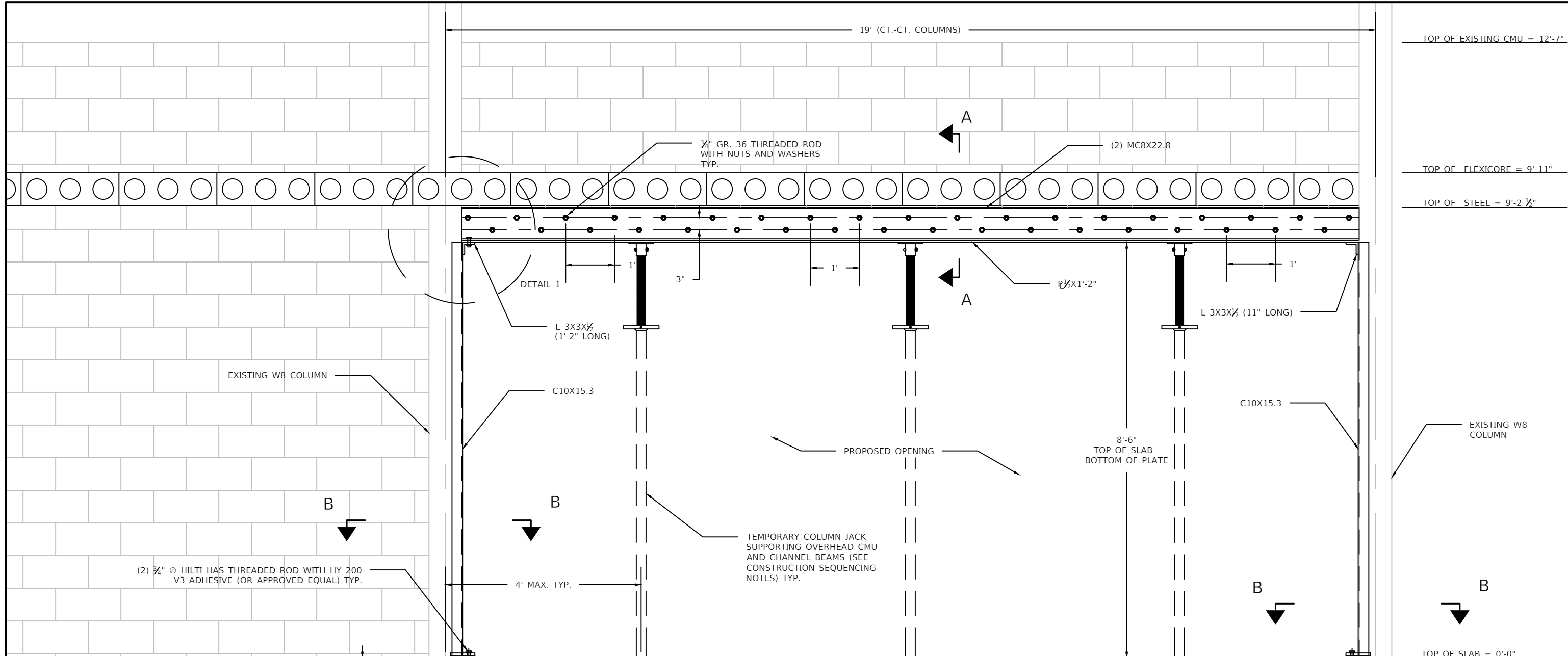


**WILLETT HOFMANN & ASSOCIATES INC.**  
 ENGINEERING ARCHITECTURE LAND SURVEYING  
 57 AIRPORT DRIVE, ROCKFORD, IL 61109  
 T: 815-964-2897 DESIGN FIRM NO. 184-000918-0015

**STRUCTURAL GENERAL NOTES (2 OF 2)**

PHASE		
<input type="checkbox"/> PRELIM	<input type="checkbox"/> FINAL	<input type="checkbox"/> CONST
<input checked="" type="checkbox"/> PERMIT	<input type="checkbox"/> BID	<input type="checkbox"/> _____

WHA No.	1551D22	SHEET No.	2
DATE	02/26/2024		



TOP OF EXISTING CMU = 12'-7"

TOP OF FLEXICORE = 9'-11"

TOP OF STEEL = 9'-2 1/2"

EXISTING W8 COLUMN

EXISTING W8 COLUMN

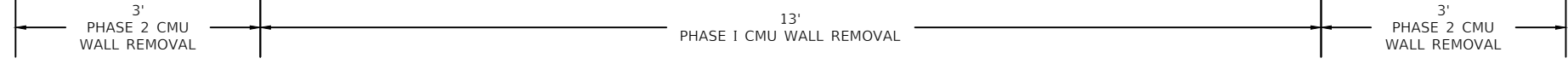
TOP OF SLAB = 0'-0"

**ELEVATION VIEW**

1/2" = 1'-0"

**CONSTRUCTION SEQUENCING:**

1. INSTALL C7X14.7 LINTELS WITH 3/4" THREADED RODS.
2. PHASE I CMU REMOVAL - REMOVE 13 FEET OF CMU (CENTERED AT MIDDLE OF OPENING).
3. INSTALL TEMPORARY COLUMN JACK POSTS (5 KIP MIN. CAPACITY) AT EITHER ENDS AND MIDDLE OF TEMPORARY OPENING TO SUPPORT OVERHEAD CMU AND LINTEL.
4. PHASE II CMU REMOVAL - REMOVE REMAINING CMU
5. INSTALL C10X15.3 COLUMNS AT EITHER END OF PROPOSED OPENING



REVISION	DATE	BY	REMARKS

DESIGNED	CTC
DRAWN	CTC
REVIEWED	XXX
APPROVED	XXX

**CITY OF ROCHELLE, ILLINOIS**  
**ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT**  
 1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068



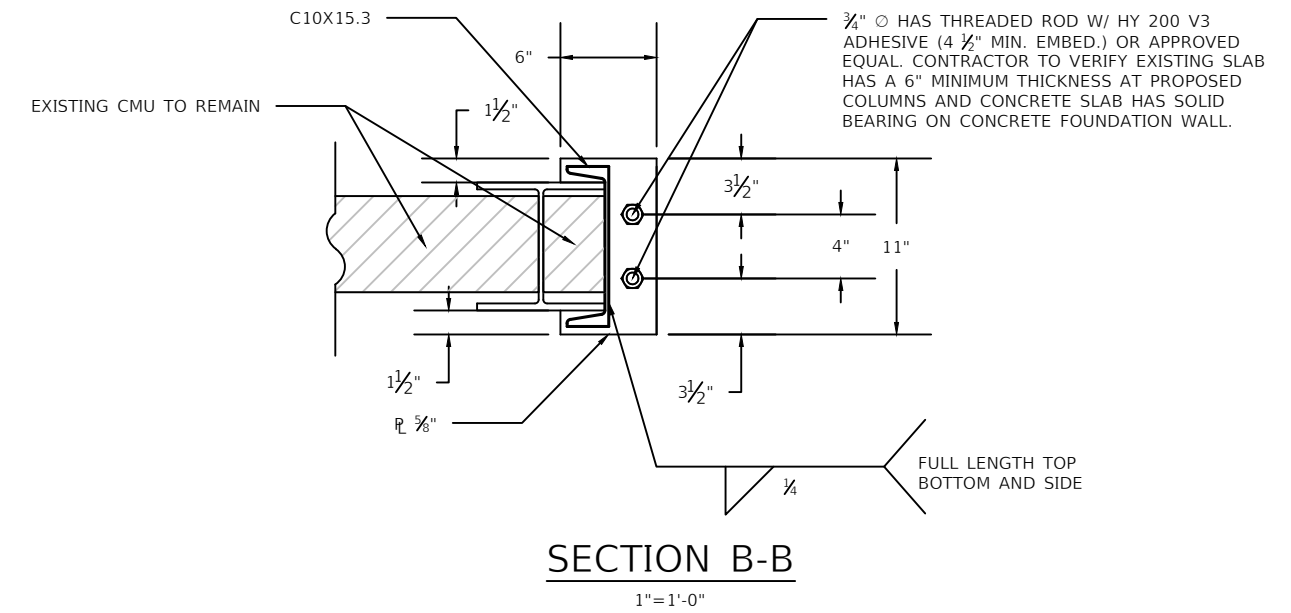
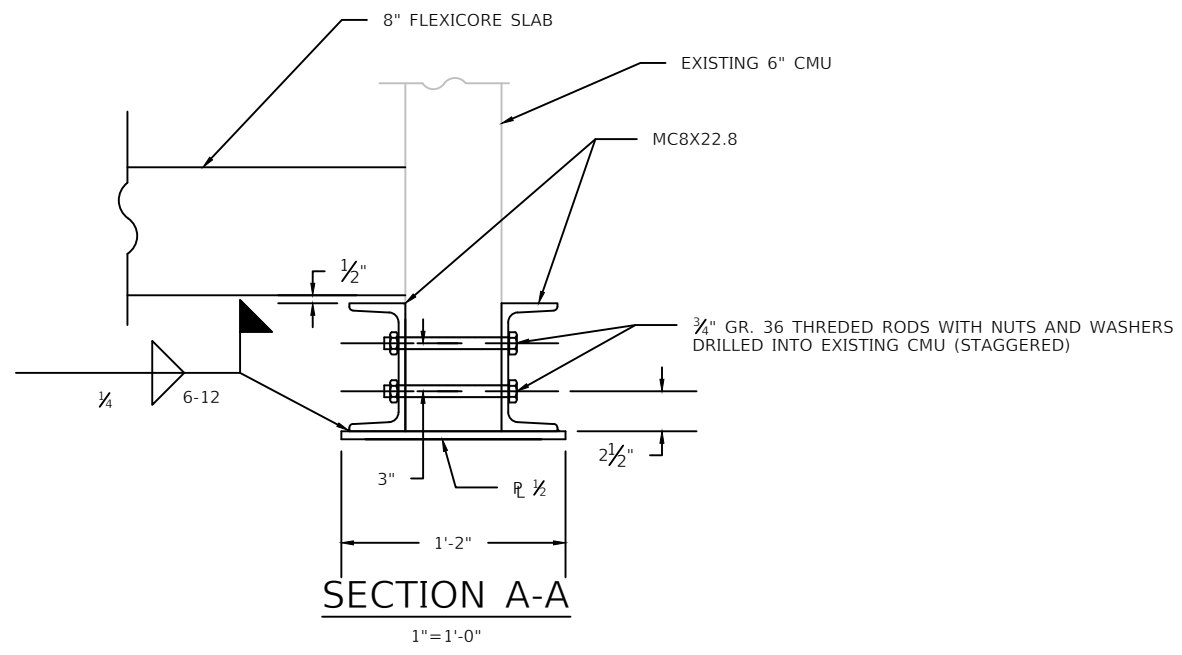
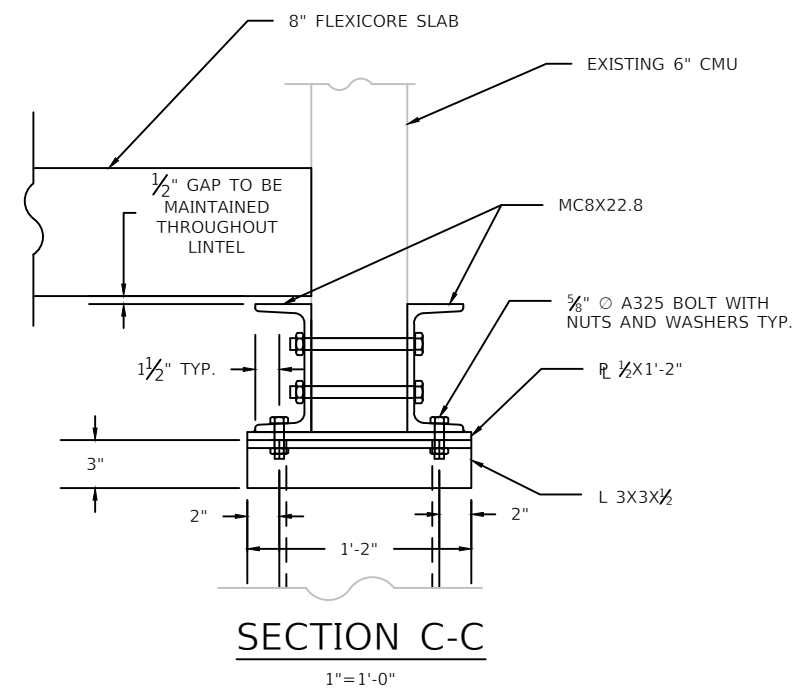
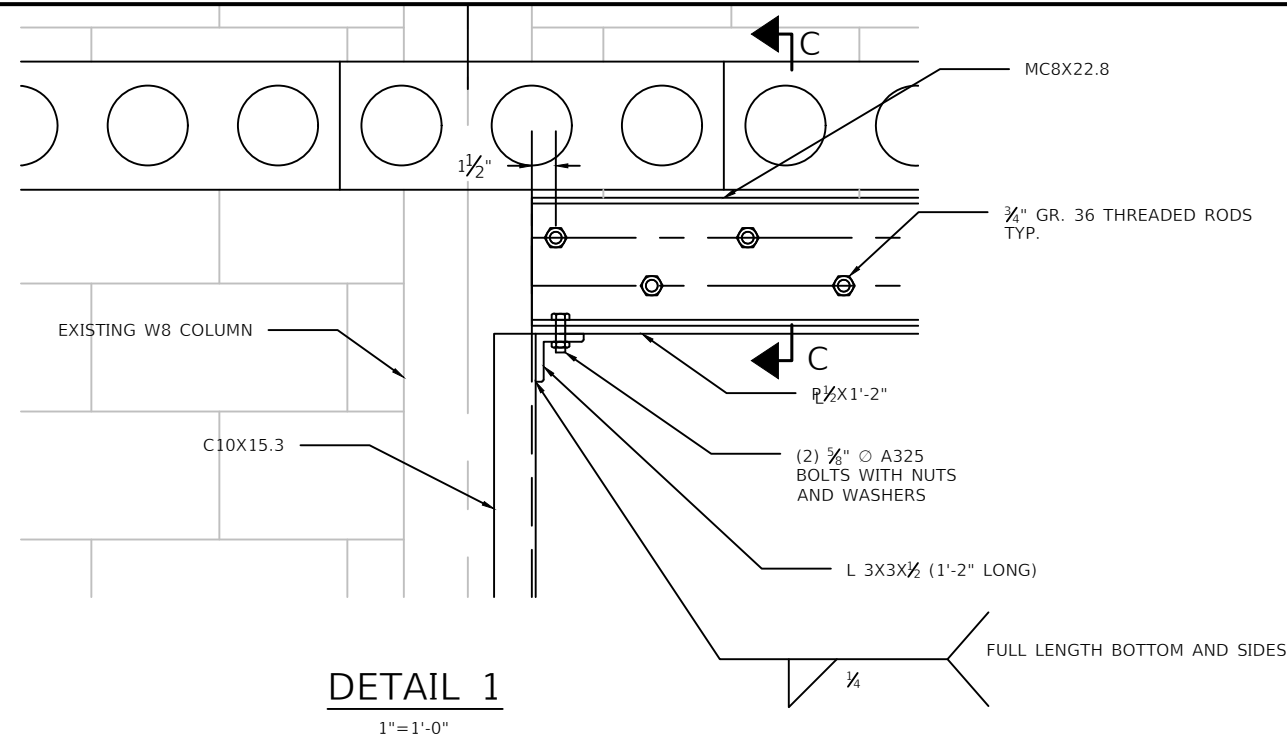
**LINTEL ELEVATION**

PHASE		
<input type="checkbox"/> PRELIM	<input type="checkbox"/> FINAL	<input type="checkbox"/> CONST
<input checked="" type="checkbox"/> PERMIT	<input type="checkbox"/> BID	<input type="checkbox"/> _____

WHA No.	1551D22	SHEET No.	3
DATE	02/26/2024		



S:\PROJECTS\2022\1551D22\_RHU\DESIGN\CAD\_SHEETS\Lintel\_Change\_Order\1551D22\_LintelCO.dwg



REVISION	DATE	BY	REMARKS

DESIGNED	CTC
DRAWN	CTC
REVIEWED	XXX
APPROVED	XXX

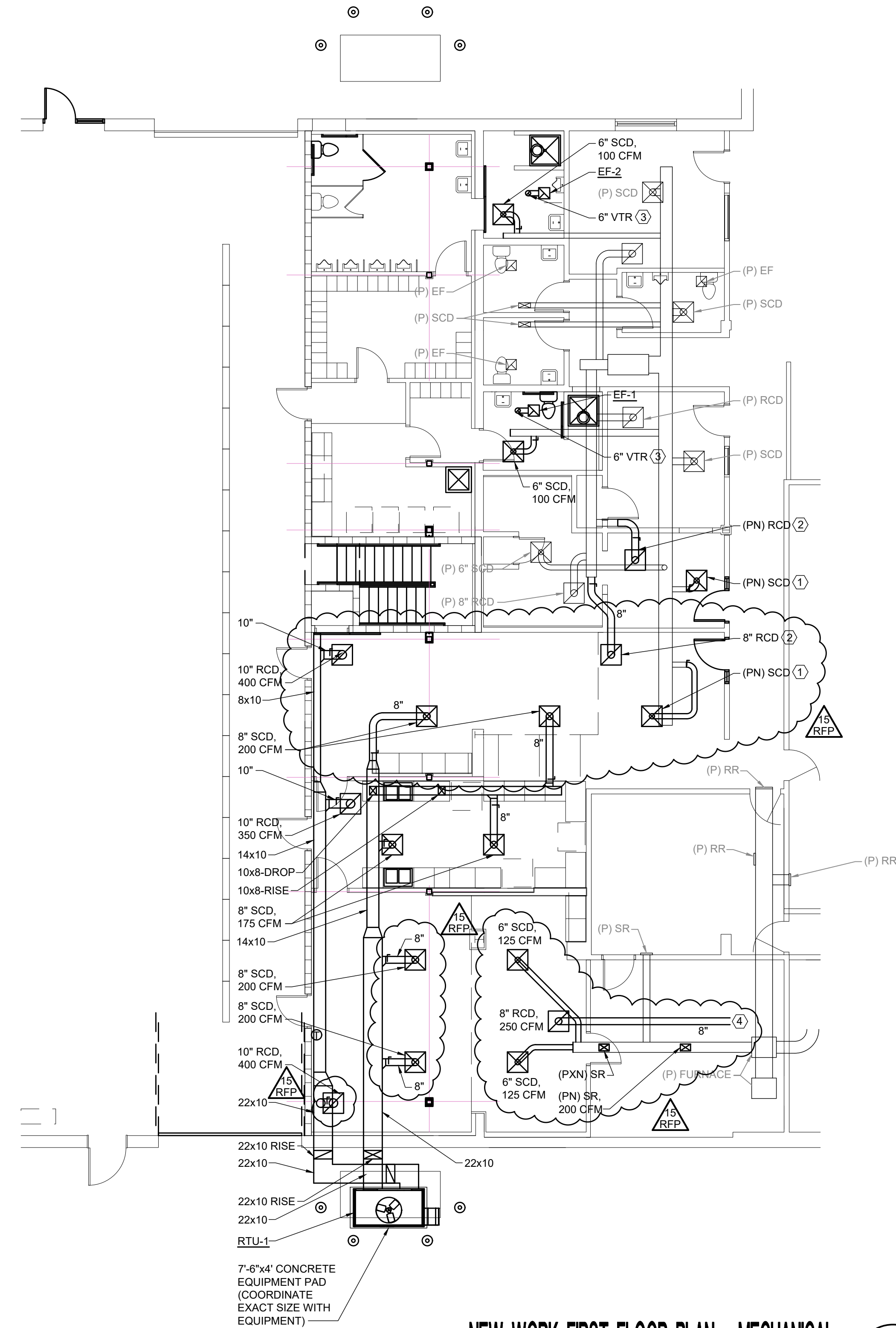
**CITY OF ROCHELLE, ILLINOIS**  
**ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT**  
 1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068

**LINTEL DETAILS**

PHASE		
<input type="checkbox"/> PRELIM	<input type="checkbox"/> FINAL	<input type="checkbox"/> CONST
<input checked="" type="checkbox"/> PERMIT	<input type="checkbox"/> BID	<input type="checkbox"/> _____

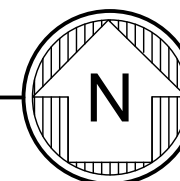
WHA No.	1551D22
DATE	02/26/2024
SHEET No.	4

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### NEW WORK FIRST FLOOR PLAN - MECHANICAL

SCALE: 1/8" = 1'-0"



#### KEY NOTES:

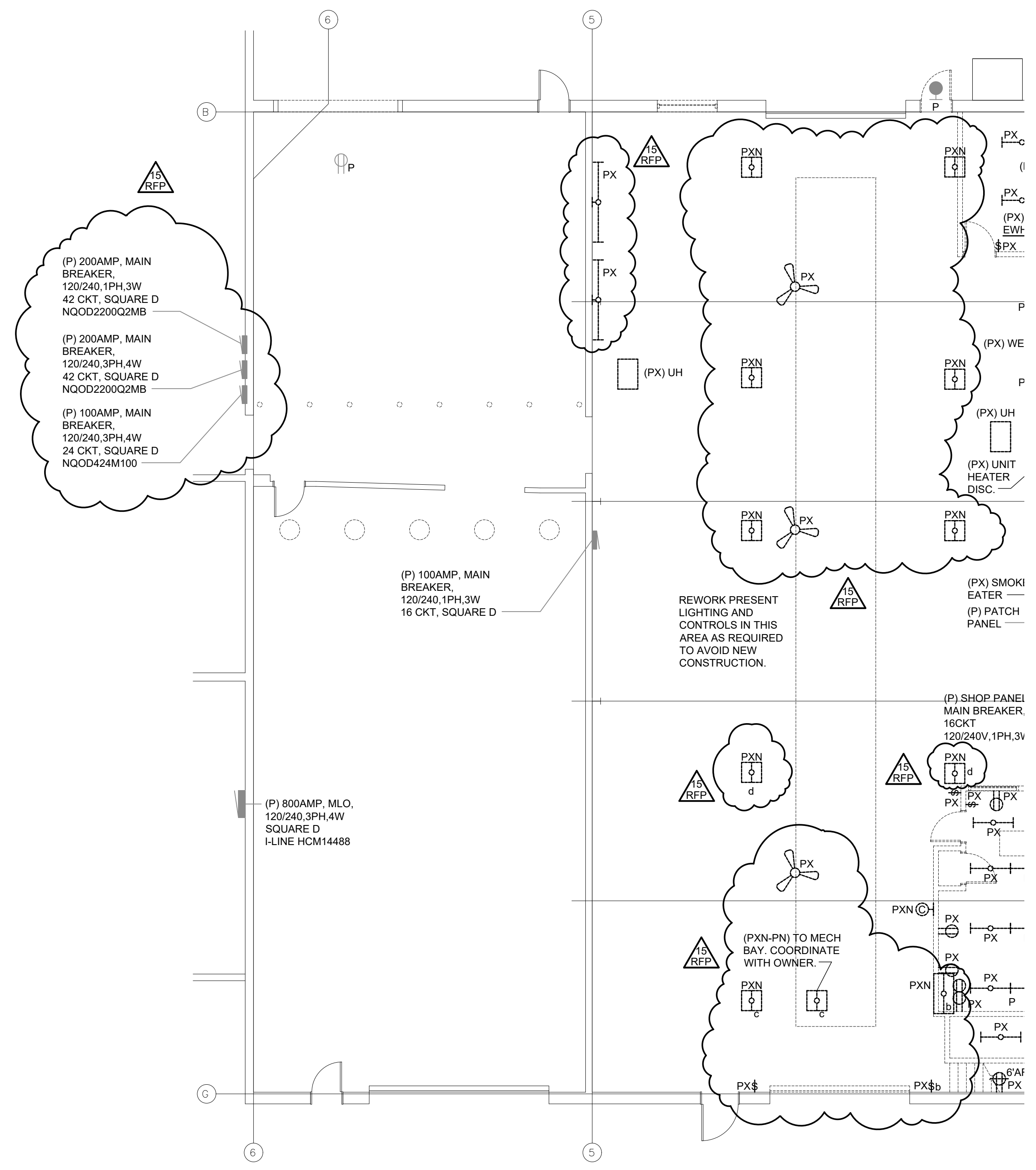
- ① BALANCE DIFFUSER/REGISTER TO EXISTING CFM MEASURED PRIOR TO DEMOLITION. EXTEND EXISTING DUCTWORK AS REQUIRED FOR INSTALLATION IN NEW LOCATION. VERIFY EXISTING SIZE IN FIELD.
- ② BALANCE RETURN TO MATCH SUPPLY CFM IN ROOM. EXTEND EXISTING DUCTWORK AS REQUIRED FOR INSTALLATION IN NEW LOCATION. VERIFY EXISTING SIZE IN FIELD.
- ③ CUT AND PATCH ROOF FOR NEW FURFUR ROOF INSTALLATION.
- ④ TIE INTO RESPECTIVE EXISTING FURNACE RETURN DUCT IN ROOM.



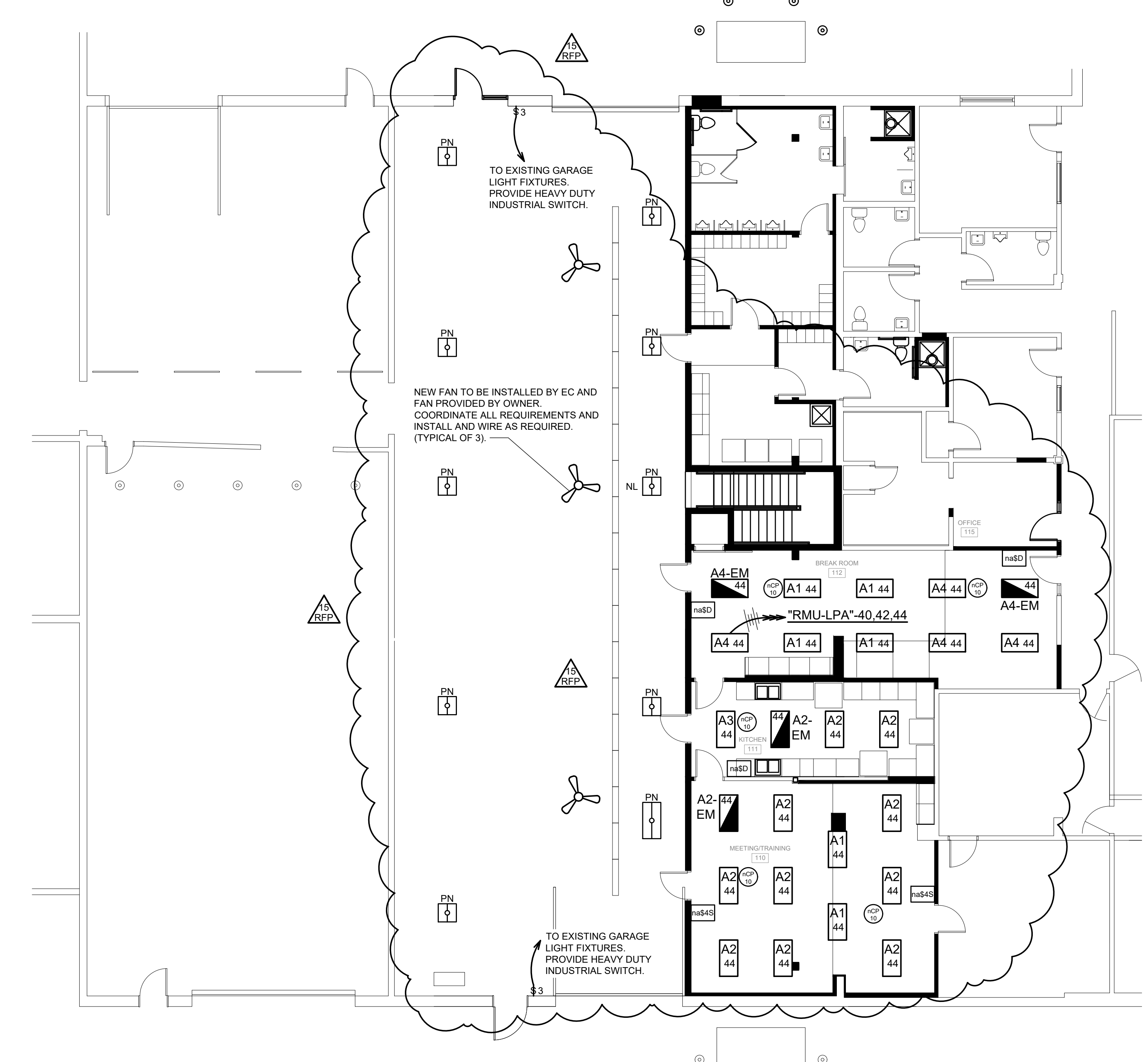
DESIGNED	WHA	BY	DATE	REMARKS
DRAWN	WHA	2/23/24	SDSE RFP #15	
REVIEWED	WHA			
APPROVED	WHA			

CITY OF ROCHELLE, ILLINOIS ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT 1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068 <b>MECHANICAL NEW WORK PLAN</b>	
PHASE	<input type="checkbox"/> PRELIM <input type="checkbox"/> PERMIT <input type="checkbox"/> FINAL <input checked="" type="checkbox"/> BID <input type="checkbox"/> CONST
WHA No.	1551D22
DATE	08-09-23
SHEET No.	M2



**FLOOR PLAN - DEMOLITION ELECTRICAL**  
 SCALE: 1/8" = 1'-0"  
 N



**FLOOR PLAN - NEW WORK LIGHTING**  
 SCALE: 1/8" = 1'-0"  
 N

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

DESIGNED	WHA	BY	DATE	REV	DATE	REVISION	REMARKS
DRAWN	WHA	BY	2/23/24	1			
REVIEWED	WHA	BY					
APPROVED	WHA	BY					

**SYSTEMS DESIGN SERVICE**  
 1000 W. WASHINGTON ST. SUITE 200  
 ROCKFORD, ILLINOIS 61103  
 TEL: 815.398.1100  
 WWW.SDSERVICE.COM

**CITY OF ROCHELLE, ILLINOIS**  
 ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT  
 1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068

**NEW WORK LIGHTING & POWER**

PHASE  
 PRELIM  
 PERMIT  
 FINAL  
 BID  
 CONST

WHA No.  
 1551D22

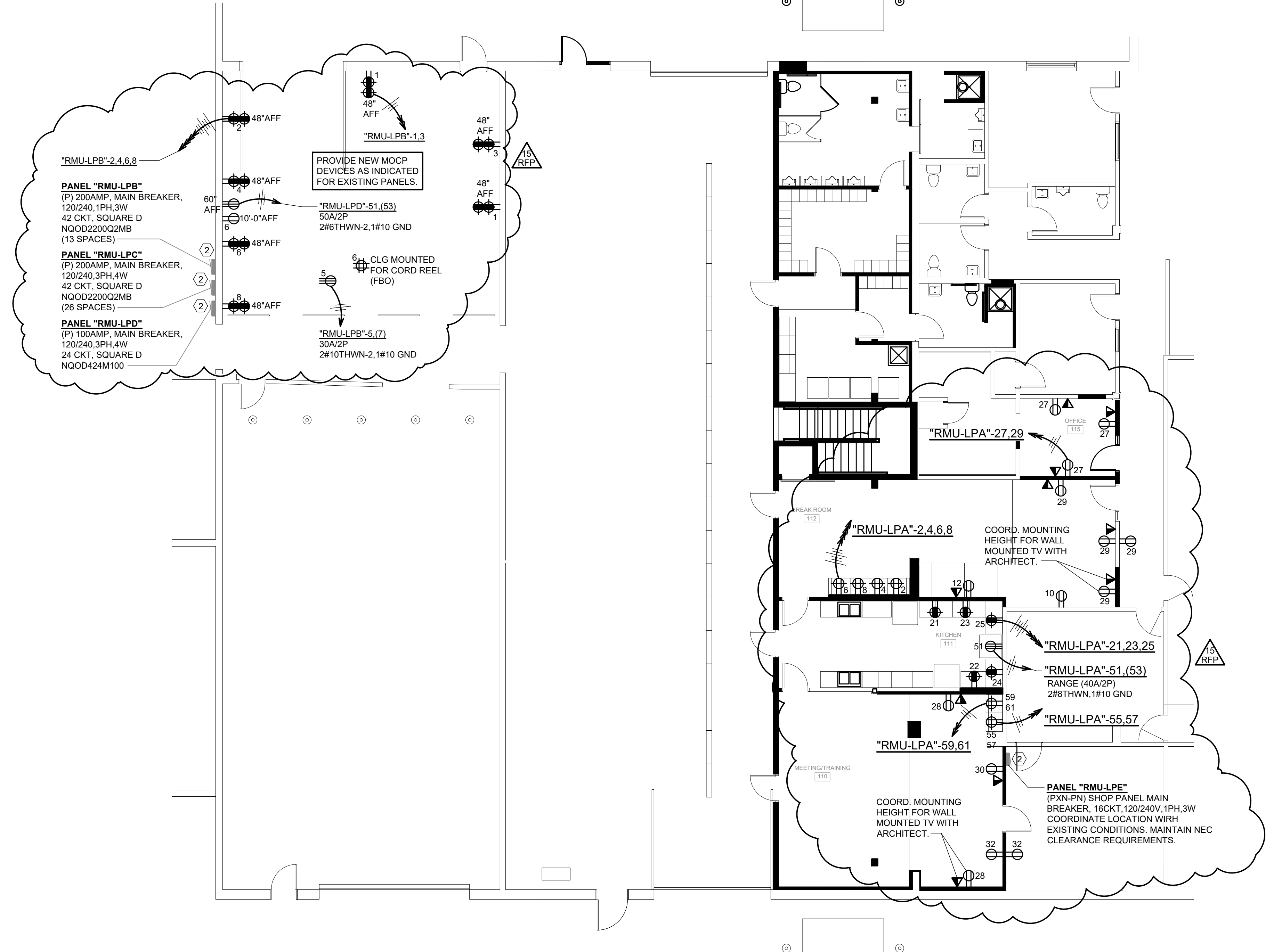
DATE  
 08-09-23

SHEET No.  
**E8**

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# PANEL SCHEDULE - REVISED

NEW PANEL: RMU-LPA											
LOCATION: GARAGE 123			VOLTAGE: 240 /120 V			A.I.C. RATING: 42KAIC MIN. COORD. W/UTIL.					
SUPPLY FROM: NEW PANEL "MDP1"			PHASE: 1 PH			MAINS TYPE: M.BKR					
MOUNTING: SURFACE			WIRE: 3 W			BUSS RATING: 225A					
ENCLOSURE: NEMA 12						MCB RATING: 225A					
CKT	LOAD	DESCRIPTION	POLES	TRIP	A	B	TRIP	POLES	DESCRIPTION	LOAD	CKT
1	R	ELECTRIC DRYER	2	30	1920	1600	20	1	MICROWAVE	R	2
3	R	ELECTRIC DRYER	2	30	1920	1600	20	1	MICROWAVE	R	4
5	R	ELECTRIC DRYER	2	30	1920	1600	20	1	MICROWAVE	R	6
7	R	ELECTRIC DRYER	2	30	1920	1600	20	1	MICROWAVE	R	8
9	R	RECEPT	1	20	720	360	20	1	RECEPT	R	10
11	R	RECEPT	1	20	720	360	20	1	RECEPT	R	12
13	R	RECEPT	1	20	540	180	20	1	RECEPT	R	14
15	R	REFRIG	1	20	1200	1200	20	1	KITCHEN RECEPT	R	16
17	R	REFRIG	1	20	1200	1200	20	1	KITCHEN RECEPT	R	18
19	R	KITCHEN RECEPT	1	20	1200	1200	20	1	KITCHEN RECEPT	R	20
21	R	KITCHEN RECEPT	1	20	1200	1200	20	1	KITCHEN RECEPT	R	22
23	R	KITCHEN RECEPT	1	20	1200	1200	20	1	KITCHEN RECEPT	R	24
25	R	KITCHEN RECEPT	1	20	1200	1200	20	1	KITCHEN RECEPT	R	26
27	R	OFFICE RECEPT	1	20	360	360	20	1	MEETING/TRAINING RECEPT	R	28
29	R	OFFICE RECEPT	1	20	720	360	20	1	MEETING/TRAINING RECEPT	R	30
31	R	OH DOOR OPENER	1	20	1200	360	20	1	MEETING/TRAINING RECEPT	R	32
33	R	GARAGE RECEPT	1	20	540	720	20	1	OFFICE RECEPT	R	34
35	R	GARAGE RECEPT	1	20	540	720	20	1	OFFICE RECEPT	R	36
37	R	GARAGE RECEPT	1	20	540	900	20	1	OFFICE RECEPT	R	38
39	R	GARAGE RECEPT	1	20	360	780	20	1	OFFICE LTG	L	40
41	L	OFFICE LTG	1	20	450	650	20	1	OFFICE LTG	L	42
43	L	MEZZANINE LTG	1	20	450	840	20	1	OFFICE LTG	L	44
45	R	MEZZANINE RECEPT	1	20	1040	1200	20	1	WASHER	R	46
47	R	MEZZANINE RECEPT	1	20	1040	1200	20	1	WASHER	R	48
49	R	ACCESS CONTROL PANEL	1	20	1200		20	1	SPARE		50
51	R	ELEC RANGE	2	40	2400		20	1	SPARE		52
53	R	MICROWAVE	1	20	1500		20	2	SPARE		54
55	R	MICROWAVE	1	20	1500		20	2	SPARE		56
57	R	MICROWAVE	1	20	1500		20	2	SPARE		58
59	R	MICROWAVE	1	20	1500		20	2	SPARE		60
61	R	MICROWAVE	1	20	1500		20	2	SPARE		62
63		SPARE	1	20			20	2	SPARE		64
65		SPARE	1	20			30	1	SPARE		66
67		SPARE	1	30			30	1	SPARE		68
69		SPARE	1	30			30	1	SPARE		70
71		SPARE	1	30			30	1	SPARE		72
					VA	18590	11170	17330	11420	CONNECTED VA 58,510	
					VA	29,760		28,760		CONNECTED AMPS 244	
					A	248		240		DEMAND VA 35,255	
										DEMAND AMPS 147	
LOAD CLASSIFICATION	DEMAND CODE	CONNECTED LOAD	DEMAND FACTOR	DEMAND							
HVAC/MECH	H	0	80.0%	0 VA							
RECEPTACLES	R	54170	80.0%	32,085 VA							
LIGHTING	L	3170	100.0%	3,170 VA							



**FLOOR PLAN - NEW WORK POWER & SYSTEMS**  
SCALE: 1/8" = 1'-0"

DESIGNED	WHA	DATE	BY	REMARKS
DRAWN	WHA	11/23/24	SDSE RFP #15	
REVIEWED	WHA			
APPROVED	WHA			

**SYSTEMS DESIGN SERVICE**  
1100 S. WASHINGTON ST., SUITE 200, CHICAGO, IL 60605  
TEL: 312.467.1000

**CITY OF ROCHELLE, ILLINOIS**  
ROCHELLE MUNICIPAL UTILITIES BUILDING IMPROVEMENTS PROJECT  
1030 SOUTH 7TH STREET, ROCHELLE, ILLINOIS 61068

**NEW WORK LIGHTING & POWER**

PHASE  
 PRELIM  
 PERMIT  
 FINAL  
 BID  
 CONST

WHA No.  
1551D22

DATE  
08-09-23

SHEET No.  
**E9**

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NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.



Larson & Larson Builders Inc  
 5612 Industrial Avenue  
 Loves Park, IL 61111

# Request For Change

**Rochelle Municipal Utilities B - 195ROC23**

**RFC No. 20**

1030 South 7th Street  
 Rochelle, IL 61068

**Date:** 02/29/2024

**Respond By:** 03/07/2024

**Sent By:** Sheri Green  
 sheri@llbuilders.net

**Sent To:** Sheri Green  
 sheri@llbuilders.net

**Change Reason:** Owner Change

**Scope:** Out Of Scope

**Title:** RFP 15 Expand Rooms 110-112 & Welding Lintels

**Description:** Labor, equipment and material to complete work as outlined in RFP 15 Expand Rooms 110-112 & Welding Lintels.

**Schedule Impact:**

**Scope of Work**

Item	QTY	UM	Unit Price	Price Subtotal
Sub Koja Construction, Inc.	1	Each	\$18,058.00	\$18,058.00
Sub Area Erectors, Inc.	1	Each	\$12,140.00	\$12,140.00
Sub JB Contracting	1	Each	\$45,896.06	\$45,896.06
Sub Steel Fabricating	1	Each	\$4,861.00	\$4,861.00
Sub Grommes Millwork	1	Each	\$7,950.00	\$7,950.00
Sub Complete Mechanical Solutions	1	Each	\$1,575.00	\$1,575.00
Sub Doors, Inc.	1	Each	\$3,695.00	\$3,695.00
Sub Markup 5%	1	Each	\$4,708.75	\$4,708.75
L&L Supervision Labor	120	Hours	\$145.00	\$17,400.00
L&L Labor Demolition	72	Hours	\$145.00	\$10,440.00
L&L Labor Cabinets	16	Hours	\$145.00	\$2,320.00
L&L Labor Miscellaneous Blocking & Carpentry	8	Hours	\$145.00	\$1,160.00
L&L Shoring	1	Each	\$750.00	\$750.00
L&L Miscellaneous Blocking & Carpentry	1	Each	\$500.00	\$500.00
L&L Demolition & Dumpster	2	Each	\$750.00	\$1,500.00
L&L Labor Doors/Frames & Hardware	8	Hours	\$145.00	\$1,160.00
L&L Self Perform Markup 10%	1	Each	\$3,639.00	\$3,639.00
L&L Labor Shoring	8	Hours	\$145.00	\$1,160.00



Price Subtotal: \$138,912.81  
Overhead:  
Total Price: \$138,912.81

**Review and Response**

---

Approved       Rejected       Request Formal Change Order       Other

*Sheri Green*      3/1/24  
Sheri Green  
Larson & Larson Builders Inc

---

Thomas Houck  
Willett Hofmann

---



1238 Shappert Dr. Machesney Park, IL 61115

## CHANGE ORDER PROPOSAL

Contact: [Brian Jensen](#)

PHONE: [815-543-6907](tel:815-543-6907)

EMAIL: [Brian@kojaconstruction.com](mailto:Brian@kojaconstruction.com)

KOJA JOB NUMBER: [2023196B](#)

KOJA Change order Number: [#5](#)

---

PROJECT: [Rochelle Municipal](#)

SUBMITTED TO: [Larson & Larson Builders](#)

DATE SUBMITTED: [2/27/2024](#)

CHANGE ORDER NUMBER: [#5 - RFP #15](#)

ADD TO CONTRACT: [\\$14,210.00](#)

### SCOPE OF WORK:

Added labor/material for new B and D walls and ACT per RFP #15. Assumes sound batts in B walls.

New closet walls per note #7.

Patch drywall per note #8.

Credit wall between 112/114 from original drawings.

Material: \$4,716.00

Labor: \$9,494.00

Total: \$14,210.00

This change order may result in added durations to KOJAs schedule

2/27/2024

3:45 PM

Prepared By: Brian Jensen

815-262-0830

1 of 1

# EXTRA WORK AUTHORIZATION FORM



**Construction, Inc.**

EWA #:

KOJA JOB #: **2023196B**

Date: **1-9-24**

Job Name: **ROCHELLE MUNICIPAL BLDG.**

KOJA Representative: ~~BOB~~ **JIM NEAR**

Job Address: **ROCHELLE BL.**

General Contractor: **LARSON & LARSON**

GC Rep. Name: **EFRAIN SANCHEZ**

GC Rep. Signature: \_\_\_\_\_

Description of Extra Work: **FRAME - HANG - TAPE NEW CLOSETS ADDED TO ROOMS #102 & #103, TEAR APART & REFRAME THE CLOSET IN ROOM #101**

Area of Extra Work: **OFFICE AREA → 1-9-24 - 1-10-24, 2-13-24, 2-14-24, 2-15-24**

KOJA Employees: **JOSE ARNEQUIN, JR ARNEQUIN, JIMMY BIRCHAM**

LABOR				MATERIAL			
Trade	Hours	Labor Rate	Total	Material Description	Size / Footage	Price	Total
Superintendent				10" CORNERS/BEAD	2	.40	8.00
Carp. FM	10	124.00	1,240.00	8' x 3 5/8 STUDS	8	.667	43.00
Carp. JM	10	120.00	1,200.00	14' x 3 5/8 STUDS	12	.667	113.00
Taper FM	8	120.00	960.00	3 5/8 x 10' SLOTTED TRACK	2	1.080	36.00
Taper JM				3 5/8 x 10' REG. TRACK	4	.661	27.00
Carp. FM OT				5/8 x 4 x 2 ROCK	8	.48	77.00
Carp. JM OT				250' TAPE	1	5.00	5.00
Taper FM OT				ALL PURPOSE MWD	1	24.00	24.00
Taper JM OT				PLUS 3 MWD	3	25.00	75.00
Carp. FM DT							
Carp. JM DT							
Taper FM DT							
Taper JM DT							
			<b>Total: \$3,400.00</b>				<b>Total: \$408.00</b>

EQUIPMENT RENTAL FEES			
Type of Equipment	Rate Per	Rate Amount	Total
			<b>Total:</b>

EWA TOTALS	
LABOR:	<b>\$3,400.00</b>
MATERIAL:	<b>\$408.00</b>
MAT. MU:	<b>\$40.00</b>
EQUIPMENT:	—
TAXES:	—
<b>TOTAL EWA:</b>	<b>\$3,848.00</b>

# AREA ERECTORS INC.

**Municipal Utilities (Rochelle, IL)**

DATE 9/6/2023 Rev 2/29/2024

We are pleased to quote the ERECTION "ONLY" (No Materials!) of the following items from prints dated 8/9/23

## STRUCTURAL STEEL

OH-1 & OH-2 Frames per S-3

SHOP UNITIZED STAIR INSTALL PER A-4

REMOVABLE RAILING PER 2/A-4

FOR THE SUM OF: \$ 22,330.00 This is the original contract amount Schedule: Approx. 3 Days

**\*\*Alternate\*\***--For door framing per Sheet 3/RFP 15, please add \$ 12,140.00. This is the add for this RFC.

## QUALIFICATIONS:

Please Note: *We reserve the right to review Contract and refuse ANY unreasonable verbiage or cancel our commitment*

1. **Site to be completely stoned** for safe "INTERIOR" access of Crane, lifts, Trucks & Equipment
2. **All bolts to be T.C.** (tension control) by Fabricator
3. All leveling nuts set to elevation prior to our start
4. **Contractor To Supply Fabricator/Area with Their as-built anchor bolt survey**

**EXCLUSIONS:** Any Bonds or allowances!, Any Misc. Steel., As-built anchor bolt Survey, Any Roof edge fall protection for others, Cutting of Roof Openings, grout, touch-up paint, overtime, any materials, Lintels, Permits, fees, testing, or inspection.

Labor Rate: \$ 170.00 Per Hr.

Thank You! Michael Stanek 715-206-0859

PROJECT: Rochelle Music

BID DATE: 2/29/24 PAGE 1

LOCATION: Rochelle

PRINTS DATED: 2/29/24 LOCAL: 498

BLDG SIZE: (    X    X    )

Sheet 3

DESCRIPTION OF ITEMS	UNITS		ERECT	DETAIL	EQUIP
	PCS	TIME			
S/P/W/MEET				1	
M/E			6		2
W/W/SOE	TR 1	3-45	2.7		.8
AC 8x22.8	4		4		.8
37" Thick	74	5.2		6.2	
2" Thick	74	.5		37	
CID Columns	4	5-15	5		1
Ep Ace	8	.A		3.2	
(A)	8	5.2		.7	
			19	51	5
			150	150	300
			2850°	7650°	1500°
				12000°	

AN 10-112



2999 St. Vincent Avenue, PO Box 1309  
La Salle, IL 61301  
Ph: 815-223-9800

PROPOSAL #: 17351  
DATE: 12/27/2023  
PROJECT: ROCHELLE MUNICIPAL

ATTN: BRANDIN KELTNER  
LARSON & LARSON BUILDERS, INC.  
5612 INDUSTRIAL AVENUE  
LOVES PARK, IL 61111

brandin@llbuilders.net  
815-633-1773

*RFI-5*

**EXTRA WORK - RFP-5**

ADDITIONAL ELECTRICAL WORK AS PER RFI-5

*WORK IS DONE*

**ADD**      \$ 1,427.06

PAYMENT TERMS: \_\_\_\_\_ 1.5% interest per month 18% per year due on all accounts 30 days past due.

All work to be completed as provided herein. Any Alteration or deviation from above specifications involving extra costs must be in writing. The cost of the alterations or deviation shall be in addition to the above estimate. Proposal withdrawn 30 days from above date. THIS PROPOSAL IS FURTHER SUBJECT TO THE TERMS, CONDITIONS, AND DEFINITIONS SET FOURTH ON THE BACK OF THIS PROPOSAL.

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. JB Contracting Corp. ("Contractor") is authorized to begin the job specified herein. The undersigned represents and warrants that the undersigned is an authorized agent of Purchaser.

Date of Acceptance: \_\_\_\_\_

JB Contracting Corporation - JEFF SLOAN EXT 210

By: \_\_\_\_\_  
Authorized Agent

Purchaser: \_\_\_\_\_

By: \_\_\_\_\_  
Authorized Agent



## Jeff Sloan

---

**From:** Sheri Green <sheri@llbuilders.net>  
**Sent:** Friday, December 15, 2023 3:30 PM  
**To:** thouck@willetthofmann.com  
**Cc:** Brandin Keltner; Efrain Sanchez; kokis831@yahoo.com; Jeff Sloan  
**Subject:** Rochelle Municipal Utilities Building Improvements 195ROC23 - RFI 5 Relocation Of Two Switches  
**Attachments:** RFI 5 Relocation Of Two Switches.pdf

**[EXTERNAL EMAIL]** DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

RFI 5 Relocation Of Two Switches attached for your review and response.

Thank you,

**Sheri Green**  
Project Coordinator  
Email: [sheri@llbuilders.net](mailto:sheri@llbuilders.net)  
P) 815.633.1773 Ext 108

[5612 Industrial Avenue Loves Park IL 61111](#)



**LARSON & LARSON**  
BUILDERS, INC.



Larson & Larson Builders Inc  
 5612 Industrial Avenue  
 Loves Park, IL 61111

# Request For Information

**Rochelle Municipal Utilities B - 195ROC23**  
 1030 South 7th Street  
 Rochelle, IL 61068

**RFI No. 5**

**Title:** RFI 5 Relocation Of Two Switches  
**Priority:** High  
**Reason:** Design Clarification  
**Respond By:** 12/18/2023

<b>Sent By:</b>	Sheri Green sheril@builders.net Larson & Larson Builders Inc	<b>Sent To:</b>	Thomas Houck thouck@willetthofmann.com Willet Hofmann
-----------------	--	-----------------	---

## Question

Re-location of 2 switches, one duplex receptacle and the north end overhead door operator. Pictures are attached and reference drawings D1, A1, E1 and E3. *The new block wall runs right into these and they will need to be relocated.*

Suggest moving to west side of the new door location (see note 2 on D1 for location). Currently we have a 1/2" conduit with 4#14 wires and 5# 12s with no ground. The service switch for the overhead door operator is at the floor level. I suggest moving this to the operator location as is standard. See attached photos and plan for location.

## Impact

<b>Proposed Solution</b>	<b>Cost Impact</b>	<b>Schedule Impact</b>
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## Additional Details

**Disciplines:**  
**Reference Drawings:**  
**Reference Specs:**  
**Location:**

## Answer

**WE AGREE WITH THE PROPOSED  
 RELOCATION OF DEVICES AS DESCRIBED**





2999 St. Vincent Avenue, PO Box 1309  
 La Salle, IL 61301  
 Ph: 815-223-9800

PROPOSAL #: 17490  
 DATE: 02/29/2024  
 PROJECT: ROCHELLE MUNICIPAL

ATTN: BRANDIN KELTNER  
 LARSON & LARSON BUILDERS, INC.  
 5612 INDUSTRIAL AVENUE  
 LOVES PARK, IL 61111

brandin@lbuilders.net  
 815-633-1773

**EXTRA WORK – RFP-15**

**ADDITIONAL ELECTRICAL WORK AS PER RFP-15**

- NEW LIGHTING AT WEST GARAGE AREA (OUR DESIGN – SIX FIXTURES)
- NEW RECEPES AT WEST GARAGE AREA
- REMOVE LIGHTS AT EAST GARAGE AREA
- REMOVE FANS AT EAST GARAGE AREA
- RE-LOCATE LIGHTS AT EAST GARAGE AREA
- INSTALL NEW FANS AT EAST GARAGE AREAS (FANS SUPPLIED BY RMU)
- NEW LIGHTING AT MEETING / TRAINING AREA (SAME TYPE AS ORIGINAL) \*LONG LEAD TIME, SEE OPTION BELOW
- NEW RECEPES AT MEETING / TRAINING AREA
- ADJUST DATA DROPS AT MEETING / TRAINING AREA
- REMOVE PANEL "LPE" AND RE-WIRE LOADS TO MEZZANINE PANEL

**PRICING:**

- LUMP FOR ABOVE ADDITIONAL WORK \$ 43,261.00
- \* ABOVE PRICING INCLUDES NEW LIGHT FIXTURES THAT ARE SAME TYPE AS CURRENT FIXTURES. HOWEVER, THESE HAVE A 10-WEEK LEAD TIME. WE CAN OFFER VERY SIMILAR FIXTURES THAT HAVE 1-WEEK LEAD TIME, BUT THEY COST MORE **ADD** \$ 1,208.00

**PAYMENT TERMS:** \_\_\_\_\_ 1.5% interest per month 18% per year due on all accounts 30 days past due.

All work to be completed as provided herein. Any Alteration or deviation from above specifications involving extra costs must be in writing. The cost of the alterations or deviation shall be in addition to the above estimate. Proposal withdrawn 30 days from above date. THIS PROPOSAL IS FURTHER SUBJECT TO THE TERMS, CONDITIONS, AND DEFINITIONS SET FORTH ON THE BACK OF THIS PROPOSAL.

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. JB Contracting Corp. ("Contractor") is authorized to begin the job specified herein. The undersigned represents and warrants that the undersigned is an authorized agent of Purchaser.

Date of Acceptance: \_\_\_\_\_

JB Contracting Corporation - JEFF SLOAN EXT 210

By: \_\_\_\_\_  
 Authorized Agent

---

Purchaser:

By: \_\_\_\_\_  
 Authorized Agent



February 28, 2024

Quote # G24-032

Project: RFP #15 Rochelle Municipal

We are pleased to provide a material price for the above project:  
Quote is based on drawings by WH Architects dated 2-26-24

**Items- Main Bid**

- 2 10x15.3 Channel Jambs
- 2 MC 8x22.8 Head Channels with bottom 1/2" Plate and Thru Bolts

For the sum of: **\$ 4,861.00**, No Tax

All Material to Receive One Coat of Sherwin Williams Gray Oxide Primer, U.N.O.

**Exclusions**

- Erection/Installation
- Epoxy for Anchors

**Standard exclusions – All materials**

Carpenter iron and anchor bolts/bolts associated with Lumber. Unloading and Steel erection, unless noted. Items shown only on the mechanical / electrical drawings. Lintels not shown on plans. All allowances. Testing, Inspections or Plan Review fees. Ligated damages or penalty clauses. Rebar. All steel stud / cold formed metal framing. All masonry anchors on steel, unless noted. All adhesive anchor compound and screens for installing anchor rods, unless noted.

**Standard notes & Clarifications**

1. This proposal and pricing is based upon no retainage. Terms are net 30 days after shipment. NO RETAINAGE ALLOWED.
2. All material will be prime painted unless specifically noted.
3. All materials are F.O.B. jobsite, unloading by others.
4. All materials to be fabricated per AISC specifications.
5. This proposal is valid for **5 days** from the date of the proposal.
6. Material delivery is subject to availability
7. Any order issued for this proposal will incorporate this proposal by reference and be fully included in the order.
8. No back charges for field correction of material supplied under this order will be accepted unless Steel Fabricating has been notified prior to the correction, has prior approval and has approved the correction and / or change in writing.
9. Engineer's stamps will not be provided on shop drawings, unless noted.

Sincerely,  
Steel Fabricating, Inc.  
Greg Schlickman  
gschlickman@steelfabrkd.com  
(815) 977-5355

**\*~\*~\*~\* STEEL PRICING ALERT \*~\*~\*~\***

Due to the extremely volatile steel market pricing, pricing for this quotation will be valid for 5 days.  
Prices will be re-evaluated at time of order and all documented increases / surcharges will be applied.

To process your order, please return signed quote and a purchase order.

\_\_\_\_\_  
Signature Authorizing Purchase

\_\_\_\_\_  
Date

\_\_\_\_\_  
PO #

*Important: The quoted price is subject to your agreement to Steel Fabricating's standard terms and conditions(see below). Your signature above acknowledges your agreement thereto. All clerical errors are subject to correction. Steel Fabricating reserves the right to re-quote.*

NOTE: WILL NOT PROCEED UNTIL WRITTEN AUTHORIZATION IS RECEIVED.

**We are a certified minority business, certified by the city of Rockford, CHICAGO MINORITY SUPPLIER DEVELOPMENT COUNCIL, Affiliate of National Minority Supplier Development Council, and Illinois CEI/BEP.**

**Steel Fabricating shall not be responsible for any delay due to any cause beyond our control.**

Established  
1946



1300 Townline Ave.  
Beloit, WI 53511  
Phone: 608.362.8928  
Cell: 608.931.4383  
Email: doug@grommesmillwork.com

Thursday, February 29, 2024

Larson and Larson Builders, Inc.  
Loves Park, IL

Attn: Sheri Green

Rochelle Municipal Building Improvements  
Rochelle, IL

**RE: Revised Proposal Per RFP-15** for Select Scope of Casework and Countertops at the Rochelle Municipal Building Improvement Project

Good morning Sheri,

Please **add the sum of \$7950.00 Dollars (No Sales Tax Included) to our Original Proposal/ Contract (\$16,300.00 Dollars (No Sales Tax Included) per PO/Job #: 195ROC23)** to cover the changes found in RFP-15: ( *Expand Rooms: 110, 111, and 112*)

**New Contract Amount: \$24,250.00 Dollars (No Sales Tax Included)**

**Item #1) (Additional Casework and Countertops)** Kitchen 111 (*Elev.'s: 2, 3, 4A and B/A3, and Revised Elev.'s: 4A and/RFP 15-1, and 5A and B/RFP 15-1*) Casework and Countertops. **Includes:**

- a) Plastic laminate clad (*Wilsonart 7943K-07, Columbian Walnut*) Base cabinets.
- b) Plastic laminate clad (*Wilsonart 4928K-07 Black Alicante*) Countertops, with 1-1/2" thick "D" style front edges, 4" tall integral coved backsplashes, and cutouts for drop-in sinks (*sinks furnished and installed by others*)

**Item #2) (Cabinets Moved, Added Finished End)** Breakroom 112 (*Elev.: 5/A3*) Casework and Countertops. **Includes:**

- a) Plastic laminate clad (*Wilsonart 7943K-07, Columbian Walnut*) Base cabinets.
- b) Plastic laminate clad (*Wilsonart 4928K-07 Black Alicante*) Countertop, with 1-1/2" thick "D" style front edge, 4" tall integral coved backsplash, and applied end splash.

**Item #3) (No Change)** Laundry 117 (*Elev.: 6/A3*) Casework and Countertops. **Includes:**

- a) Plastic laminate clad (*Wilsonart 7943K-07, Columbian Walnut*) Base and Wall cabinets, including open base cabinet with adjustable shelves.
- b) Plastic laminate clad (*Wilsonart 4928K-07 Black Alicante*) Countertop, with 1-1/2" thick "D" style front edges, 4" tall integral coved backsplash, and applied end splash.

**Item #4) (New Item)** Unmarked Room adjacent Office 115 (*Elev.'s: 3A and B/RFP 15-1*) Casework and Countertops. **Includes:**

- a) Plastic laminate clad (*Wilsonart 7943K-07, Columbian Walnut*) Base cabinets, **including:** (2)- Typical Base cabinets and (1)- Angled Corner Base cabinet.
- b) Plastic laminate clad (*Wilsonart 7943K-07, Columbian Walnut*) Wall cabinets, **including:** (4)- Typical Wall cabinets and (1)- Angled Corner Wall cabinet.
- c) Plastic laminate clad (*Wilsonart 4928K-07 Black Alicante*) Countertop, with 1-1/2" thick "D" style front edges, aluminum wall cleat, and (2)- grommets.

Established  
1946



1300 Townline Ave.  
Beloit, WI 53511  
Phone: 608.362.8928  
Cell: 608.931.4383  
Email: doug@grommesmillwork.com

**Exclusions:**

- Installation
- Sales Tax
- *Any items not specifically listed in the Proposal above.*

If you have any questions or concerns regarding this Proposal, please feel free to contact us.

Thank you for your interest and consideration,

*Douglas D. Clark*

Douglas D. Clark, President  
Grommes Millwork Inc.



Complete Mechanical Solutions  
11047 Raleigh Court  
Machesney Park, IL 61115  
815-222-3097

February 29, 2024  
Larson and Larson  
5612 Industrial Avenue  
Loves Park, IL 61111

**RE: RFP 15**

Good morning,

Complete Mechanical Solutions appreciates the opportunity to present this proposal for your consideration. We are dedicated to providing you with exceptional service and are confident that you will be pleased to make the decision to use our team. Please review the following and contact us if you have any questions or concerns.

**SCOPE OF WORK:**

- Remove side wall diffuser and patch opening, save for reinstallation in new location.
- Furnish and install (2) 6 inch supply diffuser.
- Furnish and install (1) 8-inch return diffuser.
- Install new filter for furnace and re-balance system to new values.

**TOTAL MATERIAL & LABOR: \$ 1575.00**

**Notes:**

- Based on straight time labor rate
- Not included: concrete cutting, patching, painting, roofing, electrical, gas pipe, bonds, permits, engineering, or allowances unless listed above.

**Approval Signatures:**

**Customer**

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

**Complete Mechanical Solutions**

Name: Jason Berger \_\_\_\_\_

Signature: *Jason Berger* \_\_\_\_\_

Title: Operations Manager \_\_\_\_\_

Date: February 29, 2024 \_\_\_\_\_



Complete Mechanical Solutions  
11047 Raleigh Court  
Machesney Park, IL 61115  
815-222-3097

#### TERMS AND CONDITIONS OF SERVICE AGREEMENT

All goods services and firmware furnished by Complete Mechanical Solutions (CMS) (hereinafter "Contractor") are governed by these standard terms and conditions, and every agreement or other undertaking by Contractor is expressly conditioned on assent here to by the buyer, and any end user with whom Contractor undertakes to deal, of Contractor's goods services and Firmware ("Customer"). These standard terms and conditions supersede all inconsistent printed terms submitted by Customer prior to Contractor's order acknowledgement. They may be varied only by a typed or legibly handwritten notation on the face of Contractor's quotation or order acknowledgement, Customer's purchase order form, or similar documents. Product and sales policy sheets and the like published from time to time by Contractor shall supplement but not supersede these standard terms and conditions. CONTRACTOR IS NOT BOUND TO FURNISH ITS GOODS, SERVICES OR FIRMWARE EXCEPT IN ACCORDANCE WITH THE TERMS OF ITS ORDER ACKNOWLEDGEMENT, FORM QUOTATION OR OTHER SIMILAR DOCUMENT ISSUED OVER THE SIGNATURE OF AN AUTHORIZED EMPLOYEE OF CONTRACTOR. CONTRACTORS REPRESENTATIVES, DISTRIBUTORS, DEALERS AND OTHER NON-EMPLOYEES HAVE NO AUTHORITY TO BIND CONTRACTOR.

1. **Firmware.** The terms "goods" as used herein shall include firmware which shall mean the set of instructions, consisting of symbolic language, processes, logic, routines and programmed information in the form of firm or soft media relating to any of the goods and all revisions and modifications thereof.
2. **Price/Delivery Terms.** Unless otherwise provided on Contractor's order acknowledgement, price and delivery terms are FOB Contractor's plant and do not include sales, use, or other taxes. Contractor may, at its option, make partial shipments and invoice for same.
3. **Payment/Credit/Security.** Payment terms for buyers with a credit standing deemed adequate by Contractor are net 30 days from date of invoice. Contractor shall be entitled to charge interest thereafter at a rate permitted by law, but in no event 1 ½ % per month. Whenever Contractor in good faith deems itself insecure. Contractor may cancel any outstanding contracts with Customer, revoke its extension of credit to Customer, reduce any unpaid debt by enforcing its security interest, created hereby, in all goods (and proceeds there from) furnished by Contractor to Customer, and take any other steps necessary or desirable to secure Contractor with respect to Customer's payment for goods and services furnished or to be furnished by Contractor. In the event Customer for any reason withholds payment of any amount due to Contractor, Contractor may declare itself insecure and suspend further shipment to Customer until Customer places the withheld amount in escrow and gives adequate security for further shipment or until Customer satisfies Contractor that Customer was entitled to withhold such amount. Contractor shall be entitled to recover from Customer all costs, including reasonable attorney's fees, incurred by Contractor in connection with the collection of any amount due to Contractor.
4. **Cancellation by Customer.**
  - (a) Except as provided in sub-paragraph (b) below, Customers wrongful non-acceptance or repudiation of a contract to purchase Contractor's goods or services shall entitle Contractor to recover the price or, where an action for the price is not permitted by law, damages, as provided by law, including Contractor's lost profits. In this connection all goods purchased and all services furnished by Contractor in complete or partial fulfillment of a special order from Customer shall be deemed identified to the contract between Contractor and Customer.
  - (b) Customer's wrongful non-acceptance or repudiation of a contract to purchase from Contractor goods which Contractor generally carries in inventory as stock items (or which are otherwise readily resaleable by Contractor at a reasonable price) shall entitle Contractor to recover damages, as provided by law, including Contractor's lost profits.
5. **Warranty.** Contractor warrants that all new and inside goods furnished by Contractor are free from defect in workmanship and material as of the time and place of delivery by Contractor. Except for goods and services furnished by Contractor through its employees arising out of orders solicited by Contractor's Representatives and duly accepted by Contractor. Contractor does not warrant and shall not be liable for, the quality of any goods or services furnished by representatives, distributors, dealers or other non-employee of Contractor.

The express warranties provided above are in lieu of all other warranties, express or implied. IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR PARTICULAR PURPOSES ARE EXCLUDED WITH RESPECT TO ANY AND ALL GOODS AND SERVICES FURNISHED BY CONTRACTOR.

In case of Contractor's breach of warranty or any other duty with respect to the quality of any goods, the sole and exclusive remedies therefore shall be, at Supplier's option, (1) repair, (2) replacement, (3) or payment of or credit for the purchase price (less reasonable depreciation based upon actual use) upon return of the non-conforming goods or parts.

Return authorization must be obtained from Contractor prior to the return of any defective material. All unauthorized returns will be sent back, freight collect, to the Customer. All returns must be made with transportation prepaid by the Customer. Contractor's examination of the units must disclose to its satisfaction that defects exist and have not been caused by misuse, neglect, improper installation, repair, alteration or accident before replacement is made or credit issued.
6. **Force Majeure.** Contractor and Customer assume the non-occurrence of the following contingencies which, without limitation, might render performance by Contractor impractical: strike, riots, fires, war, late or non-delivery by suppliers to Contractor, and all other contingencies beyond the reasonable control of Contractor.
7. **No Consequential Damages.** Under no circumstance shall Contractor be liable to any person (including distributor) for loss of use, income or profit or for incidental, special or consequential or other similar damages, arising, directly or indirectly out of or occasioned by the sale, operation, use, installation, repair or replacement of the goods or services, whether such damages are based on a claim of breach of express or implied warranties (including merchantability or fitness for a particular purpose), tortious conduct (including negligence and strict liability) or any other cause of action, except only in the case of personal injury where applicable law requires such liability.
8. **Governing Law.** The law of the state of Illinois shall govern all transactions to which these standard terms and conditions apply.



# DOORS INC.

110 W. 55th Street  
Davenport, IA 52806  
PHONE: 563-386-8508  
FAX: 563-386-1534

Cedar Rapids, IA 52404  
Des Moines, IA 50309  
Fort Dodge, IA 50501  
Iowa City, IA 52240  
Swaledale, IA 50477  
Waterloo, IA 50701

# QUOTATION

**Quote Number:** 29641

**Date:** 2/29/2024

**Customer:** Larson & Larson Builders, Inc.

**Attn:** Sheri Green

**Project Name:** Rochelle Municipal Utilities

**Location:** Rochelle, IL

**Quoted By:** Chris Van Sant

**Terms:** Net 30 Days

No Retainage Allowed

**\*\* This quote is valid for 60 days. \*\***

Per RFP 15

1 - 3070 - 3 Sided Hollow Metal Frame - 5-3/4" Jamb - 2" Faces - MP Anchors - 16 Gauge - Seam Weld - Cold Rolled Steel

1 - 3070 - Flush Hollow Metal Door - 18 Gauge - Cold Rolled Steel

3 Hinges - Storeroom Lock - Closer

1 - 3070 - 3 Sided Cased Hollow Metal Frame 5-3/4" Jamb - 2" Faces - MP Anchors - 16 Gauge - Seam Weld - Cold Rolled Steel

1 - 3070 - Flush Quarter Sliced Red Oak Wood Door Sliding Door - VT Clear Top Coat CL18 Finish - Particleboard Core

1 Sliding Door Track Kit - 2 Flush Door Pulls

**Quote: \$3,695.00 (Plus Tax, Material Only, FOB Jobsite)**

**Change Order Required**

**Add IL Sales Tax - \$230.94**

**CONDITIONS:** Unless otherwise specifically stated above, the following conditions apply to this agreement.

- |  |   |
|--|---|
| 1. Omissions and quantity errors are subject to correction.                                    | 7. Preparation for concealed hardware is excluded.            |
| 2. We do not include glass or glazing.   | 8. All orders are subject to approval of credit by DOORS INC. |
| 3. Steel doors and frames to have standard shop primer finish.                                 | 9. We do not include sales tax.                               |
| 4. Doors and frames to be reinforced for surface applied hardware, but not drilled and tapped. | 10. All materials shall be delivered F.O.B jobsite.           |
| 5. We exclude cylinders for aluminum openings.   | 11. All Bituminous Coatings to be by others.                  |
| 6. All existing wall anchor bolts and screws are excluded.                                     | 12. Quotes are only valid for 60 days.                        |
|  | 13. No Retainage Allowed.                                     |

Accepted By: \_\_\_\_\_

Company: \_\_\_\_\_

Date: \_\_\_\_\_

Respectfully Submitted,

**Chris Van Sant**

cvansant@doorsincdavenport.com

**DOORS INC. DAVENPORT**

# REQUEST FOR PROPOSAL

Request No. 16 Date of Issuance: February 16, 2024 WHA Project Number: 1551D22

Project: City of Rochelle – RMU – Building Improvements Project

Contractor: Larson & Larson Builders, Inc., 5612 Industrial Avenue, Loves Park, IL 61111

Architect\ Engineer: Willett Hofmann & Associates, Inc., 809 East Second Street, Dixon, Illinois

**You are requested to provide a proposal for the following Work to be performed in accordance with the terms of the Contract Documents for the above referenced project.**

Remove existing flooring and base and install new flooring and base as shown on the attached drawing.

**This is NOT an authorization to proceed with the work described above.** The Architect/Engineer and Owner shall evaluate this Proposal. If the terms of the Proposal are acceptable to the Architect/Engineer and Owner, a Change Order will be issued to modify the Contract for Construction.

---

## CONTRACTOR PROPOSAL:

(Name of Contractor) Larson & Larson, Builders, Inc., shall perform the Work described above in accordance with the Contract Documents for the above referenced project for the following terms:

### COST:

The Contract Sum will be **increased / decreased** by the following amount:

(Stated in both words and figures, in case of a discrepancy, the amount given in words shall govern)

Twenty Nine Thousand Three Hundred Twenty Four and 40/100 Dollars Dollars (\$ 29,324.40 ).

### TIME:

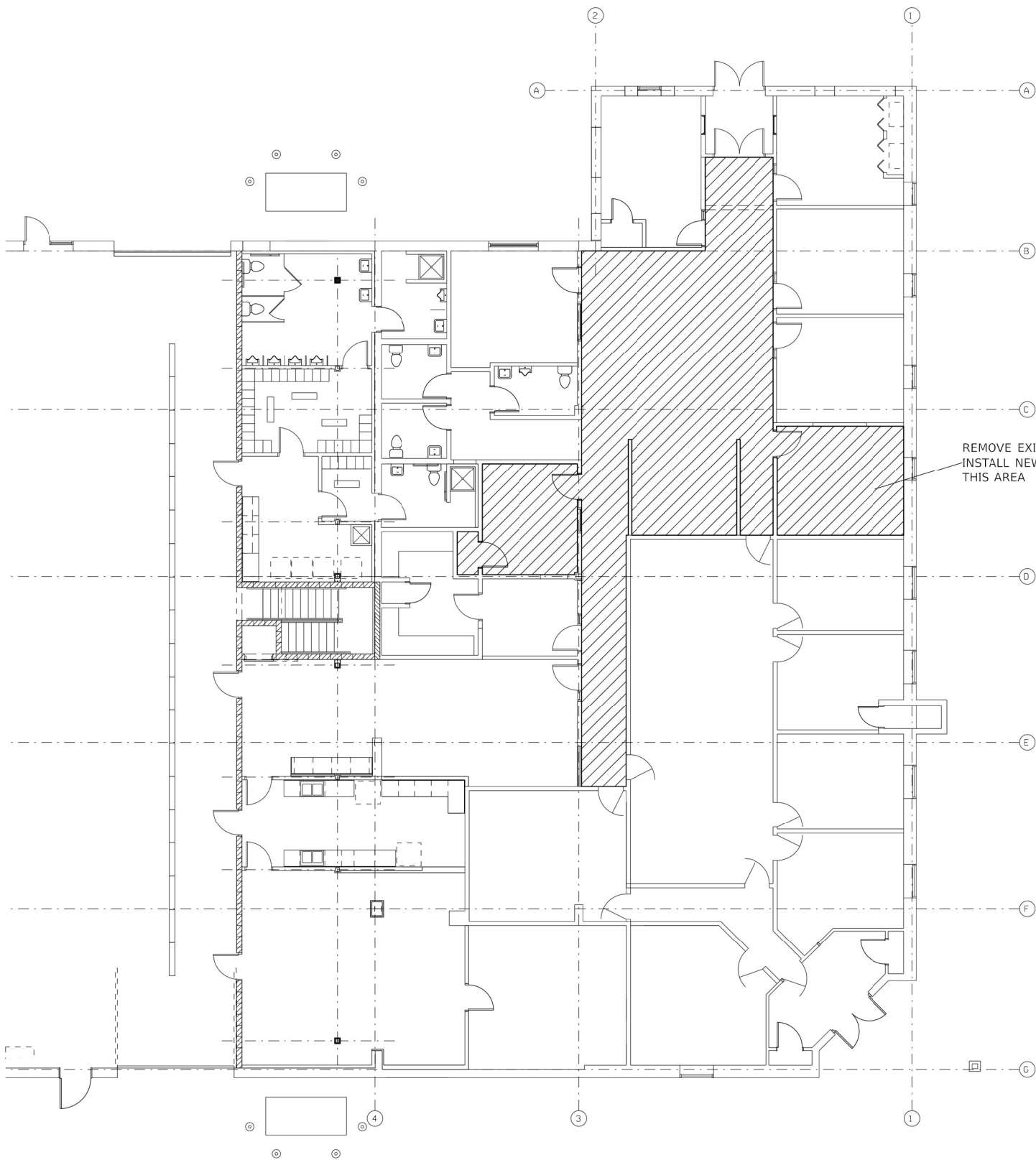
Proposed additional time requested: see attached.

### SIGNATURE:

General Contractor: see attached Date: \_\_\_\_\_

Submitted By: see attached Date: \_\_\_\_\_





REMOVE EXISTING FLOORING AND BASE  
INSTALL NEW FLOORING AND BASE  
THIS AREA



Larson & Larson Builders Inc  
 5612 Industrial Avenue  
 Loves Park, IL 61111

# Request For Change

**Rochelle Municipal Utilities B - 195ROC23**

1030 South 7th Street  
 Rochelle, IL 61068

**RFC No. 15**

**Date:** 02/19/2024

**Respond By:** 02/26/2024

**Sent By:** Sheri Green  
 sheri@llbuilders.net

**Sent To:** Thomas Houck  
 thouck@willetthofmann.com

**Change Reason:** Owner Change

**Scope:** Out Of Scope

**Title:** RFP 16 Remove & Reinstall New Flooring  
 & Base REVISED

**Description:** Labor, equipment and material to complete work as outlined in RFP 16 Remove & Reinstall New Flooring & Base REVISED to add rooms 101, 102 & 103 VCT demo that was to remain per original bid plans.

**Schedule Impact:**

**Scope of Work**

Item	QTY	UM	Unit Price	Price Subtotal
Sub Benchmark Flooring	1	Each	\$27,928.00	\$27,928.00
Sub Markup 5%	1	Each	\$1,396.40	\$1,396.40
			<b>Price Subtotal:</b>	<b>\$29,324.40</b>
			<b>Overhead:</b>	
			<b>Total Price:</b>	<b>\$29,324.40</b>

**Review and Response**

Approved       Rejected       Request Formal Change Order       Other

*Sheri Green*      2/29/24  
 Sheri Green  
 Larson & Larson Builders Inc

\_\_\_\_\_  
 Thomas Houck  
 Willett Hofmann

Benchmark Flooring, Inc.  
8197 Commerce Drive  
Rockford, IL 61111  
815.885.2684  
FAX 815.885.2618  
nateb@benchmarkflooring.com



# Proposal

---

<b>To:</b> Brandin Keltner	<b>From:</b> Nate Boggs
<b>Fax:</b>	<b>Pages:</b> (incl. Cover)
<b>Phone:</b>	<b>Date:</b> 2/6/2024
<b>Re:</b> Rochelle Municipal Building	<b>CC:</b>

---

- Urgent**     **For Review**     **Please Comment**     **Please Reply**     **Please Recycle**
- 

To supply and install Flexco Natural Elements LVT and resilient base (same as other areas) in adjoining corridors, open reception break area, side office new entry and three side offices. Estimated 2200 square feet. Includes skim coat.

Total \$27,928.00

---

**From:** [Brandin Keltner](#)  
**To:** [Thomas Houck](#); [Sheri Green](#)  
**Subject:** [EXTERNAL]RE: [EXTERNAL]RE: [EXTERNAL]Rochelle Municipal Utilities Building Improvements 195ROC23 - RFC 15 RFP 16 Remove & Reinstall New Flooring & Base REV 2  
**Date:** Thursday, February 29, 2024 10:57:08 AM  
**Attachments:** [image001.jpg](#)  
[image008.png](#)  
[image011.png](#)  
[image012.png](#)  
[image013.png](#)  
[image014.png](#)  
[image015.png](#)  
[image002.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

That is correct.

Thank you,

**Brandin Keltner**  
Project Manager  
E: [brandin@lbuilders.net](mailto:brandin@lbuilders.net)  
P: 815-209-5351

5612 Industrial Ave, Loves Park, IL 61111



**From:** Thomas Houck <[thouck@willetthofmann.com](mailto:thouck@willetthofmann.com)>  
**Sent:** Thursday, February 29, 2024 10:53 AM  
**To:** Brandin Keltner <[brandin@lbuilders.net](mailto:brandin@lbuilders.net)>; Sheri Green <[sheri@lbuilders.net](mailto:sheri@lbuilders.net)>  
**Subject:** RE: [EXTERNAL]RE: [EXTERNAL]Rochelle Municipal Utilities Building Improvements 195ROC23 - RFC 15 RFP 16 Remove & Reinstall New Flooring & Base REV 2

Brandin,  
I think I get it – his original pricing for the changes wasn't complete?

**Thomas W. Houck, AIA, PE, LEED AP BD+C**  
Vice President  
Architectural Department Manager



[WillettHofmann.com](http://WillettHofmann.com)

*Serving Our Clients Since 1935*

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**From:** Brandin Keltner <[brandin@lbuilders.net](mailto:brandin@lbuilders.net)>  
**Sent:** Thursday, February 29, 2024 10:47 AM  
**To:** Thomas Houck <[thouck@willetthofmann.com](mailto:thouck@willetthofmann.com)>; Sheri Green <[sheri@lbuilders.net](mailto:sheri@lbuilders.net)>  
**Subject:** [EXTERNAL]RE: [EXTERNAL]Rochelle Municipal Utilities Building Improvements 195ROC23 - RFC 15 RFP 16 Remove & Reinstall New Flooring & Base REV 2

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Tom –

We are struggling with our flooring contractor. He was not getting the jist of the modifications. Sheri spent an hour on the phone with him, after I spoke to him for 15 minutes this morning. Apparently, he was still missing some of that scope of work.

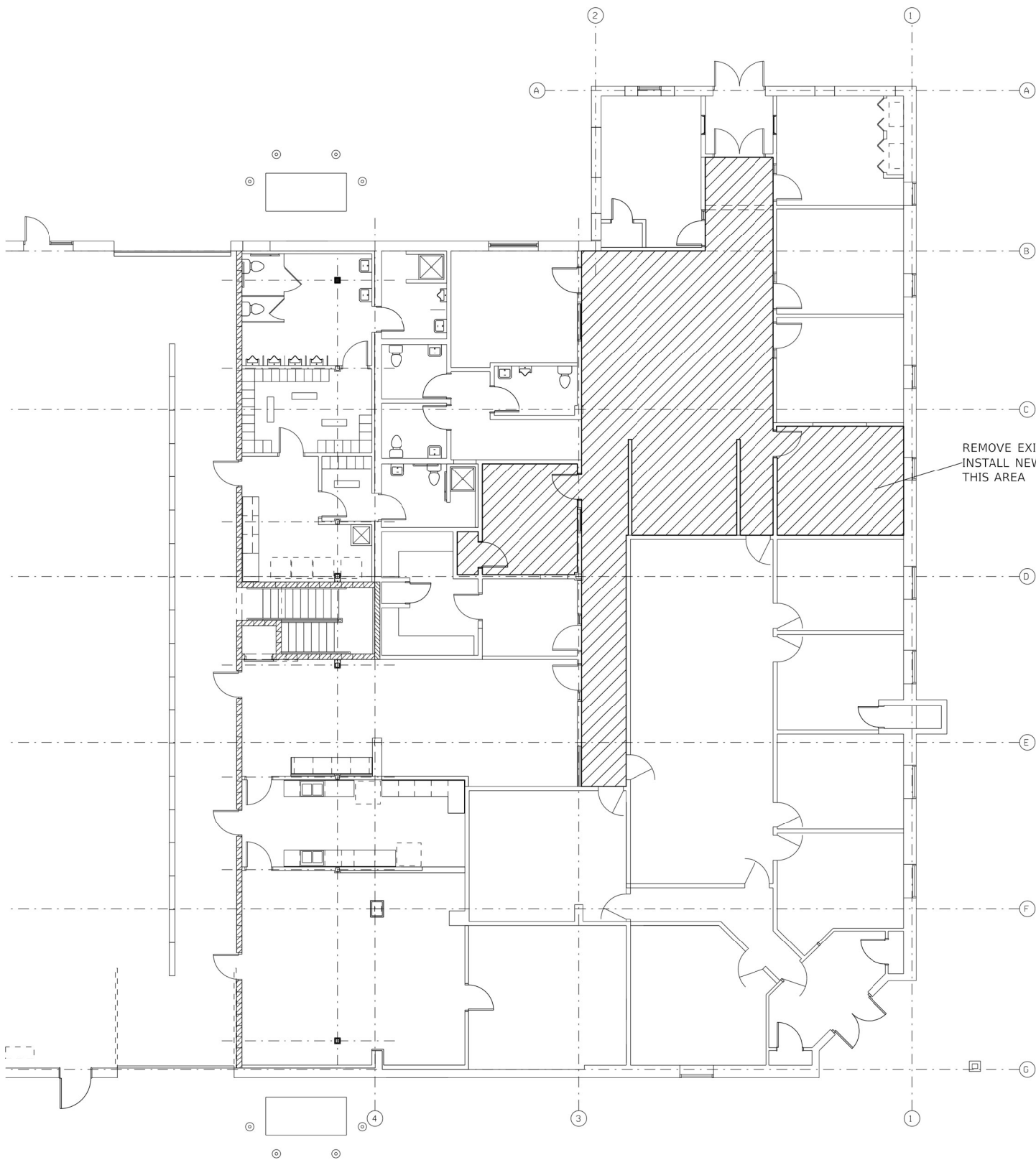
This captures all of the offices and the common area that was not part of any previous change orders finally.

That being said, I spoke to Jay yesterday and got approval on rooms 101, 102, and 103 to have them install at a cost of \$4,100. This is included in this change order too. If this doesn't get approved by council we will have to work through the \$4,100. The \$4,100 allows us to put flooring down in the rooms tomorrow in order to move the offices over so we can continue the next phase.

Thank you,

**Brandin Keltner**  
Project Manager  
E: [brandin@lbuilders.net](mailto:brandin@lbuilders.net)  
P: 815-209-5351





REMOVE EXISTING FLOORING AND BASE  
INSTALL NEW FLOORING AND BASE  
THIS AREA

# REQUEST FOR PROPOSAL

Request No. 17 Date of Issuance: February 16, 2024 WHA Project Number: 1551D22

Project: City of Rochelle – RMU – Building Improvements Project

Contractor: Larson & Larson Builders, Inc., 5612 Industrial Avenue, Loves Park, IL 61111

Architect\ Engineer: Willett Hofmann & Associates, Inc., 809 East Second Street, Dixon, Illinois

**You are requested to provide a proposal for the following Work to be performed in accordance with the terms of the Contract Documents for the above referenced project.**

At Mezzanine: Install new vinyl faced insulation batts to match existing and paint walls as shown on the attached drawing.

**This is NOT an authorization to proceed with the work described above.** The Architect/Engineer and Owner shall evaluate this Proposal. If the terms of the Proposal are acceptable to the Architect/Engineer and Owner, a Change Order will be issued to modify the Contract for Construction.

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## CONTRACTOR PROPOSAL:

(Name of Contractor) Larson & Larson, Builders, Inc., shall perform the Work described above in accordance with the Contract Documents for the above referenced project for the following terms:

### COST:

The Contract Sum will be **increased** / **decreased** by the following amount:

(Stated in both words and figures, in case of a discrepancy, the amount given in words shall govern)

Nine Thousand Two Hundred Thirty One and 95/100 Dollars (\$ 9,231.95).

### TIME:

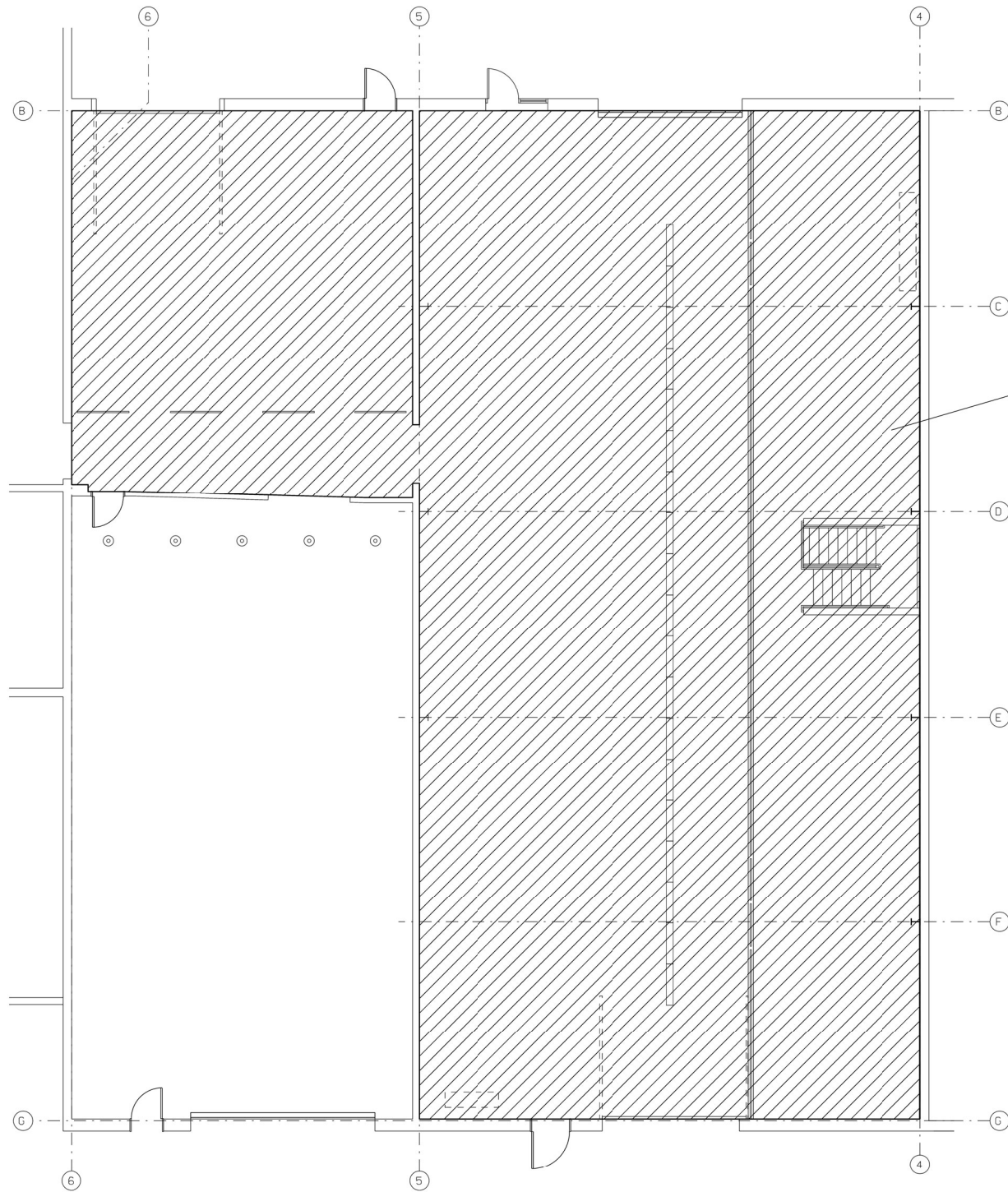
Proposed additional time requested: see attached.

### SIGNATURE:

General Contractor: see attached Date: \_\_\_\_\_

Submitted By: see attached Date: \_\_\_\_\_





FILL ALL WALL CRACKS  
PAINT ALL WALLS AND CEILINGS  
THIS AREA

MEZZANINE PLAN



Larson & Larson Builders Inc  
5612 Industrial Avenue  
Loves Park, IL 61111

# Request For Change

**Rochelle Municipal Utilities B - 195ROC23**

1030 South 7th Street  
Rochelle, IL 61068

**RFC No. 16**

<b>Date:</b>	02/26/2024	<b>Respond By:</b>	03/04/2024
<b>Sent By:</b>	Sheri Green sheri@lbuilders.net	<b>Sent To:</b>	Thomas Houck thouck@willetthofmann.com

**Change Reason:** Owner Change      **Scope:** Out Of Scope

**Title:** RFP 17 Mezzanine Install New Vinyl Faced Insulation Batts

**Description:** Labor, equipment and material to complete work as outlined in RFP 17 Mezzanine Install New Vinyl Faced Insulation Batts.


**Schedule Impact:**

**Scope of Work**

Item	QTY	UM	Unit Price	Price Subtotal
L&L Labor	8	Hours	\$145.00	\$1,160.00
L&L Material	1	Each	\$800.00	\$800.00
L&L Self Perform Markup 10%	1	Each	\$196.00	\$196.00
Sub Schoening's	1	Each	\$6,739.00	\$6,739.00
Sub Markup 5%	1	Each	\$336.95	\$336.95
			<b>Price Subtotal:</b>	<b>\$9,231.95</b>
			<b>Overhead:</b>	
			<b>Total Price:</b>	<b>\$9,231.95</b>

**Review and Response**

Approved     
  Rejected     
  Request Formal Change Order     
  Other

  
 Sheri Green      2/27/24  
 Larson & Larson Builders Inc

\_\_\_\_\_  
 Thomas Houck  
 Willett Hofmann



**Painting & Decorating Inc.**

**750 N. Madison St. • Rockford, IL 61107**

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**815/962-5111**  
**Fax: 815/962-6905**

Painting@Schoeningspainting.com

February 26, 2024

Larson & Larson Builders, Inc.  
5612 Industrial Ave.  
Loves Park, IL 61111  
Sheri@llbuilders.net

**Subject:** City of Rochelle – RMU Request for Proposal #17

Dear Sheri,

Schoenings has reviewed the #17 RFP for Rochelle Municipal Utilities Building and there will be an additional cost.

The ceiling will have to dry for at least two (2) days after we power wash it. Then we will do the finish coatings.

**Please use the added sum of \$6,739.00**

Respectfully Submitted,

SCHOENING PAINTING AND DECORATING, INC.

Michelle Schlensker

# REQUEST FOR PROPOSAL

Request No. 19 Date of Issuance: February 16, 2024 WHA Project Number: 1551D22

Project: City of Rochelle – RMU – Building Improvements Project

Contractor: Larson & Larson Builders, Inc., 5612 Industrial Avenue, Loves Park, IL 61111

Architect\ Engineer: Willett Hofmann & Associates, Inc., 809 East Second Street, Dixon, Illinois

**You are requested to provide a proposal for the following Work to be performed in accordance with the terms of the Contract Documents for the above referenced project.**

Install additional windows at two (2) new offices as shown on the attached drawing.  
Windows to be 24" W x 48" H and shall match existing windows.  
Andersen 400 Series Casement Window (contractor verify) with pine interior to match existing windows.  
Traditional profile (contractor verify). Provide screens and hardware.

**This is NOT an authorization to proceed with the work described above.** The Architect/Engineer and Owner shall evaluate this Proposal. If the terms of the Proposal are acceptable to the Architect/Engineer and Owner, a Change Order will be issued to modify the Contract for Construction.

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## CONTRACTOR PROPOSAL:

(Name of Contractor) Larson & Larson, Builders, Inc., shall perform the Work described above in accordance with the Contract Documents for the above referenced project for the following terms:

### COST:

The Contract Sum will be **increased / decreased** by the following amount:  
(Stated in both words and figures, in case of a discrepancy, the amount given in words shall govern)

Four Thousand Eight Hundred Seven and 00/100 Dollars (\$ \$4,807.00).

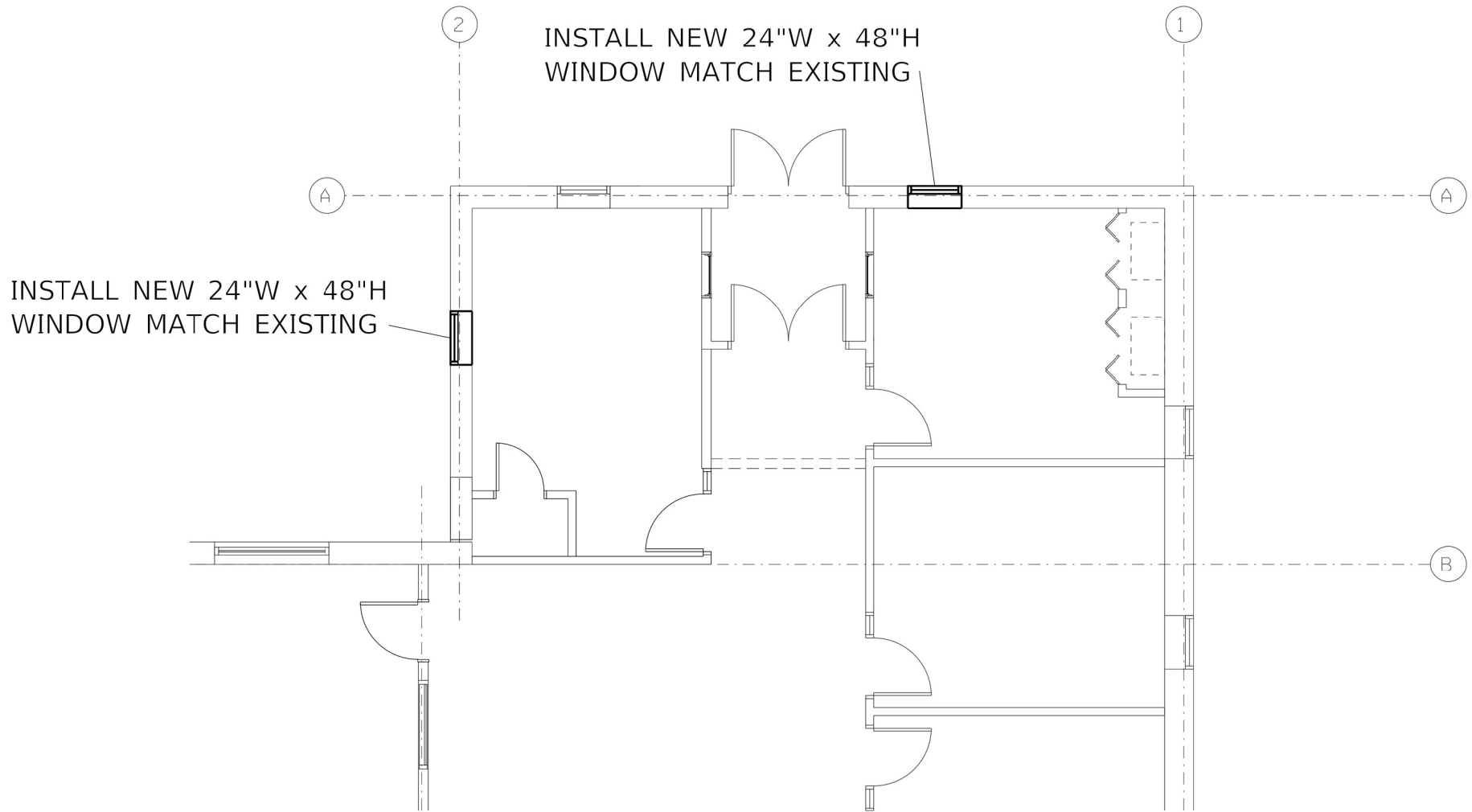
### TIME:

Proposed additional time requested: see attached.

### SIGNATURE:

General Contractor: see attached Date: \_\_\_\_\_

Submitted By: see attached Date: \_\_\_\_\_





Larson & Larson Builders Inc  
5612 Industrial Avenue  
Loves Park, IL 61111

# Request For Change

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**Rochelle Municipal Utilities B - 195ROC23**

1030 South 7th Street  
Rochelle, IL 61068

**RFC No. 17****Date:** 02/26/2024**Respond By:** 03/04/2024**Sent By:** Sheri Green  
sheri@llbuilders.net**Sent To:** Thomas Houck  
thouck@willetthofmann.com**Change Reason:** Owner Change**Scope:** Out Of Scope**Title:** RFP 19 Install Windows At Two New Offices**Description:** Labor, equipment and material to complete work as requested in RFP 19 Install Windows At Two New Offices.**Schedule Impact:****Scope of Work**

Item	QTY	UM	Unit Price	Price Subtotal
L&L Labor	16	Hours	\$145.00	\$2,320.00
L&L Misc. Material	1	Each	\$500.00	\$500.00
L&L Windows	2	Each	\$775.00	\$1,550.00
L&L Self Perform Markup 10%	1	Each	\$437.00	\$437.00
			<b>Price Subtotal:</b>	<b>\$4,807.00</b>
			<b>Overhead:</b>	
			<b>Total Price:</b>	<b>\$4,807.00</b>

**Review and Response** Approved Rejected Request Formal Change Order Other

*Sheri Green*

2/26/24

Sheri Green

Larson & Larson Builders Inc

Thomas Houck

Willet Hofmann

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Larson & Larson Builders Inc  
 5612 Industrial Avenue  
 Loves Park, IL 61111

# Request For Change

**Rochelle Municipal Utilities B - 195ROC23**

1030 South 7th Street  
 Rochelle, IL 61068

**RFC No. 19**

**Date:** 02/29/2024  
**Sent By:** Sheri Green  
 sheri@llbuilders.net

**Respond By:** 03/07/2024  
**Sent To:** Thomas Houck  
 thouck@willetthofmann.com

**Change Reason:** Owner Change

**Scope:** Out Of Scope

**Title:** Credit Unused Portion Of Allowance

**Description:** Credit unused portion of allowance.

**Schedule Impact:**

**Scope of Work**

Item	QTY	UM	Unit Price	Price Subtotal
Credit Unused Portion Of Allowance	1	Each	(\$2,408.55)	(\$2,408.55)
			<b>Price Subtotal:</b>	<b>(\$2,408.55)</b>
			<b>Overhead:</b>	
			<b>Total Price:</b>	<b>(\$2,408.55)</b>

**Review and Response**

Approved       Rejected       Request Formal Change Order       Other

*Sheri Green*      2/29/24  
 Sheri Green

Larson & Larson Builders Inc

Thomas Houck  
 Willett Hofmann