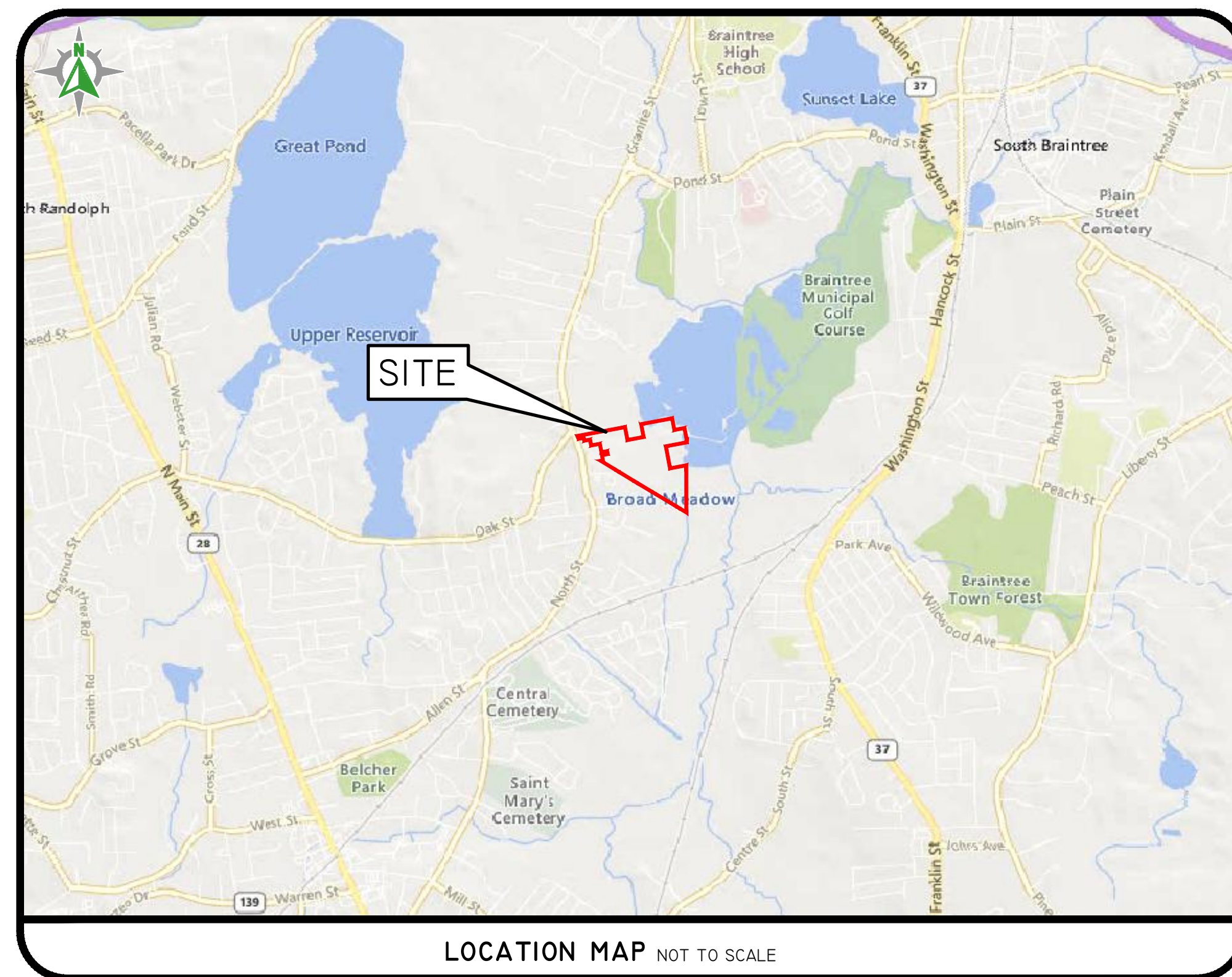


RANDOLPH, MASSACHUSETTS



SWPPP / O&M
THE STORMWATER POLLUTION PREVENT PLAN (SWPPP) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

\\DESKTOP\PROJECTS\2023\04-02 RANDOLPH ROAD\AUTOCAD DRAWINGS\04-02-CVAR.DWG PLOTTED: 5/15/2023

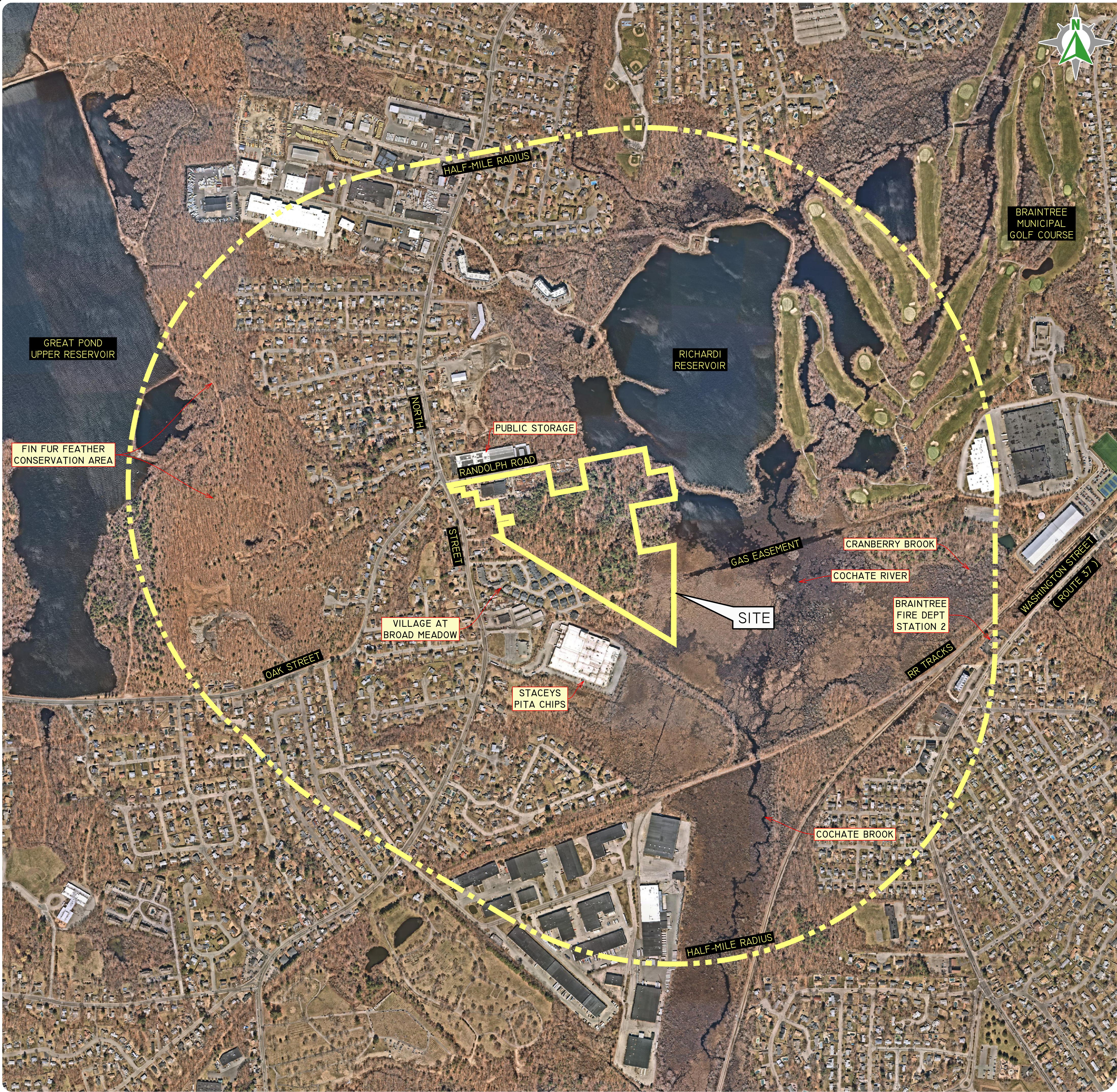
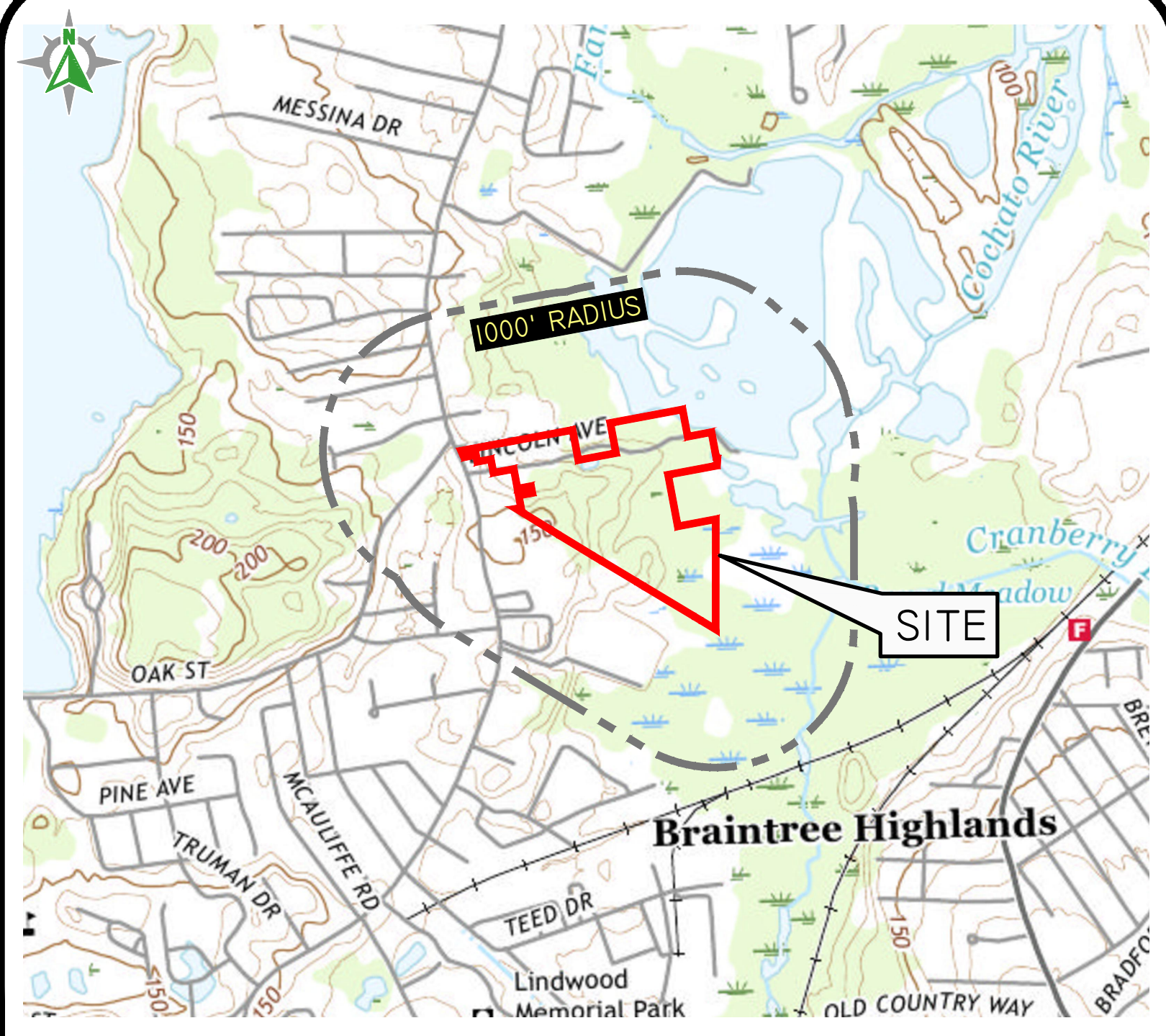


PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 04-02-2023.

SCALE: 1"=400'
0 200' 400' 800'



USGS MAP SCALE: 1"=1000'

AERIAL HALF-MILE RADIUS & USGS MAP
RANDOLPH ROAD, MULTIPLE PARCELS
WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS

PREPARED FOR
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

DE A308 NO. 2954-002 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES
UNLESS IT IS FIRST REVIEWED AND APPROVED BY THE
REGISTERED PROFESSIONAL ENGINEER OF DIPRETE
ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE
ENGINEERING PROJECT. DIPRETE ENGINEERING, DIPRETE
PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE
ENGINEERING ASSOCIATES, INC. AND DIPRETE ENGINEERING
ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY
THE CONSTRUCTION OF THE PROJECT OR FOR ANY OTHER
METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND USHA
DESIGN PERFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND
DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE
ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR
THE LOCATION, DEPTH, OR TYPE OF UTILITIES. SEE
SEE "UTILITY NOTE" ON SHEET 3.

DATE	04-12-2023	PLANNING BOARD SUBMISSION	B.A.W.
DATE	04-12-2023	DESCRIPTION	B.T.
DRAWN BY	B.A.W.	DESIGN BY	K.J.D.



5/16/2023
Brandon D. Carr

Diprete Engineering

105 Eastern Avenue Suite 200 Dedham, MA 02026
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

GENERAL NOTES:

1. THE PARCELS ARE LOCATED IN THE TOWN OF RANDOLPH , NORFOLK COUNTY, MASSACHUSETTS HAVING THE PARCEL ID 17-I-1.0, 17-K-2, 17-I-3, 17-I-2.192, 17-I-4.201, 17-H-1.0, 17-H-2.554-5, 17-K-1.R, 17-J-7.1, 17-J-4.225-2, 17-L-1.S, 17-L-2.695, 17-D-5.704-7, 34-A-2.713-7, 17-J-4.785, 34-A-3.759-7.
2. THE OWNER OF:
- PARCEL ID: 17-I-1.0, 17-K-2 PER LAND COURT CERTIFICATE NO. 185899 IS:
- ML REAL ESTATE TRUST LLC
II RANDOLPH ROAD
RANDOLPH, MA 02368
- PARCEL ID: 17-I-3, 17-I-2.192, 17-I-4.201, 17-H-1.0, 17-H-2.554-5, 17-K-1.R, 17-J-7.1, 17-J-4.225-2, 17-L-1.S, 17-L-2.695, 17-D-5.704-7, 34-A-2.713-7, 17-J-4.785, 34-A-3.759-7 PER DEED BOOK 36563, PAGE 246 IS:
- RANDOLPH ROAD REALTY LLC,
II RANDOLPH ROAD
RANDOLPH, MA 02368

3. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, X (SHADED), AND AE. REFERENCE FEMA FLOOD INSURANCE RATE MAP 2502C027E, MAP REVISED JULY 17, 2012. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
4. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
5. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON AUGUST 18, 2022 AND FEBRUARY 7 & 16, 2023. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THESE DATES.
6. WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING. WETLAND FLAGS WERE DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS.
- WETLAND FLAG LOCATION BASED ON PLAN TITLED "EXISTING CONDITIONS" PREPARED FOR ML REAL ESTATE TRUST, PREPARED BY SLB GROUP, LLC, DATED OCTOBER 14, 2015 & REVISED NOVEMBER 17, 2015.
- WETLAND FLAG LOCATION BASED ON AN ON THE GROUND FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON SEPTEMBER 19, 2022. ADDITIONAL FLAGS AAI - AA6, AI - AII, A58 - A79, AND A90 - A92 WERE LOCATED ON FEBRUARY 16, 2023.

7. THE SITE IS WITHIN A WATER RESOURCE PROTECTION AREA (ZONE A AND ZONE B).
8. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO ESTIMATED PRIORITY HABITATS, OR PRIORITY HABITAT AREAS ONSITE. THIS WAS DETERMINED BY LEC ENVIRONMENTAL CONSULTANTS, INC.
9. ALL TOPOGRAPHY SHOWN ON THIS SURVEY IS BASED ON LIDAR DATA FLOWN & COMPILED BY BLUE-SKY, NORTH ADAMS, MA, THE CONTOUR INTERVAL IS 2 FEET, NINETY PERCENT OF THE TOPOGRAPHY AS DEPICTED IS ACCURATE TO WITHIN HALF THE CONTOUR INTERVAL, AND THE REMAINING TEN PERCENT IS ACCURATE TO WITHIN ONE FULL CONTOUR INTERVAL.
10. ALL WORK PERFORMED HEREIN IS TO BE COVERED BY CURRENT EDITIONS OF THE MASSDOT HIGHWAY DIVISION CONSTRUCTION STANDARD DETAILS, TOWN OF RANDOLPH STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS AND DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
11. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
- STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION

9. THIS PLAN SET REFERENCES MASSDOT HIGHWAY DIVISION STANDARD DETAILS (DESIGNATED AS MASSDOT STD XXX.X.X). MASSDOT STANDARD DETAILS ARE AVAILABLE FROM MASSDOT AND ONLINE AT [HTTPS://WWW.MASS.GOV/LISTS/CONSTRUCTION-DETAILS](https://www.mass.gov/lists/construction-details)
10. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
11. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF RANDOLPH SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND STORMWATER SAND FILTERS & PONDS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE MASSDEP BEST MANAGEMENT PRACTICES.
12. THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
13. SOIL EVALUATIONS WERE COMPLETED BY SANBORN, HEAD & ASSOCIATES, INC., DURING SEPTEMBER AND OCTOBER OF 2022.
14. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSED TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
15. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.
16. ADDITIONAL TEST HOLES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION.

SOIL INFORMATION:

(REFERENCE: USDA NATIONAL RESOURCES CONSERVATION SERVICE)
SOIL NAME DESCRIPTION

SOIL CODE	SOIL DESCRIPTION	HSG
1	WATER	---
5	SACO SILT LOAM, FREQUENTLY PONDED, 0 TO 1 PERCENT SLOPES, FREQUENTLY FLOOD	B/D
31A	WALPOLE SANDY LOAM, 0 TO 3 PERCENT SLOPES	B/D
103C	CHARLTON-HOLLIS-ROCK OUTCROP COMPLEX, 8 TO 15 PERCENT SLOPES	B ; D ; D
255C	WINDSOR LOAMY SAND, 8 TO 15 PERCENT SLOPES	A
256A	DEERFIELD LOAMY FINE SAND, 0 TO 3 PERCENT SLOPES	A
256B	DEERFIELD LOAMY FINE SAND, 3 TO 8 PERCENT SLOPES	A
422B	CANTON FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES, EXTREMELY STONY	B
600	PITS, SAND AND GRAVEL	---
602	URBAN LAND, 0 TO 15 PERCENT SLOPES	A
626B	MERRIMACK-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	A
653	UDORHTHENS, SANDY	A
655	UDORHTHENS, WET SUBSTRATUM	---

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND THE CONSERVATION COMMISSION AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL, INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, TEMPORARY SEDIMENTATION PONDS, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS (MESCG) AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE MESCG, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE MESCG BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SWPPP WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION PHASES. PURSUANT TO NOTE 1 ABOVE, SWPPP REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SWPPP RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK. TEMPORARY SWALES MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALES, TO BE PER THE DESIGN PLANS.
4. ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT TRAPS MUST BE CLEARED AND BROUGHT TO FINAL DESIGN GRADES.
5. INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
6. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING, SEE SWPPP PLAN.
7. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
8. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

1. CONTRACTOR MUST NOTIFY "DIG SAFE" AT 811 (OR 1-888-364-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
4. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, UNLESS OTHERWISE NOTED.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (RCD) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. RCD MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
6. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS, INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK, MUST BE RESTORED TO MATCH THE DESIGN PLANS.
7. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
8. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
9. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
10. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

TRAFFIC NOTES:

1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON MASSDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF THE FIELD LOCATION SURVEY IMPROVEMENTS. SURVEYOR MUST PROVIDE MEASUREMENTS, WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

LAYOUT AND MATERIALS:

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING MUST BE PRECAST CONCRETE, OR AS LABELED ON THE PLANS.
3. SIDEWALK MUST BE CONCRETE, EXPOSED AGGREGATE CONCRETE, STAMPED CONCRETE OR BITUMINOUS OR AS LABELED ON THE PLANS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE MUTCO AND AUTHORITIES HAVING JURISDICTION, REGARDLESS OF ITEMS SHOWN (OR NOT SHOWN) ON THIS PLAN SET. THIS INCLUDES (BUT MAY NOT BE LIMITED TO) SIGN TYPE, NUMBER OF SIGNS, POLE/ MOUNTING TYPE, PAVEMENT MARKING LOCATIONS/ TYPE/ WIDTH, MATERIALS, INSTALLATION METHODS, AND ANY ADDITIONAL SIGNS AND/OR MARKINGS THAT MAY BE REQUIRED. THE CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY MODIFICATIONS OR DISCREPANCIES PRIOR TO ORDERING OR INSTALLING SIGNAGE/ PAVEMENT MARKINGS.
5. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURE, LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
6. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS. PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PADS, LOADING DOCKS, BOLLARDS, ETC.
7. CONTROL POINTS, PROPOSED BOUNDS, AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
8. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
9. ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE AASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE DESIGN ENGINEER IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND DESIGN ENGINEER PRIOR TO CONSTRUCTION. GUARDRAIL IS REQUIRED AT ALL ROADWAYS/PARKING LOTS/PAVED TRAFFIC AREAS ADJACENT TO SLOPES WITH A HEIGHT GREATER THAN SIX FEET AT A 3:1 SLOPE, AND ALL SLOPES WITH A HEIGHT GREATER THAN THREE FEET AT A 2:1 SLOPE, AND ALL RETAINING WALLS GREATER THAN TWO FEET IN HEIGHT. THE CONTRACTOR IS RESPONSIBLE TO MEET ANY AND ALL GUARDRAIL PROVISIONS THAT MAY BE REQUIRED BY THE AHJ.
10. INFRASTRUCTURE TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, ANY DISTURBED PAVEMENT ON ROADWAYS AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
11. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.

GRADING, DRAINAGE, AND UTILITY NOTES:

1. CONSTRUCTION TO COMMENCE WINTER 2023 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A MASSACHUSETTS LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE. ALL EXCESS SOIL, TREES, ROCKS, BOLLARDS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
10. THE SITE WILL HAVE 6" CONCRETE CURBING. SITE GRADING SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
11. NO STUMP DUMPS ARE ALLOWED ON SITE.
12. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY DIPRETE ENGINEERING OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER, IS CONSIDERED AN INCIDENTAL CONSTRUCTION RISK TO THE CONTRACTOR'S RISK.
13. CONTRACTOR MUST PROVIDE SUE CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
14. IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.
15. ALL RESIDENTIAL BUILDING SLABS (BASEMENT AND/OR SLAB ON GRADE), REGARDLESS OF FINISH FLOOR ELEVATIONS SHOWN ON PLANS, MUST HAVE A MINIMUM OF 12" OF SEPARATION TO THE SEASONAL HIGH GROUNDWATER TABLE.
16. CONTRACTOR MUST HOLD/ SUPPORT/ RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) POLES, MAST ARMS AND ABOVEGROUND OBJECTS AS NECESSARY DURING THE PROPOSED WORKS AND ELECTRICAL INSTALLATION. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS INCIDENTAL DURING UTILITY CONNECTION/ ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURB IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.

DRAINAGE

ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE), OR EQUAL, WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY MUST BE REINFORCED CONCRETE PIPE (RCP).

DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):

- CATCH BASINS (CB): MASSDOT STD. 201.6.0 OR APPROVED EQUAL.
- FLAT TOP CATCH BASINS (CB FLAT TOP): SCITUATE COMPANIES 4" DIA CATCH BASIN SRP-CB4 (ALTERNATE FLAT TOP AASHTO HS-20), 4" DIA LOW PROFILE FLAT TOP SRP-DF4, OR APPROVED EQUAL. SEE PLANS FOR ALTERNATE STRUCTURE DIAMETERS WHERE REQUIRED.
- FLAT TOP DOUBLE CATCH BASINS (DCB FLAT TOP): SCITUATE COMPANIES 4" DIA DOUBLE CATCH BASIN DWO SRP-CB4, OR APPROVED EQUAL. SEE PLANS FOR ALTERNATE STRUCTURE DIAMETERS WHERE REQUIRED.
- CATCH BASIN FRAMES: MASSDOT STD. 201.6.0 OR APPROVED EQUAL.
- GUTTER INLET (GI): MASSDOT STD. 201.2.0 OR APPROVED EQUAL.
- DRAINAGE MANHOLES (DMH): MASSDOT STD. 202.4.0 OR APPROVED EQUAL.
- ALL BYPASS MANHOLES/STRUCTURES WITH INTERNAL WEIR TO BE MASSDOT STD 202.4.0 WITH FLAT TOP OR APPROVED EQUAL.
- DRIVE MABLE FRAMES AND COVERS: MASSDOT STD. 202.6.0 OR APPROVED EQUAL.
- NYLOPLAST DRAIN BASIN (DB) WITH CAP STYLE REDUCER 12"x12" SQUARE GRATE OR APPROVED EQUAL.
- DOWNSTREAM DEFENDERS (DD) BY HYDRO INTERNATIONAL OR APPROVED EQUAL.
- HTTPS://WWW.HYDRO-INT.COM/RESOURCES/DOWNSTREAM-DEFENDER-PDF-OR-DWO-DRAWINGS
- ALL CATCH BASINS WITHIN PARKING LOT MUST CONTAIN HOODS, AND INCLUDE 4" SUMP.
- ALL MANHOLES MUST SUPPORT AASHTO HS20-44 LOADING.
- ALL MANHOLES MUST BE BELLEVILLE TYPE OR APPROVED EQUAL.
- ALL OUTLET CONTROL STRUCTURES (OCS) AND DRAINAGE MANHOLES WITH INTERNAL WEIRS MUST USE FLAT TOP STRUCTURE COVER.
- FOR ALL OTHER DRAINAGE STRUCTURES: IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE APPROPRIATE STRUCTURE TOP REQUIRED (E.G. CONE TOP, FLAT TOP ETC.) TO MEET THE DESIGN PARAMETERS AS SHOWN ON THESE PLANS, INCLUDING (BUT NOT LIMITED TO) THE RELATIONSHIP BETWEEN FINISH SURFACE ELEVATION/ DEPTH TO PIPE INVERTS AND MEETING MANUFACTURER/ AHJ REQUIREMENTS & SPECIFICATIONS.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SLOPES TO THE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE TOWN OF RANDOLPH WATER & SEWER AUTHORITY, MWRA AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL FITTINGS, STRUCTURE SEALS AND CONNECTIONS AT OR BELOW FLOODWATER ELEVATION MUST BE WATERTIGHT. ALL ACCESS OPENINGS AT OR BELOW FLOODWATER ELEVATION MUST BE BOLT DOWN.

WATER

ALL WATER LINES MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE TOWN OF RANDOLPH WATER & SEWER AUTHORITY AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL ACCESS OPENINGS AT OR BELOW FLOODWATER ELEVATION ARE TO BE BOLT DOWN.

IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS, AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH NATIONAL GRID/APPROPRIATE UTILITY AUTHORITY PRIOR TO CONSTRUCTION. ALL ACCESS OPENINGS AT OR BELOW FLOODWATER ELEVATION MUST BE BOLT DOWN WHERE APPLICABLE.

SITE LIGHTING

TEMPORARY (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLE MUST BE COORDINATED WITH OTHER UTILITIES AND MUST BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

UTILITY PLAN REFERENCES:

SEWER INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

ABBREVIATIONS LEGEND

ADA	AMERICANS WITH DISABILITY ACT	N/F	NOW OR FORMERLY
AHA	AUTHORITY HAVING JURISDICTION	OHW	OVERHEAD WIRE
AJK	ALSO KNOWN AS	PE	POLYETHYLENE
AP	ASSESSOR'S PLAT	ℙ	PROPERTY LINE
ARCH	ARCHITECT	PR	PROPOSED
BC	BOTTOM OF CURB	PVC	POLYVINYL CHLORIDE
BT	BOTTOM OF TRESTLE	R	RADIUS
BIT	BITUMINOUS (BERM)	RCD	REMOVE AND DISPOSE
BIO	BIORETENTION	RCP	REINFORCED CONCRETE PIPE
BS	BASEMENT SLAB ELEVATION	RL	ROOF LEADER
BW	FINISHED GRADE AT BOTTOM OF WALL	ROW	RIGHT-OF-WAY
CB	CATCH BASIN	S	SLOPE
(C)	CALCULATED	SD	SUBDRAIN
℄	CENTERLINE	SED	SEDIMENT FOREBAY
(CA)	CHORD ANGLE	SF	SQUARE FOOT
CLDIP	CONCRETE LINED DUCTILE IRON PIPE	SFL	STATE FREEWAY LINE
CO	CLEAN OUT	SFM	SEWER FORCE MAIN
CONC	CONCRETE	SG	SLAB ON GRADE ELEVATION
(D)	DEED	SHL	STATE HIGHWAY LINE
DCB	DOUBLE CATCH BASIN	SMH	SEWER MANHOLE
DI	DROP INLET	SMDF	SAND FILTER
DMH	DRAINAGE MANHOLE	SS	SIDE SLOPE
DP	DETENTION POND	STA	STATION
ELEV	ELEVATION	TC	TOP OF CURB
EOP	EDGE OF PAVEMENT	TD	TRENCH DRAIN
ESC	EROSION AND SEDIMENT CONTROL	TF	TOP OF FOUNDATION
EX	EXISTING	TRANS	TRANSITION
FES	FLARED END SECTION	TW	TOP OF WALL (FINISHED)
FFE	FINISH FLOOR ELEVATION	GRADE AT TOP OF WALL)	
GS	GARAGE SLAB ELEVATION	TYP	TYPICAL
GWT	GROUND WATER TABLE	UOS	UNDERGROUND
HW	HEADWALL	DETENTION SYSTEM	
HC	HIGH CAPACITY CATCH BASIN GRATE	UNDERGROUND	
HOPE	HIGH DENSITY POLYETHYLENE	INFILTRATION SYSTEM	
ID	INLINE DRAIN	UP	UTILITY POLE
INV	INVERT	WO	WALKOUT ELEVATION
IP	INFILTRATION POND	WQ	WATER QUALITY
LARCH	LANDSCAPE ARCHITECT		
LF	LINEAR FEET		
LOD	LIMIT OF DISTURBANCE		
LP	LIGHT POLE		
(M)	MEASURED		
MEP	MECHANICAL/ELECTRICAL/ PLUMBING ENGINEER		

SITE CALLOUTS LEGEND

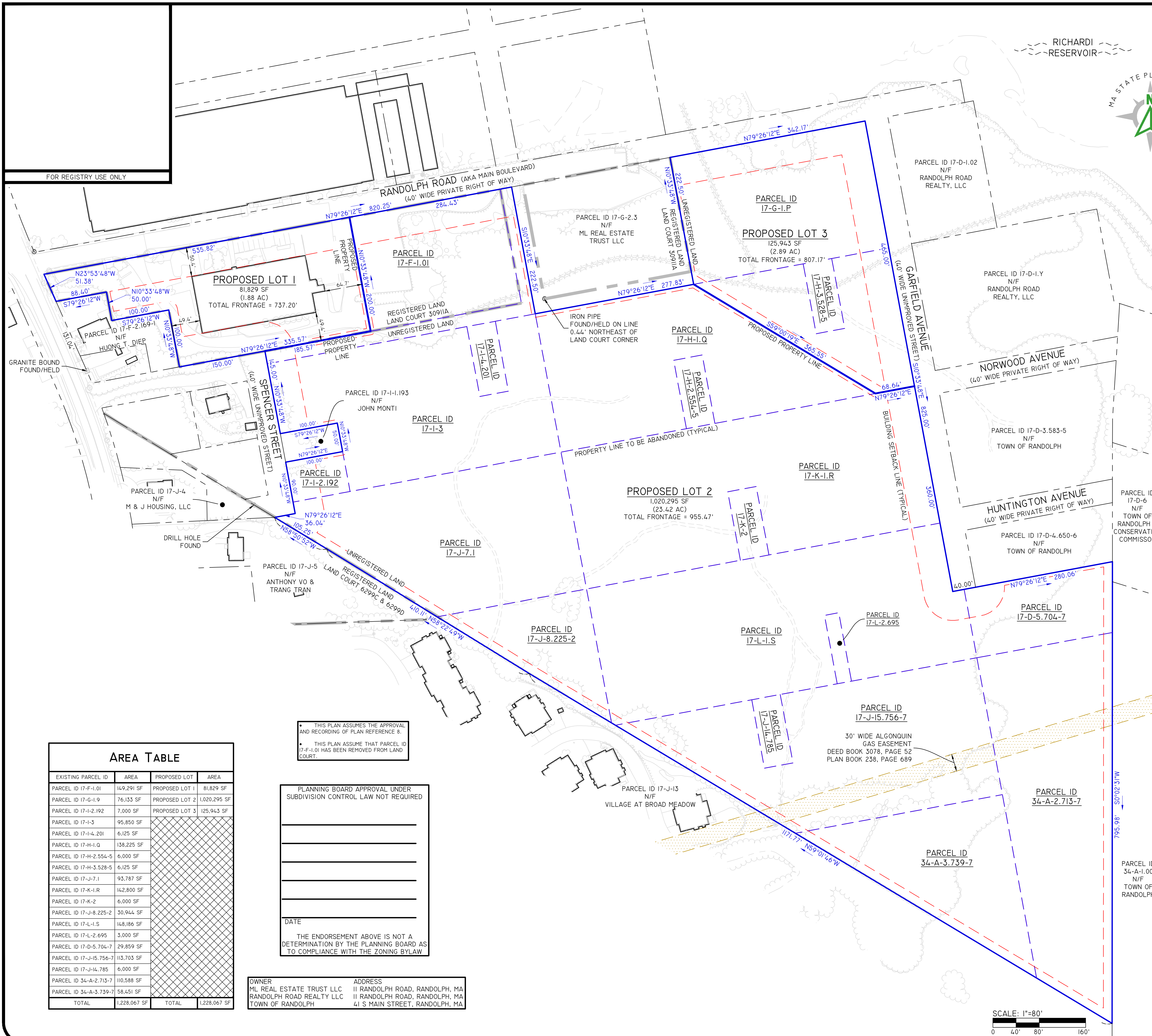
4DY	4" EPOXY RESIN PAVEMENT MARKINGS- DOUBLE YELLOW
4W	4" PAINTED WHITE MARKINGS
4WAS	4" WHITE STRIPING 2" ON CENTER AT 45°
6WS	6" WHITE EPOXY RESIN PAVEMENT MARKINGS-SKIP PATTERN
6W	6" WHITE EPOXY RESIN PAVEMENT MARKINGS
12W	STOP LINE (REFERENCE MUTCD SECTION 3B.16)
ADAS	ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS.
ADAR	ADA CURB RAMP MUST COMPLY WITH ALL ADA REGULATIONS AND REQUIREMENTS.
ADAV	VAN ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS.
CURB	PRECAST CONCRETE CURB
CWK	CROSSWALK PAVEMENT MARKINGS. SOLID 2" WHITE LINES SPACED 4" OC (REFERENCE MUTCD SECTION 3B.18)
MONO	MONOLITHIC CURB AND SIDEWALK (SEE DETAIL SHEET 14)
YL	YIELD LINE (REFERENCE MUTCD SECTION 3B.16)

EXISTING LEGEND

(AS SHOWN ON PROPOSED PLANS)
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		IRON ROD FOUND/SET
	BRUSHLINE		BOUND FOUND/SET
	TREELINE		SIGN
	GUARDRAIL		BOLLARD
	FENCE		SOIL EVALUATION
	RETAINING WALL		CATCH BASIN
	STONE WALL		DOUBLE CATCH BASIN
	MINOR CONTOUR LINE		DRAINAGE MANHOLE
	MAJOR CONTOUR LINE		FLARED END SECTION
	WATER LINE		GUY POLE
	SEWER LINE		ELECTRIC MANHOLE
	SEWER FORCE MAIN		UTILITY/POWER POLE
	GAS LINE		LIGHTPOST
	ELECTRIC LINE		SEWER/SEPTIC MANHOLE
	OVERHEAD WIRES		SEWER VALVE
	DRAINAGE LINE		CLEANOUT
	SOILS LINES		HYDRANT
	WETLAND LINE & FLAG		IRRIGATION VALVE
	25' WETLAND NO DISTURB ZONE		WATER VALVE
	50' WETLAND NO BUILD ZONE		WELL
	100' WETLAND BUFFER ZONE		MONITORING WELL
	200' RIVERFRONT BUFFER ZONE		UNKNOWN MANHOLE
	FEMA BOUNDARY		GAS VALVE
	STREAM		BENCH MARK
	STATE HIGHWAY LINE		STREAM FLOW DIRECTION
	STATE FREEWAY LINE		
	GROUNDWATER OVERLAY		
	GROUNDWATER RECHARGE AREA		
	GROUNDWATER RESERVOIR		

z:\dmain\projects\254-003 randolph road 13 subarea drawings\254-003 recd arr andg Plotted: 5/15/2023



AREA TABLE			
EXISTING PARCEL ID	AREA	PROPOSED LOT	AREA
PARCEL ID 17-F-1.01	149,291 SF	PROPOSED LOT 1	81,829 SF
PARCEL ID 17-G-1.9	76,133 SF	PROPOSED LOT 2	1,020,295 SF
PARCEL ID 17-I-2.192	7,000 SF	PROPOSED LOT 3	125,943 SF
PARCEL ID 17-I-3	95,850 SF		
PARCEL ID 17-I-4.201	6,125 SF		
PARCEL ID 17-H-1.Q	138,225 SF		
PARCEL ID 17-H-2.554-5	6,000 SF		
PARCEL ID 17-H-3.528-5	6,125 SF		
PARCEL ID 17-J-7.1	93,787 SF		
PARCEL ID 17-K-1.R	142,800 SF		
PARCEL ID 17-K-2	6,000 SF		
PARCEL ID 17-J-8.225-2	30,944 SF		
PARCEL ID 17-L-1.S	148,186 SF		
PARCEL ID 17-L-2.695	3,000 SF		
PARCEL ID 17-D-5.704-7	29,859 SF		
PARCEL ID 17-J-15.756-7	113,703 SF		
PARCEL ID 17-J-14.785	6,000 SF		
PARCEL ID 34-A-2.713-7	110,588 SF		
PARCEL ID 34-A-3.739-7	58,451 SF		
TOTAL	1,228,067 SF	TOTAL	1,228,067 SF

• THIS PLAN ASSUMES THE APPROVAL AND RECORDING OF PLAN REFERENCE 8.

• THIS PLAN ASSUME THAT PARCEL ID 17-F-1.01 HAS BEEN REMOVED FROM LAND COURT.

PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW NOT REQUIRED

DATE

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAW

OWNER
ML REAL ESTATE TRUST LLC
RANDOLPH ROAD REALTY LLC
TOWN OF RANDOLPH

ADDRESS
11 RANDOLPH ROAD, RANDOLPH, MA
11 RANDOLPH ROAD, RANDOLPH, MA
41 S MAIN STREET, RANDOLPH, MA

LEGEND

W

WATER LINE

S

SEWER LINE

SFM

SEWER FORCE MAIN

G

GAS LINE

E

ELECTRIC LINE

OWH

OVERHEAD WIRES

D

DRAINAGE LINE

MINOR CONTOUR LINE

MAJOR CONTOUR LINE

PROPERTY LINE

ASSESSORS LINE

TREELINE

GUARDRAIL

FENCE

RETAINING WALL

STONE WALL

123/1234

DEED BOOK/PAGE

AP

ASSESSOR'S PLAT

HC

HANDICAPPED

N/F

NOW OR FORMERLY

LC

LANDSCAPING

(R)

RECORD

(CA)

CHORD ANGLE

Δ

NAIL/SPIKE

⊙

DRILL HOLE

⊙

IRON ROD/PIPE

⊙

BOUND

⊙

SIGN POST

⊙

SEWER MANHOLE

⊙

SEWER CLEANOUT

⊙

HYDRANT

⊙

IRRIGATION VALVE

⊙

UNKNOWN MANHOLE

⊙

BOLLARD

⊙

SOIL EVALUATION

⊙

CATCH BASIN

⊙

DOUBLE CATCH BASIN

⊙

WATER VALVE

⊙

GAS VALVE

⊙

WETLAND FLAG

⊙

DRAINAGE MANHOLE

⊙

FLARED END SECTION

⊙

GUY POLE

⊙

ELECTRIC MANHOLE

⊙

UTILITY/POWER POLE

⊙

LIGHTPOST

⊙

WELL

⊙

MONITORING WELL

⊙

BENCH MARK

⊙

TREE

GENERAL NOTES

1. THE PARCELS ARE LOCATED IN THE TOWN OF RANDOLPH, NORFOLK COUNTY, MASSACHUSETTS HAVING THE PARCEL ID 17-F-1.01, 17-G-1.9, 17-D-4.650-6, 17-I-3, 17-I-2.192, 17-I-4.201, 17-H-1.Q, 17-H-2.554-5, 17-H-3.528-5, 17-K-1.R, 17-K-2, 17-J-7.1, 17-J-8.225-2, 17-L-1.S, 17-L-2.695, 17-D-5.704-7, 34-A-2.713-7, 17-J-14.785, 34-A-3.739-7.

2. THE OWNER OF:

2.1. PARCEL ID 17-F-1.01 PER LAND COURT CERTIFICATE NO. 185889, DATED DECEMBER 28, 2012 IS ML REAL ESTATE TRUST LLC.

2.2. PARCEL ID 17-G-1.9, 17-I-3, 17-I-2.192, 17-I-4.201, 17-H-1.Q, 17-H-2.554-5, 17-H-3.528-5, 17-K-1.R, 17-K-2, 17-J-7.1, 17-J-8.225-2, 17-L-1.S, 17-L-2.695, 17-D-5.704-7, 34-A-2.713-7, 17-J-15.756-7, 17-J-14.785, 34-A-3.739-7 PER DEED BOOK 36563, PAGE 246, DATED JANUARY 16, 2019, IS RANDOLPH ROAD REALTY, LLC.

2.3. PARCEL ID 17-K-2 PER THE TOWN OF RANDOLPH ONLINE GIS IS TOWN OF RANDOLPH.

3. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, X (SHADED), AND AE. REFERENCE FEMA FLOOD INSURANCE RATE MAP 2502IC0217E, MAP REVISED JULY 17, 2012. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.

4. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.

5. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON AUGUST 18, 2022. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.

PLAN REFERENCES

1. LAND COURT PLAN 30911A

2. LAND COURT PLAN 6299C.

3. LAND COURT PLAN 6299D.

4. PLAN OF BRAINTREEVILLE MANOR, RANDOLPH, MASS, OWNED AND DEVELOPED BY HUB REALTY COMPANY, INC., SCALE 1"=80', DATED OCTOBER 24, 1925, PLAN BY A.P. TRUFANT, C.E., BROCKTON & WHITMAN, RECORDED IN DEED BOOK 1671, PAGE END.

5. PLAN OF LANDS TO BE TAKEN OR OTHERWISE ACQUIRED FOR WATER SUPPLY IN BRAINTREE & RANDOLPH, SCALE 1"=100', DATED JANUARY 3, 1973, PLAN BY GALE ENGINEERING CO., INC., RECORDED IN PLAN BOOK 238, PAGE 689.

6. CONDOMINIUM SITE PLAN, BUILDING "F", NITS F-1, F-2, F-3, F-4, F-5, F-6, #721 NORTH STREET, RANDOLPH, MA, SCALE 1"=60', DATED MARCH 20, 2018, PLAN BY TURNING POINT SURVEY COMPANY, INC., RECORDED IN PLAN BOOK 669, PAGE 20.

7. ALTA/NSPS LAND TITLE SURVEY, 11 RANDOLPH ROAD, RANDOLPH, MASSACHUSETTS, PREPARED FOR BLUEWATER PROPERTY GROUP, PREPARED BY DIPRETE ENGINEERING, DATED AUGUST 31, 2022, SCALE 1" = 80'.

8. ROAD ABANDONMENT PLAN, 11 RANDOLPH ROAD, RANDOLPH, MASSACHUSETTS, PREPARED FOR: ML REAL ESTATE TRUST, LLC, SCALE 1"=80', DATED JANUARY 17, 2023, PLAN BY DIPRETE ENGINEERING

ZONING NOTES

1. THE PARCEL IS ZONED INDUSTRIAL DISTRICT PER THE ASSESSOR'S ONLINE DATABASE.

2. THE ZONING ORDINANCE CHAPTER 200 LISTS THE DIMENSIONAL REGULATIONS AS FOLLOWS:

MINIMUM LOT AREA:

75'

MINIMUM FRONTAGE:

100'

MINIMUM DEPTH:

100'

MINIMUM WIDTH:

50'

MINIMUM SETBACK FROM STREET:

50'

MINIMUM FRONT YARD:

6'

MINIMUM SIDE YARD:

15'

MINIMUM REAR YARD:

20'

BUFFER STRIP TO STREET:

40'

BUFFER STRIP TO RESIDENTIAL:

2.5'

BUFFER STRIP TO COMMERCIAL:

50'

MAXIMUM BUILDING HEIGHT:

4

MAXIMUM STORIES:

60%

BUILDING LOT COVERAGE (A):

25%

IMPERVIOUS LOT COVERAGE (B):**

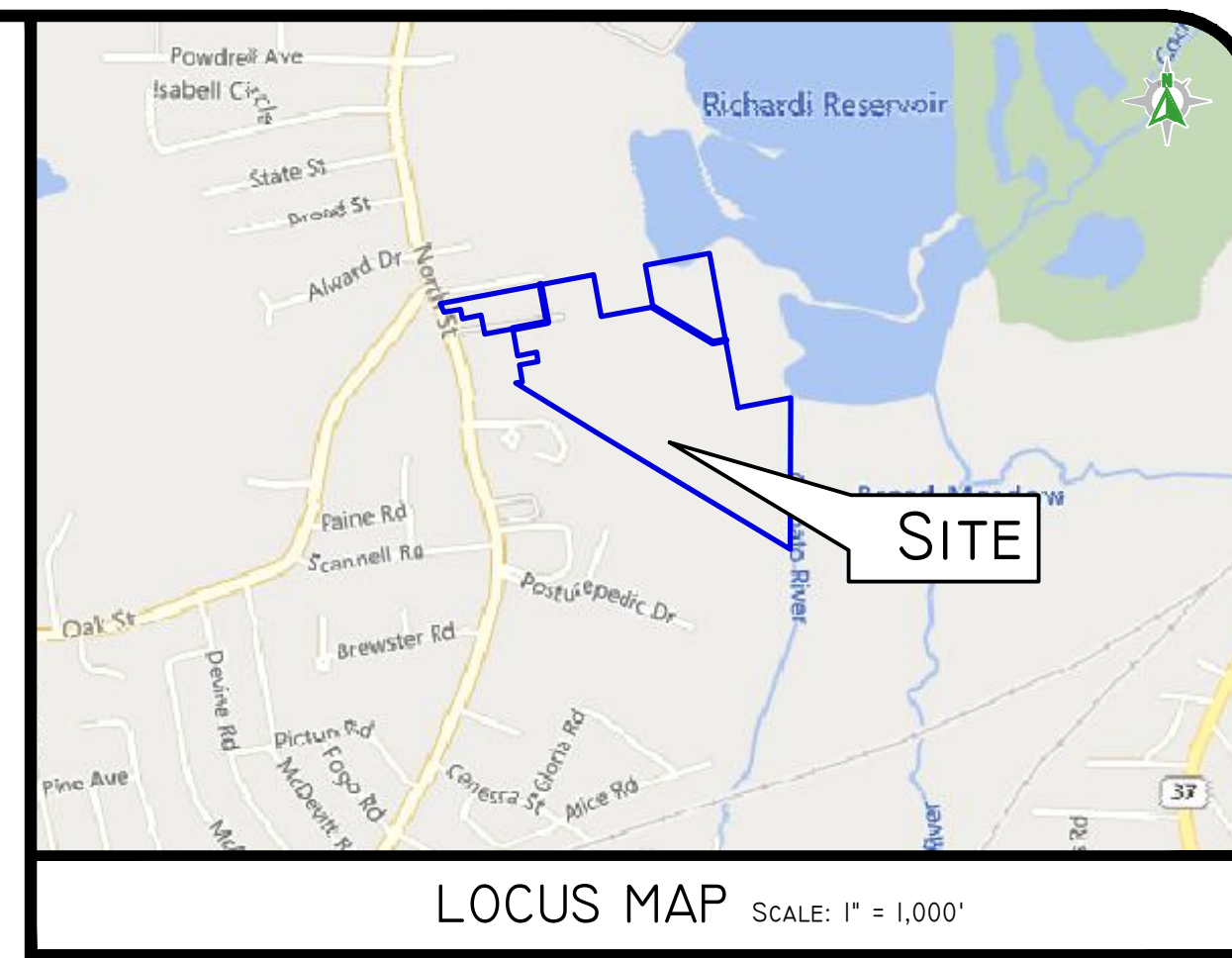
15%

GREEN AREA OPEN SPACE (C):

85%

MAXIMUM COVERAGE (A)+(B):

THE ABOVE NOTES ARE BASED ON INFORMATION FROM THE TOWN OF RANDOLPH ASSESSOR'S ONLINE DATABASE AND THEIR ZONING ORDINANCE ONLY. ANY SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.



Diprete Engineering

Two Stafford Court Cranston, RI 02920
Tel 401-945-1000 Fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

5/15/2023

APPROVAL NOT REQUIRED SUBDIVISION

11 RANDOLPH ROAD
RANDOLPH, MASSACHUSETTS

APPLICANT:
BLUEWATER PROPERTY GROUP
205 HUDSON STREET, 8TH FLOOR,
NEW YORK, NEW YORK 10013

0 5/15/23 APPROVAL NOT REQUIRED SUBDIVISION A.J.F. BT

NO DATE DESCRIPTION

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RANDOLPH, MASSACHUSETTS

APPLICANT:
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NEW YORK, NEW YORK 10013

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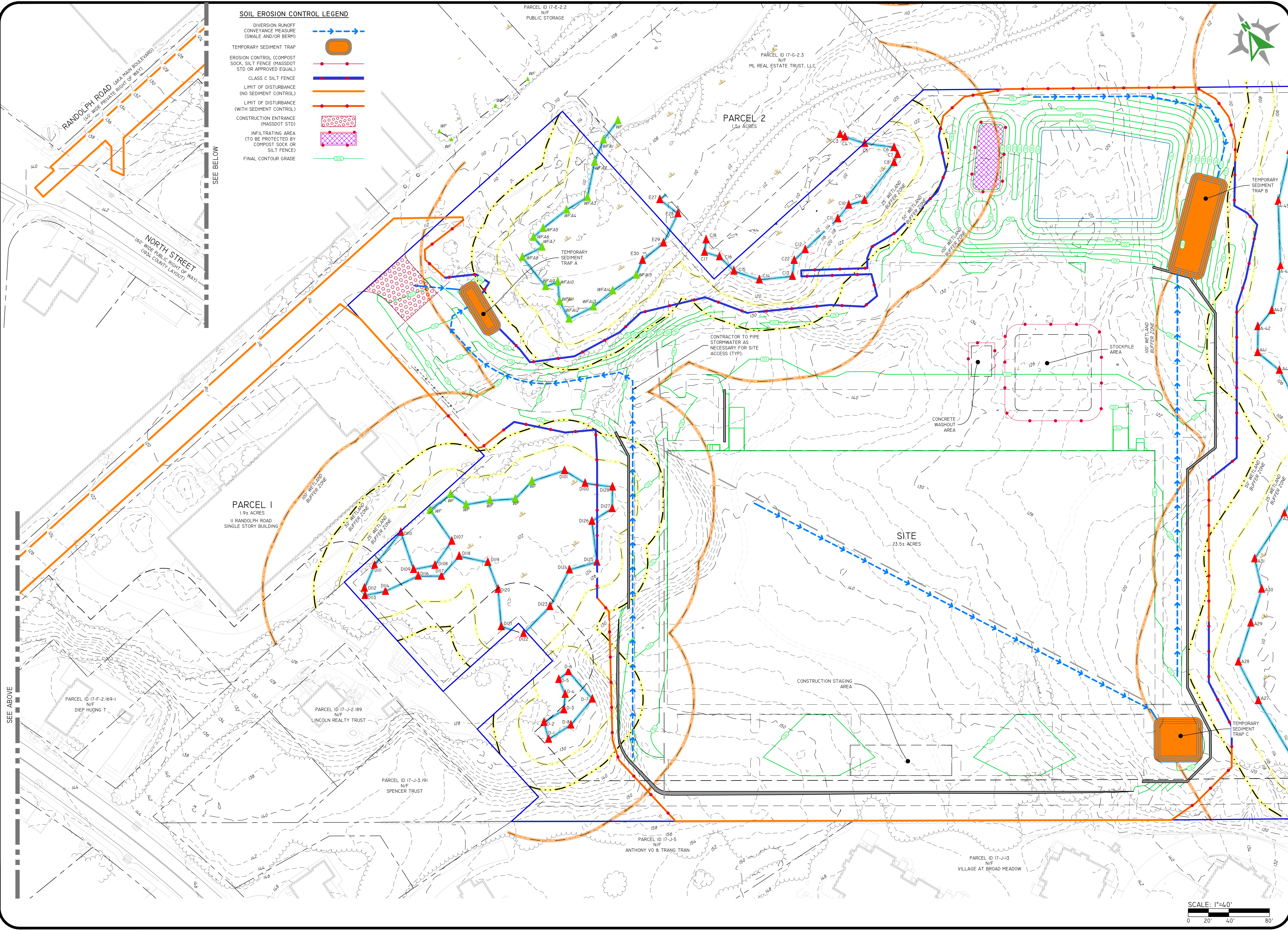
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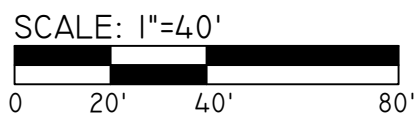
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\\DESKTOP\PROJECTS\0954-003 RANDOLPH ROAD\AUTOCAD DRAWINGS\0954-003-SSC.DWG PLOTTED: 5/15/2023



SOIL EROSION CONTROL LEGEND

- DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM)
- TEMPORARY SEDIMENT TRAP
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (MASSDOT STD OR APPROVED EQUAL))
- CLASS C SILT FENCE
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- CONSTRUCTION ENTRANCE (MASSDOT STD)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
- FINAL CONTOUR GRADE



SCALE: 1"=40'

SOIL EROSION & SEDIMENT CONTROL PLAN
RANDOLPH ROAD, MULTIPLE PARCELS
WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS

PREPARED FOR:
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
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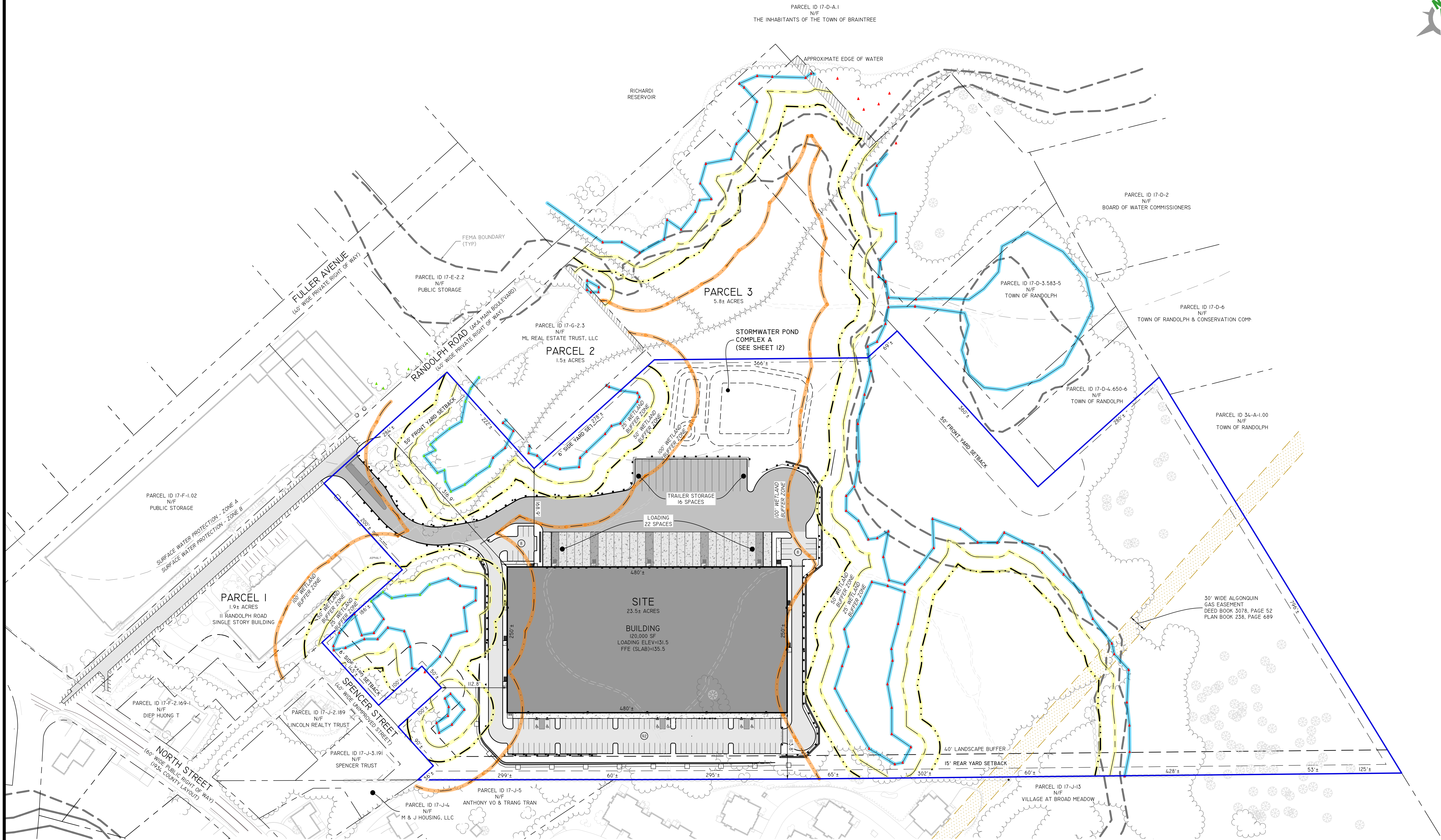
NO.	DATE	DESCRIPTION	BY:	DATE	DESCRIPTION	BY:
1	05-15-2023	PLANNING BOARD SUBMISSION	B.A.W.			
2						

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE BOARD OF SELECTMEN AND THE TOWN ENGINEER. THE TOWN ENGINEER'S SIGNATURE IS REQUIRED FOR THE PLAN TO BE VALID. THE TOWN ENGINEER'S SIGNATURE IS REQUIRED FOR THE PLAN TO BE VALID. THE TOWN ENGINEER'S SIGNATURE IS REQUIRED FOR THE PLAN TO BE VALID.

BRANDON D. CARR
No. 51472
REGISTERED PROFESSIONAL ENGINEER
5/16/2023

DiPrete Engineering
105 Eastern Avenue Suite 200 Dedham, MA 02026
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com
Boston • Providence • Newport

\\D:\ASTORAGE\PROJECTS\0954-003 RANDOLPH ROAD\AUTOCAD DRAWINGS\0954-003-SITE.DWG PLOTTED: 5/15/2023



DIMENSIONAL REGULATIONS:

CURRENT ZONING:	INDUSTRIAL DISTRICT REQUIRED	PROVIDED	COMPLIES
MINIMUM LOT AREA:	20,000 SF	984,456 SF	YES
MINIMUM FRONTAGE:	75'	100'	YES
MINIMUM DEPTH:	100'	>100'	YES
MINIMUM WIDTH:	100'	>100'	YES
MINIMUM SETBACK FROM STREET:	50'	>50'	YES
MINIMUM FRONT YARD:	50'	316.9'	YES
MINIMUM SIDE YARD:	6'	112.8'	YES
MINIMUM REAR YARD:	15'	113.8'	YES
BUFFER STRIP TO STREET:	20'	20'	YES
BUFFER STRIP TO RESIDENTIAL:	40'	40'	YES
BUFFER STRIP TO COMMERCIAL:	2.5'	N/A	N/A
MAXIMUM BUILDING HEIGHT:	50'	45'	YES
MAXIMUM STORES:	4	1	YES
BUILDING LOT COVERAGE (A):	60%	12%	YES
IMPERVIOUS LOT COVERAGE (B):**	25%	13%	YES
GREEN AREA OPEN SPACE (C):	15%	75%	YES
MAXIMUM COVERAGE (A)+(B):	85%	25%	YES

*THE HEIGHT OF A STRUCTURE SHALL BE BASED ON THE AVERAGE PRE-EXISTING GRADE WITHIN THE PROPOSED BUILDING FOOTPRINT.
**IMPERVIOUS LOT COVERAGE DOES NOT INCLUDE BUILDINGS

PARKING REGULATIONS:

PARKING USE:	INDUSTRIAL
PARKING REQUIREMENT:	1 SPACE FOR EACH 2 EMPLOYEES, PLUS SPACE FOR EVERY COMPANY VEHICLE, PLUS SPACES FOR CUSTOMERS' VEHICLES AS DETERMINED APPROPRIATE BY THE BUILDING COMMISSIONER OR SITE PLAN ADMINISTRATOR
NUMBER OF EMPLOYEES:	80
REQUIRED PARKING CALCULATIONS:	80 / 2 = 40 SPACES
ADA PARKING REQUIRED:	2 SPACES
ADA PARKING PROVIDED:	6 SPACES
TOTAL PARKING SPACES PROVIDED:	108 PARKING SPACES
TRUCK LOADING SPACES PROVIDED:	22 SPACES
TRAILER STORAGE SPACES PROVIDED:	16 SPACES

DESIGN NOTES:

- INDUSTRIAL DISTRICTS ABUTTING RESIDENTIAL DISTRICTS OR MULTIFAMILY DISTRICTS.
 - IN AN INDUSTRIAL DISTRICT WHERE THE LOT ABUTS OR IS WITHIN FORTY (40) FEET OF THE SIDE OR REAR BOUNDARY LINE OF ANY RESIDENTIAL DISTRICT (INCLUDING ANY RESIDENTIAL DISTRICTS IN ANY ADJACENT MUNICIPALITY) OR MULTIFAMILY DISTRICT, THERE SHALL BE PROVIDED ON ALL PORTIONS OF SAID LOT WITHIN FORTY (40) FEET OF SAID BOUNDARY LINE A BUFFER STRIP, AS FOLLOWS: THE PORTION OF SUCH BUFFER FOR AND MAINTAINED AS A PLANTING AREA FOR LAWNS, TREES, SHRUBS AND OTHER LANDSCAPE MATERIALS TO PROVIDE A PARK LIKE AREA OF SEPARATION BETWEEN DISTRICTS.
 - IN THIS BUFFER ZONE, NO BUILDING, STRUCTURE OR PAVEMENT OF ANY NATURE, EXCLUDING NON ACCESSORY SIGNS, MAY BE CONSTRUCTED OR MAINTAINED.
 - NO BUILDING, STRUCTURE OR PAVED SPACE ASSOCIATED WITH PARKING MAY BE LOCATED IN THE BUFFER STRIP.
 - PLANTINGS IN THE BUFFER STRIP SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY USED FOR NONRESIDENTIAL PURPOSES.

SCALE: 1"=80'
0 40' 80' 160'



OVERALL SITE PLAN

RANDOLPH ROAD, MULTIPLE PARCELS
WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS

PREPARED FOR:
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

NO.	DATE	DESCRIPTION	BY:	DATE	DESCRIPTION	BY:
1	05-15-2023	PLANNING BOARD SUBMISSION	B.A.W.			
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DESIGN BY: K.J.D.

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES. ANY CHANGES TO THE PLAN SET MUST BE APPROVED BY THE PROFESSIONAL ENGINEER OF RECORD.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPIRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY UTILITIES SHOWN ON THIS PLAN. SEE SEE UTILITY MAPS ON SHEET 3.

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF DIPIRETE ENGINEERING. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF DIPIRETE ENGINEERING IS STRICTLY PROHIBITED.

DIPIRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPIRETE ENGINEERING PROJECT. IT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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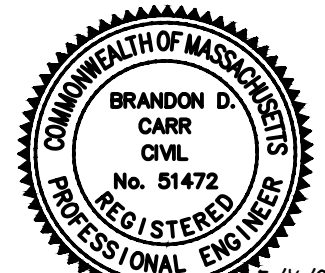
DIPIRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPIRETE ENGINEERING PROJECT. IT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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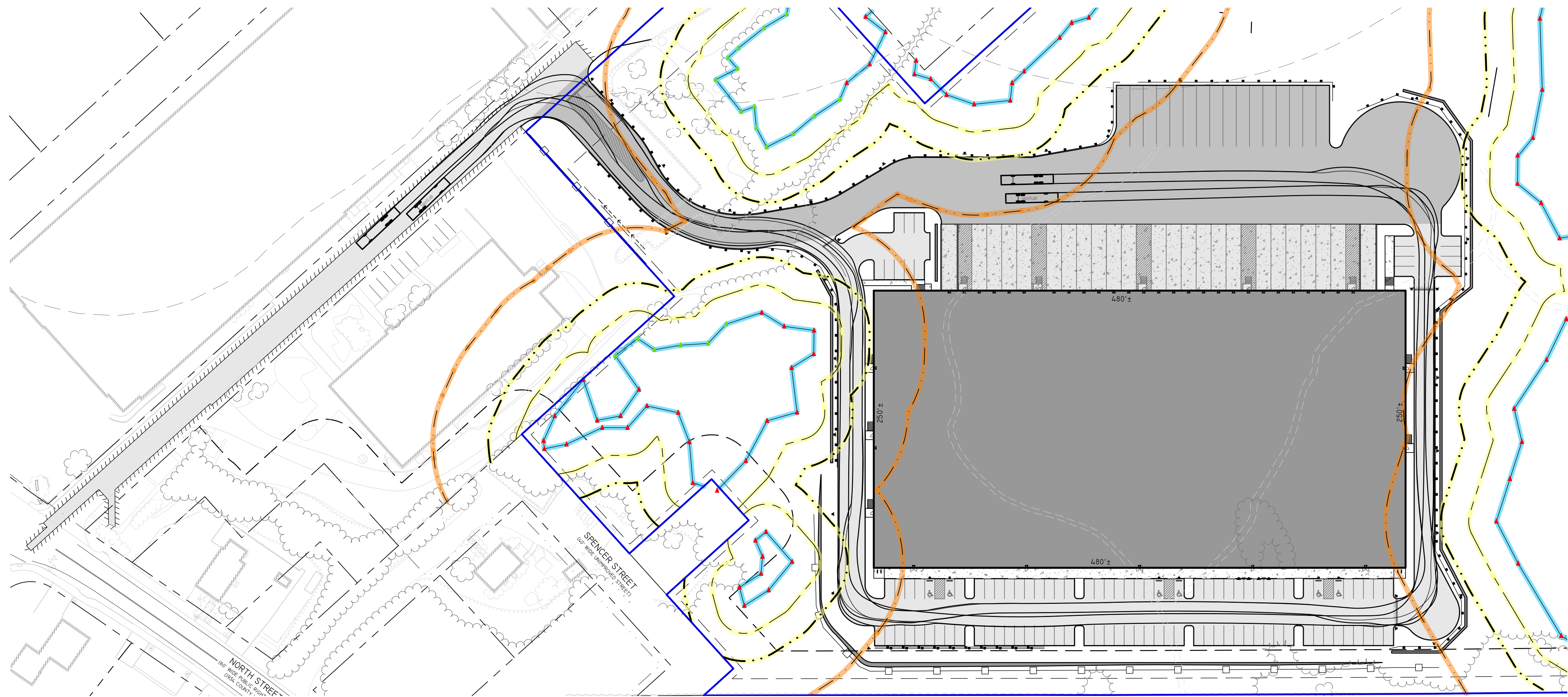
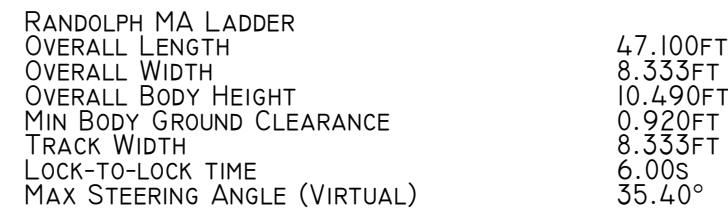


BRANDON D. CARR
No. 51472
REGISTERED PROFESSIONAL ENGINEER
5/16/2023

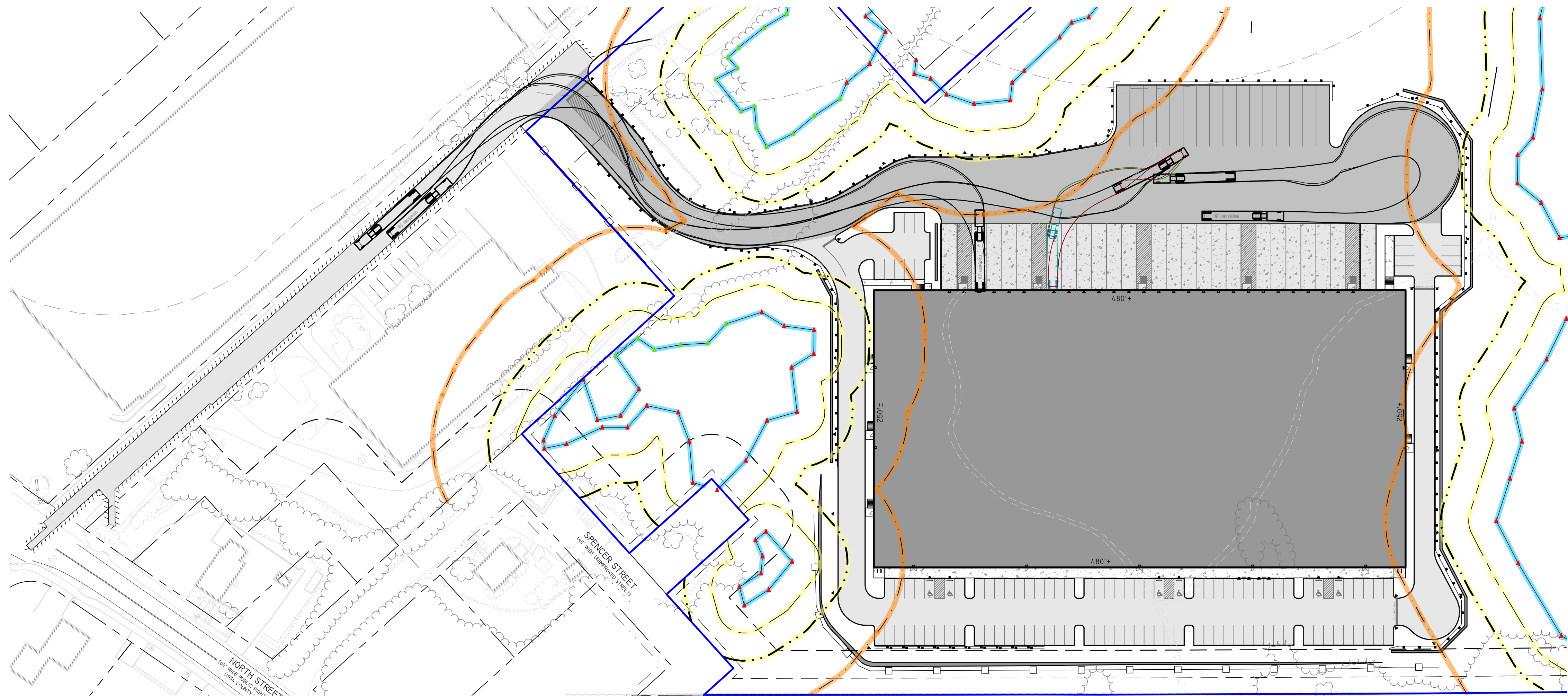
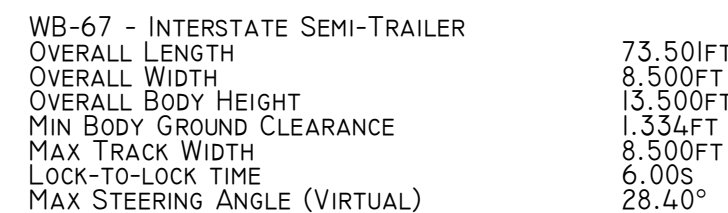
DiPrete Engineering

105 Eastern Avenue Suite 200 Dedham, MA 02026
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport



TRUCK TURN EXHIBIT - RANDOLPH FIRE (LADDER) TRUCK



TRUCK TURN EXHIBIT - WB-67 TRUCK

SCALE: 1"=60'

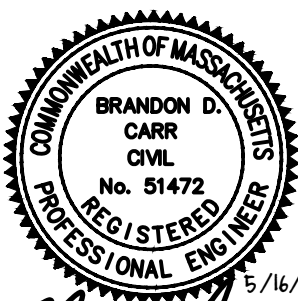
A horizontal scale bar with alternating black and white segments. The segments are labeled 0, 30', 60', and 120' at the bottom. The bar is divided into four equal segments, each representing 30 feet.



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5/16/20

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UNLESS STAMPED 'ISSUED FOR CONSTRUCTION' AND STAMPED BY
A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE
ENGINEERING

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSH PERFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE SHEET 310-1 FOR NOTES ON SUBJECT.

0	05-16-2023	PLANNING BOARD SUBMISSION	B.A.W.
NO.	DATE	DESCRIPTION	BY:
DRAWN BY: B A W		DESIGN BY: K J D	

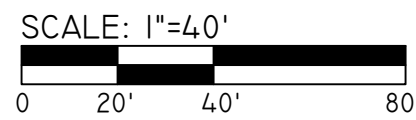
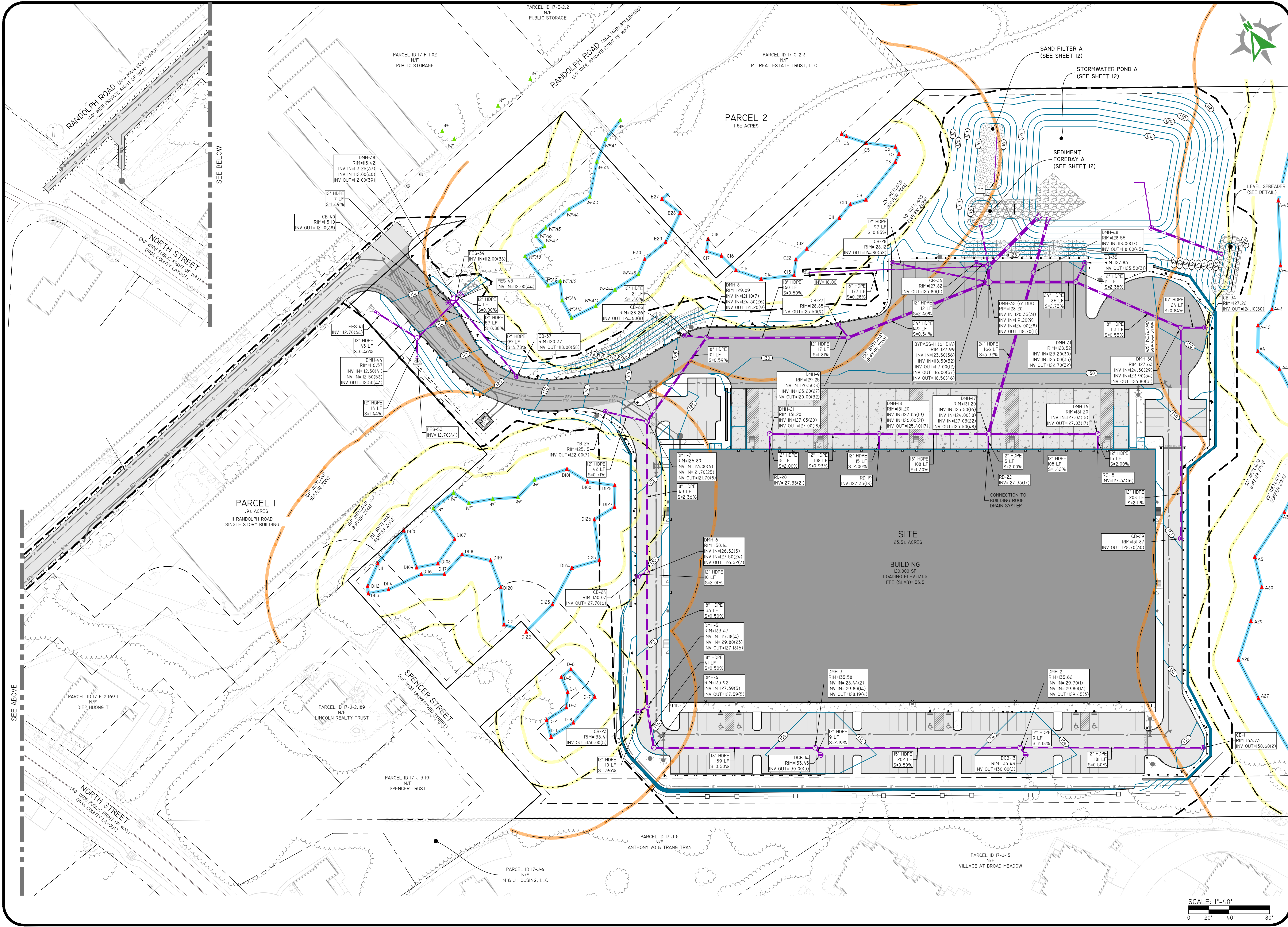
TRUCK TURN PLAN

RANDOLPH ROAD, MULTIPLE PARCELS
WAREHOUSE DISTRIBUTION FACILITY

PREPARED FOR:
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

DE JOB NO: 2954-003 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

\\BOSTON\BOS\PROJECTS\2023\2023-003 RANDOLPH ROAD\DRAWINGS\2023-003-001-DRAIN.DWG PLOTTED: 5/15/2023



DRAINAGE PLAN

RANDOLPH ROAD, MULTIPLE PARCELS
WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS

PREPARED FOR:
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

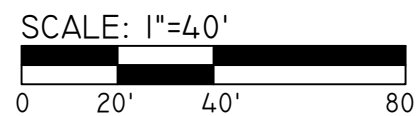
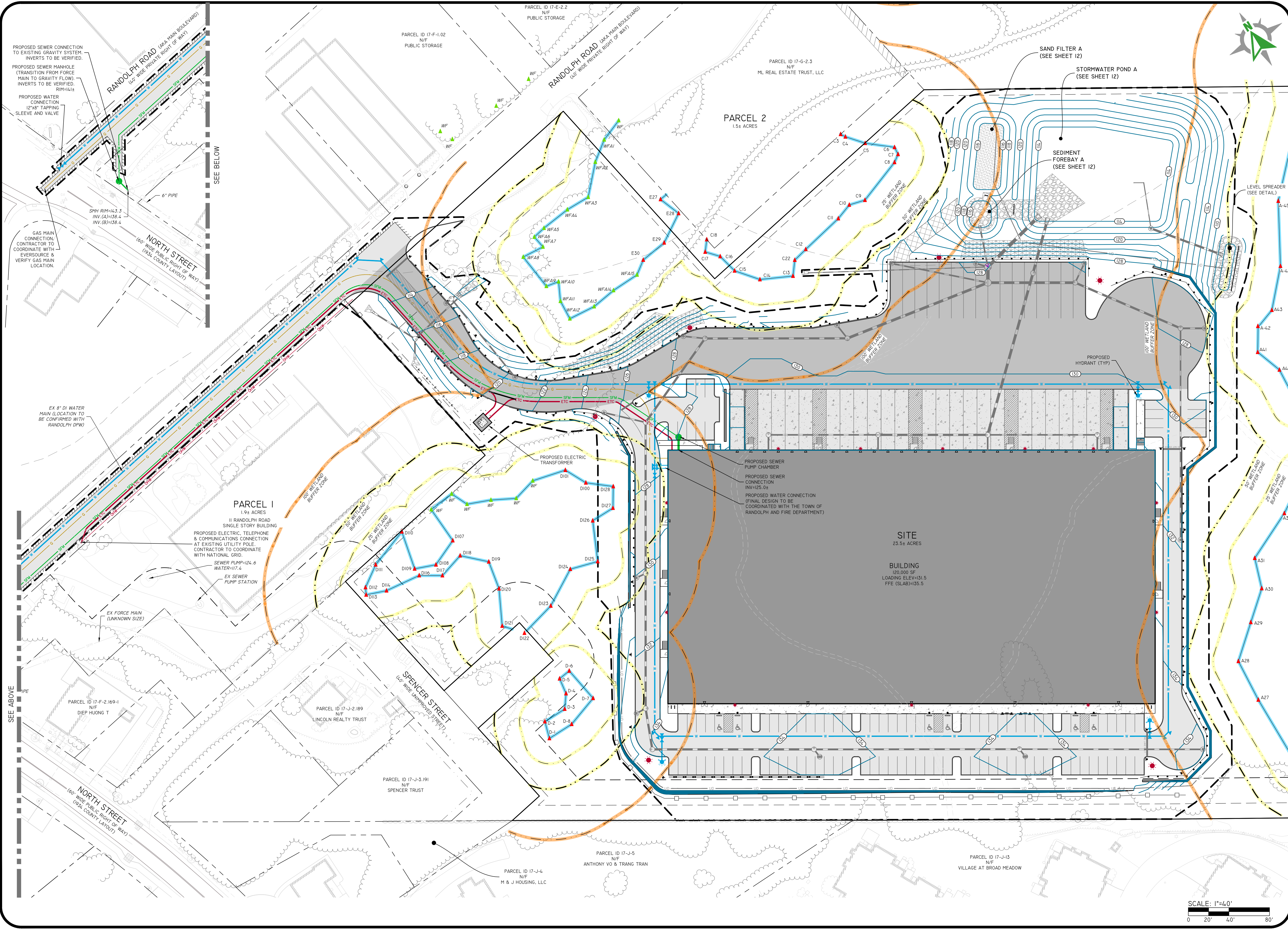
DESIGNED BY: B.A.W. DRAWN BY: B.A.W. CHECKED BY: B.A.W. DATE: 05-15-2023

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES. A PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPIRE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES. SEE UTILITY MAP ON SHEET 3. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPIRE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES. SEE UTILITY MAP ON SHEET 3.

BRANDON D. CARP
CIVIL
PROFESSIONAL ENGINEER
5/16/2023

DiPrete Engineering
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\\BOSTON\PROJECTS\2023\03\03 RANDOLPH ROAD\AUTOCAD DRAWINGS\054-003-UTL.DWG PLOTTED: 5/15/2023



UTILITIES PLAN

RANDOLPH ROAD, MULTIPLE PARCELS
WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS

PREPARED FOR:
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

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ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE
ENGINEERING PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC.
PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE
ENGINEERING ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY
THE CONSTRUCTION OF THE PROJECT OR ANY PARTS OF THE
DESIGN. THE CLIENT ASSUMES ALL RISK OF THE DESIGN AND
METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OSHA
DESIGN. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT
DESIGN.

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ONLY. DIPRETE ENGINEERING ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR
THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. SEE UTILITY NOTES ON SHEET 3.

DATE	05-15-2023	PLANNING BOARD SUBMISSION	B.A.W.
DATE	05-15-2023	DESCRIPTION	B.T.
DATE	05-15-2023	DESIGN BY: K.J.D.	B.A.W.

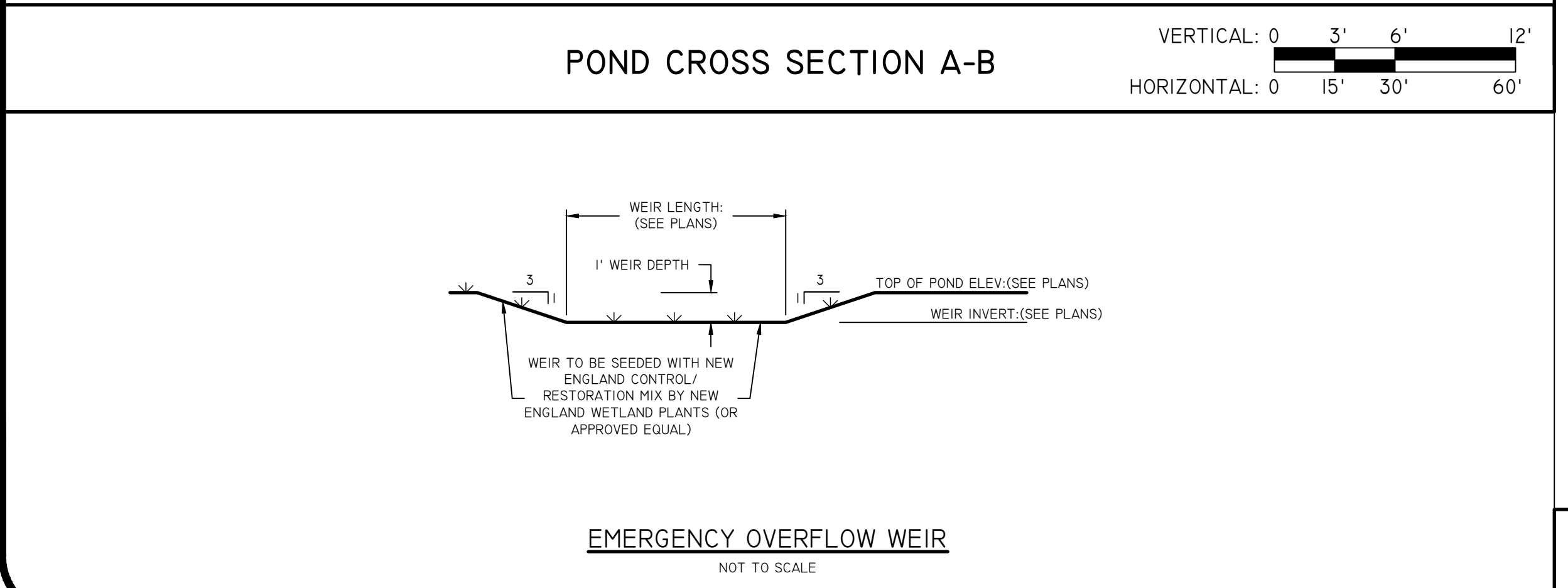
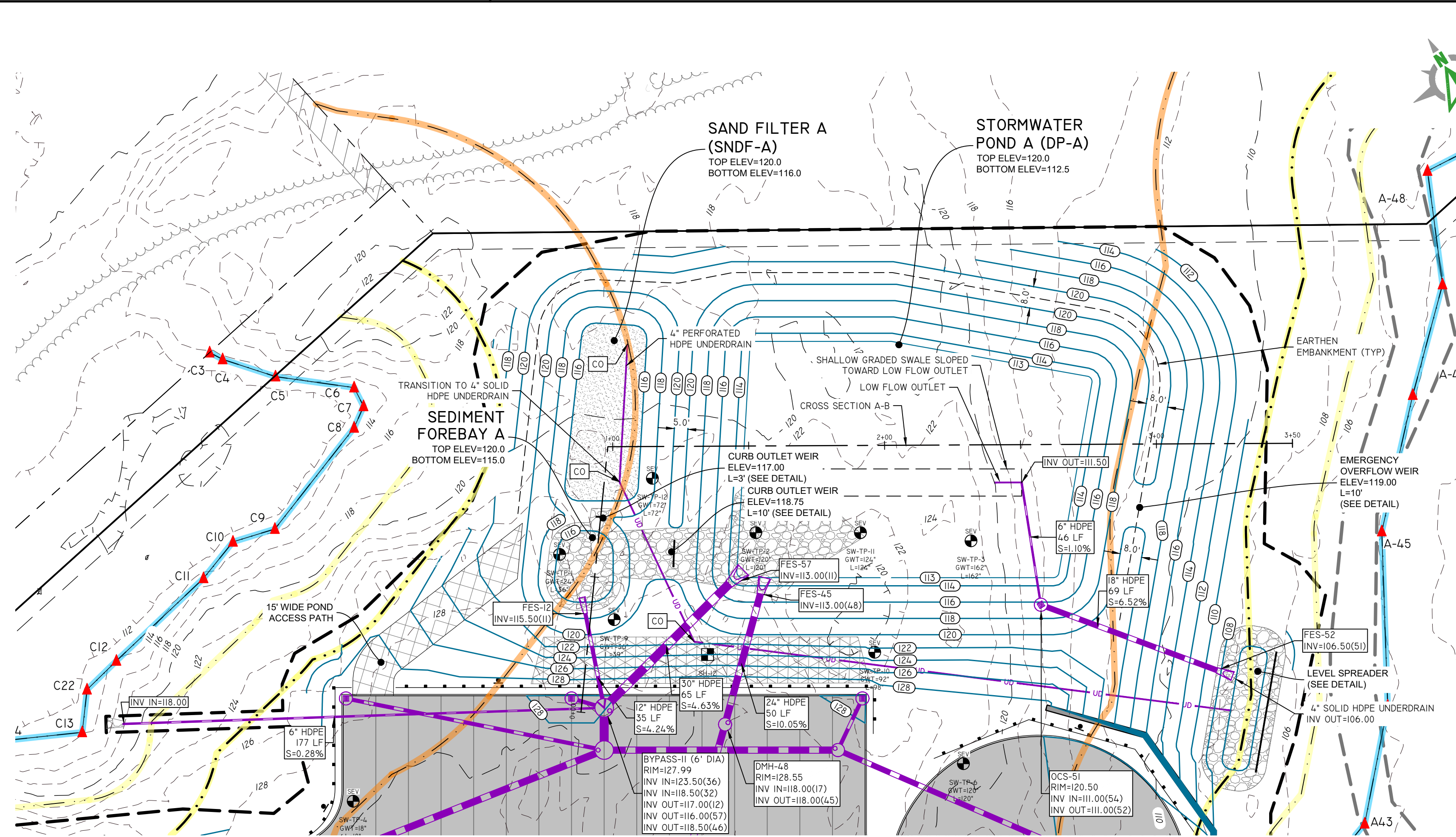
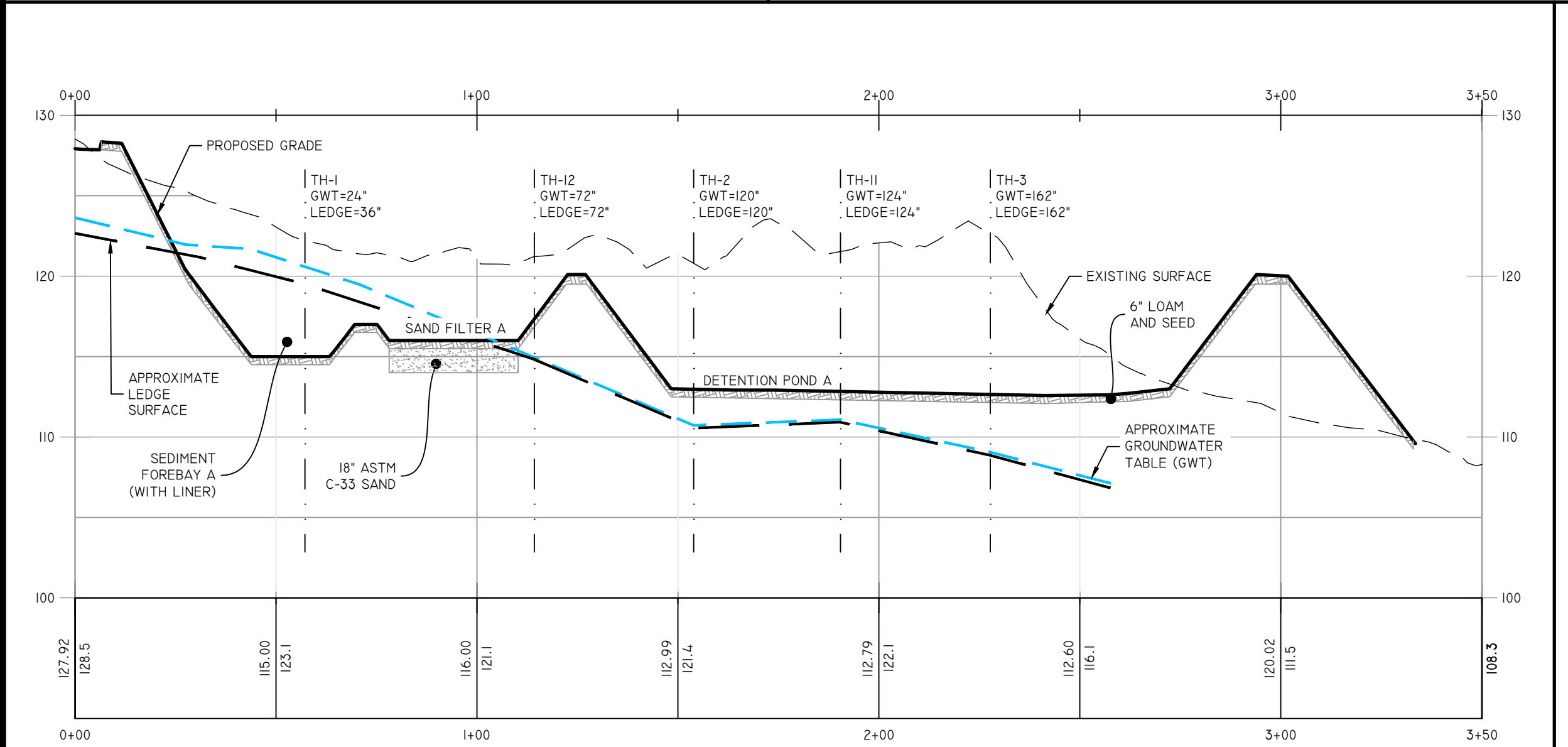
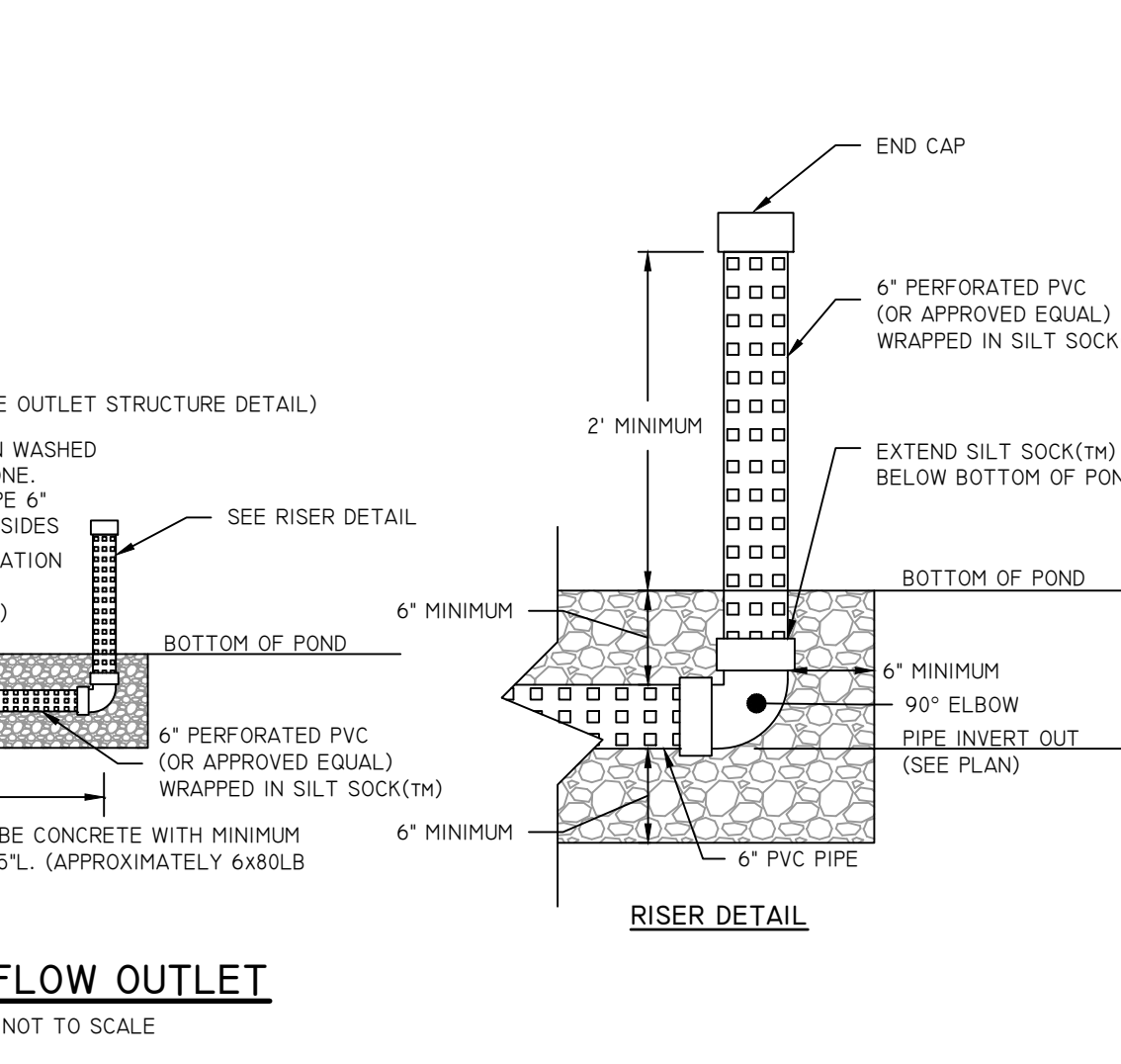
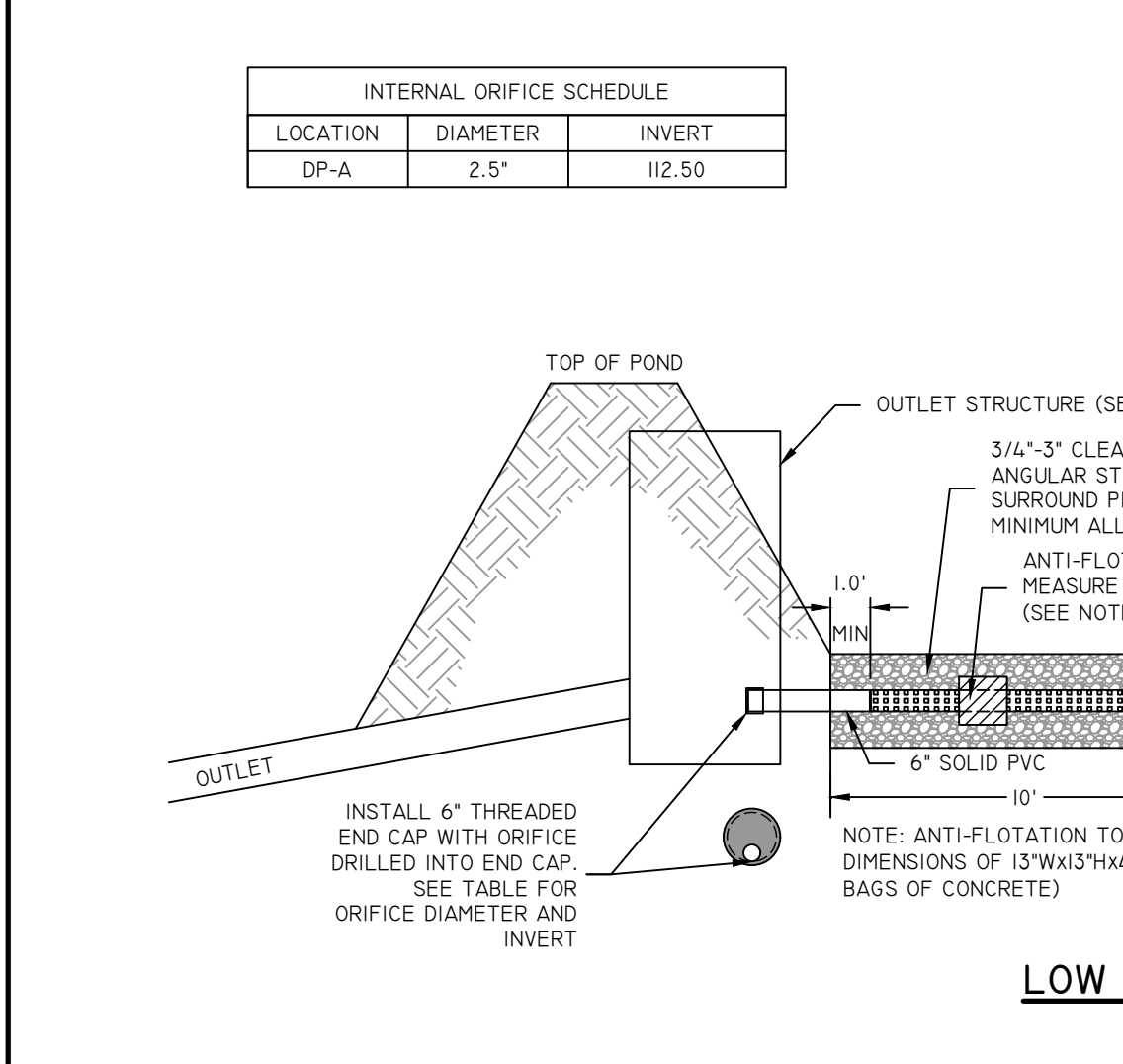
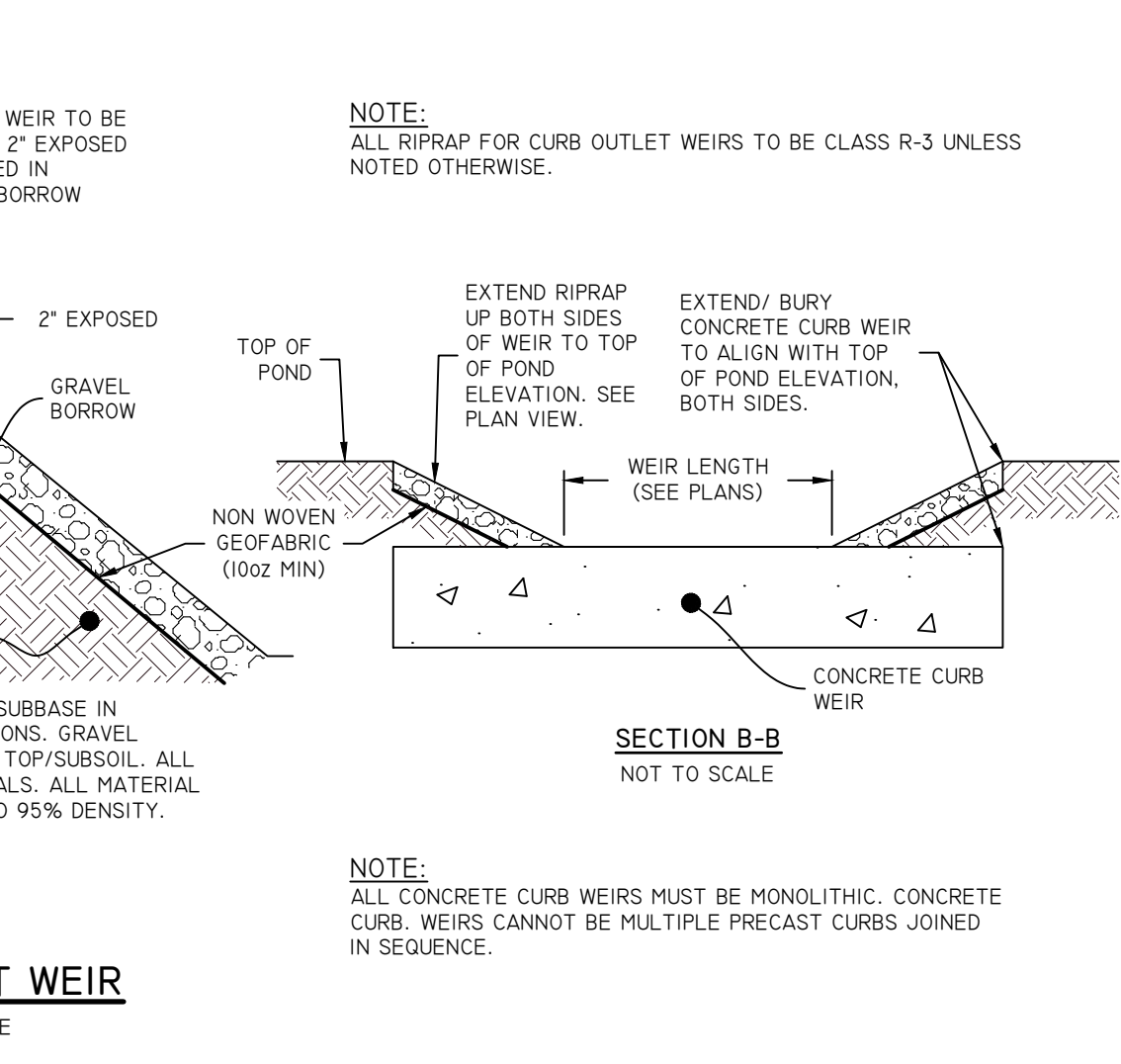
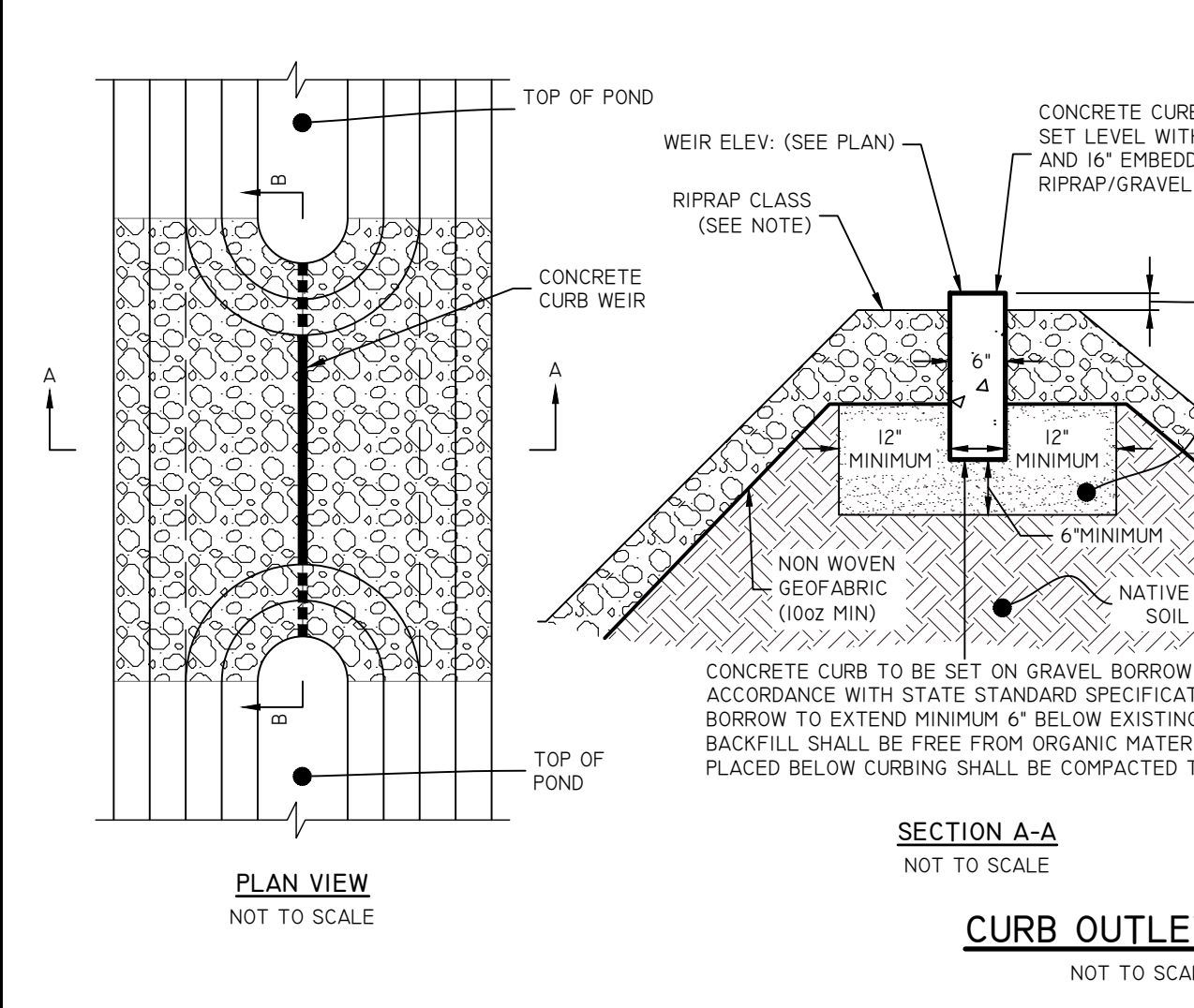
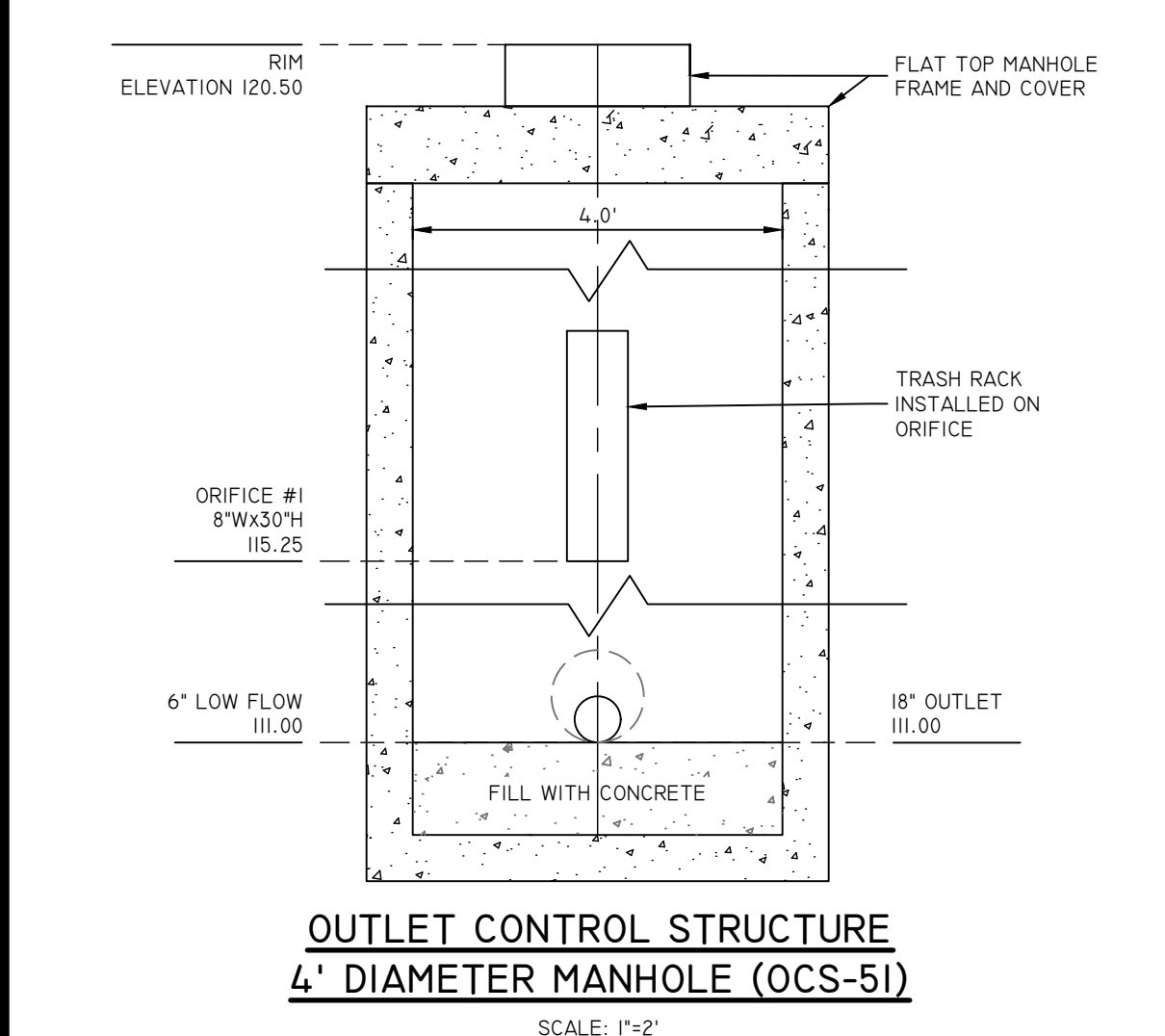
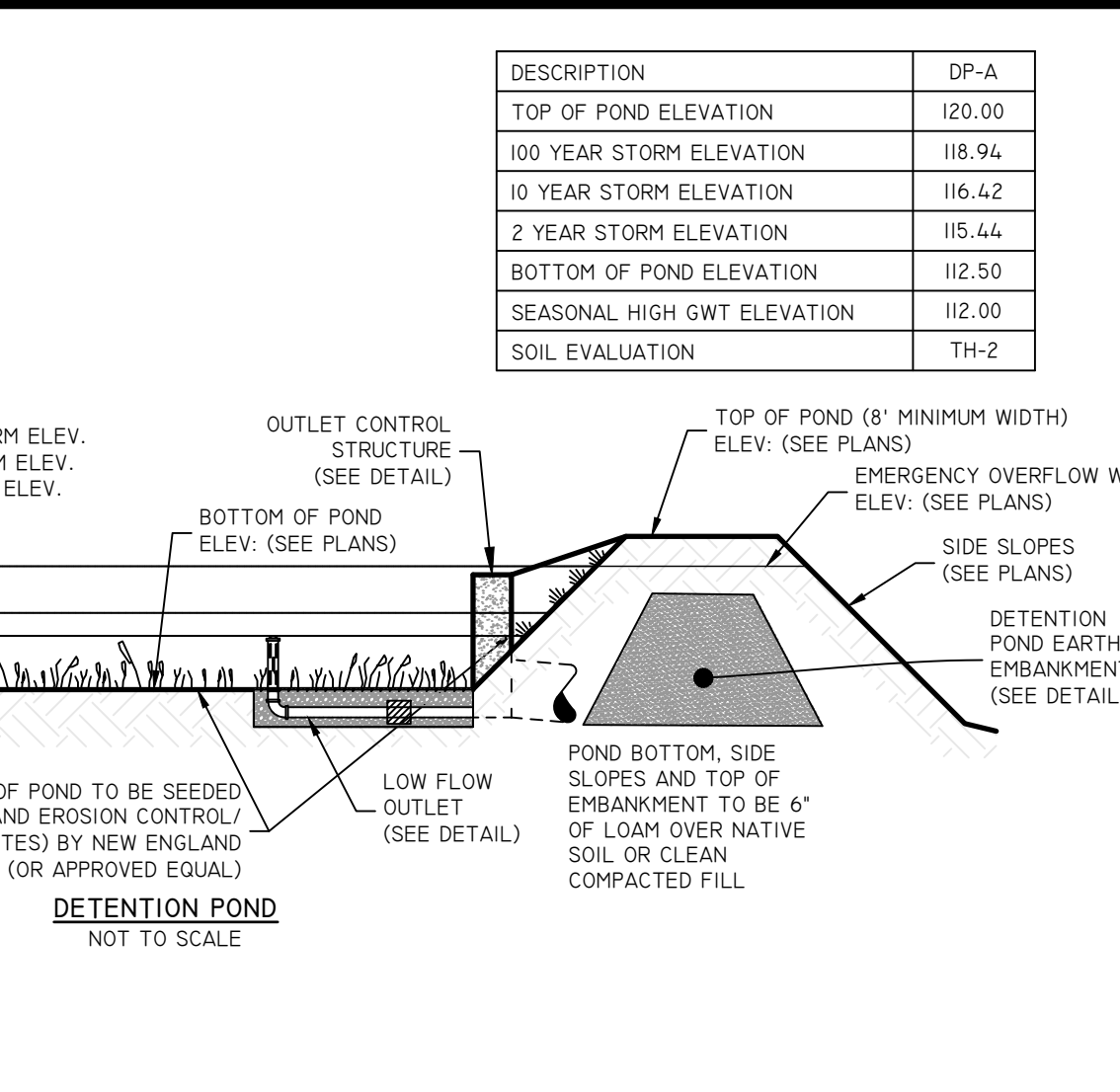
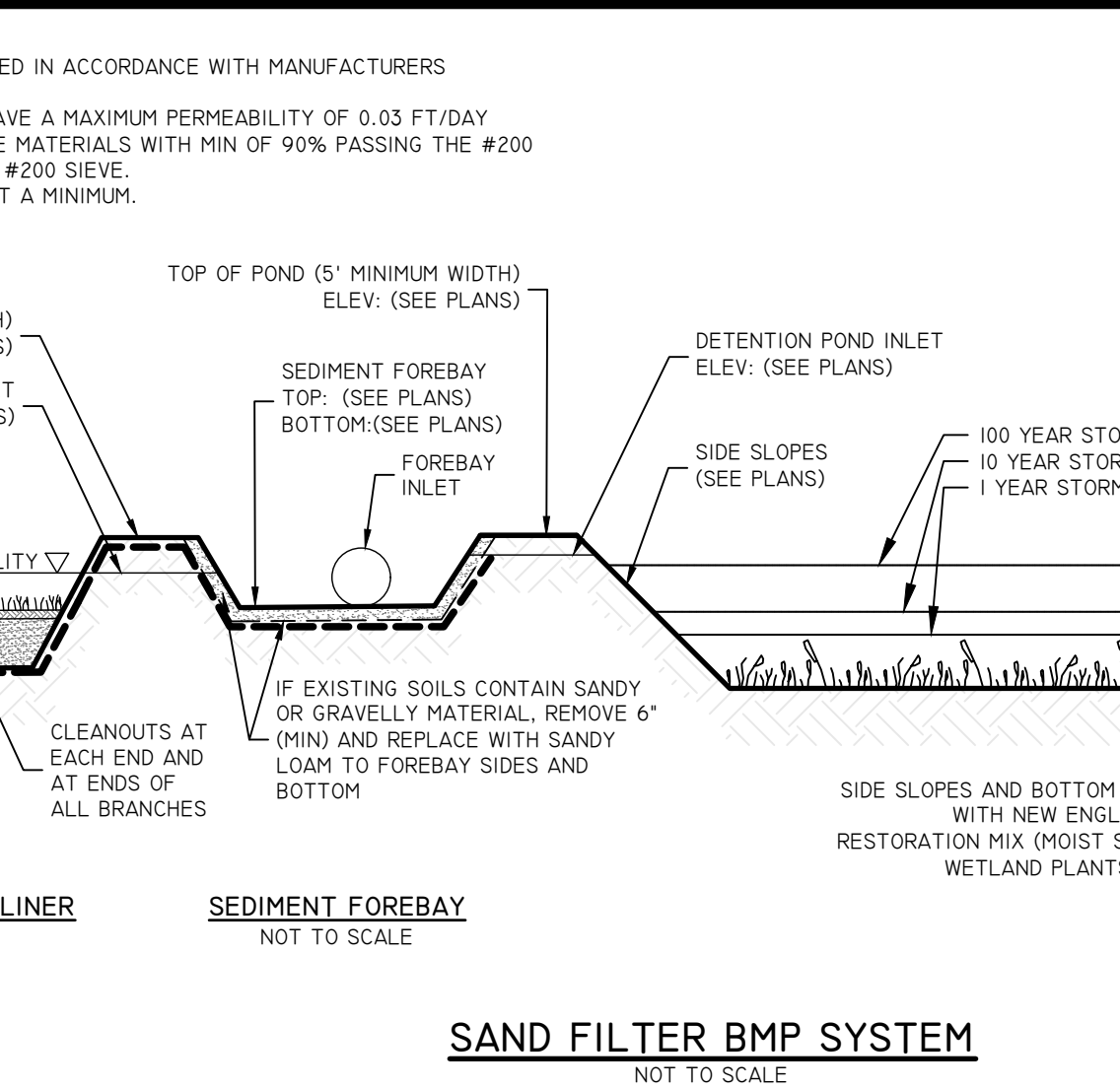
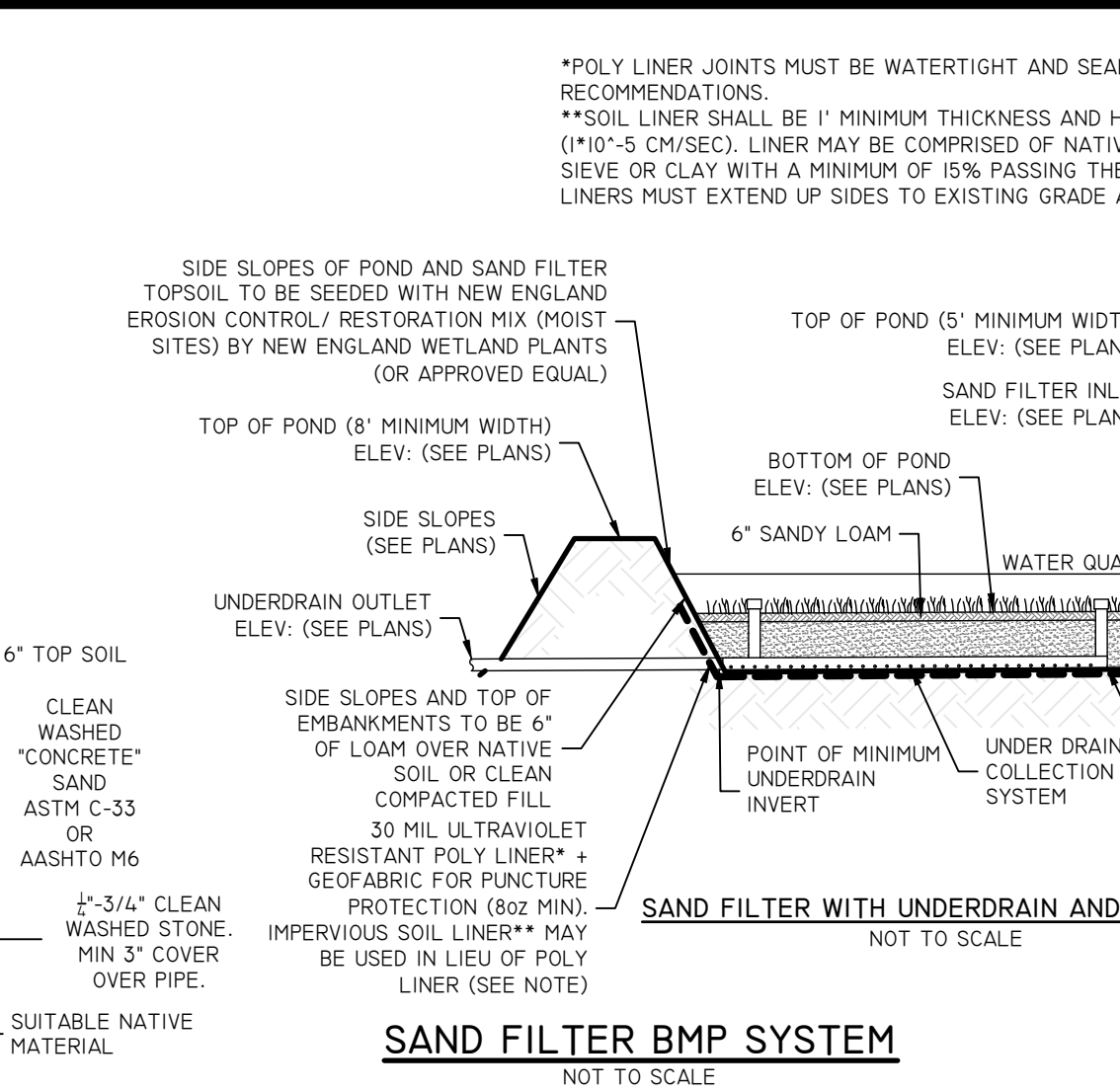
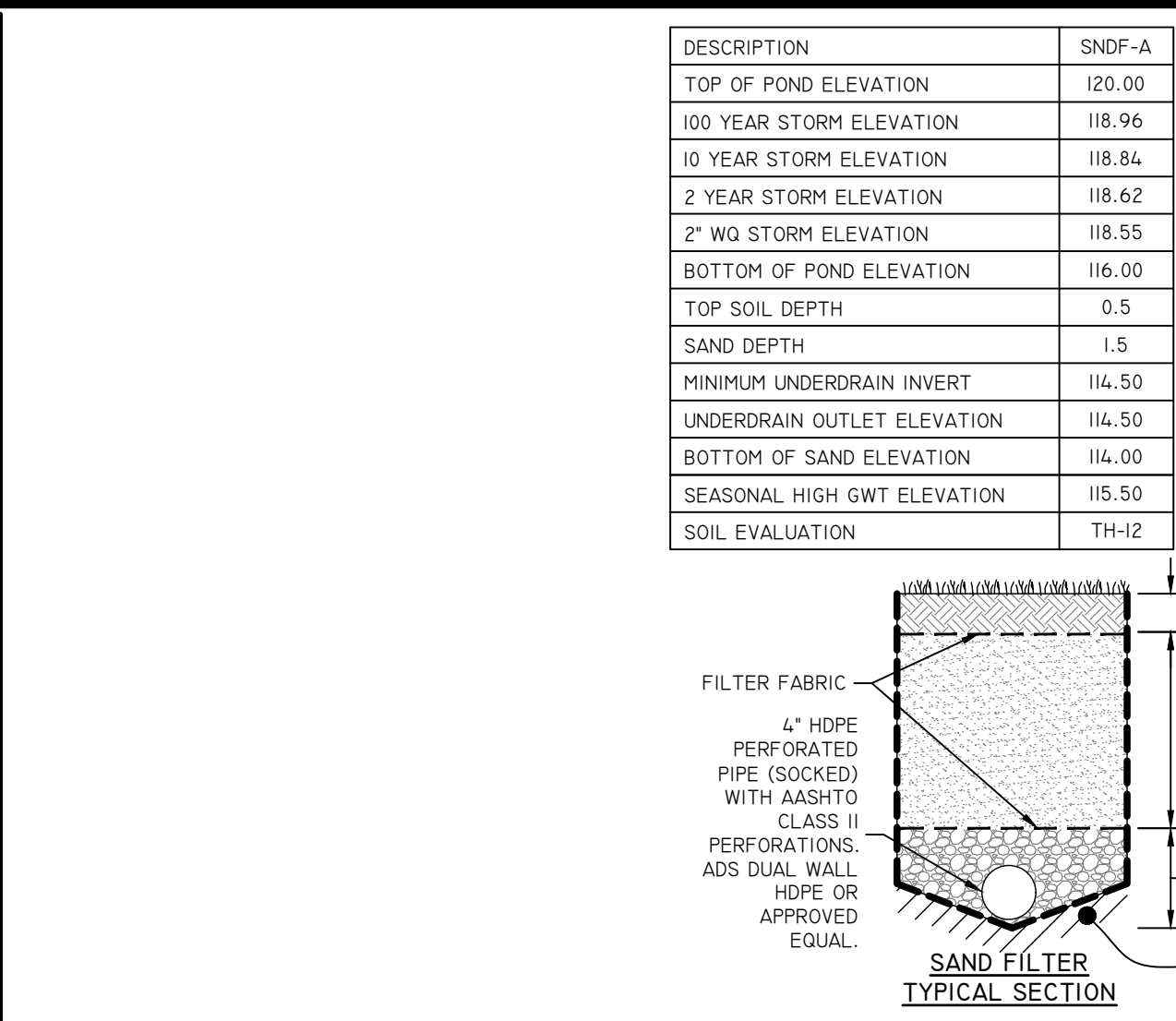
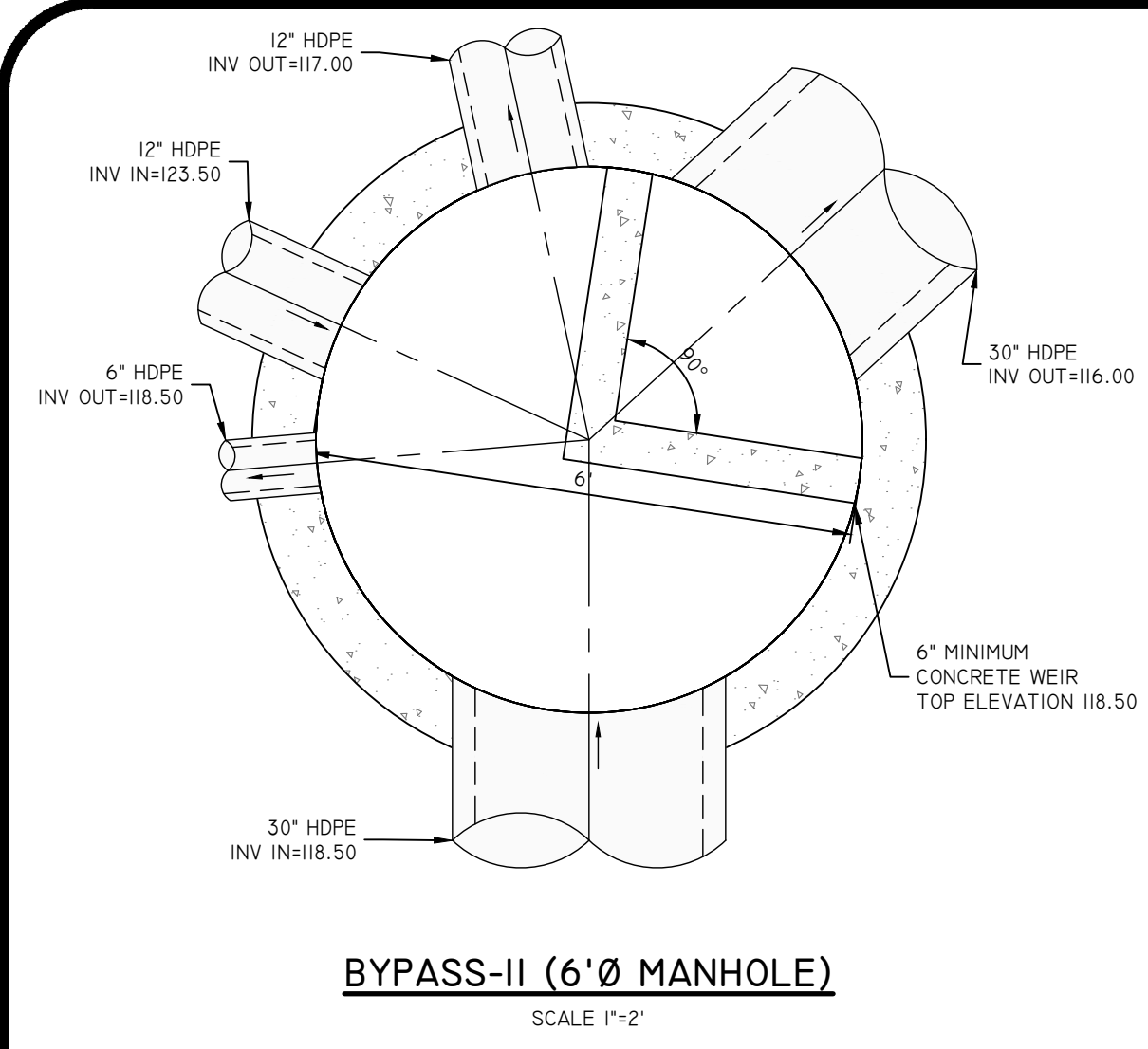


Brandon D. Carr
No. 51472
REGISTERED PROFESSIONAL ENGINEER OF DIPRETE
ENGINEERING

Diprete Engineering

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COMMONWEALTH OF MASSACHUSETTS

BRANDON D. CARP
No. 51472
REGISTERED PROFESSIONAL ENGINEER

5/16/2023

Brandon D. Carp

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SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	BY:	DESIGN BY:
1	05-16-2023	PLANNING BOARD SUBMISSION	B.A.W.	K.J.D.

POND DETAILS

RANDOLPH ROAD, MULTIPLE PARCELS

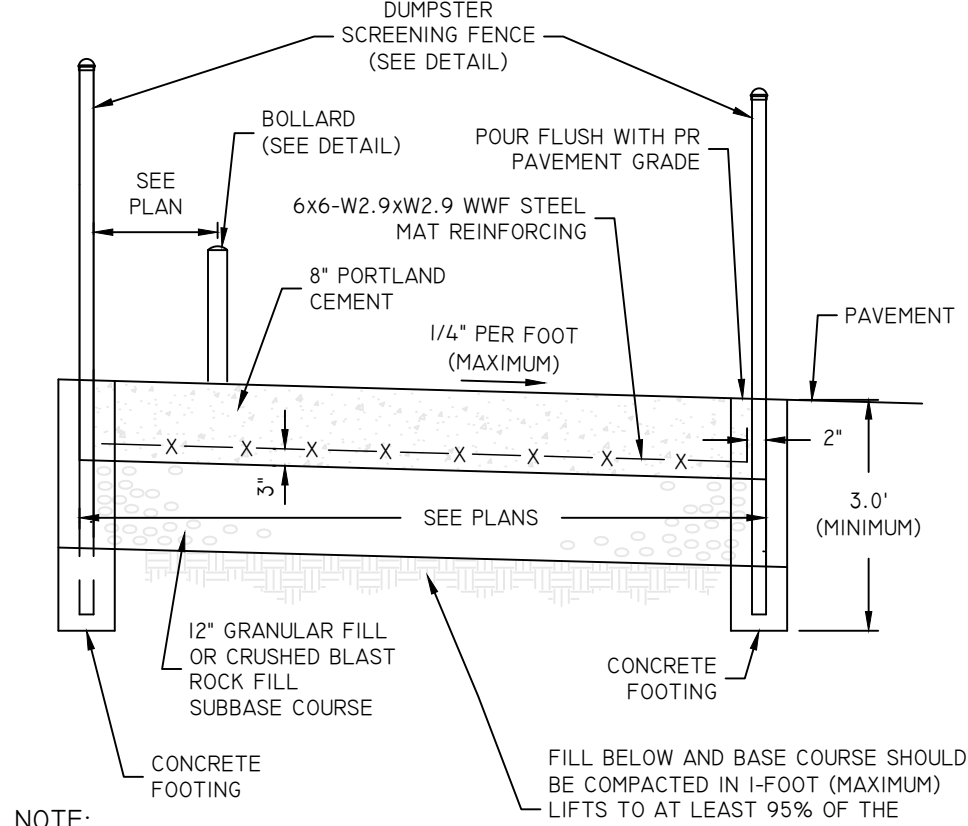
WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS

PREPARED FOR:
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

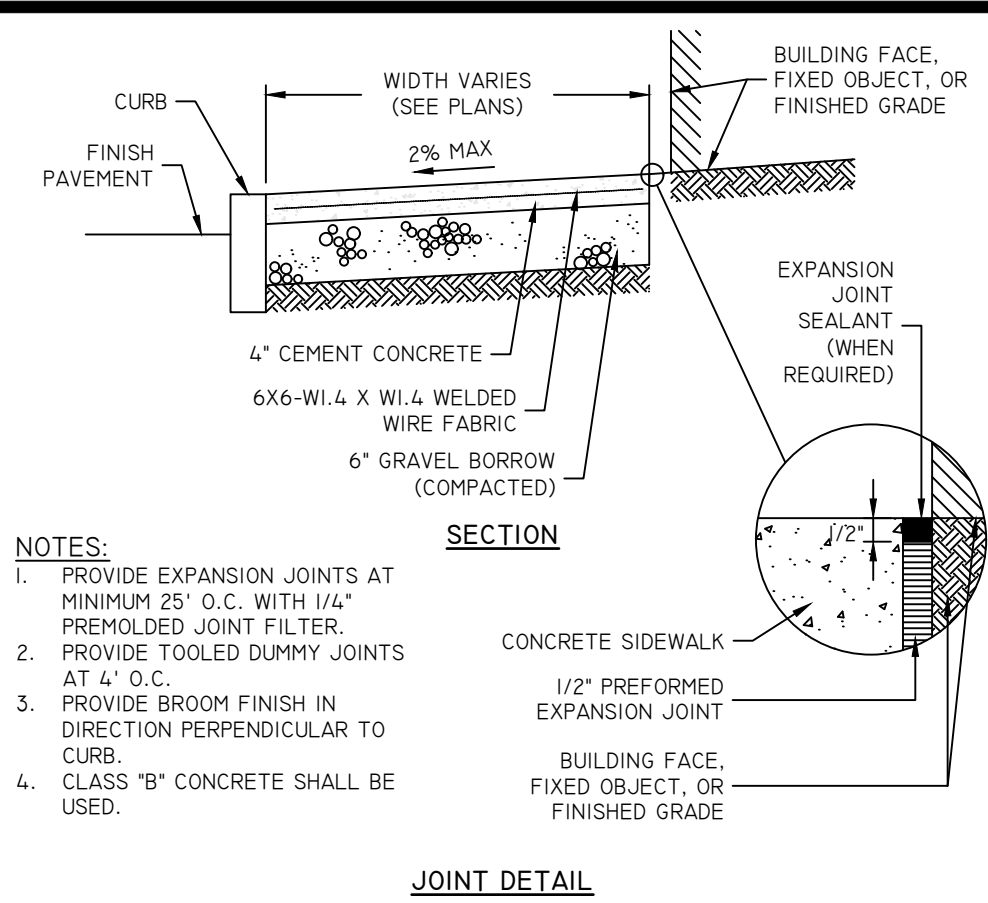
DESIGNED BY: B.A.W.
DRAWN BY: B.A.W.
CHECKED BY: B.A.W.
APPROVED BY: B.A.W.

SCALE: 1"=30'

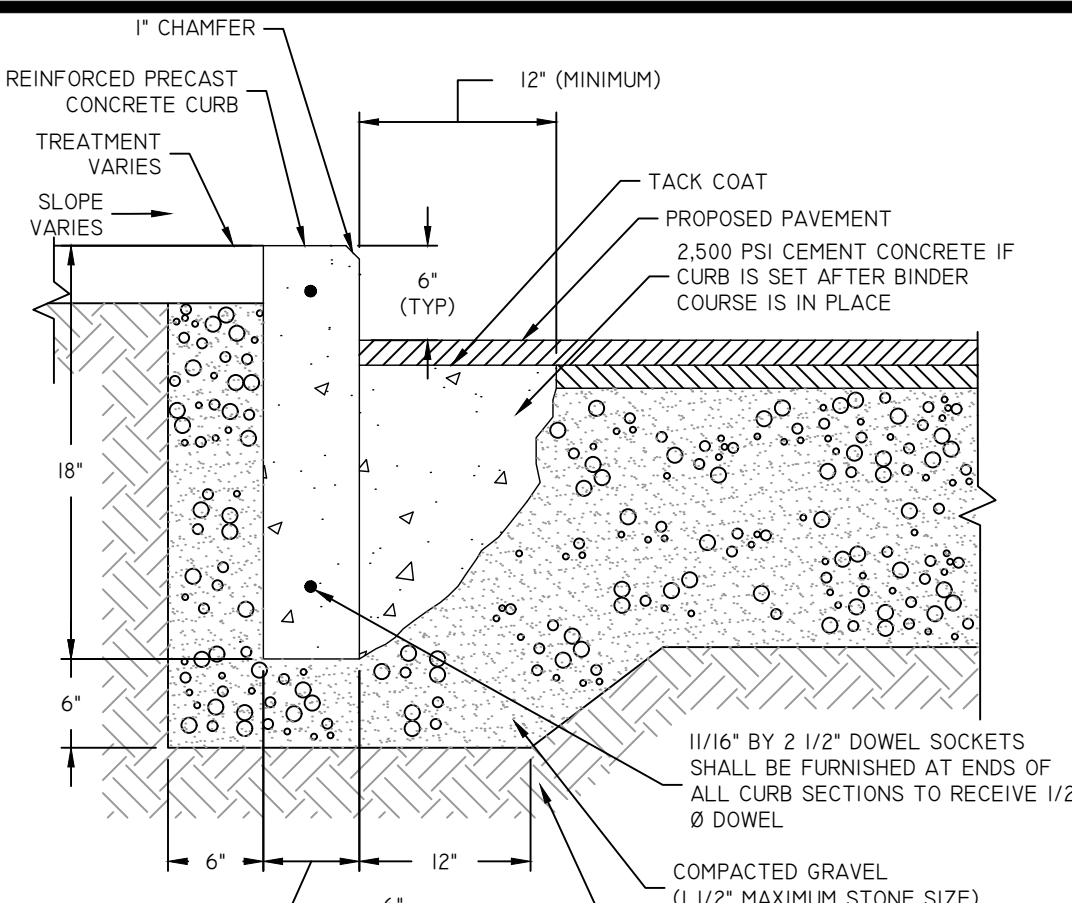
SHEET 12 OF 17



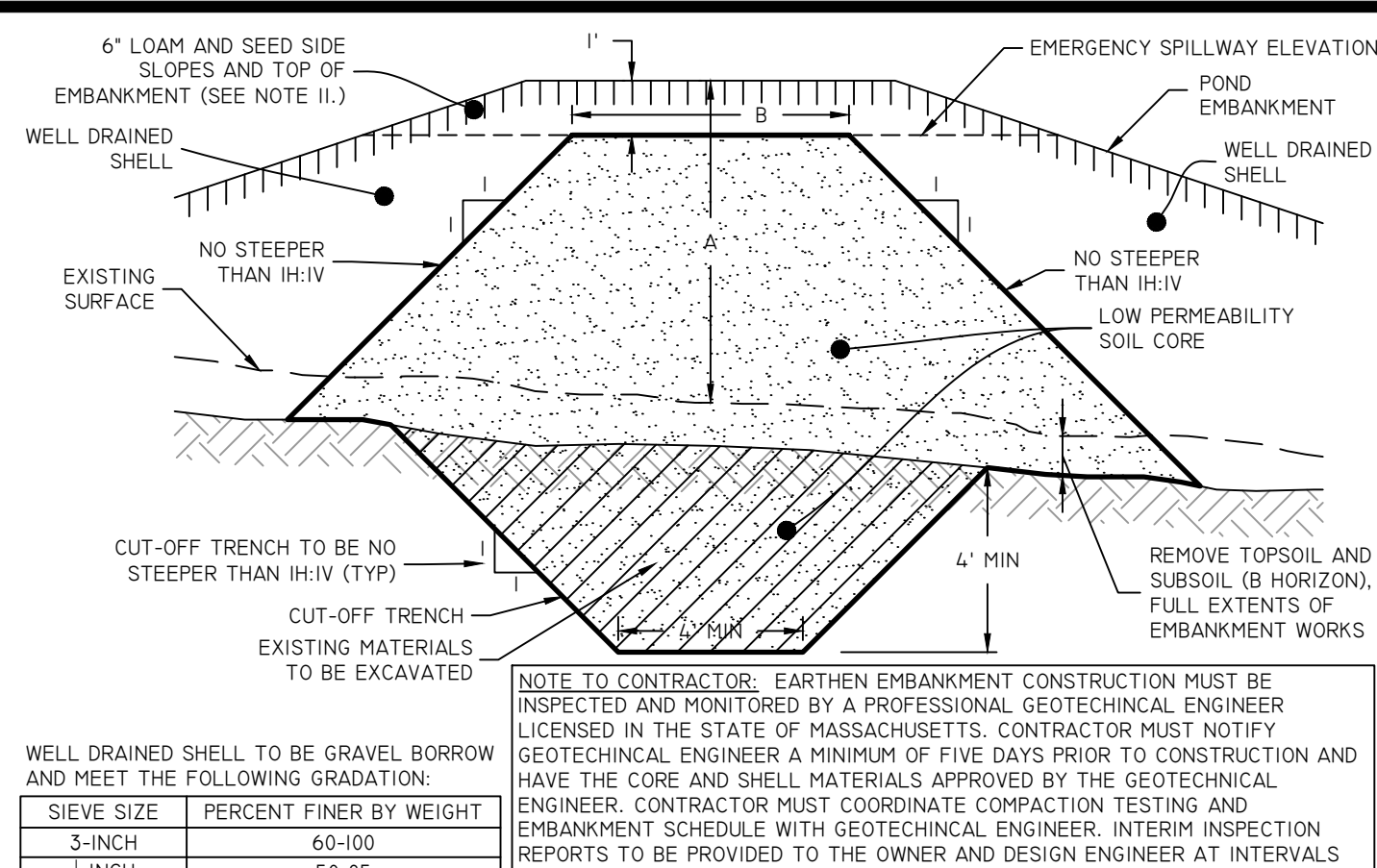
CONCRETE DUMPSTER PAD WITH BOLLARDS AND FENCE
NOT TO SCALE



CONCRETE SIDEWALK
NOT TO SCALE



PRECAST CONCRETE CURB
NOT TO SCALE

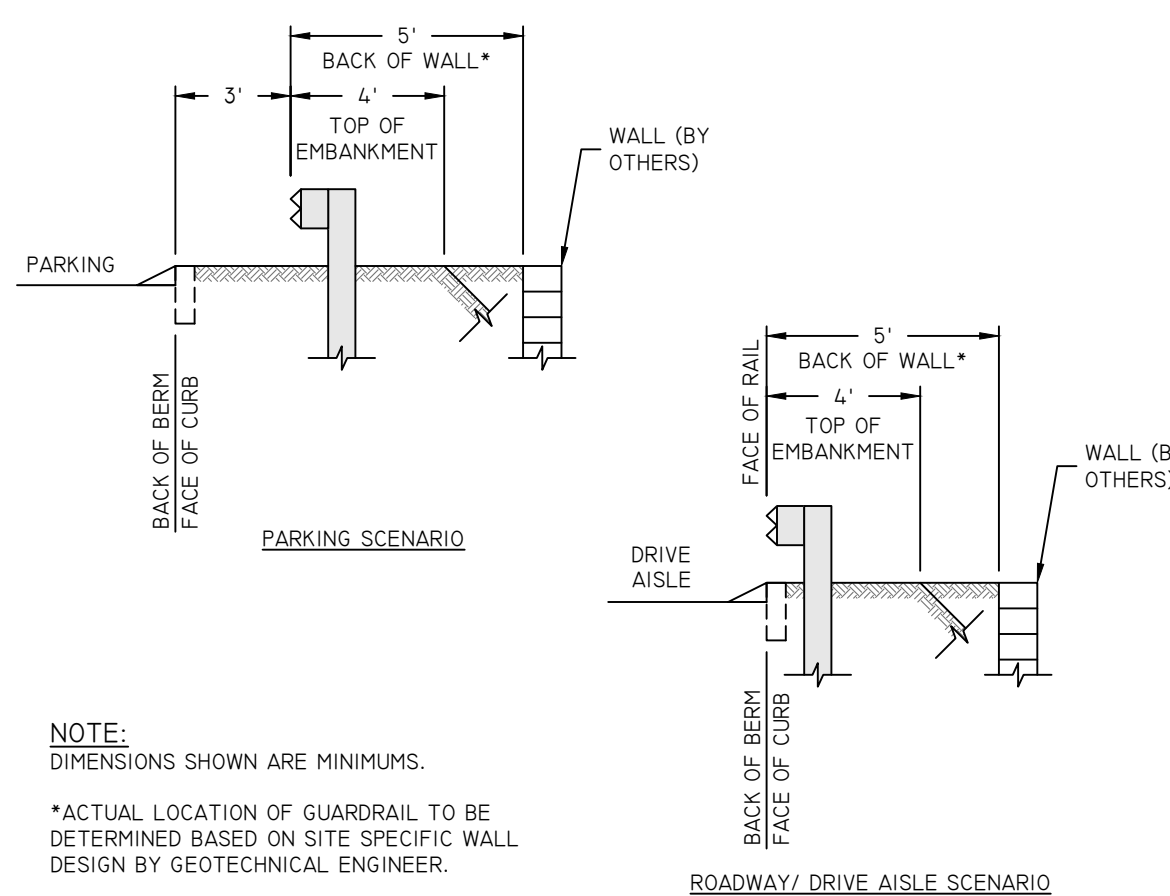


POND EARTHEN EMBANKMENT: LOW PERMEABILITY CORE
NOT TO SCALE

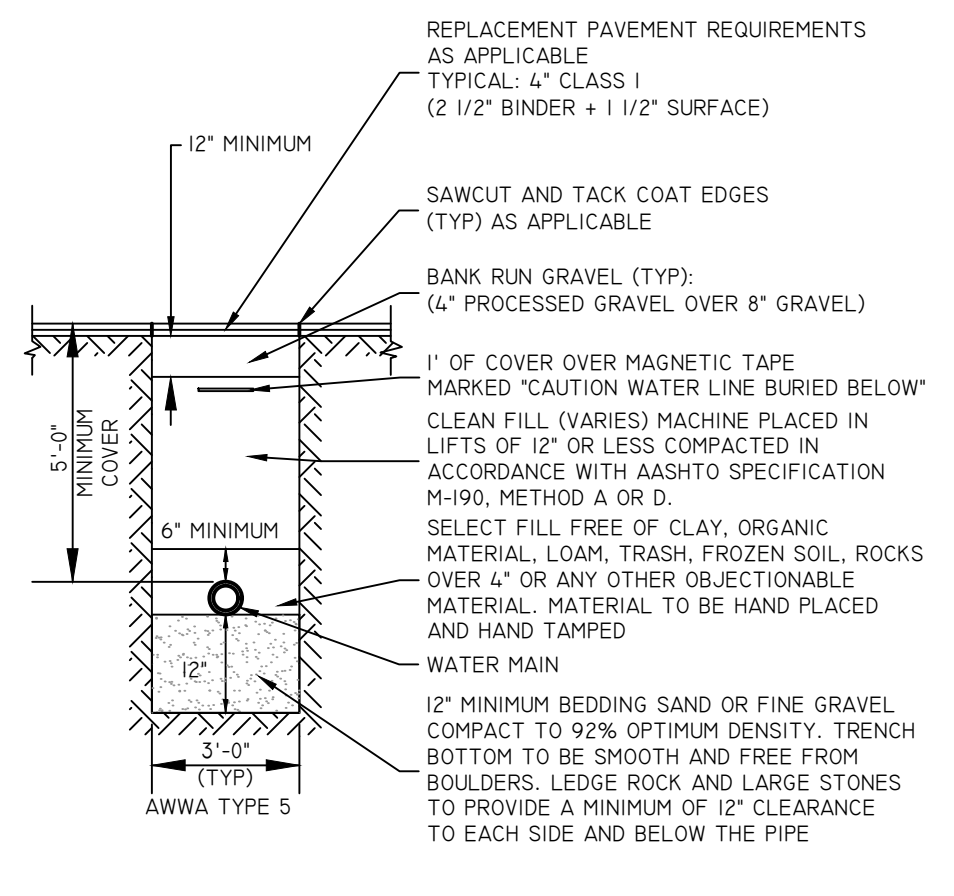
POND EMBANKMENT HEIGHT 'A' (FT)	TOP WIDTH OF CORE 'B' (FT)
0-7.0	6.0
OVER 7.0	PER GEOTECH

NOTES:

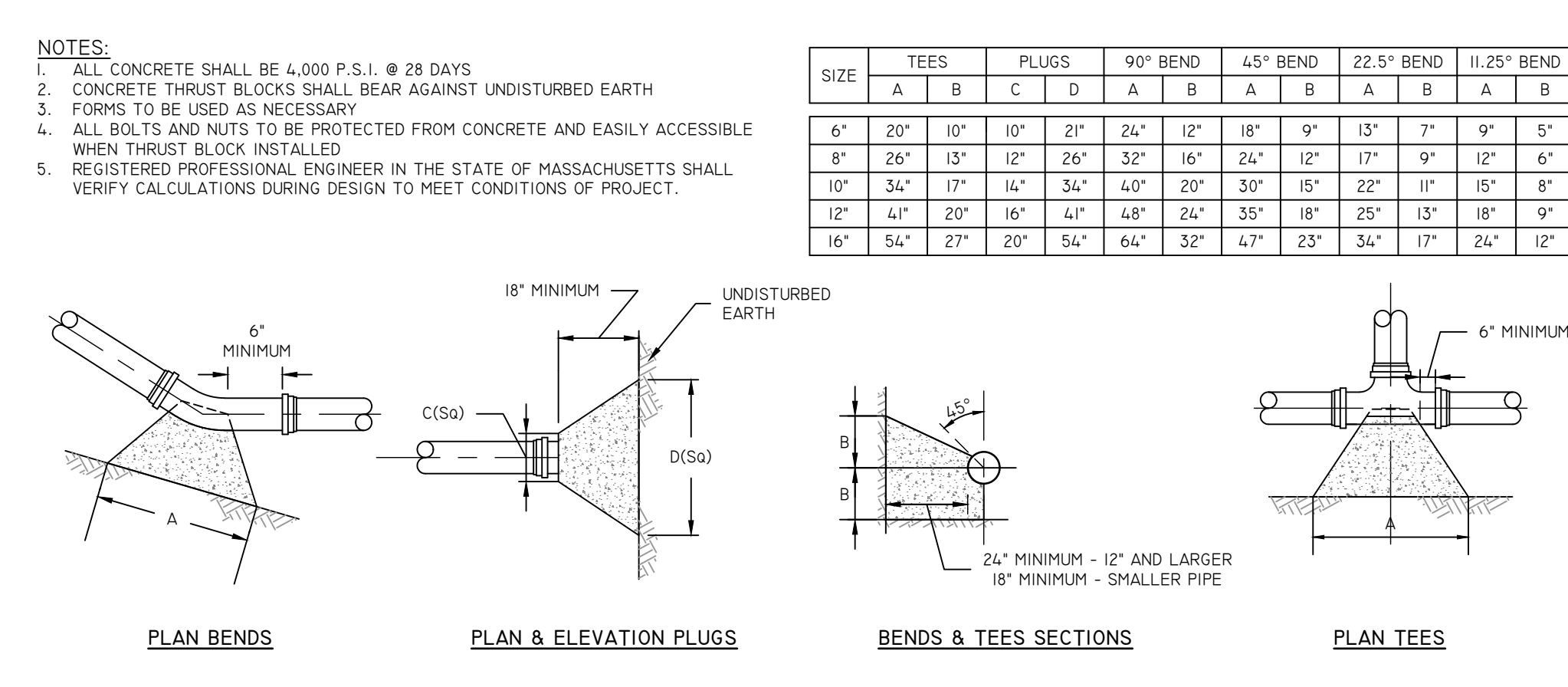
- LOW PERMEABILITY SOIL CORE TO BE PROVIDED FOR ALL POND EMBANKMENTS UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY NOTED ON THE PLANS.
- LOW PERMEABILITY SOIL CORE TO BE CONSTRUCTED OF A MATERIAL WITH A MINIMUM OF 30% PASSING THE #200 SIEVE AND A MAXIMUM PERMEABILITY OF 0.00005 CM/S.
- WELL DRAINED SHELL TO BE GRAVEL BORROW WITH LESS THAN 10% PASSING THE #200 SIEVE AND MEET THE GRADATION AS SHOWN ON THE PLANS.
- ALL MATERIAL MUST BE FREE FROM DELETERIOUS/ORGANIC MATTER, INCLUDING (BUT NOT LIMITED TO) ROOTS, SOD, RUBBLE, SNOW, ICE, RUBBISH ETC. MINIMUM DEPTH OF CUT-OFF TRENCH SHALL BE 4' MEASURED FROM THE LOWEST ELEVATION OF THE UNDISTURBED EXISTING SURFACE INTERFACE. SEE DETAIL.
- THE MINIMUM BOTTOM WIDTH OF THE CUT-OFF TRENCH SHALL BE 4', AND WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT.
- SIDE SLOPES OF THE CUT-OFF TRENCH SHALL BE NO STEEPER THAN 1H:1V.
- IF BEDROCK IS ENCOUNTERED BELOW THE POND EMBANKMENT THE CUT OFF TRENCH MAY BE MODIFIED AT THE DIRECTION OF A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER.
- THE LOW PERMEABILITY CORE AT A MINIMUM SHALL EXTEND UP BOTH ABUTMENTS TO THE EMERGENCY SPILLWAY ELEVATION.
- COMPACTION REQUIREMENTS FOR THE SHELL AND LOW PERMEABILITY CORE TO BE 95% OF THE MODIFIED PROCTOR PER ASTM D1557. ALL FILL TO BE PLACED IN LIFTS NOT EXCEEDING 12\"/>



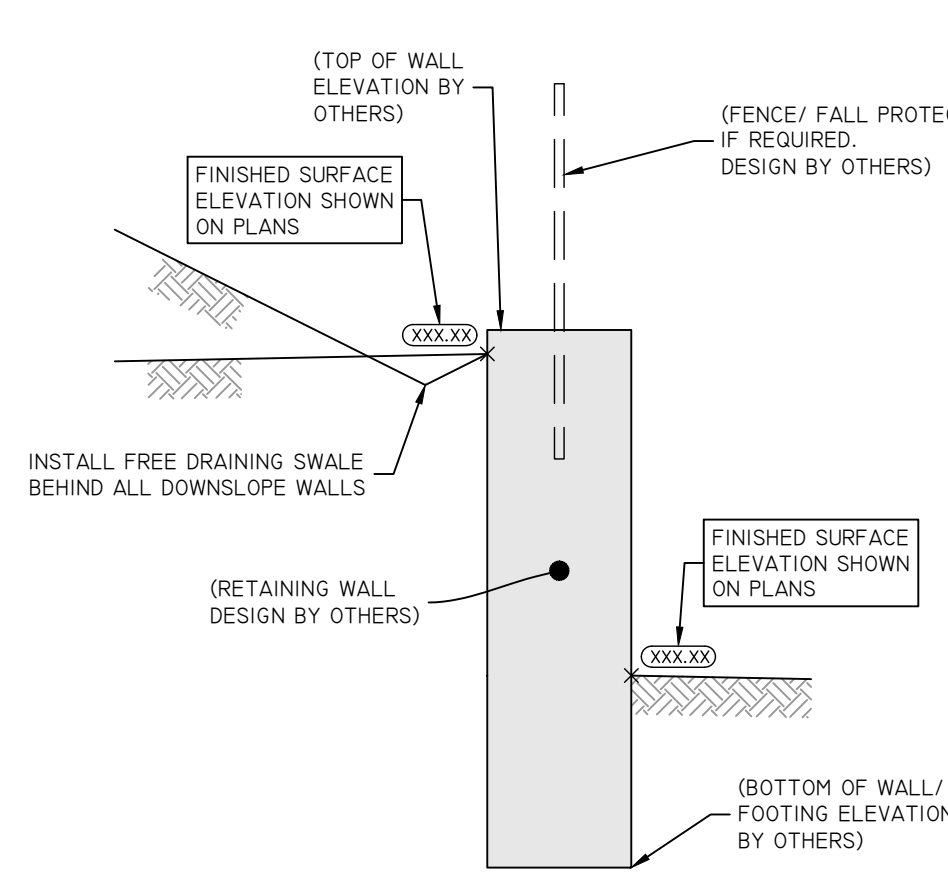
GUARDRAIL OFFSET SCENARIOS
NOT TO SCALE



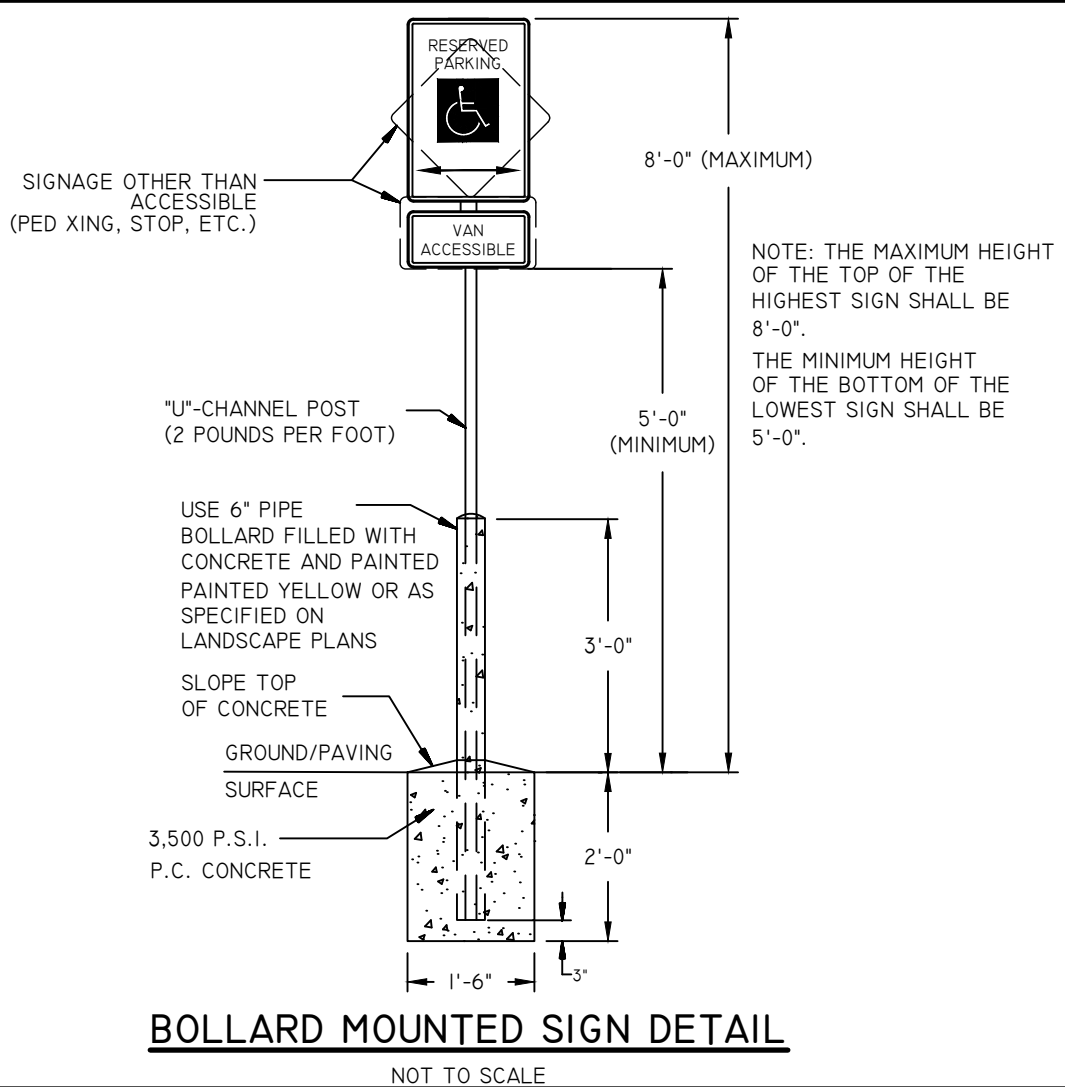
WATER TRENCH DETAIL
NOT TO SCALE



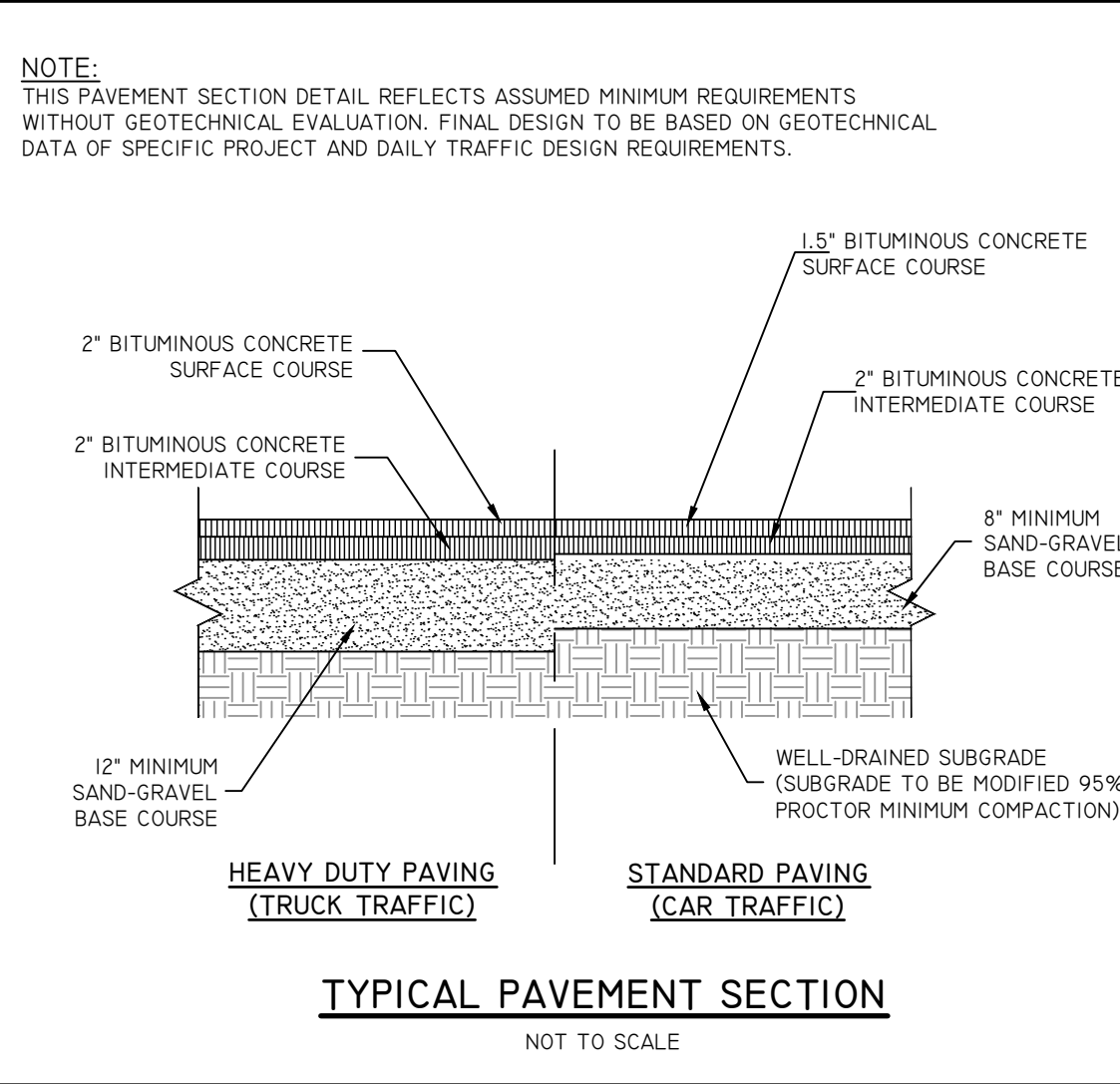
THRUST BLOCK
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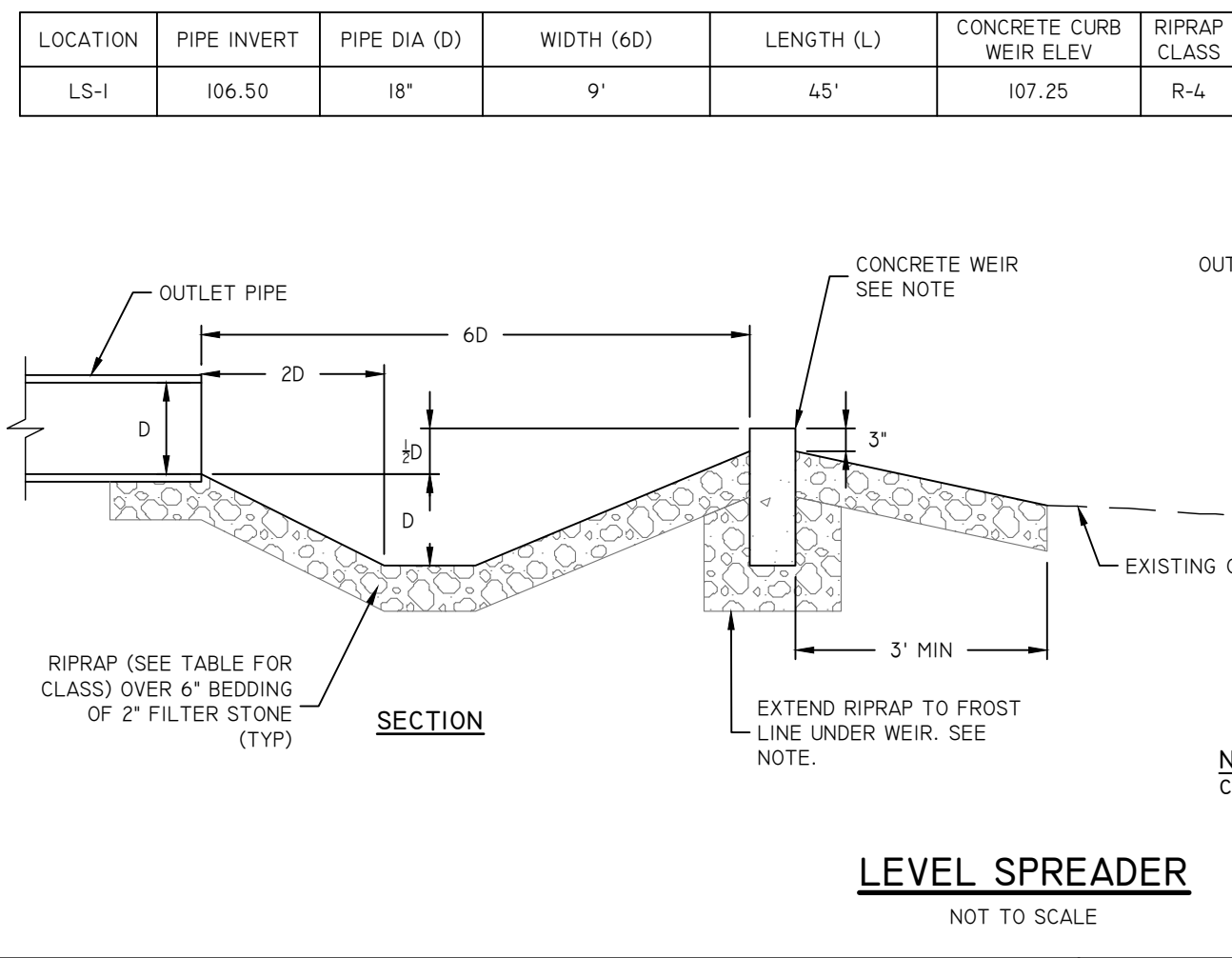
GRADING AT RETAINING WALL
NOT TO SCALE



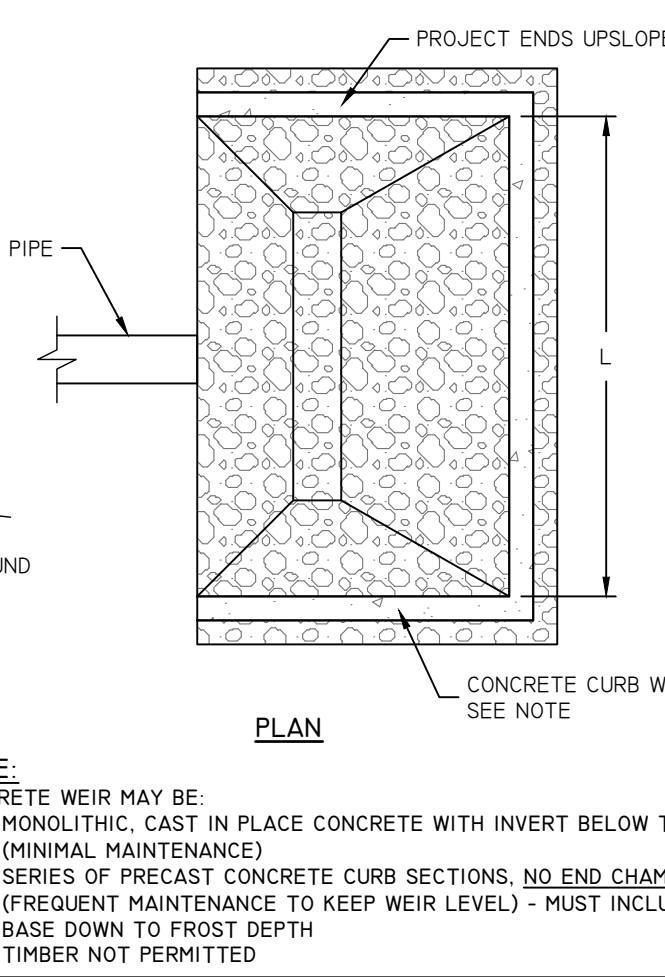
BOLLARD MOUNTED SIGN DETAIL
NOT TO SCALE



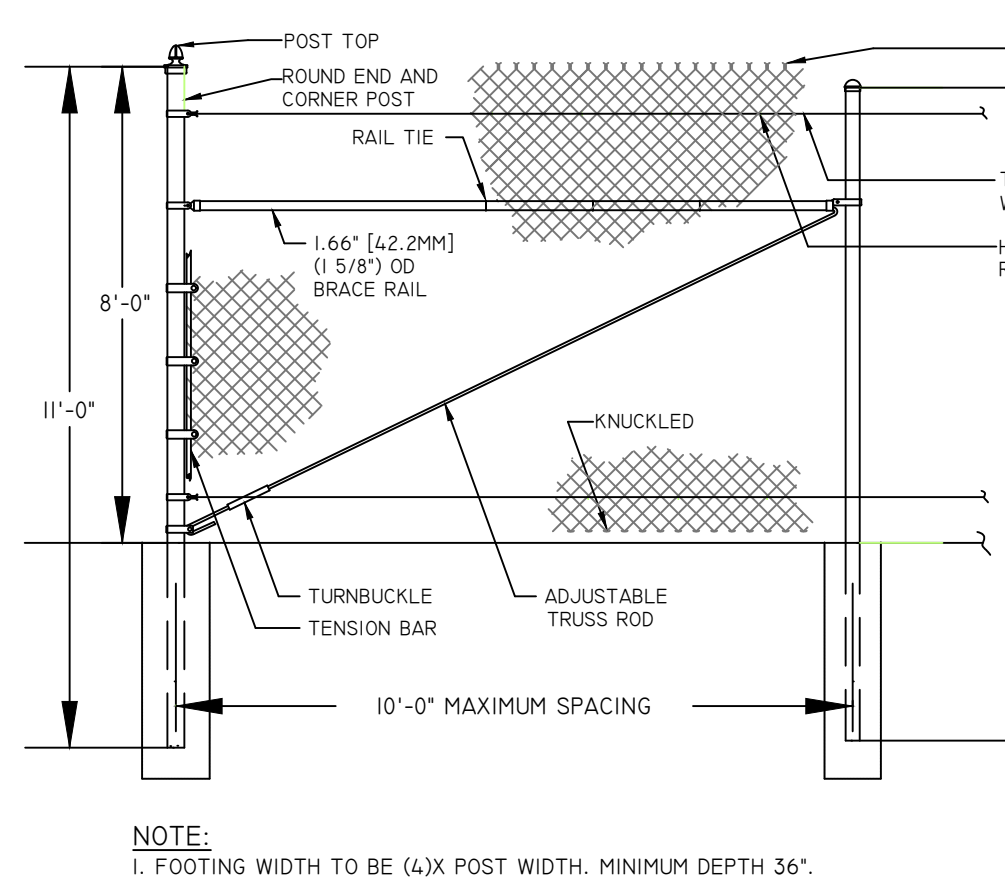
TYPICAL PAVEMENT SECTION
NOT TO SCALE



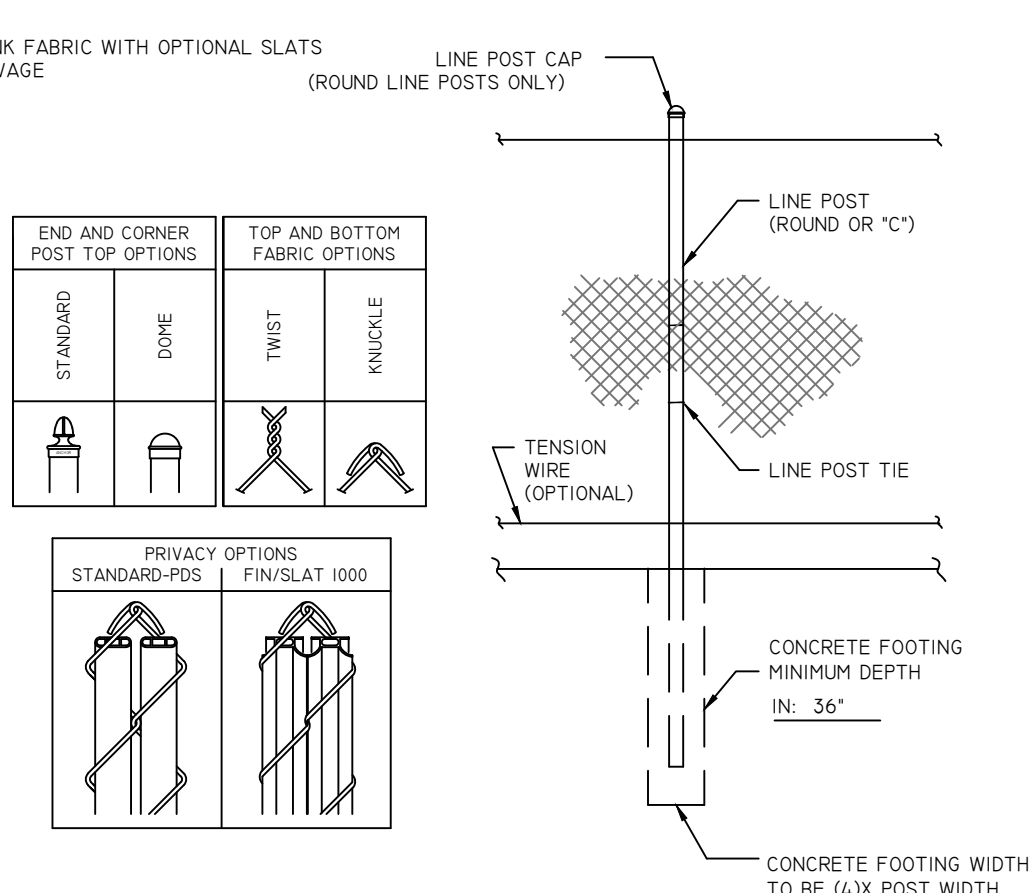
LEVEL SPREADER
NOT TO SCALE



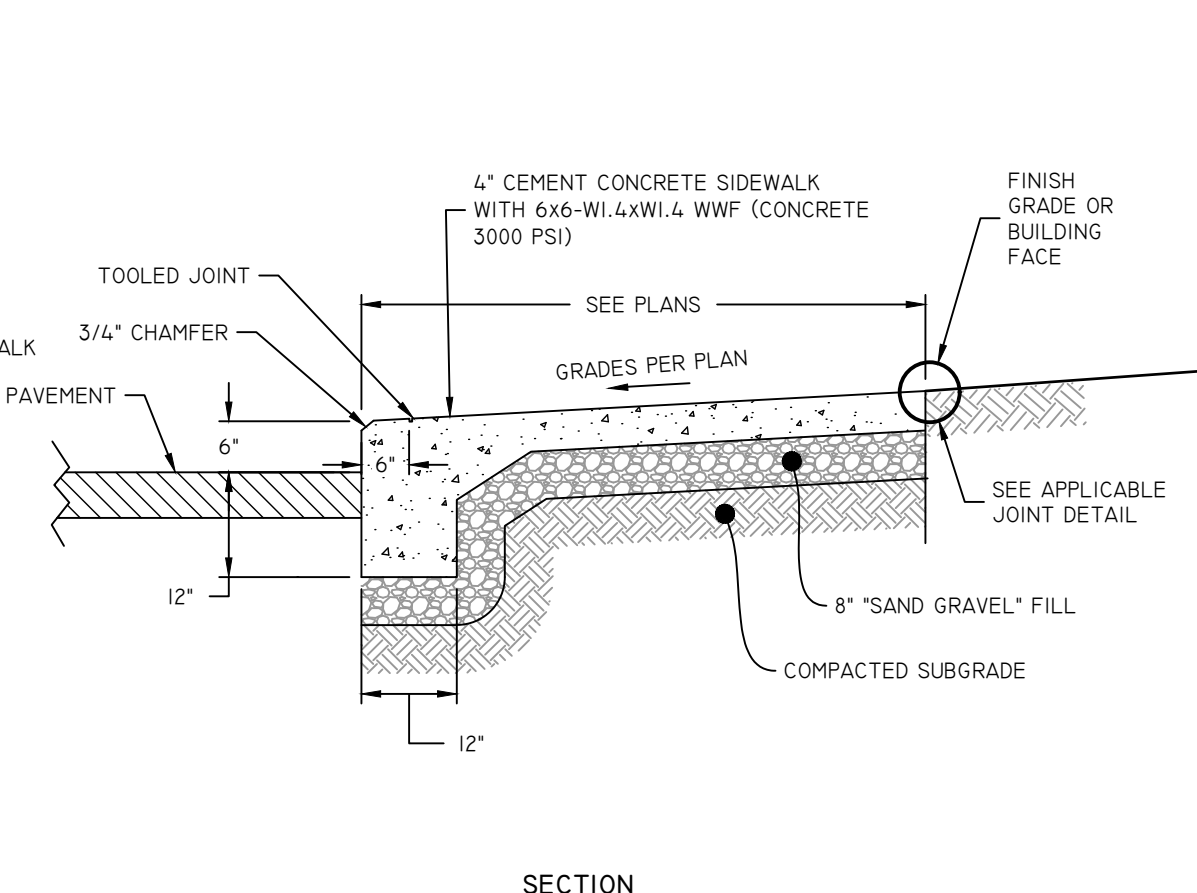
BOLLARD DETAIL
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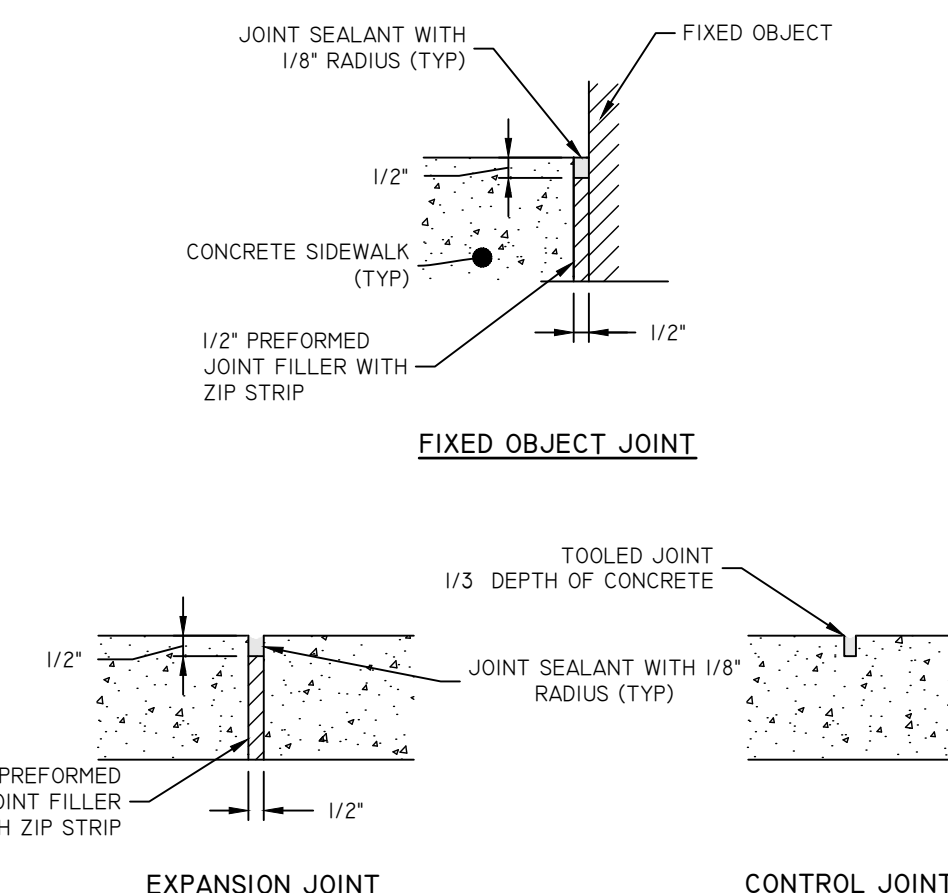
DUMPSTER SCREENING FENCE DETAIL
NOT TO SCALE



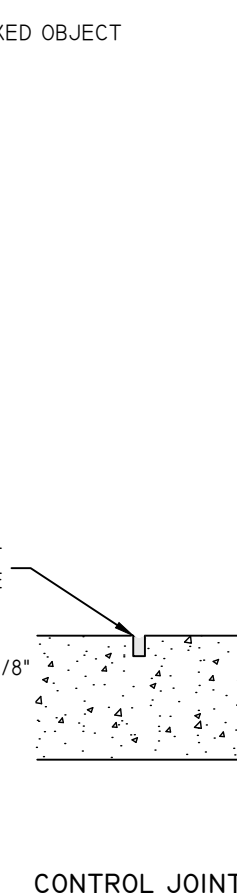
MONOLITHIC CONCRETE SIDEWALK (FLUSH)
NOT TO SCALE



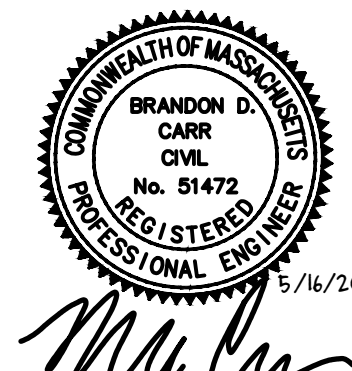
MONOLITHIC CONCRETE SIDEWALK (6\"/>



EXPANSION JOINT



CONTROL JOINT



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS FIRST REVIEWED AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY PART OF THE CONSTRUCTION OR PERFORMANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY A DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE LOCATION, DEPTH, OR TYPE OF UTILITIES. SEE UTILITY MAP ON SHEET 3.

DESIGNED BY: K.J.D.
DRAWN BY: B.A.W.
CHECKED BY: B.A.W.
DATE: 05-15-2023
PLANNING BOARD SUBMISSION: 05-15-2023
DATE: 05-15-2023
DESCRIPTION: RANDOLPH ROAD, MULTIPLE PARCELS
WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS
PREPARED FOR: BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

DETAIL SHEET-1

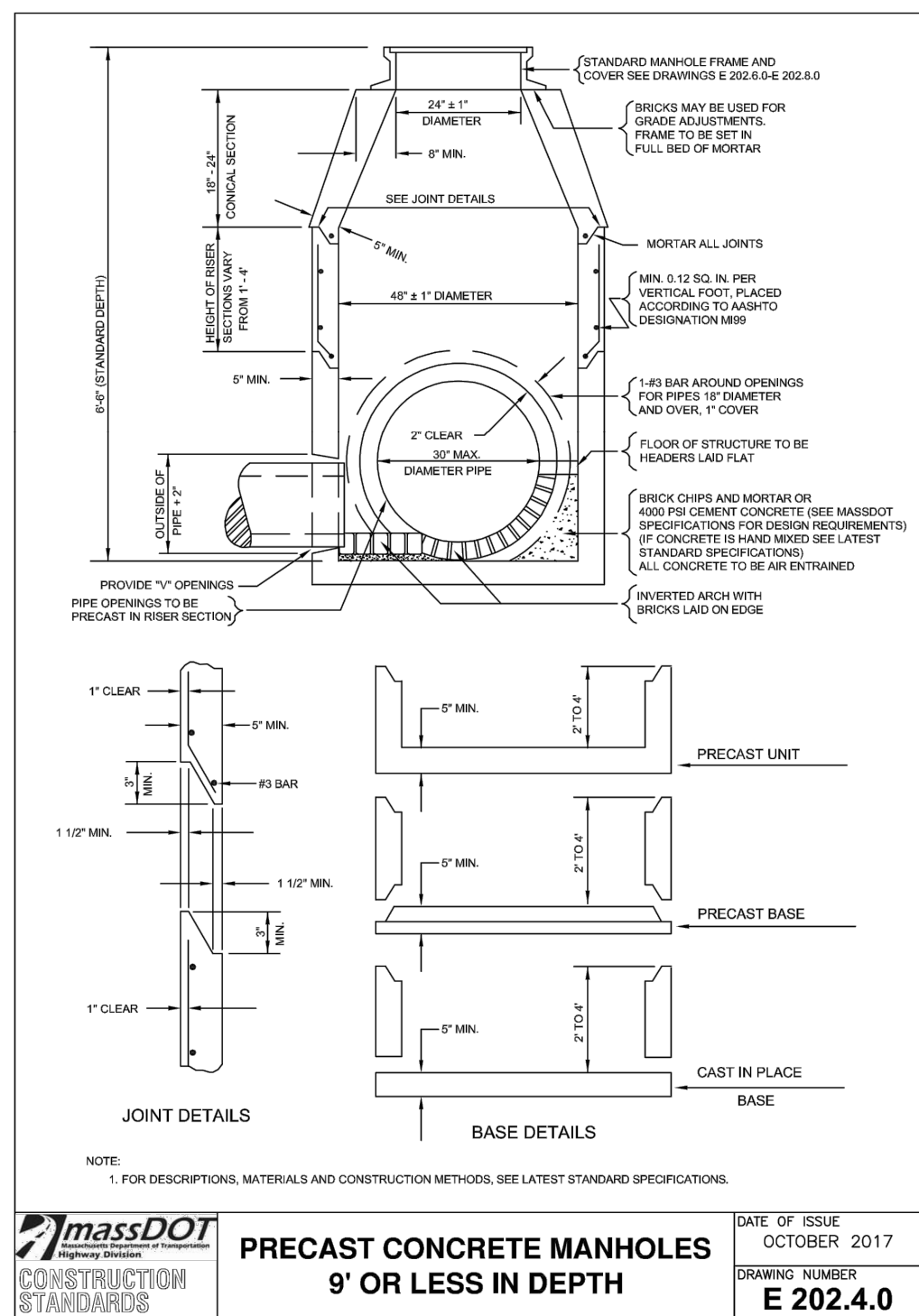
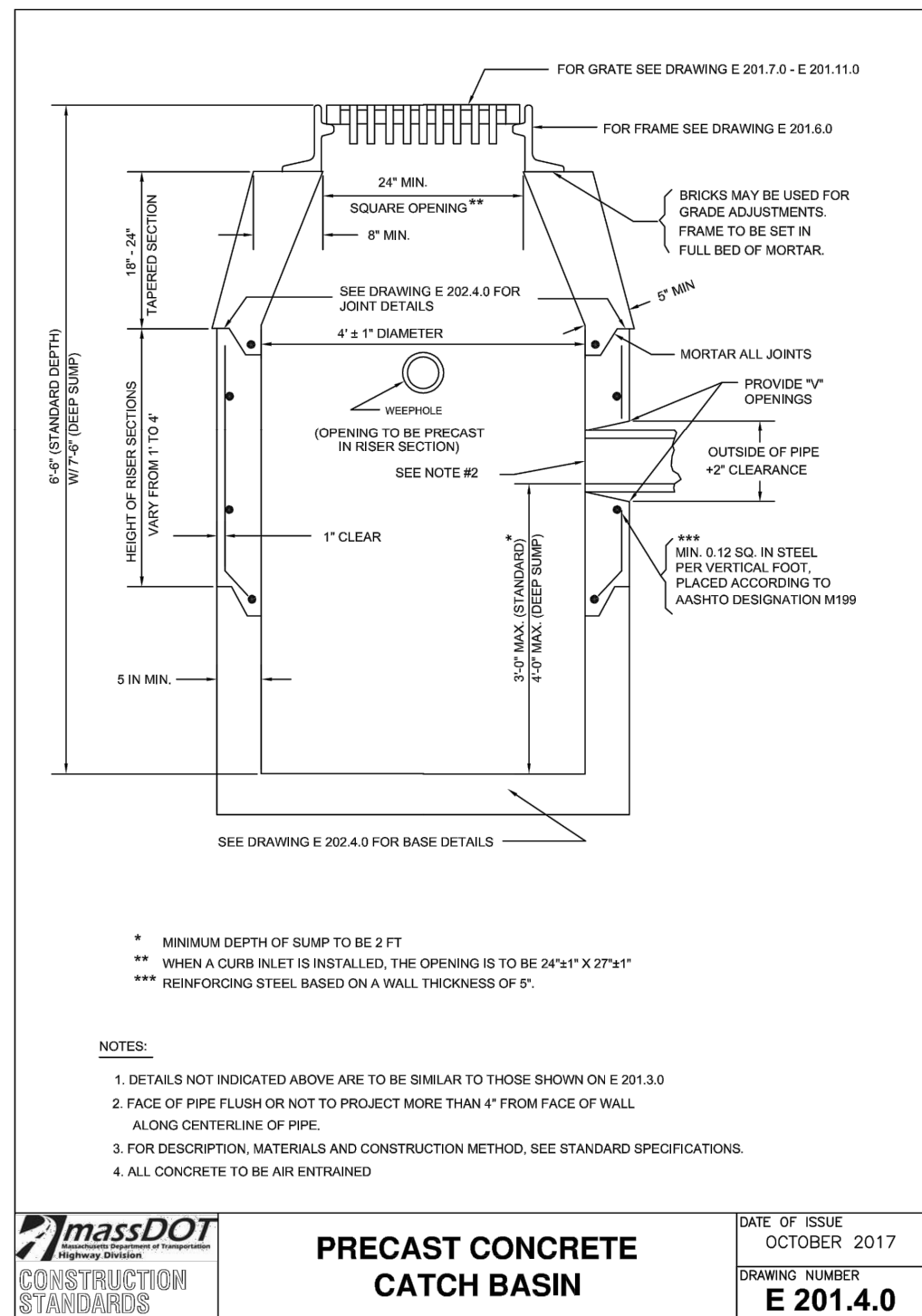
RANDOLPH ROAD, MULTIPLE PARCELS

WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS

PREPARED FOR: BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

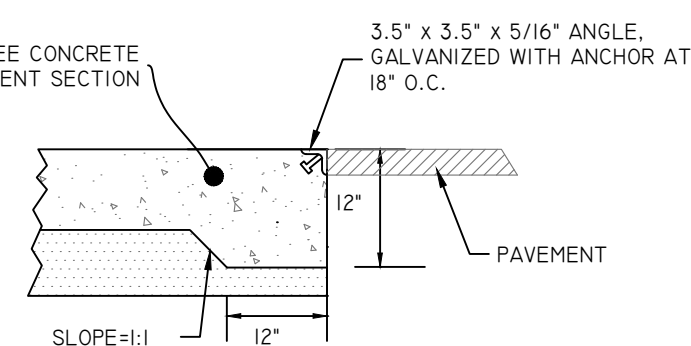
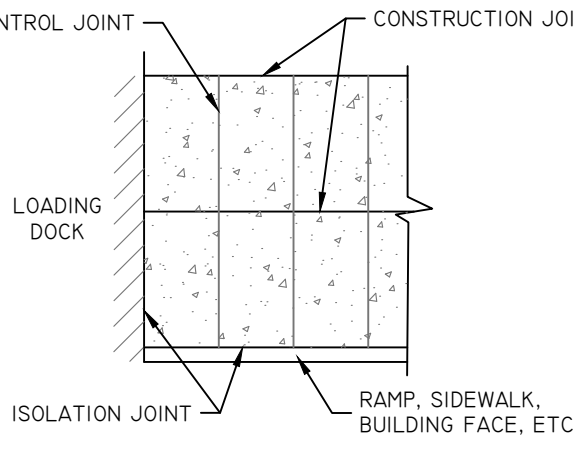
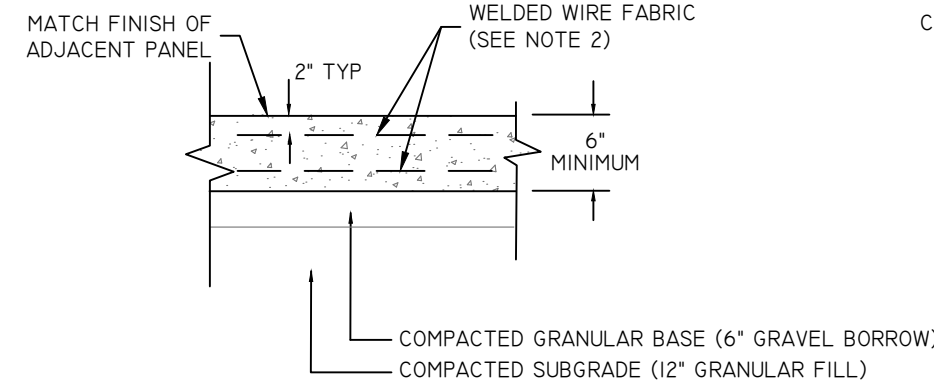
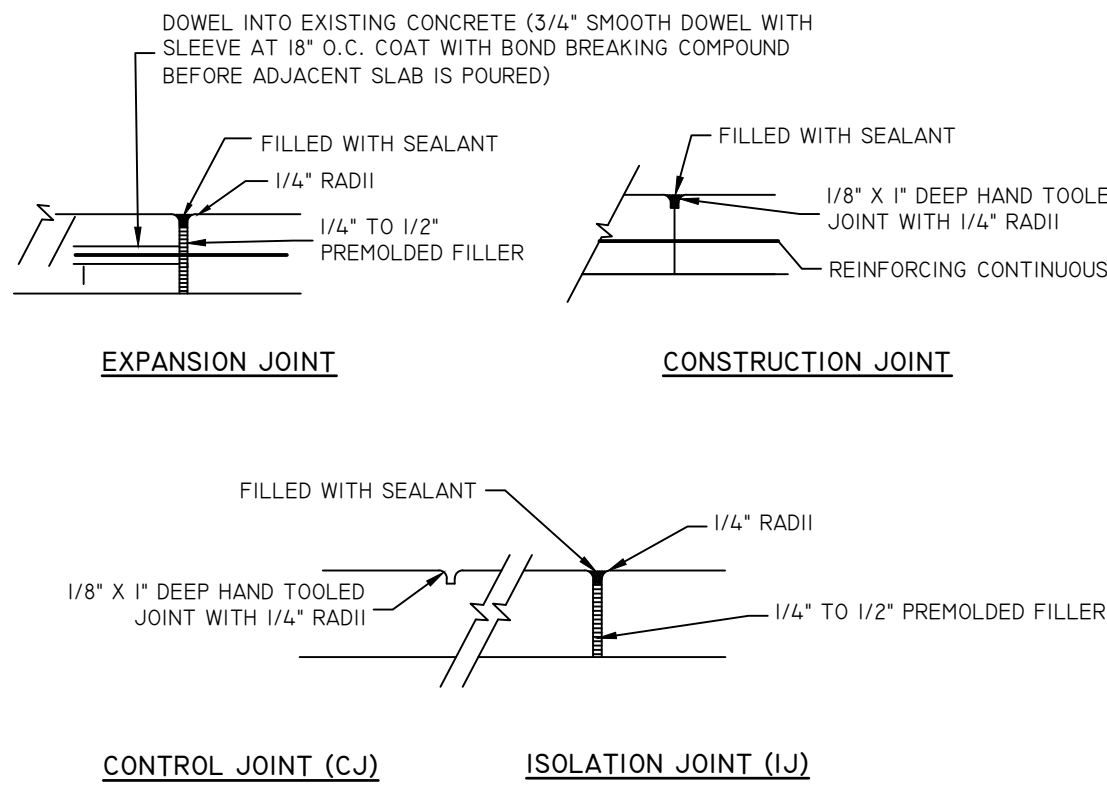
RE: JOB NO. 205A-002, COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

\\DASH\ORGE\FIDELITY\PROJECTS\0954-003 RANDOLPH ROAD\AUTOCAD DRAWINGS\0954-003-BNPS.DWG PLOTTED: 5/15/2023



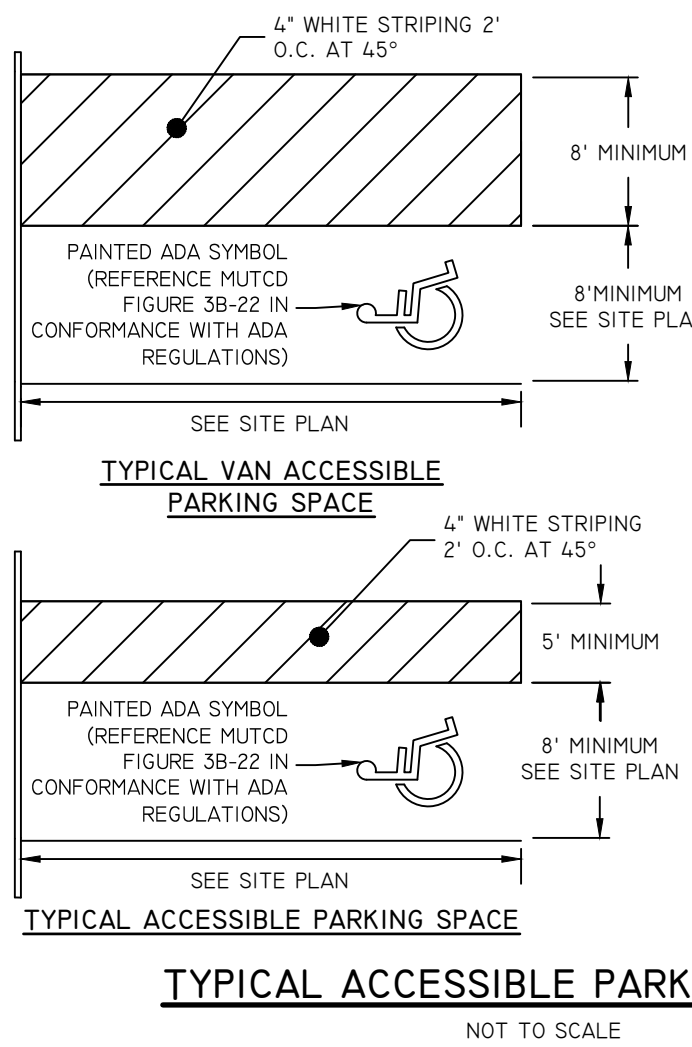
NOTES:

- FOR AREAS TO BE PAVED WITH PORTLAND CEMENT-BASED CONCRETE, A SIX-INCH THICK SLAB ON GRADE IS RECOMMENDED, WITH A MINIMUM 6-INCH THICK "GRAVEL BORROW" BASE COURSE AND A 12-INCH THICK "GRAVELLY FILL" SUBBASE.
- THE CONCRETE SHOULD HAVE A MINIMUM UNCONFINED COMPRESSIVE STRENGTH OF 5,000 POUNDS PER SQUARE INCH, WITH AIR ENTRAINMENT OF 4 TO 6 PERCENT. THE THICKNESS IS BASED ON A MODULUS OF SUBGRADE REACTION OF 150 POUNDS PER CUBIC INCH. GRADE 60 SIX-INCH BY SIX-INCH W5.5 X W5.5 WELDED WIRE FABRIC (AS = 0.11 INCHES/FOOT) REINFORCEMENT IS RECOMMENDED TO MINIMIZE CRACK OPENINGS.
- CONCRETE PAVEMENT SHOULD HAVE EXPANSION JOINTS AT A MAXIMUM SPACING OF 45 FEET WITH A JOINT FILLER THICKNESS BASED ON THE THERMAL EXPANSION. ALL EXPANSION JOINTS SHOULD BE SEALED WITH AN AASHTO-APPROVED ELASTOMERIC JOINT SEALER.
- SLABS SEPARATED BY AN EXPANSION JOINT SHOULD BE TIED TOGETHER WITH DOWELS THAT ARE 2-FOOT-6-INCHES LONG AT A SPACING OF 18 INCHES. DOWELS SHOULD BE SLEEVED ON ONE SIDE OF THE JOINT.
- CONTROL JOINTS SHOULD BE CONSTRUCTED AT A SPACING OF APPROXIMATELY 15 FEET IN BOTH DIRECTIONS.
- INCREASED SLAB THICKNESS TO BE USED WHERE CONCRETE ABUTS BITUMINOUS PAVEMENT OR LANDSCAPING.
- ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY MASSDOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE SPECIFIED IN THIS PLAN SET.

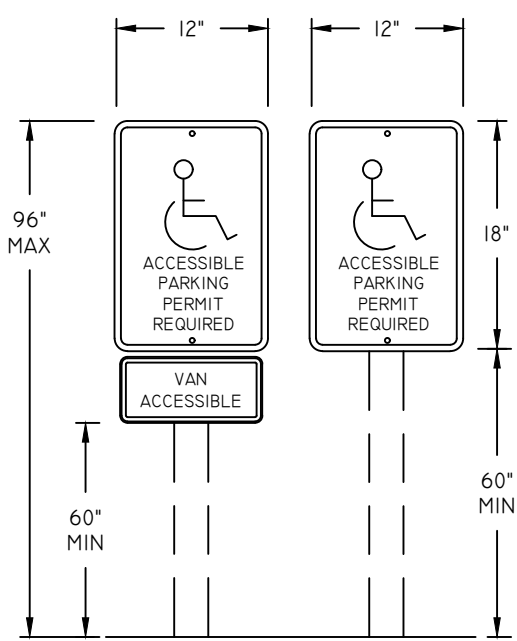


CONCRETE PAVEMENT DETAIL

NOT TO SCALE



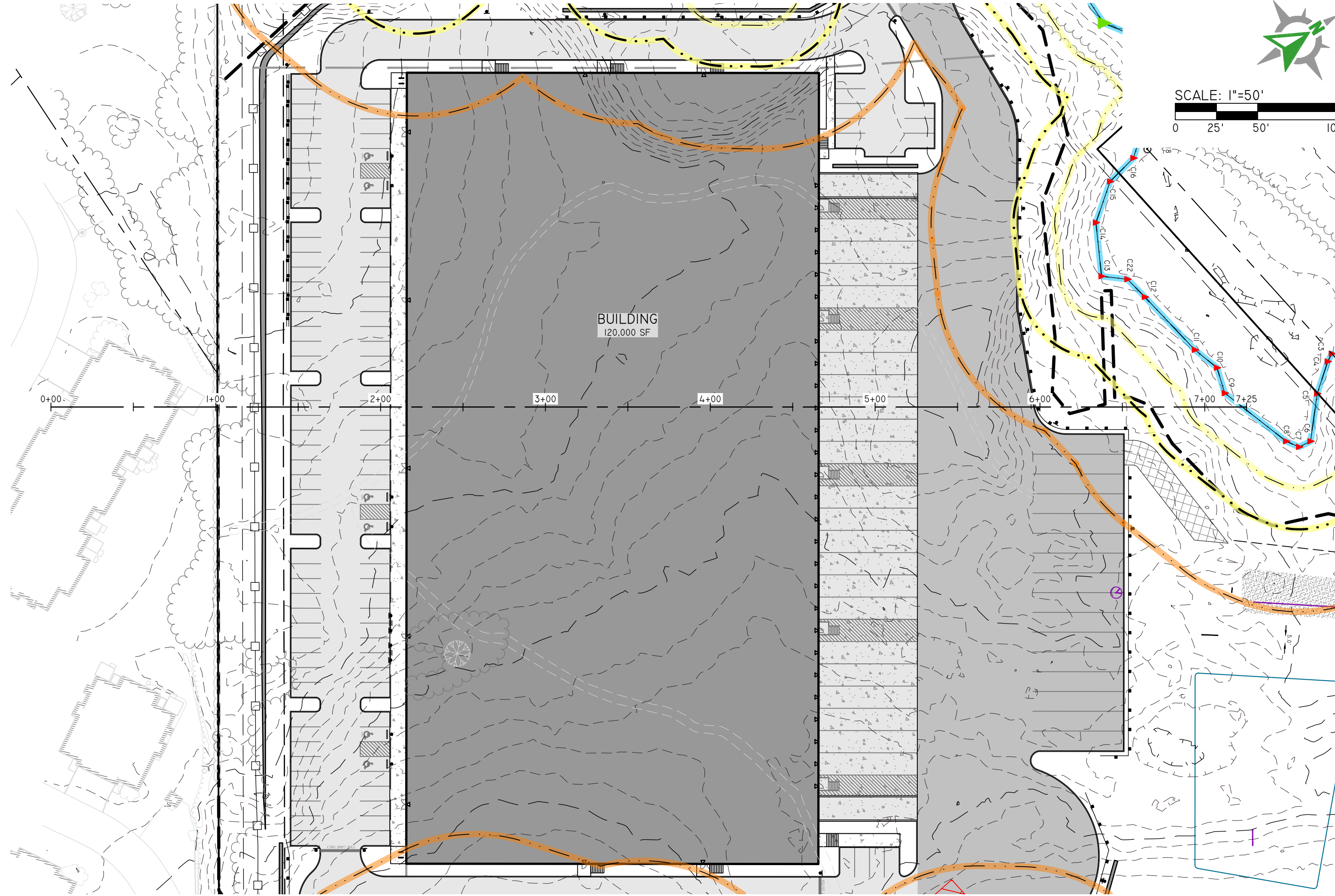
- NOTES:
- ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 - APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 - FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/ STENCILING OF PAINTED ADA SYMBOL MUST MATCH ADJACENT SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.



- NOTES:
- SIGN MUST BE PLACED BEHIND APPLICABLE VAN ACCESSIBLE OR ACCESSIBLE SPACE AS SHOWN ON SITE PLAN.
 - ACCESSIBLE PARKING SPACES AND SIGNAGE MUST COMPLY WITH LATEST VERSION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) OR THE APPLICABLE STATE/ MUNICIPAL BUILDING CODE, WHICHEVER STANDARD CONTROLS.
 - THE MAXIMUM HEIGHT OF THE TOP OF THE HIGHEST SIGN SHALL BE 96".
 - THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 60".
 - THE ABOVE NOTES APPLY REGARDLESS OF ADA SIGN MOUNTING TYPE (I.E. POLE MOUNTED, BOLLARD MOUNTED, WALL MOUNTED ETC)

TYPICAL ACCESSIBLE PARKING SIGN

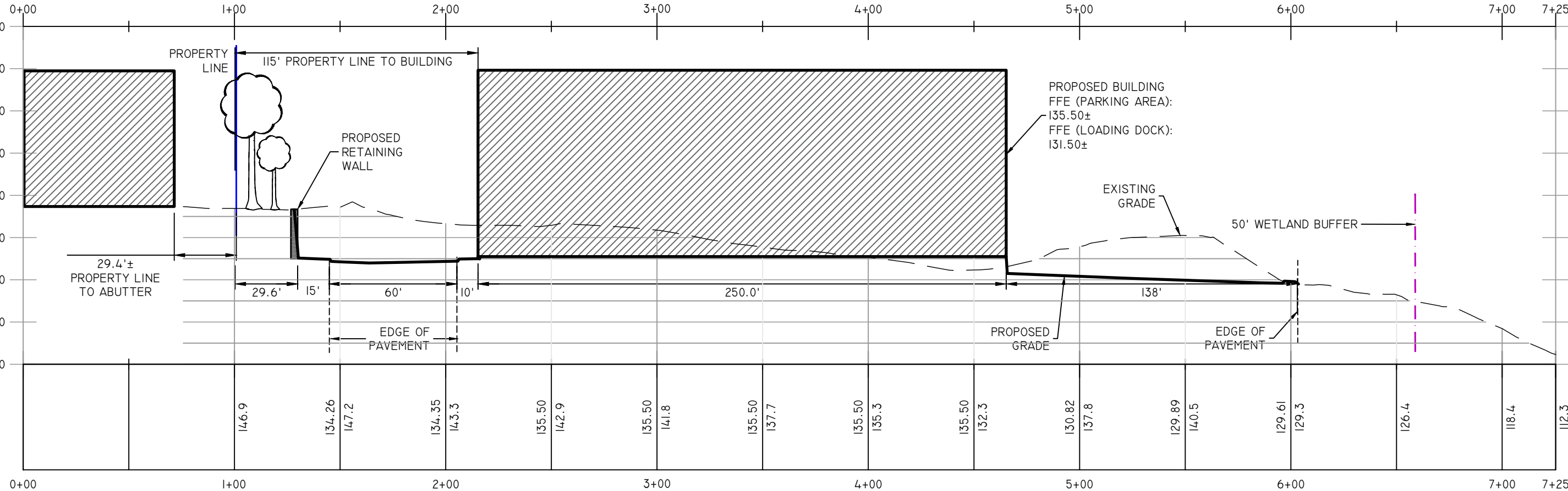
NOT TO SCALE



PLAN VIEW

SCALE: 1" = 50'

VERTICAL: 0 25' 50'
HORIZONTAL: 0 50' 100'



BUILDING CROSS SECTION DETAIL

DETAIL SHEET-2

RANDOLPH ROAD, MULTIPLE PARCELS
WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS

PREPARED FOR:
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

SHEET 15 OF 17



5/16/2023
M. Car

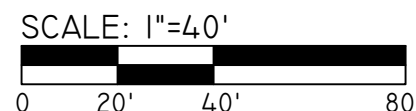
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS FIRST REVIEWED AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING IS NOT A PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING IS NOT A PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING IS NOT A PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING IS NOT A PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

THE CANTON, MASSACHUSETTS, PROFESSIONAL ENGINEER'S DESIGN, METHOD, SAFETY, PRECATIONS AND REQUIREMENTS, AND DESIGN PERFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	DESIGN BY
1	05/15/2023	PLANNING BOARD SUBMISSION	B.A.W.
2	05/15/2023	PLANNING BOARD SUBMISSION	B.A.W.



1. SITE INFORMATION TAKEN FROM PLANS PREPARED BY DIPRETE ENGINEERING, SEE ENGINEERING PLANS FOR MORE DETAIL.
2. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
3. CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTS AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
4. ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION. ALL PLANTS SHALL BE PROPERLY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
5. PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
7. CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
8. ALL PLANTS TO RECEIVE THREE (3) INCHES OF MULCH COMPRISED OF DARK, AGED SHREDDED BARK AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS.
9. TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
10. CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING AN ENDOPHYTE ENHANCED GRASS SEED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF OR AS DIRECTED BY TOWN. ANY SOD (TURF) UTILIZED SHALL BE DROUGHT TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER. STORMWATER SYSTEMS SHALL BE SEEDDED PER POND DETAILS OR AS NOTED.
11. RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
12. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
13. LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNERS PERMISSION. NEW LOAM SHALL BE FINE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
14. FORMING AND PLANTING OF THE PROPOSED BERM TO BE COMPLETED WITHIN THE FIRST 4 MONTHS OF CONSTRUCTION (AS LONG AS THAT FALLS WITHIN THE PLANTING SEASON) AND A 2-YEAR MONITORING AND PLANT GUARANTEE ON THE PLANTS ON THE BERM IS REQUIRED. SCREENING PLANTING TO BE PRUNED IF NEEDED TO MAINTAIN APPROPRIATE DENSITY AND HEIGHT.
15. ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT.
16. IRRIGATION BY OTHERS.
17. LIGHTING PHOTOMETRICS/DESIGN BY OTHERS.
18. THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.
19. ALL VEGETATION OUTSIDE THE LIMIT OF WORK SHOWN WILL BE PRESERVED.

105 Eastern Avenue Suite 200 Dedham, MA 02026
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES
UNLESS STAMPED 'ISSUED FOR CONSTRUCTION' AND STAMPED BY
REGISTERED PROFESSIONAL ENGINEER OF DIBRUTE

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE
ENGINEERING TITLE BLOCK STAMPED BY REGISTERED
PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE
ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE
ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR
DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

0	05-16-2023	PLANNING BOARD SUBMISSION	B.A.W.
NO.	DATE	DESCRIPTION	BY:

LANDSCAPE PLAN
RANDOLPH ROAD, MULTIPLE PARCELS

PREPARED FOR:
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

\\DISASTORGE\FIDEMAIN\PROJECTS\0954-003 RANDOLPH ROAD\14\10\ROAD DRAWINGS\0954-003-LARC.DWG PLOTTER: 5/19/2023

TOWN OF RANDOLPH, MA ZONING REGULATIONS:

CHAPTER 200 ZONING
ARTICLE XI
SITE PLAN AND DESIGN REVIEW
§ 200-94. STANDARDS AND CRITERIA.
THE PLANNING BOARD, TOWN COUNCIL OR THEIR RESPECTIVE DESIGNEE(S) SHALL REVIEW ALL SITE PLANS AND DESIGN REVIEW APPLICATIONS AND PROJECTS AS DESCRIBED IN THIS ZONING ORDINANCE IN ORDER TO ASSESS THE DEGREE TO WHICH A PROPOSED PROJECT, USE OR ACTIVITY IS CONSISTENT WITH THE SITE FOR THE PERMITTED USE AND WHETHER IT IS PERMISSIBLE BY THE REGULATIONS OF THE ZONING DISTRICT IN WHICH IT IS LOCATED. THE PROJECT IS EXPECTED TO CONFORM TO ALL PROVISIONS OF THIS CHAPTER, INCLUDING MEETING THE CRITERIA FOR GRANTING ANY PERMIT OR SPECIAL PERMIT AND ALL APPLICABLE PLANNING BOARD OR TOWN COUNCIL POLICIES AND PROCEDURES.

B. DESIGN STANDARDS.
(1) PROJECTS MUST MEET THE FOLLOWING BUILDING AND SITE DESIGN CRITERIA:
(a) PEDESTRIAN CIRCULATION. ALL PROJECTS SHALL BE PROJECTS ORIENTED THROUGH DESIGN FEATURES THAT ENHANCE PEDESTRIAN SAFETY, EFFICIENCY, AND CONNECTIVITY, WITH A CLEAR DEFINITION BETWEEN VEHICULAR AREAS AND PEDESTRIAN WALKWAYS.
(1) SIDEWALKS. PEDESTRIAN CONNECTIVITY BETWEEN THE PROJECT BUILDING ENTRANCES AND PARKING AREAS, PUBLIC SIDEWALKS, OUTPARCEL BUILDINGS, AND TRANSIT STOPS SHALL BE CLEARLY INDICATED THROUGH THE USE OF LANDSCAPED AREAS AND SIDEWALKS WHICH ARE MADE OF MATERIALS SUCH AS SCORED CONCRETE, PAVERS OR BRICKS. ALL CUSTOMER ENTRANCES SHALL INCLUDE SIDEWALKS ALONG THE FULL LENGTH OF THE FACADE.
(2) PEDESTRIAN AMENITY AREAS. ALL PROJECTS SHALL INCLUDE DESIGN FEATURES SUCH AS PEDESTRIAN AMENITY AREAS, WHICH SHOULD INCLUDE WELL-LANDSCAPED SITTING AREAS WITH DESIGN COMPONENTS SUCH AS SEATING ELEMENTS AND/OR OTHER AMENITIES IN SHADED AREAS.

SIDEWALKS ARE PROPOSED TO PROVIDE ACCESS TO THE MAIN ENTRANCE OF THE BUILDING. PLANTINGS ARE PROPOSED AROUND THE PERIMETER OF THE BUILDING WHERE FEASIBLE AS WELL.

(F) PARKING AREAS. PARKING LOTS AND ACCESS AISLE WAYS SHALL BE DESIGNED UTILIZING THE FOLLOWING STANDARDS:
(1) PARKING LOT DESIGN. VAST, UNBROKEN PARKING LOTS ARE PROHIBITED. PARKING AREAS SHALL BE DESIGNED TO BE BROKEN UP WITH LANDSCAPE ISLANDS, PEDESTRIAN WALKWAYS, SIGNIFICANT LANDSCAPING OR GEOGRAPHIC FEATURES AND/OR BY THE DESIGN COMPONENTS OF THE PROPOSED BUILDING. PARKING LOT LANDSCAPE ISLANDS SHALL INCLUDE PEDESTRIAN AMENITIES WHERE APPROPRIATE TO FACILITATE PEDESTRIAN CONNECTIVITY.

THE PARKING AREA IS DESIGNED TO BE BROKEN UP WITH LANDSCAPE ISLAND AND SIDEWALKS THAT PROVIDE ACCESS TO THE MAIN ENTRY OF THE BUILDING.

(2) ALTERNATIVE PARKING LOT DESIGNS INCORPORATING NATURAL RESOURCES ARE ENCOURAGED, SUBJECT TO REVIEW BY THE APPLICABLE ACTING BODY OR THEIR RESPECTIVE DESIGNEE(S).
(3) PARKING SPACES. THE NUMBER OF PARKING SPACES SHALL BE DETERMINED IN ACCORDANCE WITH § 200-22 OF THIS CHAPTER AND THE TABLE OF DIMENSIONAL REQUIREMENTS. EACH PARKING SPACE IN EXCESS OF THE MINIMUM SHALL REQUIRE ADDITIONAL LANDSCAPED AREAS OF AT LEAST TEN (10) SQUARE FEET TO BE PLACED WITHIN THE INTERNAL PARKING AREA AND/OR RIGHT-OF-WAY BUFFER.

108 PARKING SPACES ARE PROPOSED AS WELL AS 22 TRUCK LOADING AND 16 TRAILER STORAGE SPACES.

(4) PARKING SPACES SHOULD BE BROKEN INTO GROUPS OF TEN (10) OR LESS WITH A REQUIREMENT OF TWO HUNDRED (200) SQUARE FEET OF PLANTED AREA FOR EVERY ONE THOUSAND (1,000) SQUARE FEET OF PARKING AREA. THE PLANTING AREA IS TO BE LOCATED INTERNAL TO THE PARKING AREA. LANDSCAPE ISLANDS AND MEDIANS MAY BE USED TO MEET THIS REQUIREMENT. IN SITUATIONS WHERE THE ACTING BODY DETERMINES THAT IT IS IMPRACTICAL TO PROVIDE INTERNAL LANDSCAPED AREA MEETING THE ABOVE REQUIREMENTS, THE PARKING AREA MAY INSTEAD BE PROVIDED WITH ADDITIONAL LANDSCAPED AREA THAT MORE EFFECTIVELY SCREENS IT FROM PUBLIC VIEW BY PROVIDING GREATER DEPTH AND/OR DENSITY TO PERIMETER LANDSCAPING.

PARKING SPACES ARE BROKEN INTO GROUPS OF TEN (10) OR LESS WHERE FEASIBLE.
PLANTED AREA REQUIREMENT = 200 SF / 1,000 SF
PROPOSED PARKING AREA = 17,496 SF
PLANTED AREA REQUIRED = 17,496 SF / 1,000 SF = 17.50 X 200 = 3,500 SF±
PLANTED AREA PROPOSED = 4,117 SF >3,500 SF±

(5) PARKING LOTS, LOADING AREAS, STORAGE AREAS, DUMPSTERS, REFUSE COLLECTION AND STORAGE AREAS, AND SERVICE AREAS SHALL BE SCREENED FROM VIEW, FROM ALL PUBLIC RIGHTS-OF-WAY AND ALL ADJACENT PROPERTIES, BY THE USE OF LANDSCAPING BUFFERS, BERMS, NATURAL CONTOURS, FENCES OR A COMBINATION OF THE ABOVE.

EXISTING AND/OR PROPOSED PLANTING ARE PROVIDED AS BUFFERS.

(6) GENERAL LANDSCAPING REQUIREMENTS. THE FOLLOWING LANDSCAPING STANDARDS SHALL BE INCORPORATED INTO THE DESIGN OF ALL PROJECTS:
(1) SOD ALONE DOES NOT QUALIFY AS LANDSCAPING. ALL REQUIRED LANDSCAPING MUST CONTAIN PLANTS OTHER THAN SOD GRASSES, WHICH MAY INCLUDE SHRUBS, ORNAMENTAL GRASSES, FLOWERS, EVERGREENS AND TREES.

A MIX OF PLANTINGS IS PROPOSED.

(2) PRESERVATION AND PROTECTION OF EXISTING NATIVE SPECIES OF PLANT MATERIAL IS STRONGLY ENCOURAGED. EXISTING NATIVE SPECIES AND NATURAL COVER SHOULD BE RETAINED WHEREVER POSSIBLE. WHERE PLANTING REQUIREMENTS FOR LANDSCAPED AREAS RESULT IN THE NEED TO ADD ADDITIONAL TREES OR SHRUBS IN AN EXISTING NATURAL AREA, THERE SHALL BE MINIMUM DISTURBANCE TO NATIVE SPECIES.

EXISTING VEGETATION IS PROPOSED TO BE RETAINED WHERE FEASIBLE.

(3) LANDSCAPING SHOULD BE PROVIDED ALONG AND AGAINST ALL BUILDINGS TO ANCHOR IT TO THE SURROUNDING ENVIRONMENT AND TO SOFTEN THE STRUCTURE. IN-GROUND LANDSCAPING SHOULD COMPRISE THE MAJORITY OF THE LANDSCAPING REQUIREMENTS. RAISED PLANTERS ARE ACCEPTABLE WHEN DESIGNED TO ACCENTUATE THE ARCHITECTURE AND/OR ENHANCE PEDESTRIAN AREAS.

LANDSCAPING IS PROPOSED ALONG THE PERIMETER OF THE PROPOSED BUILDING.

(4) DENSE LANDSCAPING AND/OR ARCHITECTURAL TREATMENTS SHOULD BE PROVIDED TO SCREEN UNATTRACTIVE VIEWS AND FEATURES.
(5) SCREENING COULD BE ACCOMPLISHED BY EMPLOYING FENCES MADE OF GOOD-QUALITY MATERIALS SUCH AS WOOD, STEEL, CAST IRON, WITH BRICK OR STONE MASONRY ELEMENTS. THE USE OF CHAIN-LINK FENCE VISIBLE FROM PUBLIC AREAS IS STRONGLY DISCOURAGED AND REQUIRES APPROVAL OF THE APPLICABLE ACTING BODY OR THEIR RESPECTIVE DESIGNEE(S).

EXISTING VEGETATION IS TO REMAIN TO PROVIDE SCREENING/BUFFER.

(6) AS LISTED IN THE TABLE OF DIMENSIONAL REQUIREMENTS A LANDSCAPING BUFFER IS REQUIRED ALONG ANY PROPERTY LINE THAT IS ADJACENT TO A PUBLIC RIGHT-OF-WAY. THE BUFFER SHALL BE PLANTED WITH SHRUBS, GRASS, AND TREES. TREES ARE TO BE PLANTED BASED ON STANDARDS DELINEATED IN SUBSECTION B(2)(H) OF THIS § 200-94.

EXISTING VEGETATION IS TO REMAIN ALONG THE PUBLIC RIGHT-OF-WAYS.

(7) A LANDSCAPING BUFFER NO LESS THAN FORTY (40) FEET WIDE, OR AS DEFINED IN § 200-33, SHOULD BE PROVIDED TO SCREEN COMMERCIAL AND INDUSTRIAL USES FROM RESIDENTIAL PROPERTIES. THE BUFFER SHOULD OFFER A MINIMUM OF SIXTY PERCENT (60%) OPACITY. THIS MAY REQUIRE LARGER QUANTITIES OF PLANTINGS OR THE USE OF MORE MATURE PLANTS.

EXISTING VEGETATION IS TO REMAIN TO PROVIDE SCREENING/BUFFER.

(8) LANDSCAPING SHOULD MINIMIZE POTENTIAL EROSION THROUGH THE USE OF PLANT MATERIALS WHICH AID IN SOIL STABILIZATION.
(9) INSTALLATION OF ALL PLANT MATERIAL SHALL CONFORM TO STANDARD ACCEPTABLE HORTICULTURAL PRACTICES.
(10) WHERE BERMS ARE USED WITHIN A LANDSCAPED AREA, SLOPES SHALL NOT EXCEED THIRTY DEGREES (30°) AND SHALL BE COMPLETELY COVERED WITH VEGETATION.
(11) MAINTENANCE OF ALL LANDSCAPED AREAS SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. FAILURE TO MAINTAIN PLANTINGS AND OTHER FEATURES OF THE REQUIRED LANDSCAPING AREAS IN AN ATTRACTIVE AND HEALTHY STATE SHALL BE CONSIDERED A VIOLATION OF THIS CHAPTER AND SUBJECT TO § 200-42.
(12) ALL LANDSCAPING MATERIAL SHALL MEET THE REQUIREMENTS OF THE CLEAR SIGHT AREA § 200-32 OF THIS CHAPTER.
(13) FOR PROJECTS THAT ARE EXISTING NONCONFORMING USES OR WHERE EXISTING DEVELOPMENT PREVENTS STRICT COMPLIANCE WITH THIS SECTION, ALTERNATIVE DESIGN MAY BE ALLOWED AT THE DISCRETION OF THE APPLICABLE ACTING BODY OR THEIR RESPECTIVE DESIGNEE(S).

(H) LANDSCAPE PLANTING REQUIREMENTS.

(1) ALONG ROADWAYS: A LANDSCAPED BUFFER AREA ACCORDING TO THE TABLE OF DIMENSIONAL REQUIREMENTS SHALL BE ESTABLISHED ADJACENT TO ANY PUBLIC ROAD. THE BUFFER AREA SHALL BE A CONTINUOUS AREA (EXCEPT FOR APPROVED ACCESSWAYS) PLANTED WITH GRASS, SHRUBS AND SHADE TREES.

EXISTING VEGETATION IS TO REMAIN TO PROVIDE SCREENING/BUFFER.

(A) PLANTS SHALL BE SOUND, VIGOROUS, FREE FROM MUTILATION, PLANT DISEASE, INSECT PESTS OR THEIR EGGS, AND FUNGUS AND SHALL HAVE HEALTHY, NORMAL ROOT SYSTEMS. PLANTS SHALL BE NURSERY-GROWN STOCK IN CONTAINERS OR FRESHLY DUG, BALLED AND BURLAPPED.
(B) IN ALL DISTRICTS WHERE A PLANTING STRIP OR BUFFER STRIP IS REQUIRED, LANDSCAPING SHALL BE REQUIRED IN THE SAID STRIP AT A MINIMUM OF ONE (1) TREE PER 30 LINEAL FOOT AND MUST ALSO INCLUDE LOWER-LEVEL ELEMENTS SUCH AS SHRUBS, PERENNIALS, HEDGES, FENCES, WALLS AND/OR PLANTED BERMS.

EXISTING VEGETATION IS TO REMAIN TO PROVIDE SCREENING/BUFFER.

(C) DECIDUOUS TREES SHALL BE AT LEAST TWO (2) INCHES IN CALIPER AS MEASURED SIX (6) INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING.

PROPOSED TREES ARE TO BE AT LEAST TWO (2) IN CALIPER AND ARE CHOSEN FROM APPENDIX C - STREET TREES OF THE SUBDIVISION REGULATIONS.

(D) EVERGREEN TREES SHALL BE A MINIMUM OF EIGHT (8) FEET IN HEIGHT AT THE TIME OF PLANTING.

PROPOSED EVERGREEN TREES ARE TO BE A MINIMUM OF EIGHT (8) FEET IN HEIGHT.

(E) SHRUBS AND HEDGES SHALL BE AT LEAST THIRTY (30) INCHES IN HEIGHT AT THE TIME OF PLANTING.

PROPOSED SHRUBS ARE TO BE AT LEAST THIRTY (30) INCHES IN HEIGHT.

(F) ANY PLANTINGS THAT DO NOT MEET THE ESTABLISHED STANDARDS MUST BE REVIEWED BY THE APPLICABLE ACTING BODY OR THEIR RESPECTIVE DESIGNEE(S).

(2) PROPERTY LINES. ON ALL PROPERTY LINES, A LANDSCAPED BUFFER SHALL BE PROVIDED AND MAINTAINED AS SPECIFIED IN § 200-33 AND THE TABLE OF DIMENSIONAL REQUIREMENTS.
(A) THE LANDSCAPED BUFFER SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY.
(B) THE BUFFER SHALL CONSIST OF SHRUBS AND TREES OF A SPECIES COMMON TO THE AREA AND APPROPRIATE FOR SCREENING.
(C) PLANTS SHALL BE SOUND, VIGOROUS, FREE FROM MUTILATION, PLANT DISEASE, INSECT PESTS OR THEIR EGGS, AND FUNGUS AND SHALL HAVE HEALTHY, NORMAL ROOT SYSTEMS. PLANTS SHALL BE NURSERY-GROWN STOCK IN CONTAINERS OR FRESHLY DUG, BALLED AND BURLAPPED.
(D) (RESERVED)
(E) (RESERVED)
(F) IN ALL DISTRICTS WHERE A PLANTING STRIP (OR BUFFER STRIP) IS REQUIRED, LANDSCAPING SHALL BE REQUIRED IN THE SAID STRIP AT A MINIMUM OF ONE (1) TREE PER 30 LINEAL FOOT AND MUST ALSO INCLUDE LOWER-LEVEL ELEMENTS SUCH AS SHRUBS, PERENNIALS, HEDGES, FENCES, WALLS AND/OR PLANTED BERMS.
(G) DECIDUOUS TREES SHALL BE AT LEAST TWO (2) INCHES IN CALIPER AS MEASURED SIX (6) INCHES ABOVE THE ROOT BALL AT THE TIME OF PLANTING.
(H) EVERGREEN TREES SHALL BE A MINIMUM OF EIGHT (8) FEET IN HEIGHT AT THE TIME OF PLANTING.
(I) SHRUBS AND HEDGES SHALL BE AT LEAST THIRTY (30) INCHES IN HEIGHT AT THE TIME OF PLANTING.
(J) ANY PLANTINGS THAT DO NOT MEET THE ESTABLISHED STANDARDS MUST BE REVIEWED BY THE APPLICABLE ACTING BODY OR ITS DESIGNEE(S).
(K) PLANTINGS SHALL BE SIZED AND SPACED TO MINIMIZE VISUAL INTRUSION.
(L) WITHIN THE LOT:
(A) LARGE MATURING TREES SHALL BE PLACED NO CLOSER THAN THIRTY-FIVE (35) FEET ON CENTER.
(B) SMALLER MATURING TREES SHALL BE PLACED NO CLOSER THAN TWENTY (20) FEET ON CENTER.
(C) WHEN SPACING IS LIMITED OR TO ACHIEVE A CERTAIN EFFECT, CLOSER SPACING MAY BE CONSIDERED. THIS APPLIES TO LOCATIONS WHERE LARGE MATURING EVERGREENS ARE BEING USED AS A SCREEN.

EXISTING VEGETATION IS TO REMAIN TO PROVIDE SCREENING/BUFFER.

§ 200-32. CORNER SETBACK FOR FENCES AND OTHER LANDSCAPING.
A. CORNER LOTS AND INTERSECTING STREETS. NO BUILDING OR STRUCTURE IN ANY DISTRICT MAY BE ERCTED AND NO FENCE OR VEGETATION, EXCEPT TREE TRUNKS, MAY BE MAINTAINED OR ALLOWED TO REMAIN BETWEEN THREE (3) FEET AND EIGHT (8) FEET ABOVE THE PLANE THROUGH THEIR CENTER-LINE GRADES BETWEEN THE PROPERTY LINES OF INTERSECTING STREETS AND A LINE JOINING POINTS ON SUCH LINES TWENTY-FIVE (25) FEET DISTANT FROM THEIR POINT OF INTERSECTION OR, IN THE CASE OF A ROUNDED CORNER, THE POINT OF INTERSECTION OF THEIR TANGENTS.

NO NEW VEGETATION IS PROPOSED AT THE JUNCTION OF AN INTERSECTING STREET.

§ 200-33. BUFFER STRIPS.
B. INDUSTRIAL DISTRICTS ABUTTING RESIDENTIAL DISTRICTS OR MULTIFAMILY DISTRICTS.
(1) IN AN INDUSTRIAL DISTRICT WHERE THE LOT ABUTS OR IS WITHIN FORTY (40) FEET OF THE SIDE OR REAR OUNDARY LINE OF ANY RESIDENTIAL DISTRICT (INCLUDING ANY RESIDENTIAL DISTRICTS IN ANY ADJACENT MUNICIPALITY) OR MULTIFAMILY DISTRICT, THERE SHALL BE PROVIDED ON ALL PORTIONS OF SAID LOT WITHIN FORTY (40) FEET OF SAID BOUNDARY LINE A BUFFER STRIP AS FOLLOWS: THE PORTION OF SUCH BUFFER STRIP SHALL BE MAINTAINED AS A PLANTING AREA FOR LAWNS, TREES, SHRUBS AND OTHER LANDSCAPE MATERIALS TO PROVIDE A PARKLIKE AREA OF SEPARATION BETWEEN DISTRICTS.
(2) IN THIS BUFFER ZONE, NO BUILDING, STRUCTURE OR PAVEMENT OF ANY NATURE, EXCLUDING NONACCESSORY SIGNS, SHALL BE CONSTRUCTED OR MAINTAINED.
(3) NO BUILDING, STRUCTURE OR PAVED SPACE ASSOCIATED WITH PARKING MAY BE LOCATED IN THE BUFFER STRIP.
(4) PLANTINGS IN THE BUFFER STRIP SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY USED FOR NONRESIDENTIAL PURPOSES.

EXISTING VEGETATION IS TO REMAIN TO PROVIDE SCREENING/BUFFER.

6. BUFFERS SHALL CONFORM TO THE TABLE OF DIMENSIONAL REQUIREMENTS INCLUDED AS AN ATTACHMENT TO THIS CHAPTER FOR EACH DISTRICT AND DISTRICTS ABUTTING SAME DISTRICTS. NOTHING IN THIS SECTION SHALL ALLOW ONE (1) DISTRICT OR LOT TO USE AN ADJOINING DISTRICT OR LOT TO MEET ITS BUFFER REQUIREMENT.

§ 200-34. LOT COVERAGE.
A. BUILDING LOT COVERAGE.
(1) IN ALL DISTRICTS, NO BUILDING SHALL BE CONSTRUCTED SO AS TO COVER, TOGETHER WITH OTHER BUILDINGS ON THE LOT, A LARGER PORTION OF THE LOT AREA THAN THE PERMITTED BUILDING LOT COVERAGE AS SPECIFIED IN THE TABLE OF DIMENSIONAL REQUIREMENTS FOR THE DISTRICT IN WHICH SAID LOT IS LOCATED.
(2) BUILDING LOT COVERAGE IS THE TOTAL AREA COVERED, MEASURED FROM THE OUTSIDE OF THE EXTERIOR WALLS, BY ALL PRINCIPAL AND ACCESSORY BUILDINGS ON A LOT.
(3) IN ALL DISTRICTS, THE FOLLOWING SHALL NOT BE COUNTED AS LOT COVERAGE:
(A) LAWNS, GARDENS AND UNPAVED LANDSCAPED AREAS.
(B) DRAINAGEWAYS.
(C) OPEN PLAY STRUCTURE WITHOUT ROOFS, SAND BOXES, OR SWINGS, NOT LOCATED ON A PAVED SURFACE;
(D) FOUNTAINS.
(E) SWIMMING POOLS (NOTE: APRONS, DECKS AND WALKS ADJACENT TO SWIMMING POOLS SHALL BE CONSIDERED AS LOT COVERAGE.).
(F) FENCES.
(G) RETAINING WALLS LESS THAN TWELVE (12) INCHES IN WIDTH ACROSS THE TOP SURFACE; IF TWELVE (12) INCHES OR GREATER, THE ENTIRE TOP SURFACE SHALL BE CONSIDERED AS LOT COVERAGE. AND/OR
(H) RAMPS FOR THE DISABLED, FOR WHICH THE SOLE PURPOSE IS TO PROVIDE ACCESS FOR THE DISABLED, AND WHICH HAVE NO MORE THAN THE MINIMUM DIMENSIONS REQUIRED TO MEET ACCESSIBILITY STANDARDS.
(I) WHERE A MAXIMUM LOT COVERAGE IS SPECIFIED IN THE TABLE OF DIMENSIONAL REQUIREMENTS 2 NO BUILDING OR PART OF A BUILDING OR PAVED AREA OR OTHER FORM OF COVERAGE SHALL EXCEED SUCH MAXIMUM ALLOWABLE COVERAGE EXCEPT AS SPECIFICALLY AUTHORIZED BY THIS CHAPTER.

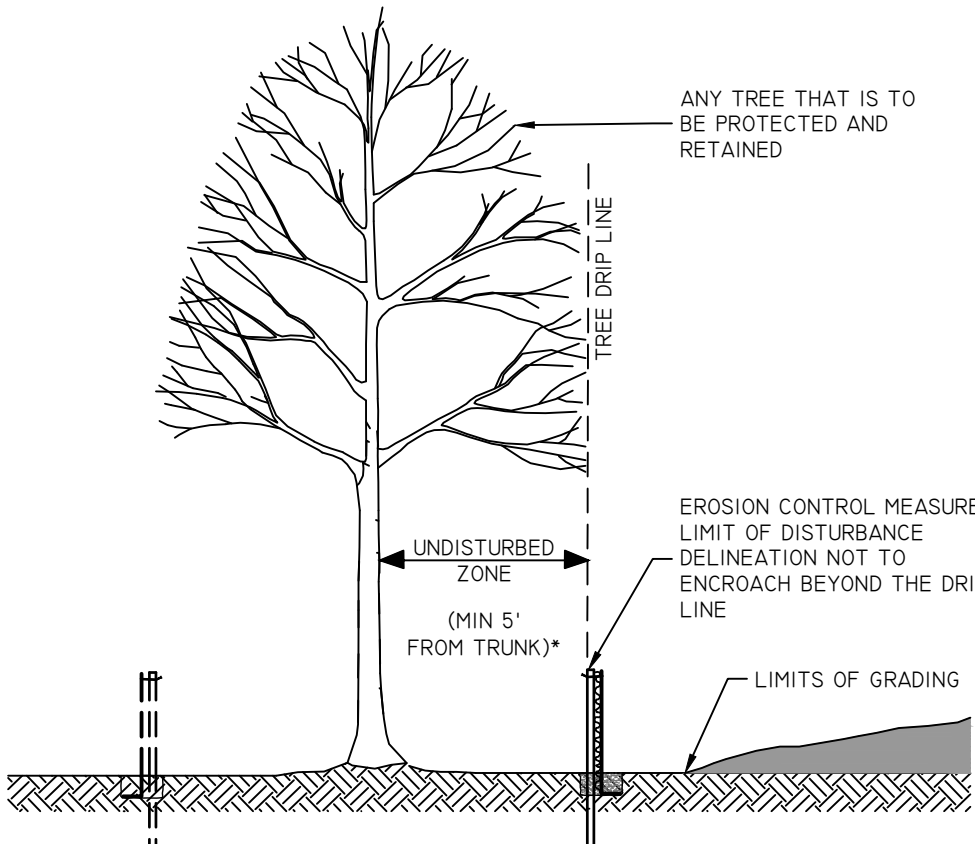
SEE OVERALL SITE PLAN TABLE FOR COVERAGE INFORMATION.

B. IMPERVIOUS LOT COVERAGE. IN ALL DISTRICTS, NO LOT SHALL HAVE MORE COVERAGE BY IMPERVIOUS SURFACE THAN AS SPECIFIED IN THE TABLE OF DIMENSIONAL REQUIREMENTS. RAMPS FOR THE DISABLED, FOR WHICH THE SOLE PURPOSE IS TO PROVIDE ACCESS FOR THE DISABLED, AND WHICH HAVE NO MORE THAN THE MINIMUM DIMENSIONS REQUIRED TO MEET ACCESSIBILITY STANDARDS, SHALL NOT BE COUNTED AS COVERAGE.

SEE OVERALL SITE PLAN TABLE FOR COVERAGE INFORMATION.

C. GREEN AREA/OPEN SPACE. SEE DEFINITIONS.
D. MAXIMUM LOT COVERAGE. THE TOTAL LOT NON-GREEN AREA/OPEN SPACE MAY NOT EXCEED THE MAXIMUM COVERAGE SPECIFIED IN THE TABLE OF DIMENSIONAL REQUIREMENTS. IN ORDER TO FULFILL THE INTENT OF MAXIMUM LOT COVERAGE, AN APPLICANT MAY SHIFT A PERCENTAGE OF THE BUILDING LOT COVERAGE REQUIREMENT AND THE IMPERVIOUS LOT COVERAGE REQUIREMENT, BUT IN NO CASE SHALL THE MAXIMUM COVERAGE PERCENTAGE NOTED IN THE TABLE BE EXCEEDED.

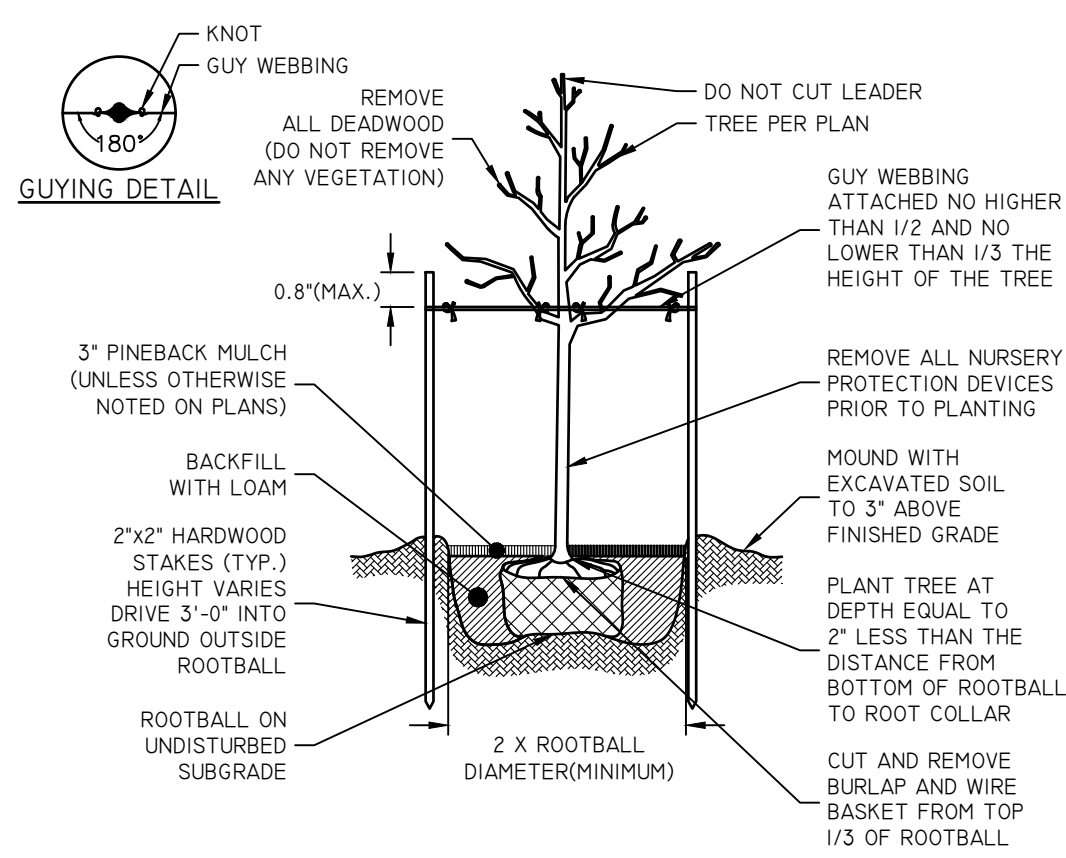
SEE OVERALL SITE PLAN TABLE FOR COVERAGE INFORMATION.



*LIMIT OF DISTURBANCE IS AT THE DRIP LINE OF OUTERMOST BRANCH OR 5' FROM TRUNK, WHICHEVER IS GREATER.

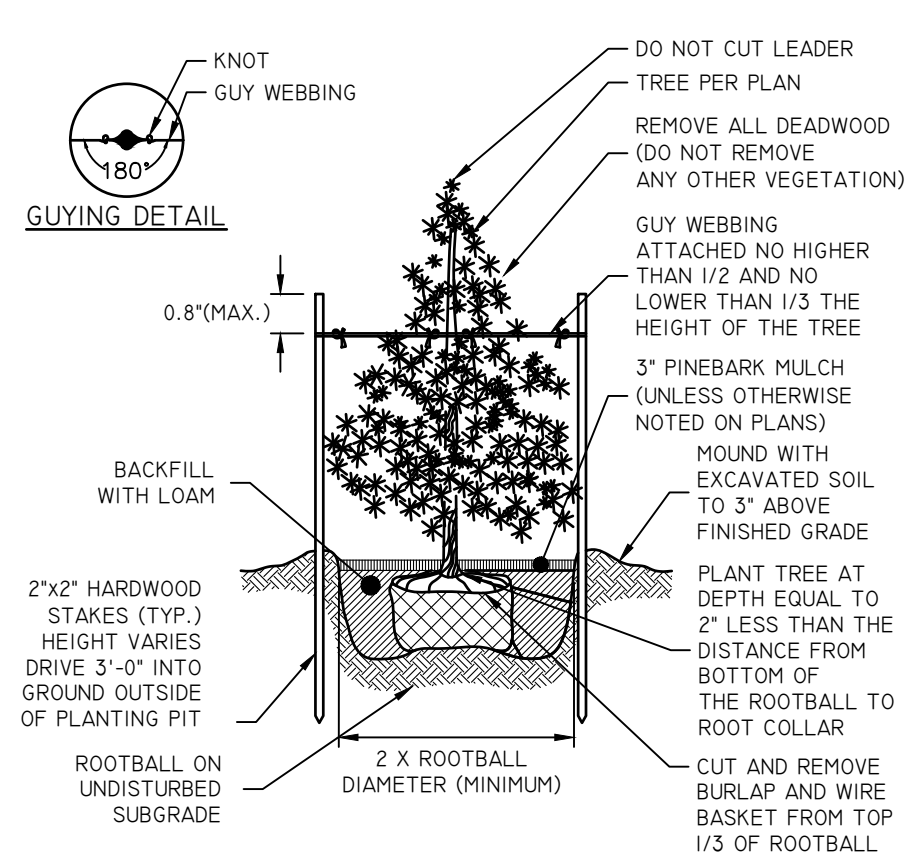
TREE PROTECTION DETAIL

NOT TO SCALE



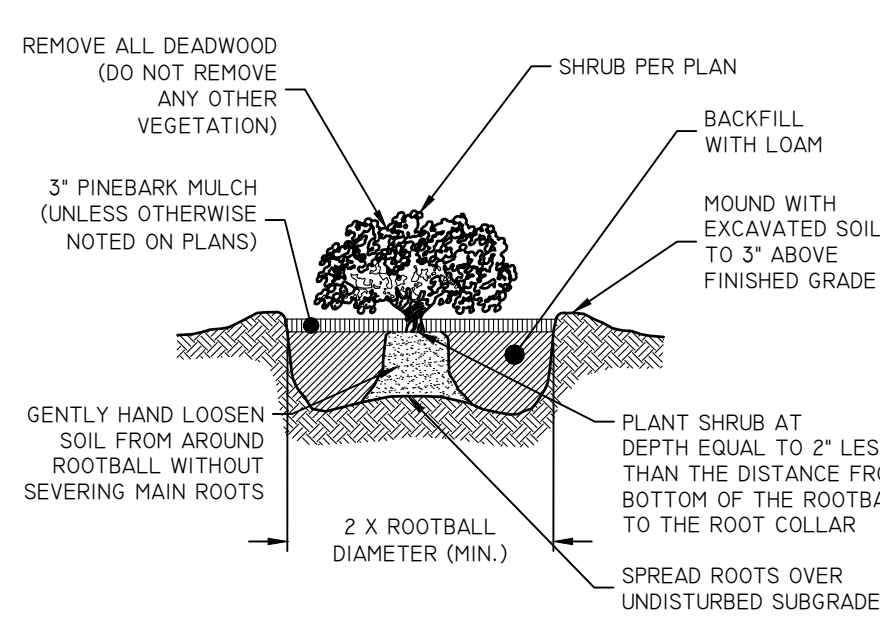
LARGE TREE STAKING AND PLANTING DETAIL
(2" CALIPER AND GREATER)

NOT TO SCALE



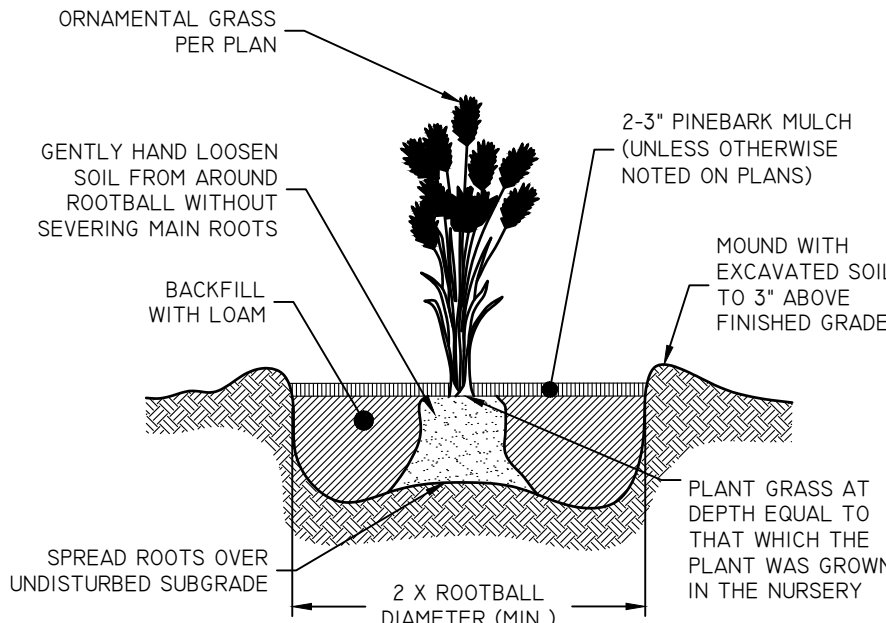
EVERGREEN TREE PLANTING DETAIL
(4"-0" HIGH AND GREATER)

NOT TO SCALE



CONTAINER GROWN SHRUB PLANTING DETAIL

NOT TO SCALE



ORNAMENTAL GRASS PLANTING DETAIL

NOT TO SCALE

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	AC	6	Acer campestre	Hedge Maple	2.5/3' CAL B&B
	AR	4	Acer rubrum 'October Glory'	October Glory Red Maple	3" CAL B&B MIN
	AMC	8	Amelanchier canadensis	Canadian Serviceberry	2.5/3" CAL B&B
	GT	4	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	2.5/3" CAL B&B
	SR	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.5/3" CAL B&B
	TC	1	Tilia cordata	Littleleaf Linden	3" CAL B&B MIN
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	IA	5	Ilex opaca	American Holly	8' HT MIN
	JV	20	Juniperus virginiana	Eastern Red Cedar	8' HT MIN
	PG	5	Picea glauca	White Spruce	8' HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	IG	24	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	3.5' HT MIN
	PL	32	Prunus laurocerasus 'Otto Luyken'	Luykens Laurel	3.5' HT MIN
	RG	40	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	24" SP MIN
	RXR	11	Rosa x 'Radwhite' TM	White Knock Out Rose	24" SP MIN
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	PVS	81	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 gal
	PAH	52	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	2 gal

LANDSCAPE NOTES & DETAILS

RANDOLPH ROAD, MULTIPLE PARCELS
WAREHOUSE DISTRIBUTION FACILITY
RANDOLPH, MASSACHUSETTS

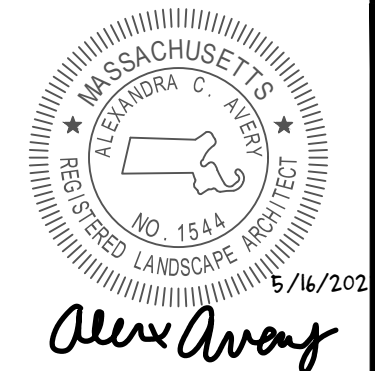
PREPARED FOR:
BLUEWATER PROPERTY ACQUISITIONS, LLC
205 HUDSON STREET, 8TH FLOOR
NEW YORK, NEW YORK 10013

DESIGNED BY: B. A.W. DRAWN BY: B. A.W. CHECKED BY: B. A.W. DATE: 05-15-2023 PLANNING BOARD SUBMISSION: 05-15-2023

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS FIRST REVIEWED AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY OTHER PARTY'S USE OF THIS PLAN SET FOR ANY OTHER PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROJECT.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSURES NO RESPONSIBILITY FOR THE LOCATION, DEPTH, OR TYPE OF UTILITIES. SEE UTILITY MAPS ON SHEET 3.



DiPrete Engineering

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Boston • Providence • Newport



Scale: 1 inch= 50 Ft.

The Lighting Analysis, ELayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design criteria and assumptions provided by others and is not a guarantee of performance. RAB does not warrant, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by this Lighting Design. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.

RAB does not warrant, either implied or stated, any representation of the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements, with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package, and should not be relied upon for any purpose.






Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the luminaire output of the fixtures being ordered is updated prior to an order and such updates could change the luminaire output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

PROJECT #209018	Scale: as noted	Job Name: 2954-003 Randolph Randolph, MA
CASE #1098922	Date:5/12/2023	Lighting Layout Version C
Filename: 2954-003 Randolph Lig Layout 1098922C-AGI	Drawn By: dvento	SHEET 1 OF 2

Prepared For:
Hobbrook Associated
35 Reservoir Park Drive
Rockland, MA 02370
Tel: 781-871-0011

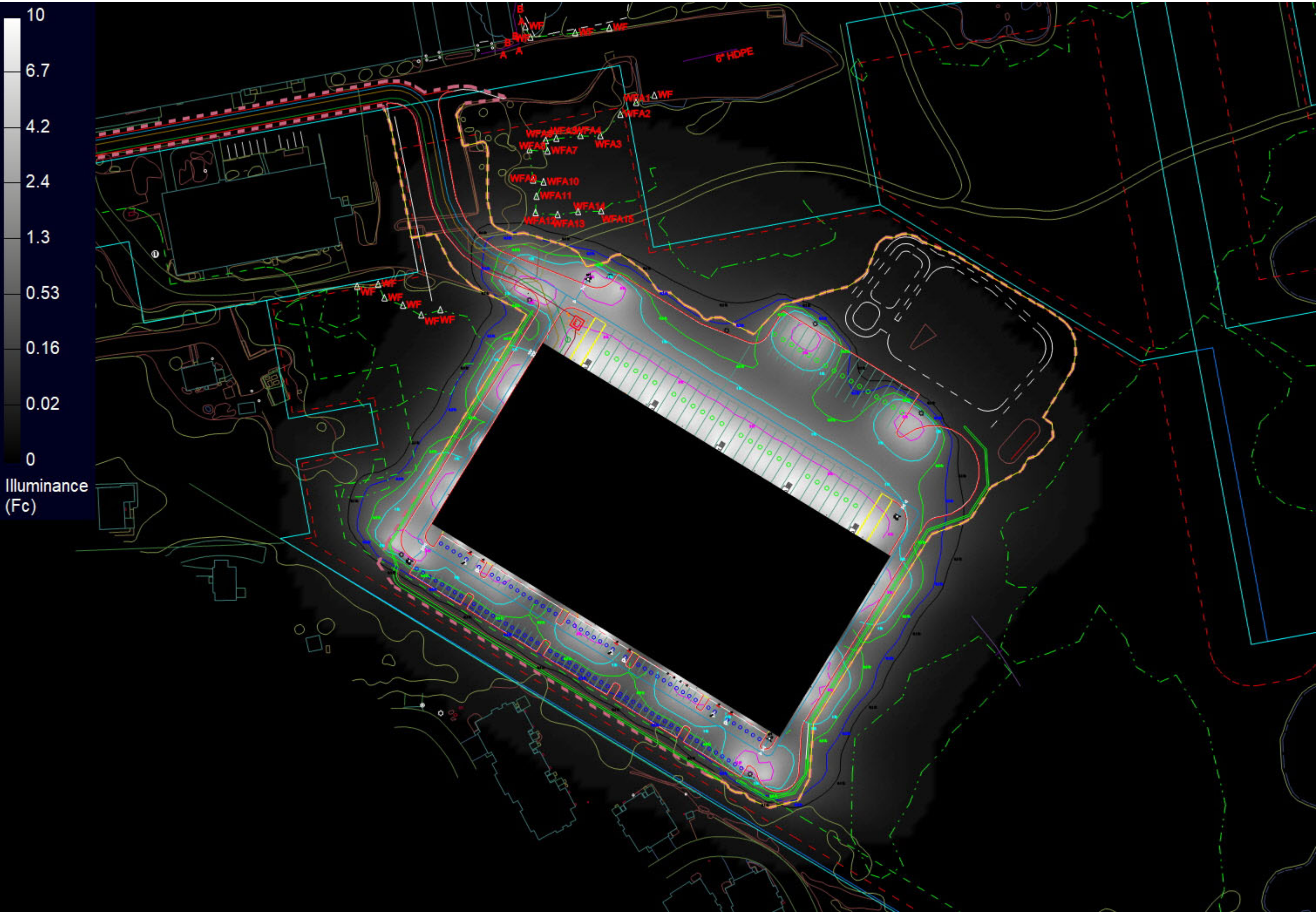
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Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.	Readings taken at 0'-0"AFG	10	N.A.	Horizontal
Site	Illuminance	Fc	0.24	13.5	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	10	10	Horizontal
Loading	Illuminance	Fc	5.35	13.5	1.5	3.57	9.00	statistical area			
Rear Parking	Illuminance	Fc	1.23	4.9	0.2	6.15	24.50	statistical area			

Luminaire Schedule			All quotes/orders generated from this layout must be forwarded to the Local Rep Agency										
Symbol	Qty	Tag	Label	Arrangement	LLF	Lum. Lumens	Arr. Lum. Lumens	Description	Lum. Watts	Arr. Watts	Total Watts	BUG Rating	
	4	A3	ALEDM3TY @90w	Single	1.000	12835	12835	TYPE III - POLE MOUNT	91	91	364	B2-U0-G2	
	7	A3-WM	ALEDM3TWMY @90w	Single	1.000	12835	12835	TYPE III - WALL MOUNT	91	91	637	B2-U0-G2	
	2	A4	ALEDM4TY @90w	Single	1.000	12666	12666	TYPE IV - POLE MOUNT	91.5	91.5	183	B1-U0-G3	
	9	A4-WM	ALEDM4TWMY @ 150W	Single	1.000	19267	19267	TYPE IV - WALL MOUNT	148.2	148.2	1333.8	B2-U0-G4	
	14	C	SLIM17FA15ADJ @3K	Single	1.000	1761	1761	WALLPACK	14.2	14.2	198.8	B1-U1-G0	

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A3	784457.694	2893257.996	25	65.37	0
2	A3	784305.191	2892950.233	25	58.389	0
3	A3	784724.309	2892685.612	25	60.007	0
4	A4	784924.114	2893113.988	25	230.152	0
5	A3-WM	784418.936	2892938.277	25	235.814	0
6	A3-WM	784536.861	2892866.128	25	240.714	0
7	A3-WM	784791.93	2892792.9	25	325.713	0
8	A3-WM	784866.624	2892914.218	25	323.87	0
9	A3-WM	784363.608	2893020.123	25	147.995	0
10	A3-WM	784443.686	2893150.261	25	150.304	0
11	A4-WM	784512.22	2893179.332	25	59.703	0
12	A4	784798.832	2893221.601	25	233.893	0
13	C	784522.603	2893170.547	10	61.075	0
14	C	784603.251	2893121.141	10	61.075	0
15	C	784683.614	2893071.854	10	61.075	0
16	C	784764.237	2893022.622	10	61.075	0
17	C	784844.845	2892972.89	10	61.075	0
18	C	784848.477	2892888.169	10	325.008	0
19	C	784810.961	2892826.68	10	330.406	0
20	C	784723.198	2892753.413	10	240.255	0
21	C	784636.123	2892806.92	10	237.014	0
22	C	784549.336	2892859.984	10	240.145	0
23	C	784462.049	2892913.305	10	236.064	0
24	C	784401.15	2893078.455	10	148.738	0
25	C	784438.977	2893139.649	10	150.146	0
26	C	784375.488	2892966.341	10	236.064	0
27	A3-WM	784656.931	2892791.966	25	240.714	0
28	A3	784550.903	2893277.072	25	244.46	0
29	A4-WM	784554.824	2893153.161	25	59.703	0
30	A4-WM	784597.428	2893126.99	25	59.703	0
31	A4-WM	784640.032	2893100.82	25	59.703	0
32	A4-WM	784682.635	2893074.649	25	59.703	0
33	A4-WM	784725.239	2893048.478	25	59.703	0
34	A4-WM	784767.843	2893022.307	25	59.703	0
35	A4-WM	784810.447	2892996.136	25	59.703	0
36	A4-WM	784853.051	2892969.966	25	59.703	0
Total Quantity: 36						

Luminaire Tag Summary	
Tag	Qty
A3	4
A3-WM	7
A4	2
A4-WM	9
C	14



NOTES:
* The light loss factor (LLF) is a product of many variables, RAB's standard is to use the initial 1.0 LLF in accordance with most municipal lighting ordinance light trespass requirements, unless otherwise noted.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* RAB disclaims all responsibility for the suitability of existing or proposed poles and bases to support proposed fixtures. This is the owner's, installer's and/or end-user's responsibility based on the weight and effective projected area ("EPA") of the proposed fixtures and the owner's site and soil conditions, wind zone, and many other factors. A professional engineer licensed to practice in the state the site is located should be engaged to assist in this determination.

* The landscape material shown hereon is conceptual and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB Lighting Design. The owner/contractor/customer/end-user must provide accurate and complete construction drawings that reflect what will be the final construction RAB is not responsible for any inaccuracies caused by incomplete, inaccurate, or outdated information provided by the owner/contractor/customer/end-user.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending may apply. Please see www.rablighting.com/ip.

* The Lighting Analysis, EZLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.

* RAB does not warranty, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design.

* RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package and should not be relied upon for any purpose.

* Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously provided use fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

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Job Name: 2954-003 Randolph Randolph, MA Lighting Layout Version C	Scale: as noted	PROJECT #209018
	Date:5/12/2023	CASE #1098922
Prepared For: Hobbrook Associated 35 Reservoir Park Drive Rockland, MA 02370 Tel: 781-871-0011	Filename: 2954-003 Randolph Lig Layout 1098922C.AGI	
	Drawn By: dvento	SHEET 2 OF 2
Filename: Z:\Job Files\Hobbrook Associated\Hobbrook Associated 10106412954-003 Randolph\Working Files\AGI\2954-003 Randolph Lig Layout 1098922C.AGI		