

SITE PLAN

16 FENCOURT AVENUE, RANDOLPH, MA

DIMENSIONAL REQUIREMENTS			
ZONING ITEM	UCTD	EXISTING	PROPOSED
MIN. LOT AREA	5 ACRES	7.13 ACRES	7.13 ACRES
MIN. LOT FRONTAGE/DEPTH	100/75 FT	142.5/599FT	142.5/599FT
MAX. YARD – FRONT	10 FT**	167.5 FT	5.4 FT
MIN. YARD – SIDE	30 FT***	69.9 FT	30 FT
MIN. YARD – REAR	30 FT***	287.3 FT	30 FT
BUILDING HEIGHT	NOTE****	1 STORY	3 STORIES
MIN. OPEN SPACE	10%	79%	45.1%

* VARIANCE REQUIRED

** IN ORDER TO DEFINE A CONSISTENT BUILDING LINE ALONG THE STREET, NEW BUILDING SHALL NOT BE SET BACK MORE THAN (10) FEET FROM THE FRONT PROPERTY LINE.

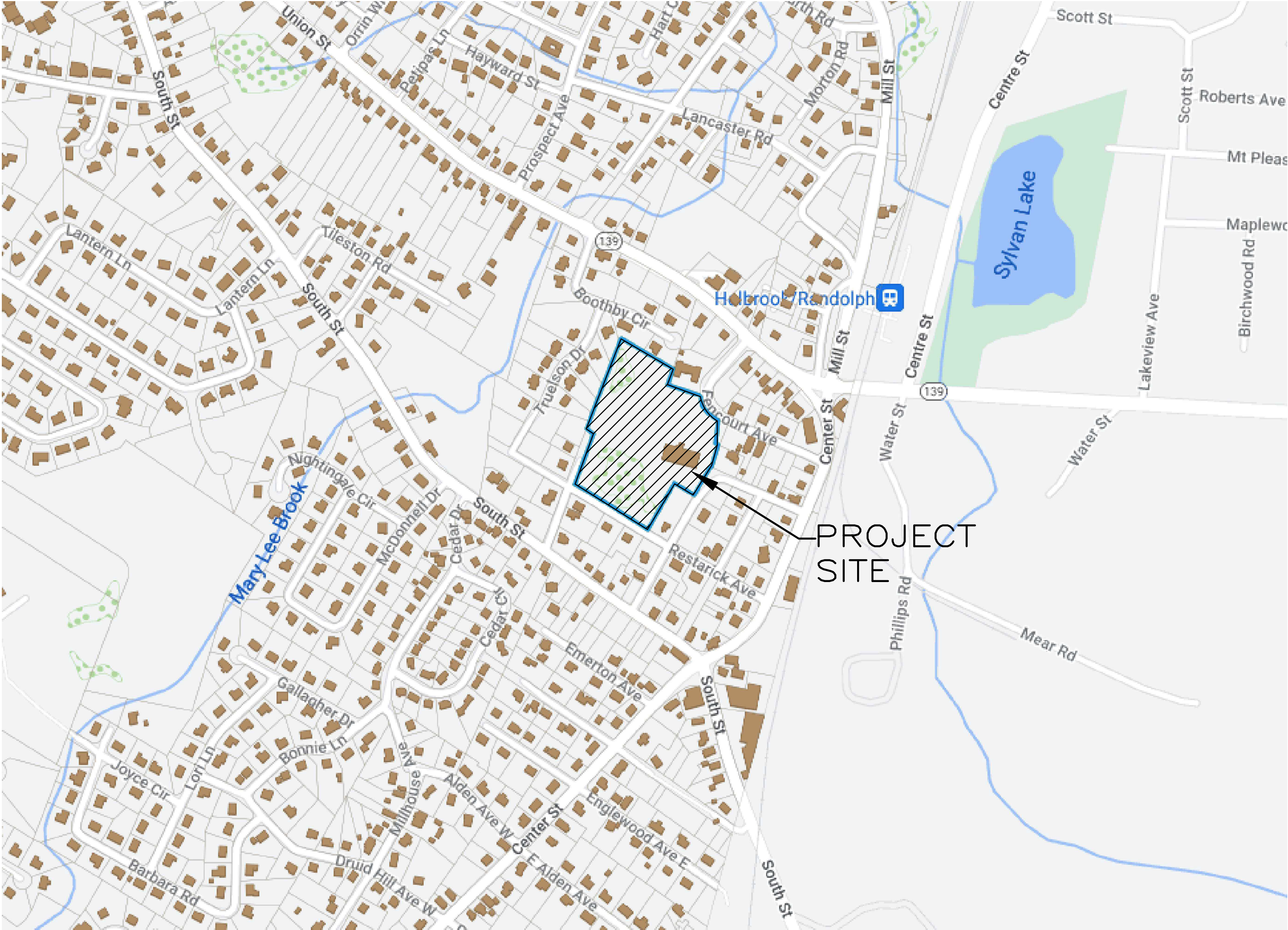
*** A UCTD PROJECT SHALL COMPLY WITH THE FOLLOWING REQUIREMENT:

1) SIDE YARD SETBACK FOR THREE (3) STORY BUILDING ABUTTING A RESIDENTIAL DISTRICT: 30 FEET FROM THE LOT LINE.

2) REAR YARD SETBACK FOR THREE (3) STORY BUILDING ABUTTING A RESIDENTIAL DISTRICT: 30 FEET FROM THE LOT LINE.

**** THE MINIMUM PERMITTED HEIGHT FOR BUILDING IN A UCTD PROJECT SHALL BE TWO (2) STORIES OR TWENTY (20) FEET, WHICHEVER IS GREATER, AND THE MAXIMUM PERMITTED HEIGHT FOR BUILDING AND STRUCTURES IN A UCTD PROJECT SHALL BE FOUR (4) STORIES OR (FORTY) 40 FEET, WHICH EVER IS LESS.

1) THE HEIGHT OF A BUILDING OR STRUCTURE IN THE UCTD SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE AVERAGE GRADE OF THE STREET THE PROPERTY HAS FRONTAGE ON, ALONG THE FRONTAGE OF THE LOT/S OF THE UCTD PROJECT AT THE TIME OF THE SPECIAL PERMIT APPLICATION, TO THE TOP OF THE STRUCTURE (THE HIGHEST ROOF BEAMS OF A FLAT ROOF, THE DECK OF A MANSARD ROOF OR THE MEAN LEVEL OF THE HIGHEST GABLE OR SLOPE OF A HIP ROOF).



LOCUS MAP
APPROX. 1" = 300'

DRAWING INDEX:

- C-1 TITLE SHEET
- C-2 LAYOUT PLAN
- C-3 GRADING AND DRAINAGE PLAN
- C-4 UTILITY PLAN
- C-5 DEMOLITION & EROSION CONTROL PLAN
- C-6 DETAIL SHEET 1
- C-7 DETAIL SHEET 2
- C-8 DETAIL SHEET 3

ZONING:
UCTD

RECORD OWNER:
TAJ ESTATES OF RANDOLPH II, LLC
BOOK 39214 PAGE 555

DATUM:
ALL ELEVATIONS ARE ON NAVD 1988 DATUM

GENERAL NOTES

1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE PRIOR TO EXCAVATION.
2. EXISTING CONDITIONS BASE MAP PROVIDED BY TURNING POINT ENGINEERING, INC. REFERENCE TO THE EXISTING CONDITIONS PLAN.

OWNER/APPLICANT:
TAJ ESTATES OF RANDOLPH II, LLC
16 FENCOURT AVENUE
RANDOLPH, MA 02368

LEGAL COUNCIL:
KEVIN M. REILLY, ESQ
19 SOUTH MAIN STREET
RANDOLPH, MA 02368
(781) 961-7343

ARCHITECT:
DENNIS COLWELL ARCHITECTS
132 CENTRAL STREET, SUITE 203
FOXBOROUGH, MA 02035
(508) 241-2122

CIVIL ENGINEER:
HARDY + MAN DESIGN GROUP PC
1285 WASHINGTON STREET
WEYMOUTH, MA 02189
(781) 335-1464

LAND SURVEYOR:
BORDERLAND ENGINEERING, INC.
61 PLEASANT STREET, STUDIO B
RANDOLPH, MA 02368
(781) 963-9500

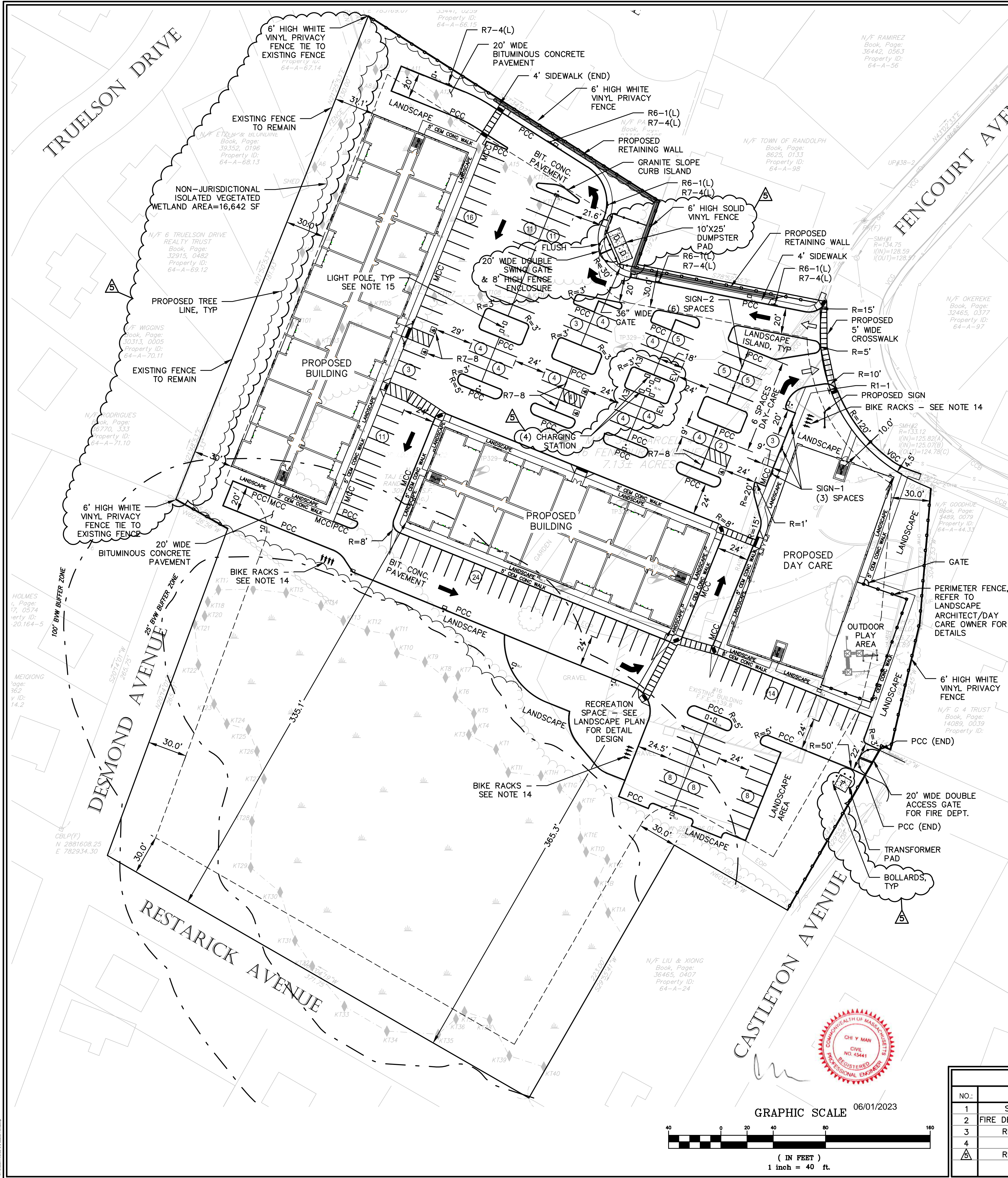
TRAFFIC ENGINEER:
VANASSE & ASSOCIATES, INC.
35 NEW ENGLAND BUSINESS CENTER DRIVE
SUITE 140
ANDOVER, MA 01810
(978) 474-8800







SITE LIGHTING CONSULTANT:
BOSTON LIGHT SOURCE
64 COMMERCIAL WHARF
BOSTON, MA 02110
(617) 788-2400



06/01/2023

REVISIONS:			TITLE SHEET 16 Fencourt Ave RANDOLPH, MASSACHUSETTS		HARDY + MAN DESIGN GROUP, PC CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTING	1285 WASHINGTON STREET WEYMOUTH, MA (781) 335-1464
NO.:	COMMENTS:	DATE:				
1	SITE PLAN REVIEW COMMENTS	9-26-2022	DRAWN BY: JKY DESIGNED BY: CYM CHECKED BY: CYM	DATE: 9-06-2022 LATEST REVISION: 5-25-2023 SCALE: 1" = 40'	PREPARED FOR: PERMITTING	SHEET C-1
2	REVISED PER TOWN COMMENTS	2-15-2023				
3	NO CHANGE	5-25-2023				



TRAFFIC SIGN SUMMARY											
IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT	TEXT DIMENSIONS (INCHES)			NUMBER OF SIGNS REQUIRED	COLOR			POST SIZE AND NUMBER REQUIRED
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ARROW		BACK-GROUND	LEGEND	BORDER	
R7-8	12"	18"		SEE 2009 MUTCD STANDARDS	SEE 2009 MUTCD STANDARDS	SEE 2009 MUTCD STANDARDS	5	SEE 2009 MUTCD STANDARDS	SEE 2009 MUTCD STANDARDS	SEE 2009 MUTCD STANDARDS	P-5 5
R1-1	30"	30"					1				P-5 1
SIGN-1	12"	18"					3				P-5 3
SIGN-2	12"	18"					6				P-5 6
R6-1(L)	36"	12"					4				MOUNT ON R7-4(L) SIGN POSTS
R7-4(L)	12"	18"					5				P-5 5

GENERAL NOTES:

- TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM TURNING POINT ENGINEERING, AND BORDERLAND ENGINEERING, INC., DATED AUGUST 13, 2022.
- THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
- THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS JACKIE'S LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND HARDY + MAN DESIGN GROUP, P.C. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL, THROUGHOUT CONSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENT TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
- THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.
- ELEVATIONS REFER TO TOWN OF RANDOLPH DATUM.
- EXCESSIVE SNOW TO BE REMOVED BY AN INDEPENDENT CONTRACTOR AND REMOVED OFF SITE.
- REFER TO LANDSCAPING DRAWINGS FOR BIKE RACKS DETAILS.
- REFER TO SITE LIGHTING CONSULTANT FOR EXACT LOCATIONS AND DETAILS.

DIMENSIONAL REQUIREMENTS

ZONING ITEM	UCTD	EXISTING	PROPOSED
MIN. LOT AREA	5 ACRES	7.1 ACRES	7.1 ACRES
MIN. LOT FRONTAGE/DEPTH	100/75 FT	142.5/599FT	142.5/599FT
MAX. YARD - FRONT	10 FT**	167.5 FT	4.5 FT
MIN. YARD - SIDE	30 FT***	69.9 FT	30 FT
MIN. YARD - REAR	30 FT***	287.3 FT	335.1 FT
BUILDING HEIGHT	NOTE****	1 STORY	3 STORIES
MIN. OPEN SPACE	10%	79%	52%

* VARIANCE REQUIRED

** IN ORDER TO DEFINE A CONSISTENT BUILDING LINE ALONG THE STREET, NEW BUILDING SHALL NOT BE SET BACK MORE THAN (10) FEET FROM THE FRONT PROPERTY LINE.

*** A UCTD PROJECT SHALL COMPLY WITH THE FOLLOWING REQUIREMENT:

- SIDE YARD SETBACK FOR THREE (3) STORY BUILDING ABUTTING A RESIDENTIAL DISTRICT: 30 FEET FROM THE LOT LINE.
- REAR YARD SETBACK FOR THREE (3) STORY BUILDING ABUTTING A RESIDENTIAL DISTRICT: 30 FEET FROM THE LOT LINE.

**** THE MINIMUM PERMITTED HEIGHT FOR BUILDING IN A UCTD PROJECT SHALL BE TWO (2) STORIES OR TWENTY (20) FEET, WHICHEVER IS GREATER, AND THE MAXIMUM PERMITTED HEIGHT FOR BUILDING AND STRUCTURES IN A UCTD PROJECT SHALL BE FOUR (4) STORIES OR (FORTY) 40 FEET, WHICH EVER IS LESS.

1) THE HEIGHT OF A BUILDING OR STRUCTURE IN THE UCTD SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE AVERAGE GRADE OF THE STREET THE PROPERTY HAS FRONTAGE ON, ALONG THE FRONTAGE OF THE LOT/S OF THE UCTD PROJECT AT THE TIME OF THE SPECIAL PERMIT APPLICATION, TO THE TOP OF THE STRUCTURE (THE HIGHEST ROOF BEAMS OF A FLAT ROOF, THE DECK OF A MANSARD ROOF OR THE MEAN LEVEL OF THE HIGHEST GABLE OR SLOPE OF A HIP ROOF).

PARKING REQUIREMENTS

ZONING	REQUIRED	PROVIDED
107 UNITS/12,000 SF COMMERCIAL	201*	175

* (107x1.5) + (12000/400) + (107/10) = 160.5 + 30 + 10.7 = 201

LEGEND

MCC	MONOLITHIC CONCRETE CURB
NC	NO CURB
PCC	PRECAST CONCRETE CURB
VGC	VERTICAL GRANITE CURB
TYP	TYPICAL
	DETECTABLE WARNING PANEL
	CEMENT CONCRETE
	FIRE TRUCK ACCESS EXHIBIT
	VEHICLE TRAFFIC FLOW
	PROPOSED 6' HIGH SOLID VINYL FENCE
	PROPOSED TREE LINE
	PROPOSED SITE LIGHTING
EV	ELECTRIC VEHICLE

REVISIONS:

NO.	COMMENTS:	DATE:
1	SITE PLAN REVIEW COMMENTS	9-26-2022
2	FIRE DEPT. SITE PLAN REVIEW COMMENTS	2-23-2022
3	REVISED PER TOWN COMMENTS	2-15-2023
4	REVISED PARKING COUNT	2-24-2023
5	REVISED PER TOWN COMMENTS	5-25-2023

LAYOUT PLAN
16 Fencourt Ave
RANDOLPH, MASSACHUSETTS

DRAWN BY: JKY
DESIGNED BY: CYM
CHECKED BY: CYM

DATE: 9-06-2022
LATEST REVISION: 5-25-2023
SCALE: 1" = 40'

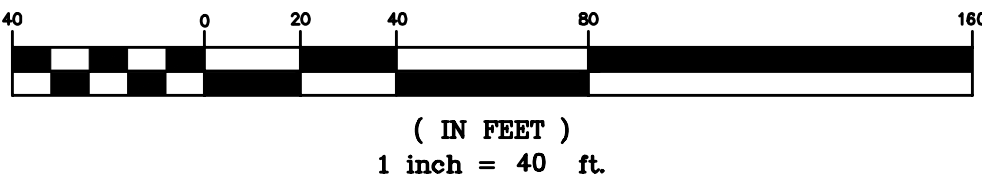


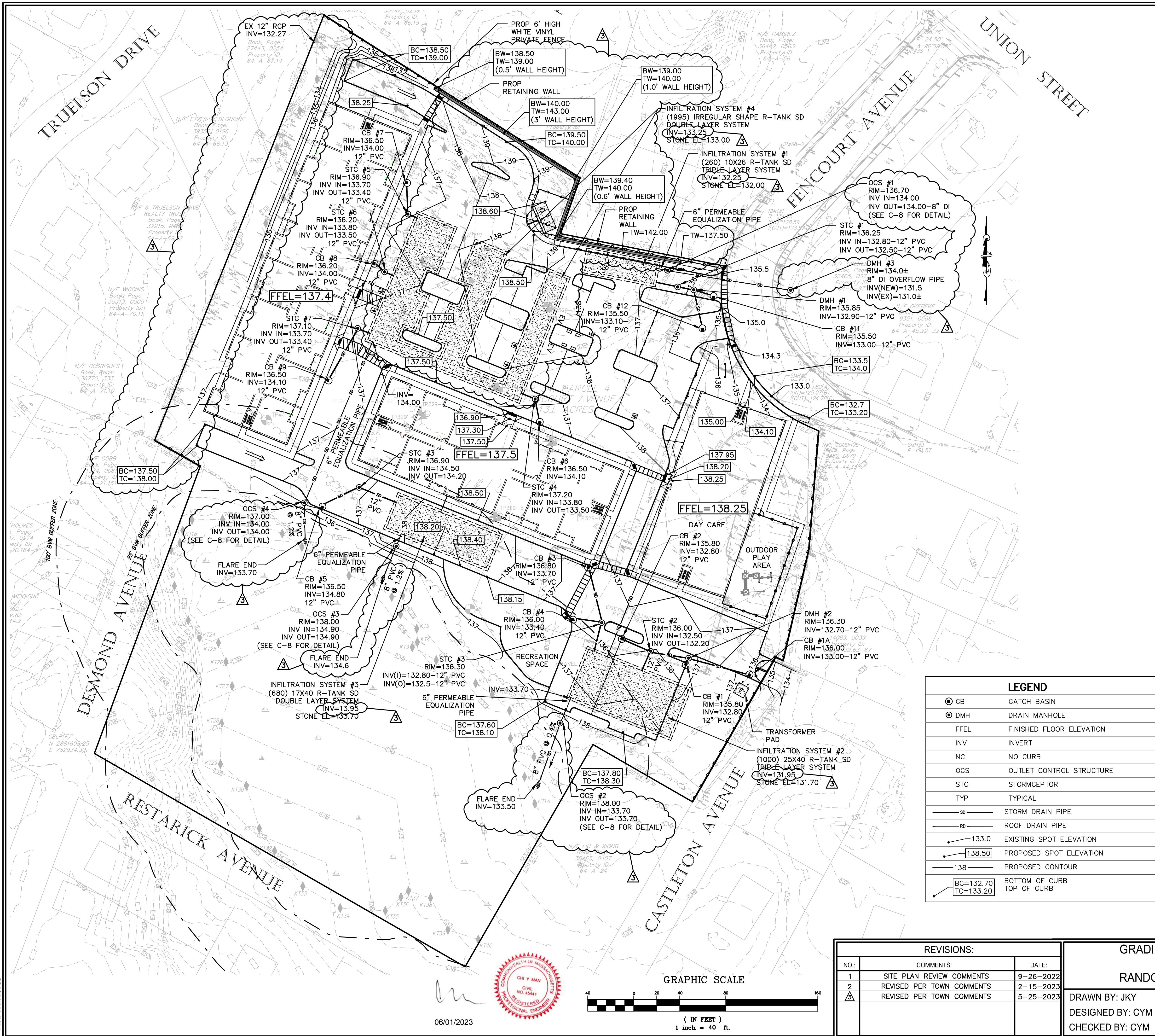
1285 WASHINGTON STREET
WEYMOUTH, MA
(781) 335-1464

PREPARED FOR:
PERMITTING

SHEET
C-2

GRAPHIC SCALE 06/01/2023






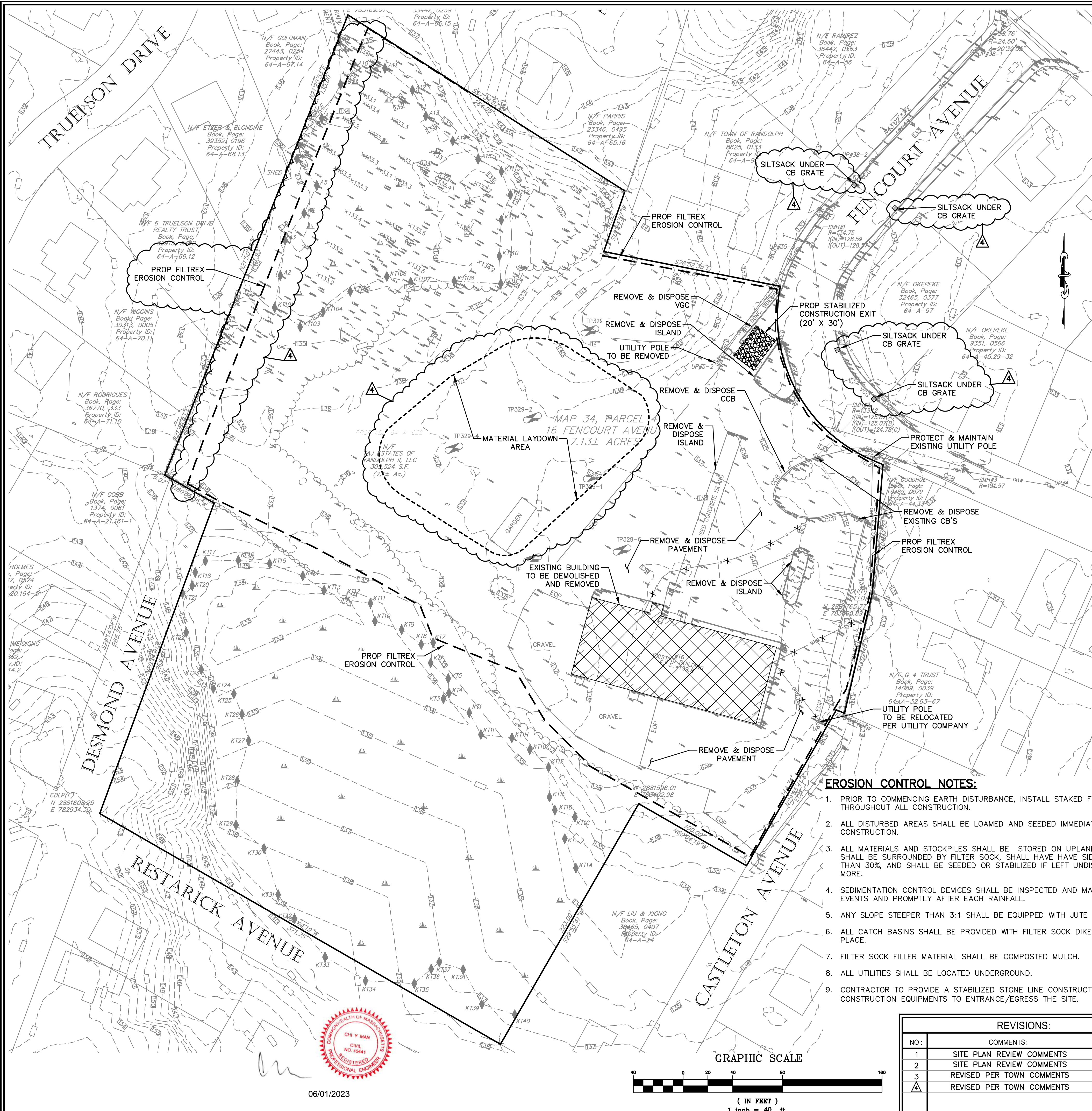
TEST PIT #1 (9-10-2021)				
DEPTH(IN)	HORIZON	SOIL TEXTURE	COLOR	OTHER
0-13	A	FILL		
13-36	B	FILL		
36-72	C	COARSE SANDY LOAM	10Y 4/3	FRIABLE 5% COBBLE SOME BOULDER
WEEPING @60"				
TEST PIT #2 (9-10-2021)				
DEPTH(IN)	HORIZON	SOIL TEXTURE	COLOR	OTHER
0-36	A	FILL		
36-92	B	FINE SAND	10YR 4/3	LIKE BEACH SAND
NO GROUNDWATER NO WEEPING NO MOTTLE				
TEST PIT #3 (9-10-2021)				
DEPTH(IN)	HORIZON	SOIL TEXTURE	COLOR	OTHER
0-13	A	FILL		
13-36	B	FILL		
36-100	C	LOAMY SAND	10Y 4/3	FINE FRIABLE 1% COBBLE
WEEPING @63"				
TEST PIT #4 (9-10-2021)				
DEPTH(IN)	HORIZON	SOIL TEXTURE	COLOR	OTHER
0-42	A	SANDY LOAM		BURIED A
42-60	B	LOAMY SAND		
60-90	C	FINE SAND	10YR 5/3	3% COBBLE
WEEPING @60"				
TEST PIT #5 (9-10-2021)				
DEPTH(IN)	HORIZON	SOIL TEXTURE	COLOR	OTHER
0-12	A	SANDY LOAM	10YR 3/2	TOP SOIL FILL LOAM
12-26	A	SANDY LOAM	10YR 3/2	
26-36	B	LOAMY SAND	10YR 3/2	
36-80	C	COARSE SAND	10YR 4/4	FRIABLE, 5% COBBLE
WEEPING @69" NO MOTTLE				
TEST PIT #6 (9-10-2021)				
DEPTH(IN)	HORIZON	SOIL TEXTURE	COLOR	OTHER
0-12	A	SANDY LOAM	10YR 3/3	
12-27	B	SANDY LOAM	10YR 4/6	
27-96	C	COARSE SAND	10YR 4/4	FRIABLE, 5% COBBLE
NO WEEPING NO MOTTLE				

STORMWATER SYSTEM ELEVATIONS				
	SYSTEM #1 (TRIPLE MODULE =2.23' HEIGHT)	SYSTEM #2 (TRIPLE MODULE =2.23' HEIGHT)	SYSTEM #3 (DOUBLE MODULE =1.51' HEIGHT)	SYSTEM #4 (DOUBLE MODULE =1.51' HEIGHT)
MIN. GROUND ELEVATION	137.0±	136.0±	137.5±	136.7±
TOP OF STONE	134.98	134.68	135.96	135.26
TOP OF CHAMBER	134.48	134.18	135.46	134.76
BOTTOM OF CHAMBER	132.25	131.95	133.95	133.25
BOTTOM OF STONE	132.00	131.70	133.70	133.00
OVERFLOW OUTLET	134.20	133.70	134.90	134.00
EST. GWT	N/A	N/A	131.7	131.0

REVISIONS:		
NO.	COMMENTS:	DATE:
1	SITE PLAN REVIEW COMMENTS	9-26-2022
2	REVISED PER TOWN COMMENTS	2-15-2023
3	REVISED PER TOWN COMMENTS	5-25-2023

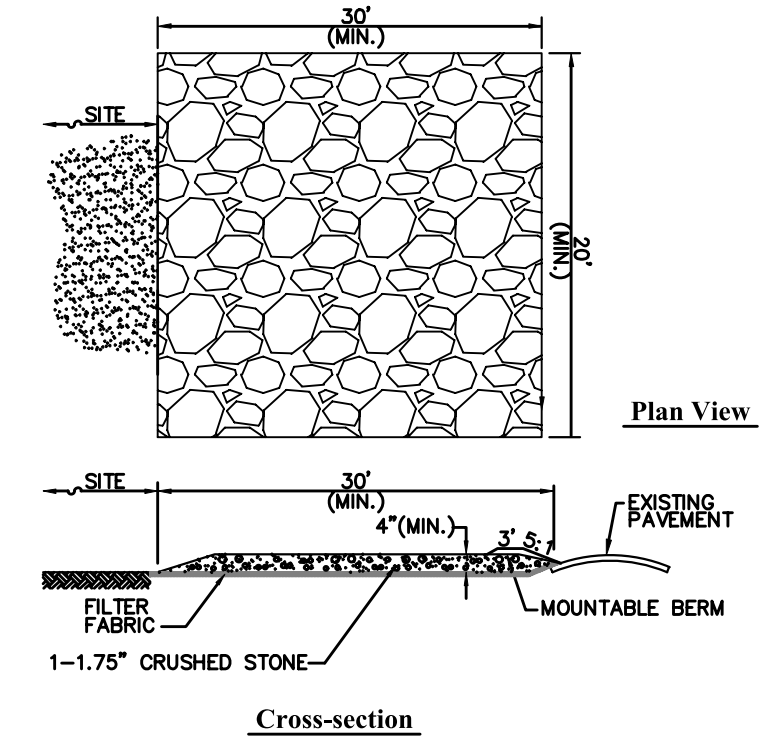
GRADING AND DRAINAGE PLAN	
16 Fencourt Ave Randolph, Massachusetts	
DRAWN BY: JKY	DATE: 9-06-2022
DESIGNED BY: CYM	LATEST REVISION: 5-25-2023
CHECKED BY: CYM	SCALE: 1" = 40'

 HARDY + MAN DESIGN GROUP, PC CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTING	1285 WASHINGTON STREET WYOMOUTH, MA (781) 335-1464	
	PREPARED FOR: PERMITTING	SHEET C-3



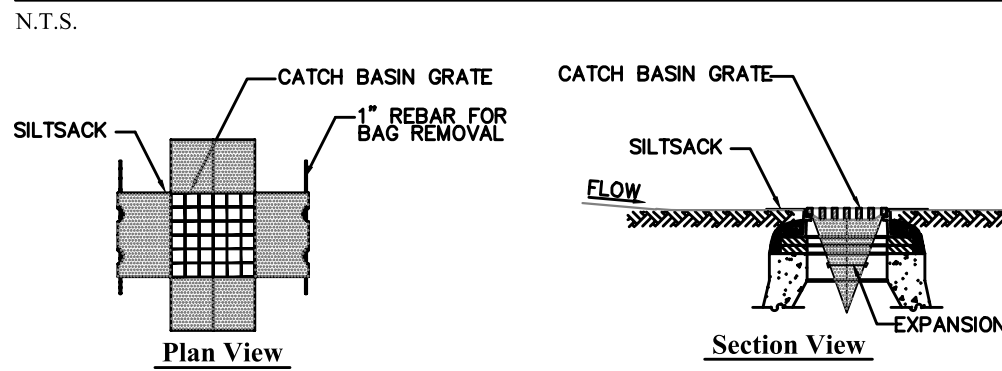
DEMOLITION NOTES:

1. SITE PREPARATION AND DEMOLITION SHALL INCLUDE THOSE AREAS WITHIN THE LIMIT OF WORK LINE AS SHOWN ON THE CONTRACT DOCUMENTS.
2. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING DEMOLITION.
4. THE CONTRACTOR SHALL COORDINATE SITE DEMOLITION EFFORTS WITH ALL TRADES THAT MAY BE AFFECTED BY THE WORK.
5. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS REQUIRED TO FACILITATE CONSTRUCTION, AND LEGALLY DISPOSED OF OFFSITE BY CONTRACTOR.
6. UTILITY PIPES DESIGNATED TO BE ABANDONED IN PLACE SHALL BE CAPPED IN PLACE.
7. UTILITY PIPES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF THE ENTIRE LENGTH OF PIPE AND BACKFILL AND 95% WITH ORDINARY BORROW OR FLOWABLE FILL, AND THE TOP OF THE STRUCTURE SHALL BE REMOVED SO THAT IT IS AT LEAST 36 INCHES BELOW FINISH GRADE.
8. UTILITY STRUCTURES DESIGNATED TO BE ABANDONED IN PLACE SHALL HAVE THEIR CAST IRON CASTINGS REMOVED AND DISPOSED, INLET AND OUTLET PIPES PLUGGED, THE BOTTOM OF THE STRUCTURES SHALL BE BROKEN, THE VOID OF THE STRUCTURES SHALL BE BACKFILLED AND COMPACTED TO 95% WITH ORDINARY BORROW OR FLOWABLE FILL, AND THE TOP OF THE STRUCTURE SHALL BE REMOVED SO THAT IT IS AT LEAST 36 INCHES BELOW FINISH GRADE.
9. UTILITY STRUCTURES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE REMOVAL AND DISPOSAL OF CAST IRON CASTINGS, PLUGGING OF INLET AND OUTLET PIPES, REMOVAL OF THE STRUCTURE, AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW, WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
10. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFFSITE.
11. AT ALL LOCATIONS WHERE EXISTING CURBING, CONCRETE PAVEMENT OR BITUMINOUS CONCRETE ROADWAY ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
12. EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, EROSION CONTROL, TREE PROTECTION, AND SITE WORK AS REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRIS FOUND THEREON. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL LEAVE THE SITE IN SAFE, CLEAN, AND LEVEL CONDITION UPON COMPLETION OF THE SITE DEMOLITION WORK.
14. REMOVE AND STOCKPILE ALL EXISTING SITE LIGHTS, BENCHES, TRASH RECEPTACLES, TRAFFIC SIGNS, GRANITE CURB, AND OTHER SITE IMPROVEMENTS WITHIN LIMIT OF WORK LINE UNLESS OTHERWISE NOTED.
15. ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE TIME OF CONSTRUCTION, AS SPECIFIED AND DIRECTED BY THE LANDSCAPE ARCHITECT/ENGINEER/OWNER.
16. BEFORE ANY TREES OR SHRUBS ARE REMOVED, THE CONTRACTOR SHALL ARRANGE A CONFERENCE ON THE SITE WITH THE OWNER OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE REMOVED, AS WELL AS THOSE WHICH ARE TO BE PROTECTED. DO NOT COMMENCE CLEARING OPERATIONS WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
17. THE CONTRACTOR SHALL REMOVE FROM THE AREA OF CONSTRUCTION PAVEMENT, CONCRETE, CURBING, POLES AND FOUNDATIONS, ISLANDS, TREE BERMS AND OTHER FEATURES WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER SPECIFIED ON THE DRAWINGS OR NOT.
18. CONTRACTOR TO PROVIDE TEMPORARY CHAIN LINK FENCE WITH FABRIC AROUND SITE ALL NECESSARY TO PROTECT PUBLIC SAFETY AND DUST CONTROL.



- Notes:**
1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit



- Notes:**
1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
 2. GRATE TO BE PLACED OVER SILTSACK.
 3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

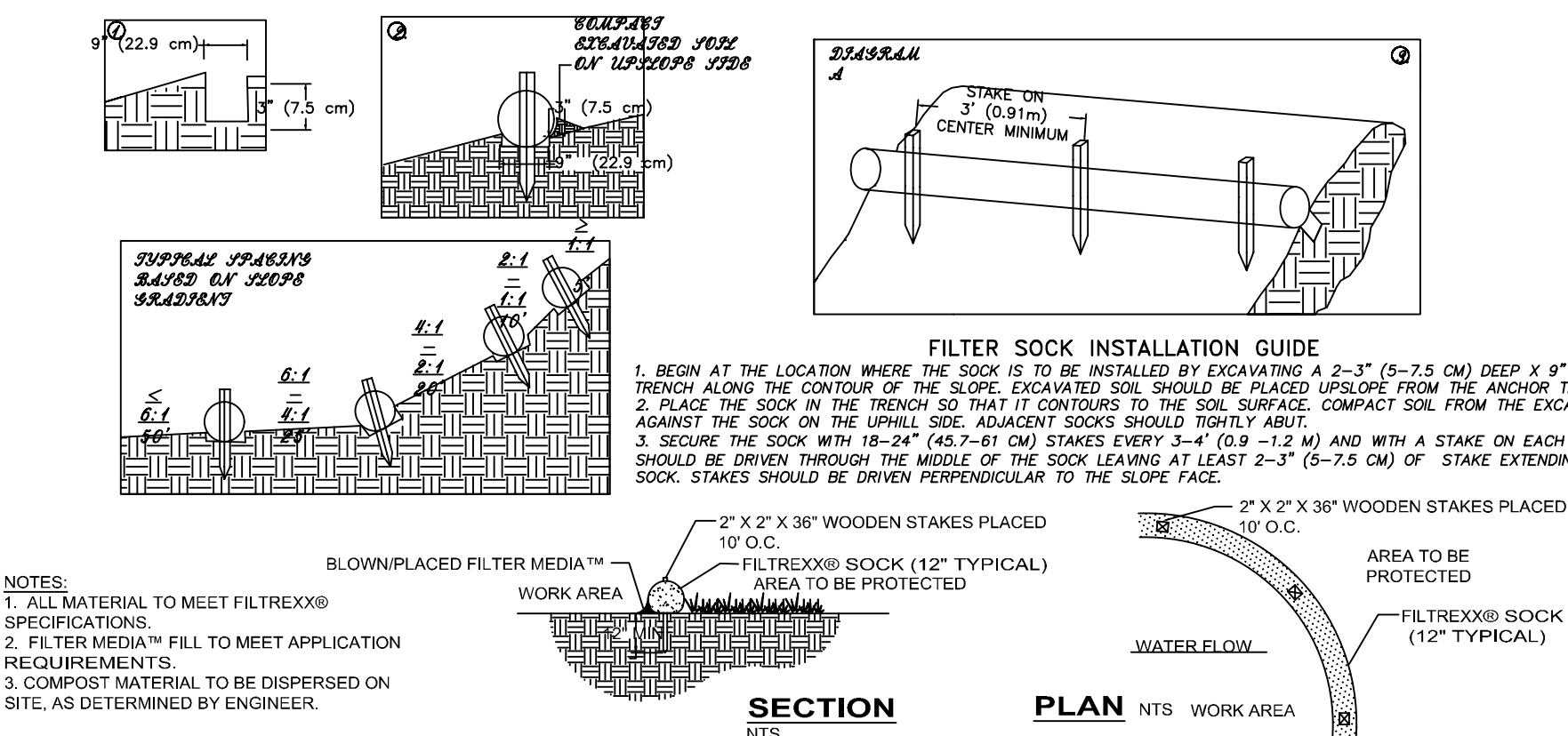
Siltsack Sediment Trap

N.T.S.

LEGEND	
CB	CATCH BASIN
CCB	CAPE COD BERM
VGC	VERTICAL GRANITE CURB

EROSION CONTROL NOTES:

1. PRIOR TO COMMENCING EARTH DISTURBANCE, INSTALL STAKED FILTER SOCK AND MAINTAIN THROUGHOUT ALL CONSTRUCTION.
2. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
3. ALL MATERIALS AND STOCKPILES SHALL BE STORED ON UPLAND AREAS. STOCKPILES SHALL BE SURROUNDED BY FILTER SOCK, SHALL HAVE HAVE SIDE SLOPES NO GREATER THAN 30%, AND SHALL BE SEEDED OR STABILIZED IF LEFT UNDISTURBED FOR TWO WEEKS OR MORE.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PRIOR TO ANY EVENTS AND PROMPTLY AFTER EACH RAINFALL.
5. ANY SLOPE STEEPER THAN 3:1 SHALL BE EQUIPPED WITH JUTE MESH SLOPE STABILIZATION.
6. ALL CATCH BASINS SHALL BE PROVIDED WITH FILTER SOCK DIKES UNTIL BASE COURSE IS IN PLACE.
7. FILTER SOCK FILLER MATERIAL SHALL BE COMPOSTED MULCH.
8. ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
9. CONTRACTOR TO PROVIDE A STABILIZED STONE LINE CONSTRUCTION ENTRANCE FOR CONSTRUCTION EQUIPMENTS TO ENTRANCE/EGRESS THE SITE.



- NOTES:**
1. ALL MATERIAL TO MEET FILTER SOCK SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

Filtersock Erosion Control

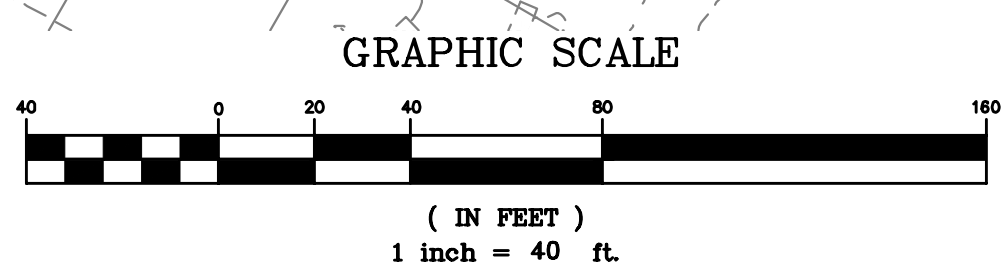
N.T.S.

REVISIONS:		
NO.	COMMENTS:	DATE:
1	SITE PLAN REVIEW COMMENTS	9-26-2022
2	SITE PLAN REVIEW COMMENTS	1-10-2023
3	REVISED PER TOWN COMMENTS	2-15-2023
4	REVISED PER TOWN COMMENTS	5-25-2023

EXISTING CONDITIONS, DEMOLITION & EROSION CONTROL PLAN	
16 Fencourt Ave RANDOLPH, MASSACHUSETTS	
DRAWN BY: JKY	DATE: 9-06-2022
DESIGNED BY: CYM	LATEST REVISION: 5-25-2023
CHECKED BY: CYM	SCALE: 1" = 40'



06/01/2023





Commonwealth of Massachusetts
City/Town of Randolph

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number: 329-1 Hole # 3/29/21 Date 45 - cloudy Weather Latitude Longitude: Time

1. Land Use (e.g., woodland, agricultural field, vacant lot, etc.) Vegetation Surface Stones (e.g., cobbles, stones, boulders, etc.) Slope (%) Description of Location:

2. Soil Parent Material: Landform Position on Landscape (SU, SH, BS, FS, TS)

3. Distances from: Open Water Body feet Drainage Way feet Wetlands feet Property Line feet Drinking Water Well feet Other feet

4. Unsuitable Materials Present: ☒ Yes ☐ No If Yes: ☐ Disturbed Soil ☒ Fill Material ☐ Weathered/Fractured Rock ☐ Bedrock

5. Groundwater Observed: ☐ Yes ☒ No If yes: Depth Weeping from Pit Depth Standing Water in Hole

Depth (in)	Soil Horizon /Layer	Soil Texture (USDA)	Soil Matrix: Color-Moist (Munsell)	Redoximorphic Features			Coarse Fragments % by Volume		Soil Structure	Soil Consistence (Moist)	Other
				Depth	Color	Percent	Gravel	Cobbles & Stones			
0-96	FILL	-	-	-	-	-	-	-	-	-	-
96-122	C	LS	10YR 4/3	102"	10YR 6/8	40%	15%	15%	M	V. Friable	

Additional Notes:

329-1 & 329-2.doc • rev. 3/15/18 Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 2 of 5



Commonwealth of Massachusetts
City/Town of Randolph

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number: 329-2 Hole # 3/29/21 Date 45 - cloudy Weather Latitude Longitude: Time

1. Land Use (e.g., woodland, agricultural field, vacant lot, etc.) Vegetation Surface Stones (e.g., cobbles, stones, boulders, etc.) Slope (%) Description of Location:

2. Soil Parent Material: Landform Position on Landscape (SU, SH, BS, FS, TS)

3. Distances from: Open Water Body feet Drainage Way feet Wetlands feet Property Line feet Drinking Water Well feet Other feet

4. Unsuitable Materials Present: ☒ Yes ☐ No If Yes: ☐ Disturbed Soil ☒ Fill Material ☐ Weathered/Fractured Rock ☐ Bedrock

5. Groundwater Observed: ☒ Yes ☐ No If yes: 92" Depth Weeping from Pit 98" Depth Standing Water in Hole

Depth (in)	Soil Horizon /Layer	Soil Texture (USDA)	Soil Matrix: Color-Moist (Munsell)	Redoximorphic Features			Coarse Fragments % by Volume		Soil Structure	Soil Consistence (Moist)	Other
				Depth	Color	Percent	Gravel	Cobbles & Stones			
0-24	FILL	-	-	-	-	-	-	-	-	-	-
24-32	A	FSL	10YR 3/2	-	-	-	<5%	<5%	Cr	Friable	
32-46	B	SL	2.5Y 6/8	-	-	-	<5%	<5%	Sabk	Friable	
46-80	C1	LS	10YR 4/2	64"	10YR 6/8	50%	5%	5%	M	V. Friable	
80-128	C2	M. Sand	10YR 5/2	-	-	-	25%	10%	SG	Loose	

Additional Notes:

329-1 & 329-2.doc • rev. 3/15/18 Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 3 of 5



Commonwealth of Massachusetts
City/Town of Randolph

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number: 329-3 Hole # 3/29/21 Date 45 - cloudy Weather Latitude Longitude: Time

1. Land Use (e.g., woodland, agricultural field, vacant lot, etc.) Vegetation Surface Stones (e.g., cobbles, stones, boulders, etc.) Slope (%) Description of Location:

2. Soil Parent Material: Landform Position on Landscape (SU, SH, BS, FS, TS)

3. Distances from: Open Water Body feet Drainage Way feet Wetlands feet Property Line feet Drinking Water Well feet Other feet

4. Unsuitable Materials Present: ☒ Yes ☐ No If Yes: ☐ Disturbed Soil ☒ Fill Material ☐ Weathered/Fractured Rock ☐ Bedrock

5. Groundwater Observed: ☐ Yes ☒ No If yes: Depth Weeping from Pit Depth Standing Water in Hole

Depth (in)	Soil Horizon /Layer	Soil Texture (USDA)	Soil Matrix: Color-Moist (Munsell)	Redoximorphic Features			Coarse Fragments % by Volume		Soil Structure	Soil Consistence (Moist)	Other
				Depth	Color	Percent	Gravel	Cobbles & Stones			
0-8	A / FILL	FSL	10YR 3/2	-	-	-	<5%	<5%	Cr	Friable	
8-132	C	LS	10YR 4/3	-	-	-	20%	30%	M	V. Friable	

Additional Notes:

329-3 & 329-4.doc • rev. 3/15/18 Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 2 of 5



Commonwealth of Massachusetts
City/Town of Randolph

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number: 329-4 Hole # 3/29/21 Date 45 - cloudy Weather Latitude Longitude: Time

1. Land Use (e.g., woodland, agricultural field, vacant lot, etc.) Vegetation Surface Stones (e.g., cobbles, stones, boulders, etc.) Slope (%) Description of Location:

2. Soil Parent Material: Landform Position on Landscape (SU, SH, BS, FS, TS)

3. Distances from: Open Water Body feet Drainage Way feet Wetlands feet Property Line feet Drinking Water Well feet Other feet

4. Unsuitable Materials Present: ☒ Yes ☐ No If Yes: ☐ Disturbed Soil ☒ Fill Material ☐ Weathered/Fractured Rock ☐ Bedrock

5. Groundwater Observed: ☒ Yes ☐ No If yes: 108" Depth Weeping from Pit 118" Depth Standing Water in Hole

Depth (in)	Soil Horizon /Layer	Soil Texture (USDA)	Soil Matrix: Color-Moist (Munsell)	Redoximorphic Features			Coarse Fragments % by Volume		Soil Structure	Soil Consistence (Moist)	Other
				Depth	Color	Percent	Gravel	Cobbles & Stones			
0-46	FILL	-	-	-	-	-	-	-	-	-	-
46-56	A	FSL	10YR 3/2	-	-	-	<5%	<5%	Cr	Friable	
56-64	B	SL	2.5Y 6/8	-	-	-	<5%	<5%	Sabk	Friable	
64-134	C	Sand	10YR 5/2	86"	10YR 6/8	40%	5%	5%	SG	Loose	

Additional Notes:

329-3 & 329-4.doc • rev. 3/15/18 Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 3 of 5



Commonwealth of Massachusetts
City/Town of Randolph

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number: 329-5 Hole # 3/29/21 Date 45 - cloudy Weather Latitude Longitude: Time

1. Land Use (e.g., woodland, agricultural field, vacant lot, etc.) Vegetation Surface Stones (e.g., cobbles, stones, boulders, etc.) Slope (%) Description of Location:

2. Soil Parent Material: Landform Position on Landscape (SU, SH, BS, FS, TS)

3. Distances from: Open Water Body feet Drainage Way feet Wetlands feet Property Line feet Drinking Water Well feet Other feet

4. Unsuitable Materials Present: ☒ Yes ☐ No If Yes: ☐ Disturbed Soil ☒ Fill Material ☐ Weathered/Fractured Rock ☐ Bedrock

5. Groundwater Observed: ☒ Yes ☐ No If yes: 76" Depth Weeping from Pit 90" Depth Standing Water in Hole

Depth (in)	Soil Horizon /Layer	Soil Texture (USDA)	Soil Matrix: Color-Moist (Munsell)	Redoximorphic Features			Coarse Fragments % by Volume		Soil Structure	Soil Consistence (Moist)	Other
				Depth	Color	Percent	Gravel	Cobbles & Stones			
0-56	FILL	-	-	-	-	-	-	-	-	-	-
56-60	A	FSL	10YR 2/1	-	-	-	<5%	<5%	Cr	Friable	
60-68	B	C. Sand	10YR 6/8	-	-	-	15%	10%	SG	Loose	
68-94	C	Sand	10YR 5/3	72"	10YR 6/8	40%	20%	10%	SG	Loose	

Additional Notes:

329-5 & 329-6.doc • rev. 3/15/18 Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 2 of 5



Commonwealth of Massachusetts
City/Town of Randolph

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number: 329-6 Hole # 3/29/21 Date 45 - cloudy Weather Latitude Longitude: Time

1. Land Use (e.g., woodland, agricultural field, vacant lot, etc.) Vegetation Surface Stones (e.g., cobbles, stones, boulders, etc.) Slope (%) Description of Location:

2. Soil Parent Material: Landform Position on Landscape (SU, SH, BS, FS, TS)

3. Distances from: Open Water Body feet Drainage Way feet Wetlands feet Property Line feet Drinking Water Well feet Other feet

4. Unsuitable Materials Present: ☒ Yes ☐ No If Yes: ☐ Disturbed Soil ☒ Fill Material ☐ Weathered/Fractured Rock ☐ Bedrock

5. Groundwater Observed: ☐ Yes ☒ No If yes: Depth Weeping from Pit Depth Standing Water in Hole

Depth (in)	Soil Horizon /Layer	Soil Texture (USDA)	Soil Matrix: Color-Moist (Munsell)	Redoximorphic Features			Coarse Fragments % by Volume		Soil Structure	Soil Consistence (Moist)	Other
				Depth	Color	Percent	Gravel	Cobbles & Stones			
0-96	FILL	-	-	-	-	-	-	-	-	-	-
96-138	C	LS	10YR 5/3	98"	10YR 6/8	40%	15%	10%	M	V. Friable	

Additional Notes:

329-5 & 329-6.doc • rev. 3/15/18 Form 11 – Soil Suitability Assessment for On-Site Sewage Disposal • Page 3 of 5

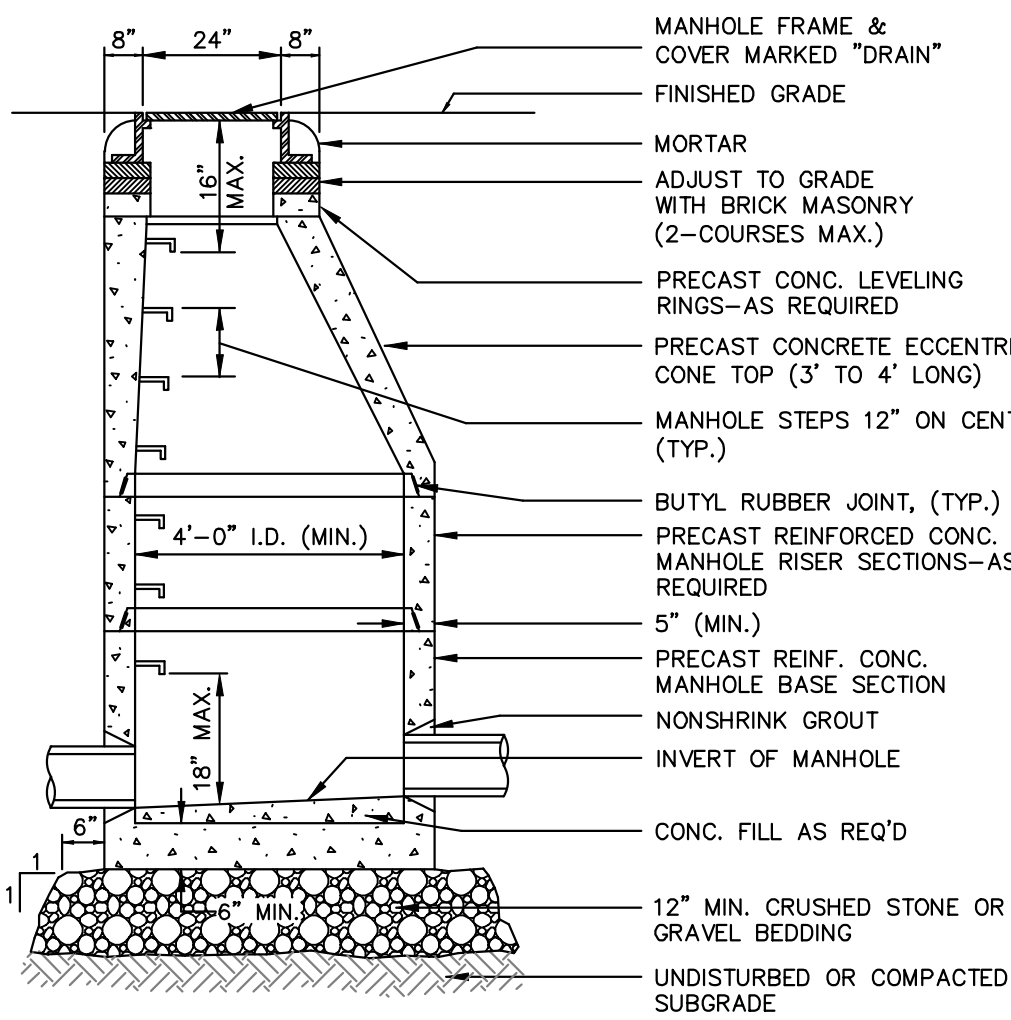
06/01/2023

CHI Y MAN
CIVIL
NO. 49441
REGISTERED
PROFESSIONAL ENGINEER

REVISIONS:		
NO.:	COMMENTS:	DATE:
1	SITE PLAN REVIEW COMMENTS	9-26-2022
2	REVISED PER TOWN COMMENTS	2-15-2023
3	NO CHANGE	5-25-2023

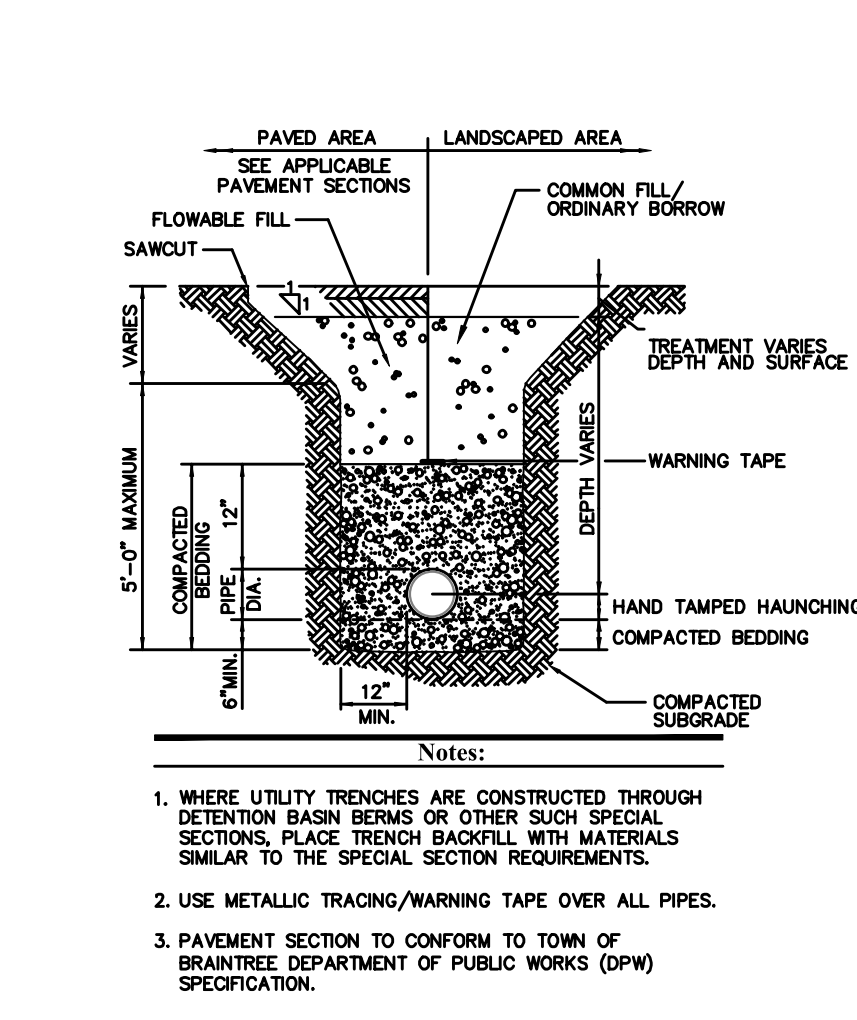
DETAILS 1 16 Fencourt Ave RANDOLPH, MASSACHUSETTS	
DRAWN BY: JKY DESIGNED BY: CYM CHECKED BY: CYM	DATE: 9-06-2022 LATEST REVISION: 5-25-2023 SCALE: AS SHOWN

HARDY + MAN DESIGN GROUP, PC CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTING	1285 WASHINGTON STREET WEYMOUTH, MA (781) 335-1464	PREPARED FOR:	SHEET
		PERMITTING	C-6



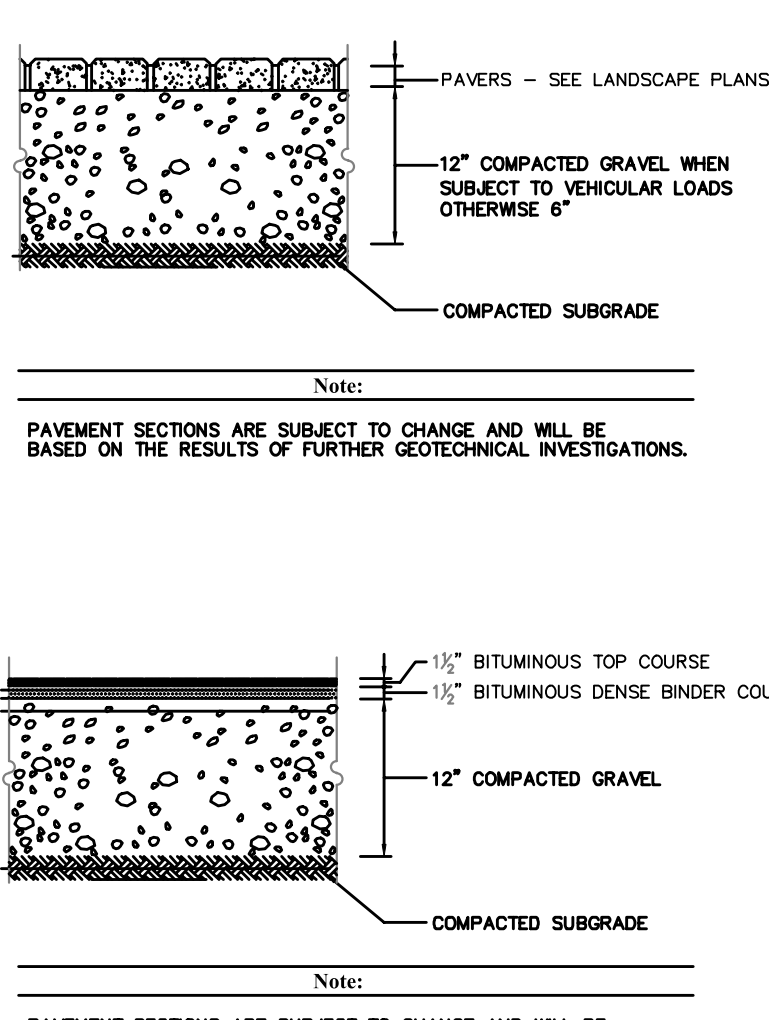
Precast Concrete Drain Manhole (DMH)

N.T.S.



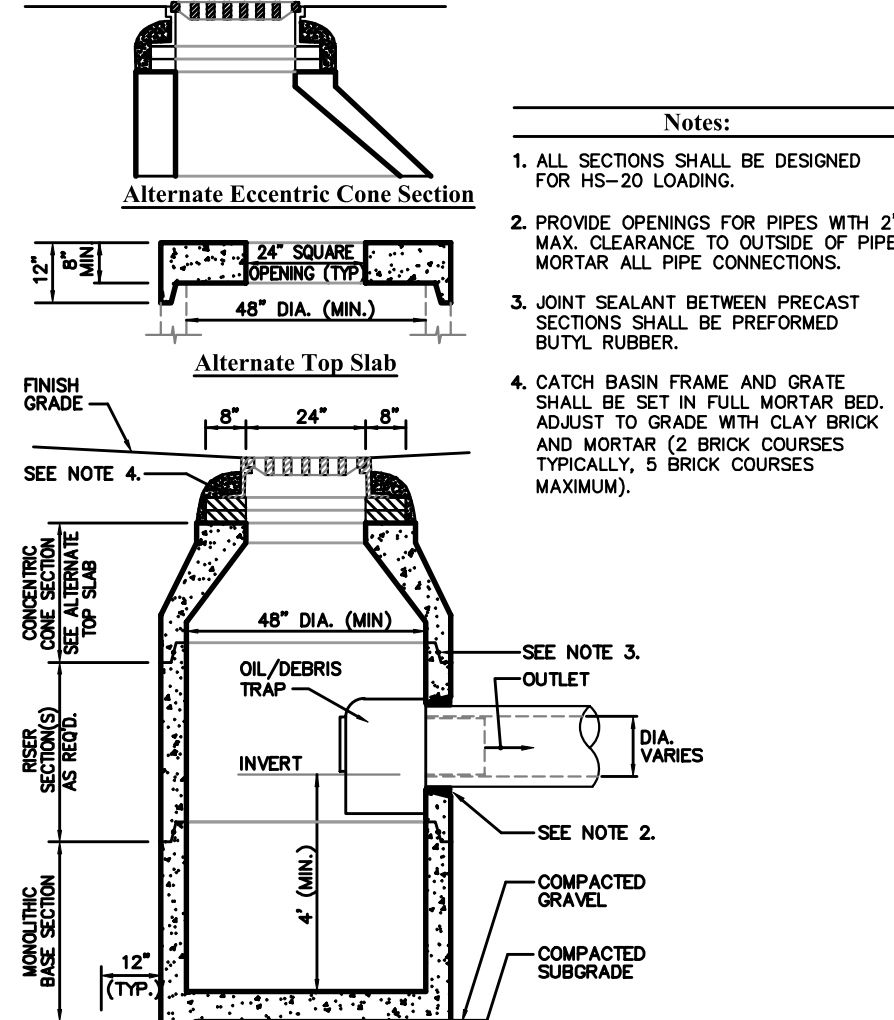
Utility Trench

N.T.S.



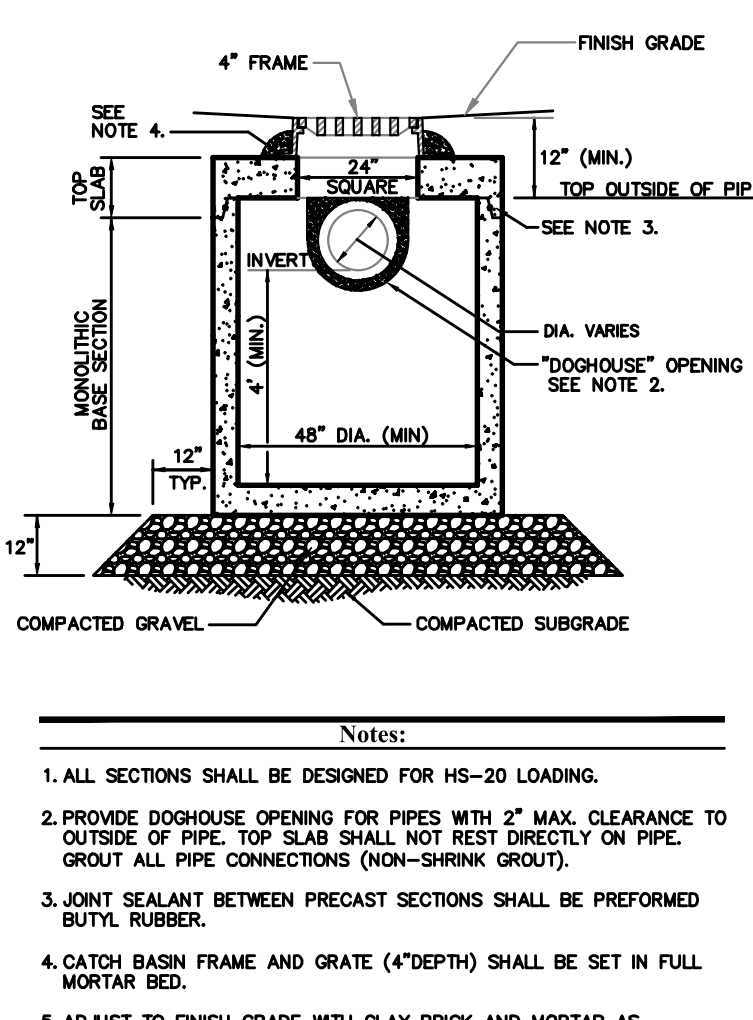
Bituminous Concrete Pavement Section

N.T.S.



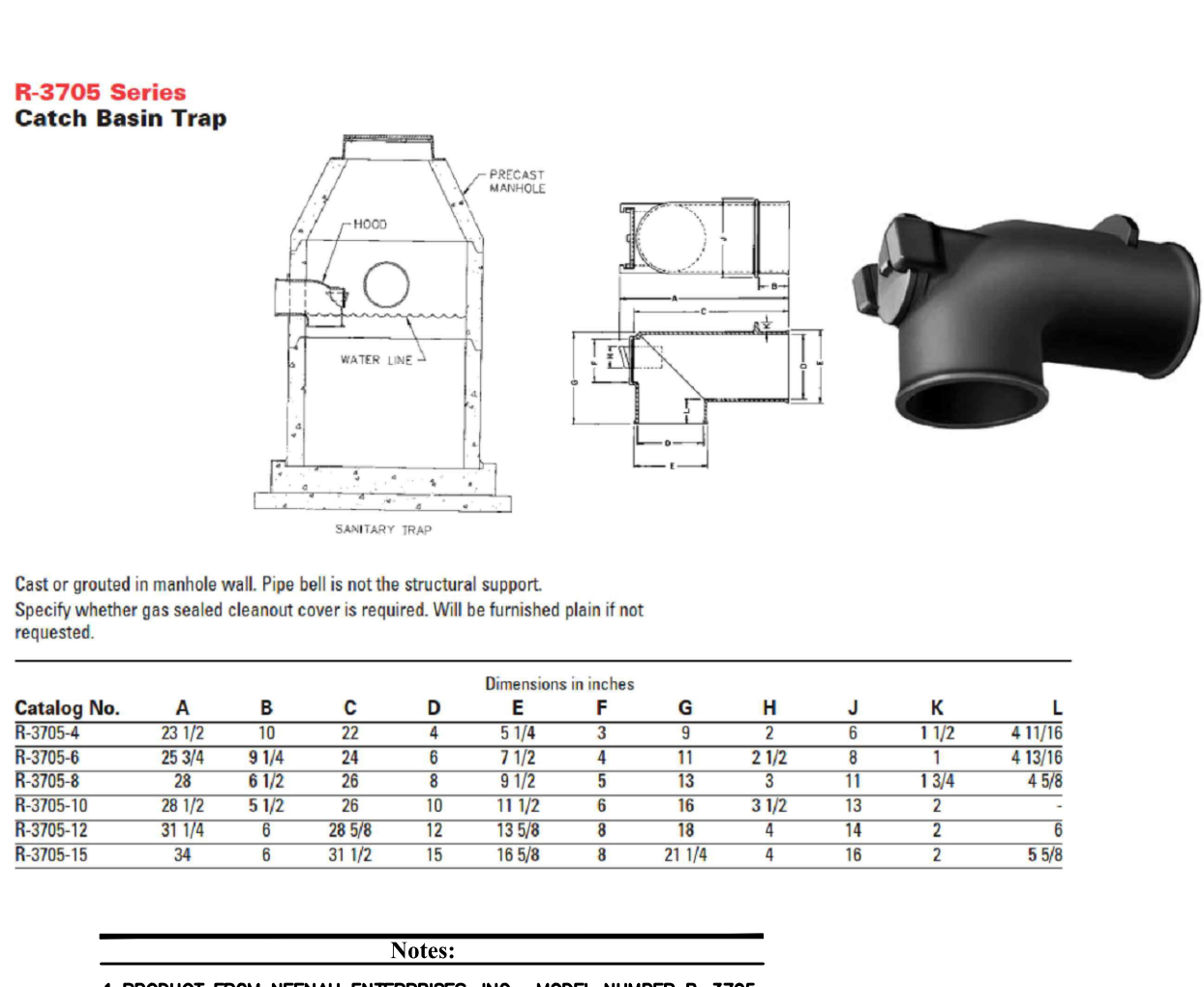
Catch Basin (CB) With Oil/Debris Trap

N.T.S.



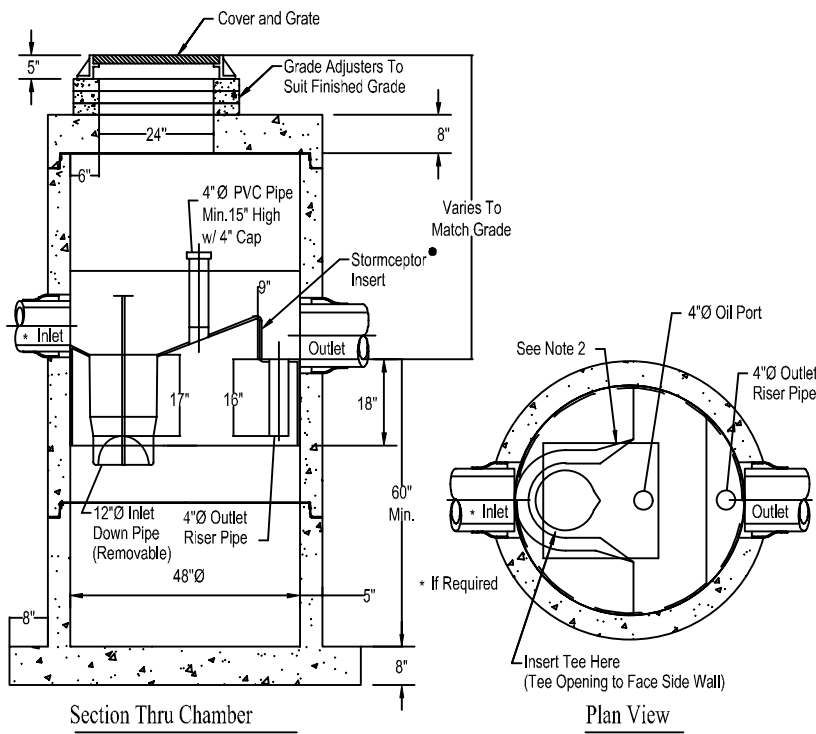
Catch Basin (CB) Shallow Cover

N.T.S.



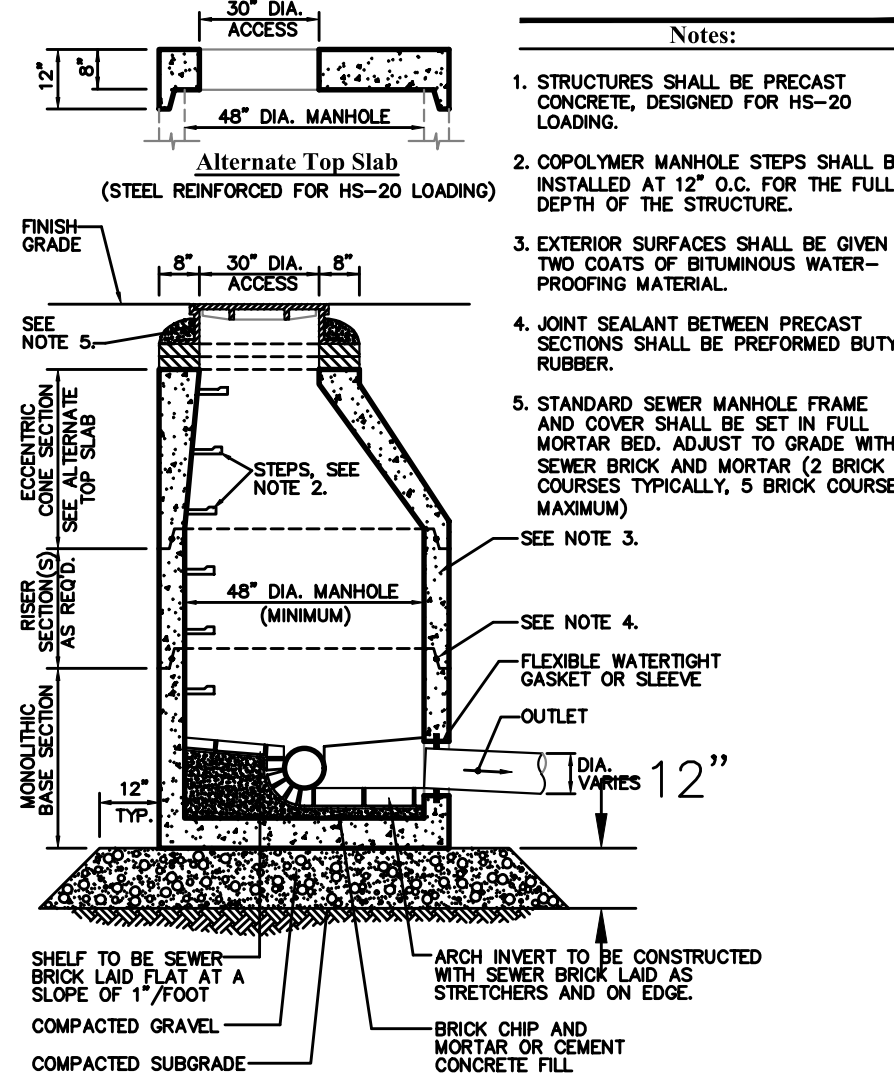
Catch Basin Trap

N.T.S.



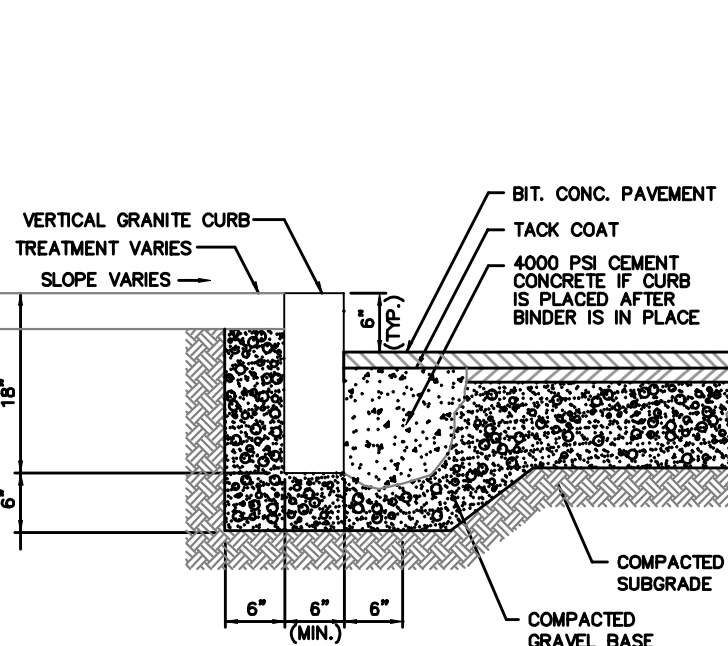
STC 450i PRECAST CONCRETE STORMCEPTOR

N.T.S.



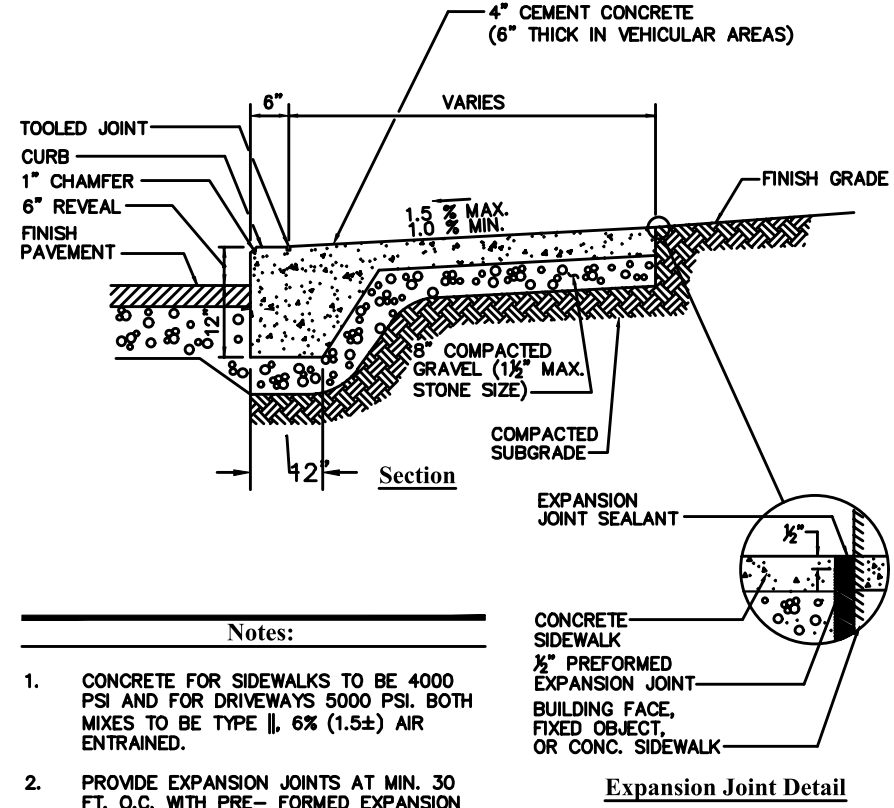
Sanitary Sewer Manhole (SMH)

N.T.S.



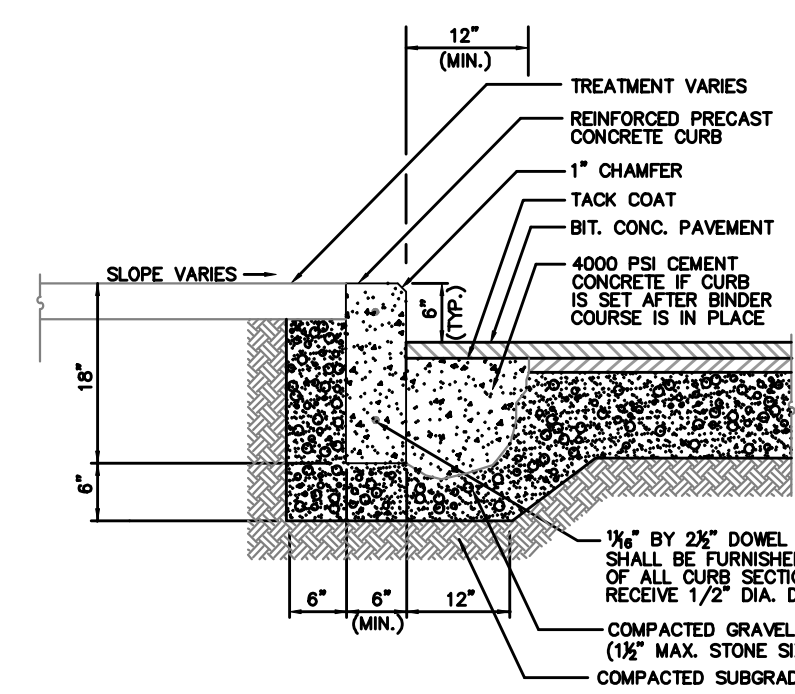
Vertical Granite Curb (VGC)

N.T.S.



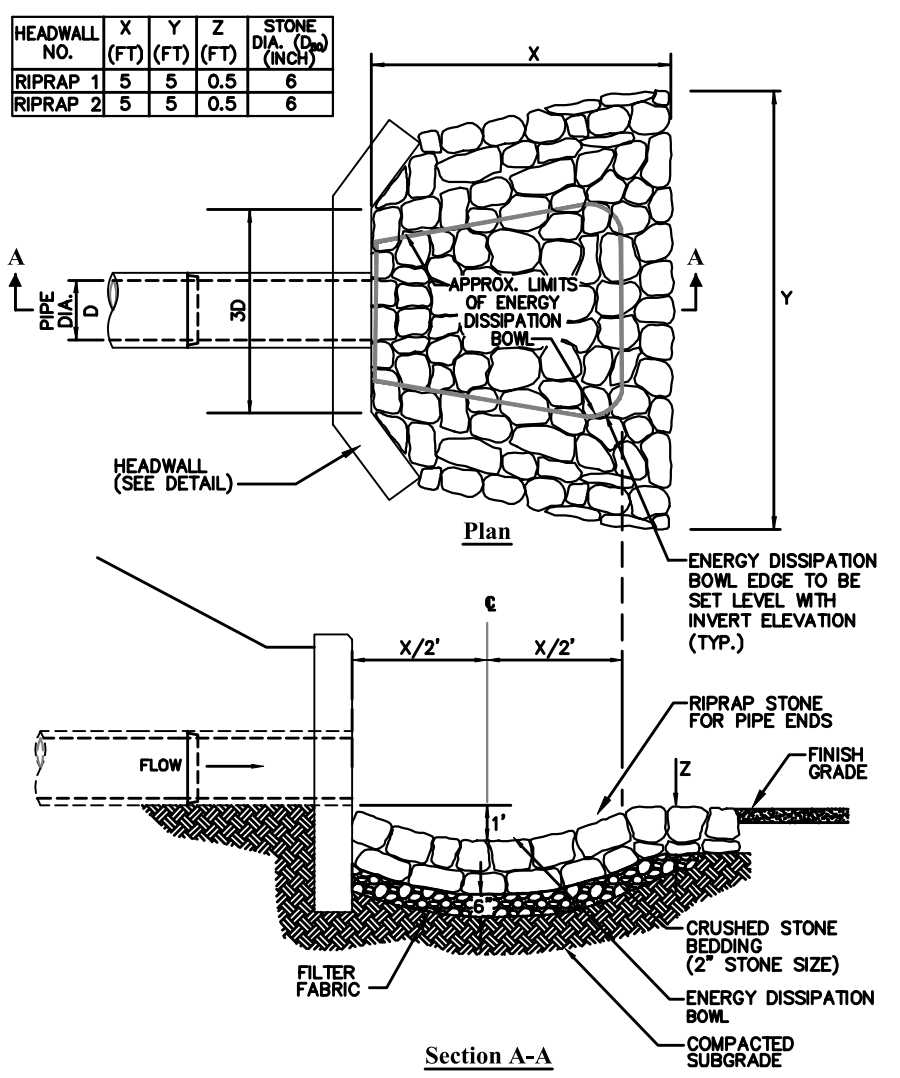
Monolithic Concrete Curb (MCC) & Sidewalk

N.T.S.



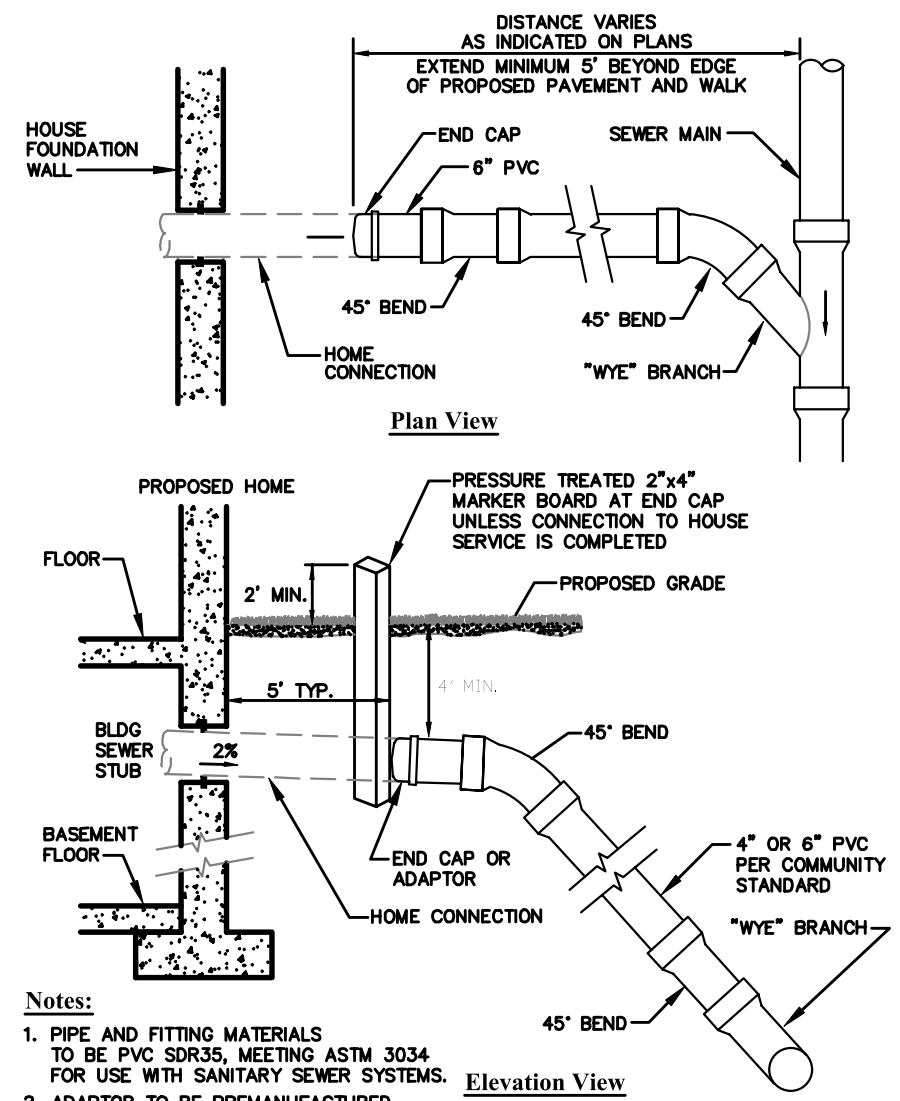
Precast Concrete Curb (PCC)

N.T.S.



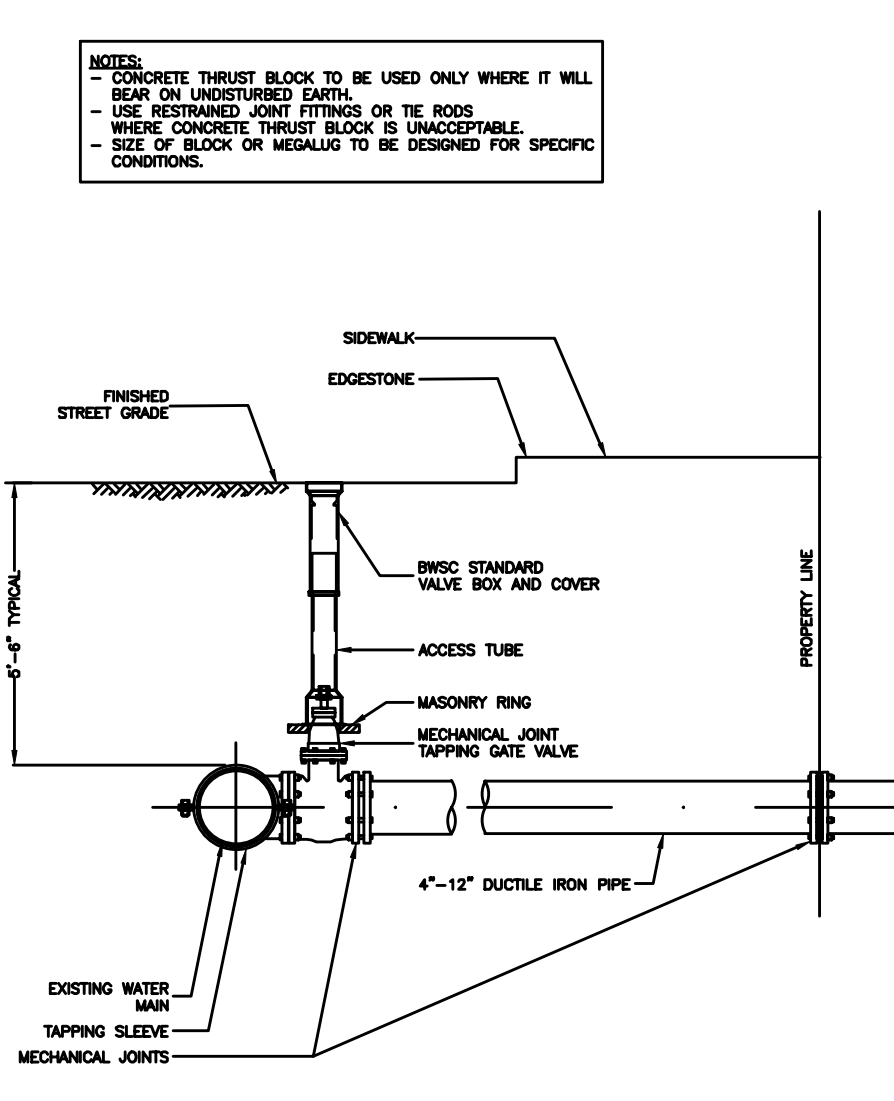
Stone Protection at Headwall

N.T.S.



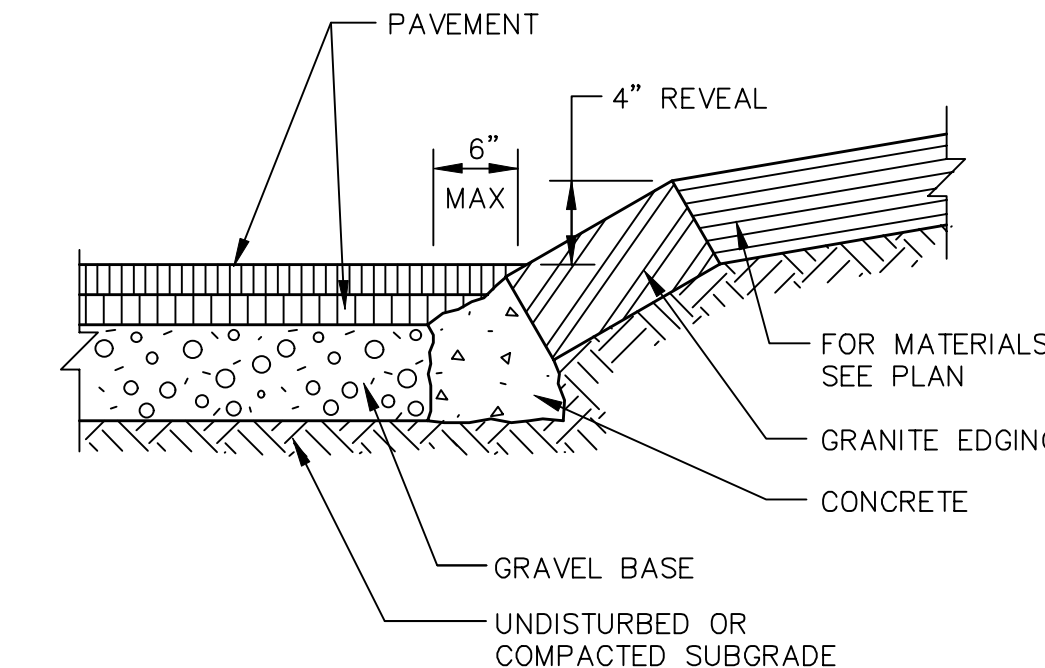
Typical Wye and Chimney Detail (Residential)

N.T.S.



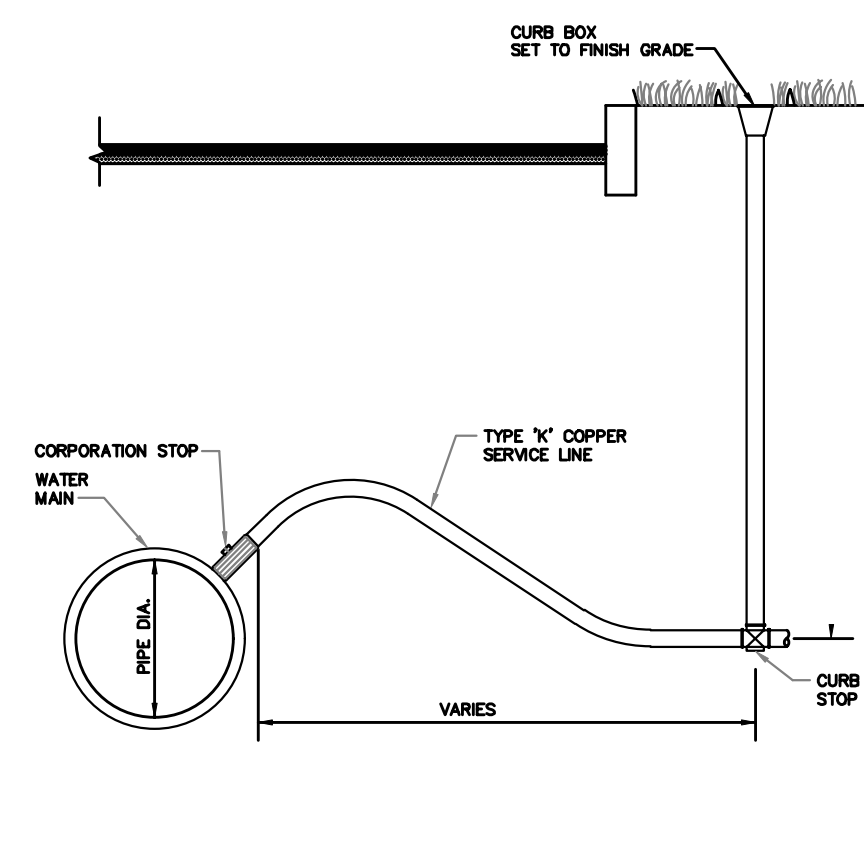
Water Connection to Existing Main

N.T.S.



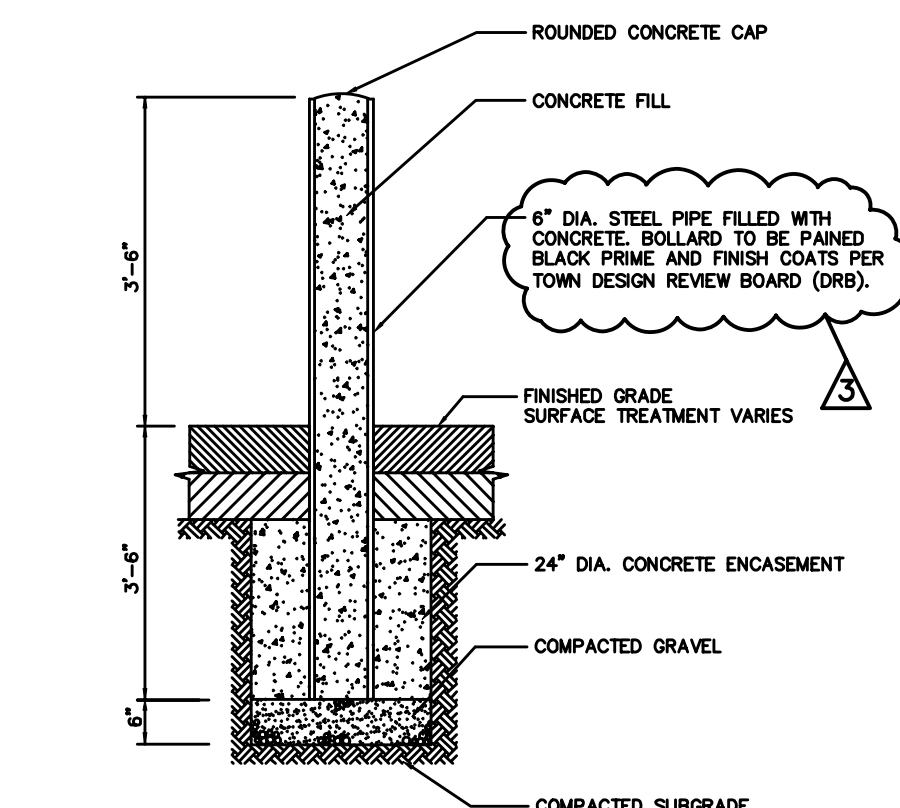
Slope Granite Curb

N.T.S.



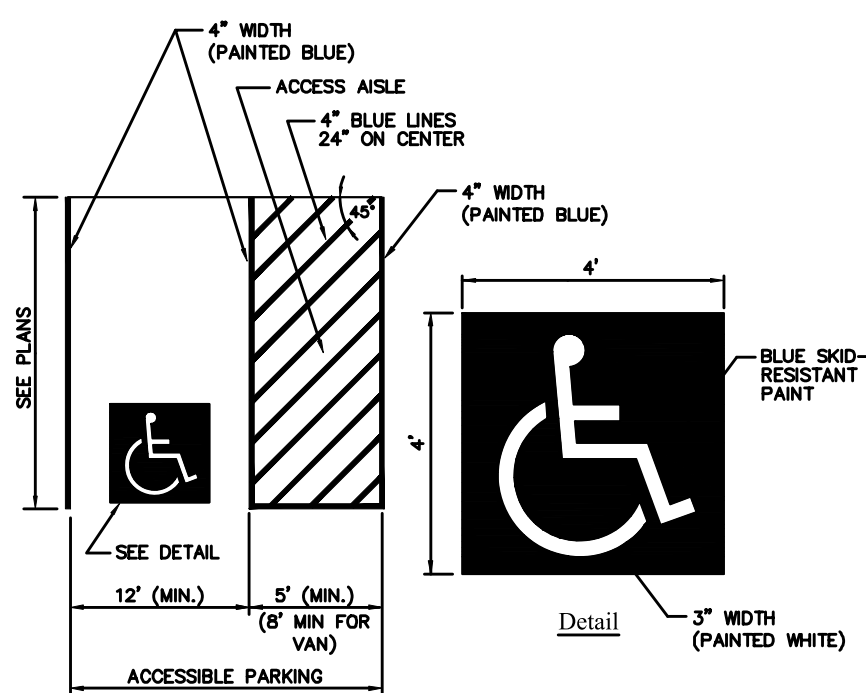
Corporation/Curb Stop with Box

N.T.S.



Bollard

N.T.S.



Accessible Parking Space

N.T.S.

06/01/2023



REVISIONS:		
NO.	COMMENTS:	DATE:
1	SITE PLAN REVIEW COMMENTS	9-26-2022
2	REVISED PER TOWN COMMENTS	2-15-2023
3	REVISED PER TOWN COMMENTS	5-25-2023

DETAILS 2
16 Fencourt Ave
RANDOLPH, MASSACHUSETTS

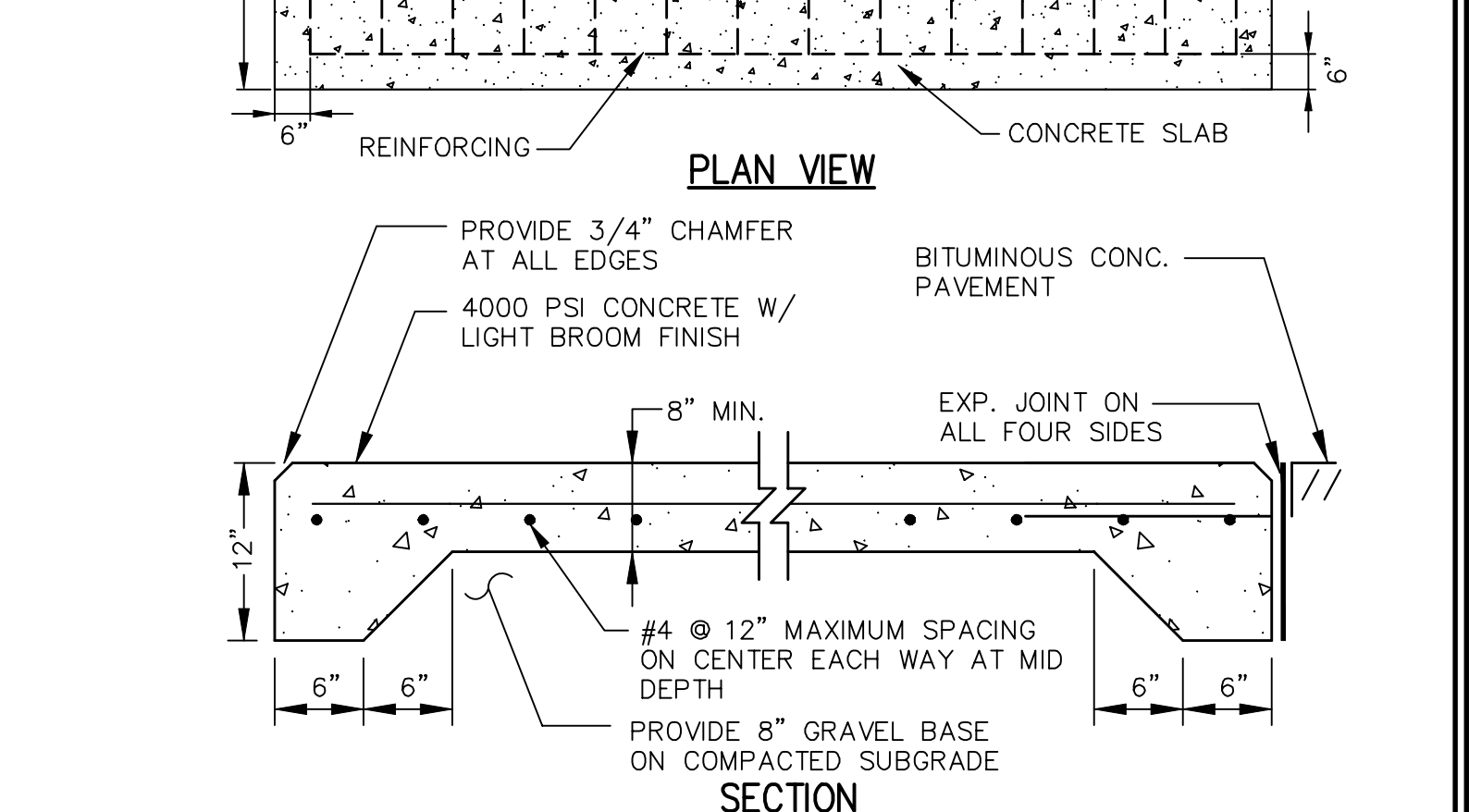
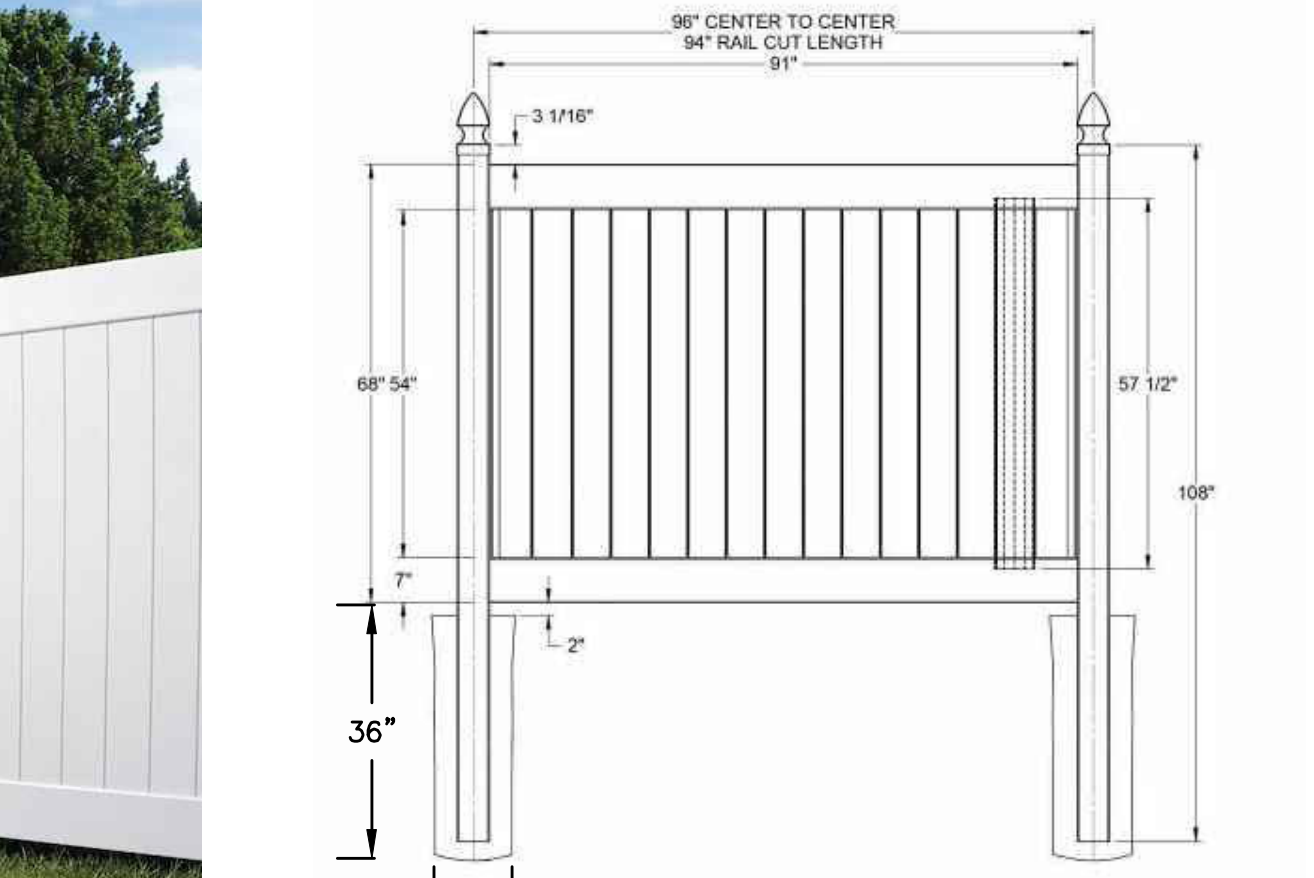
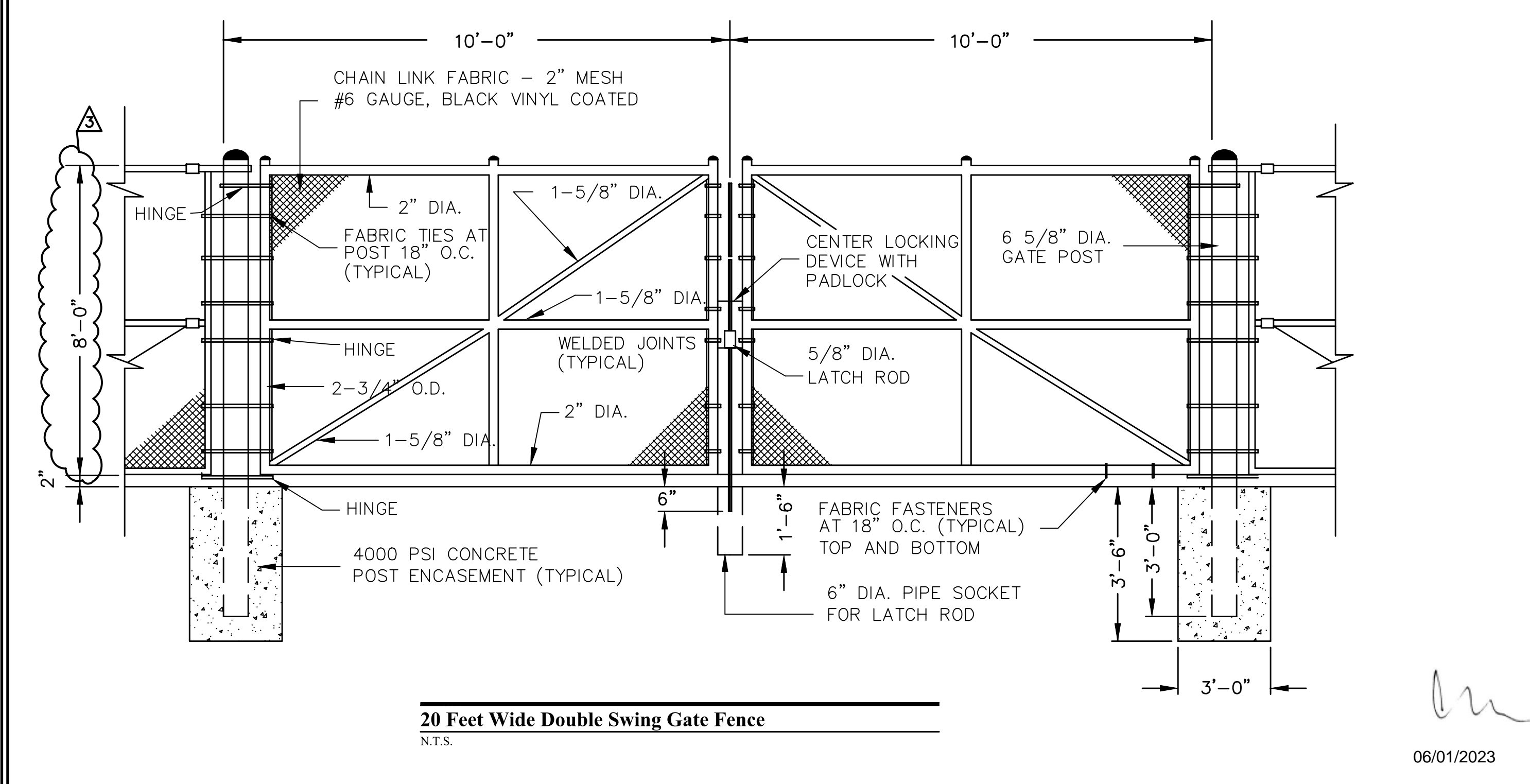
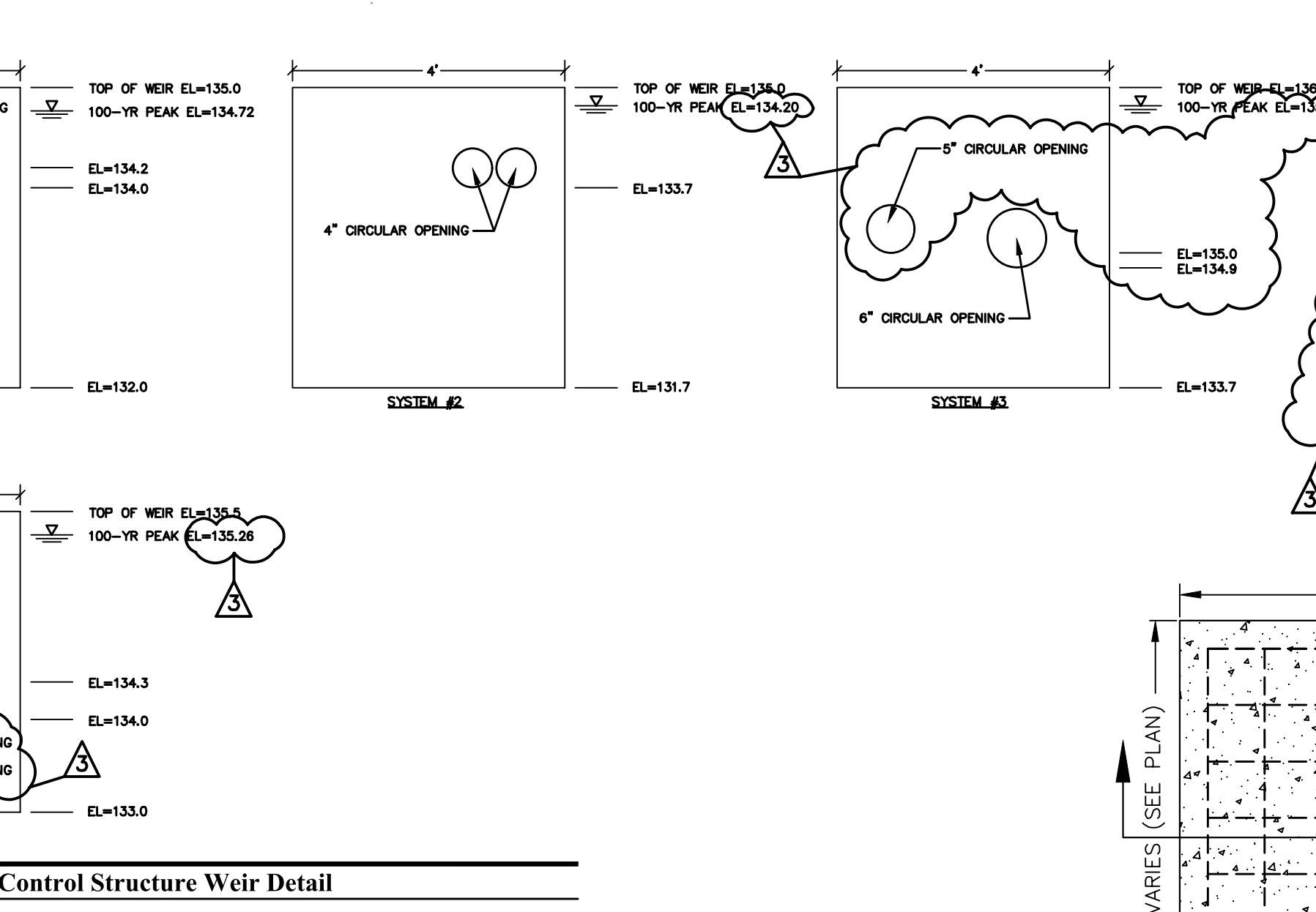
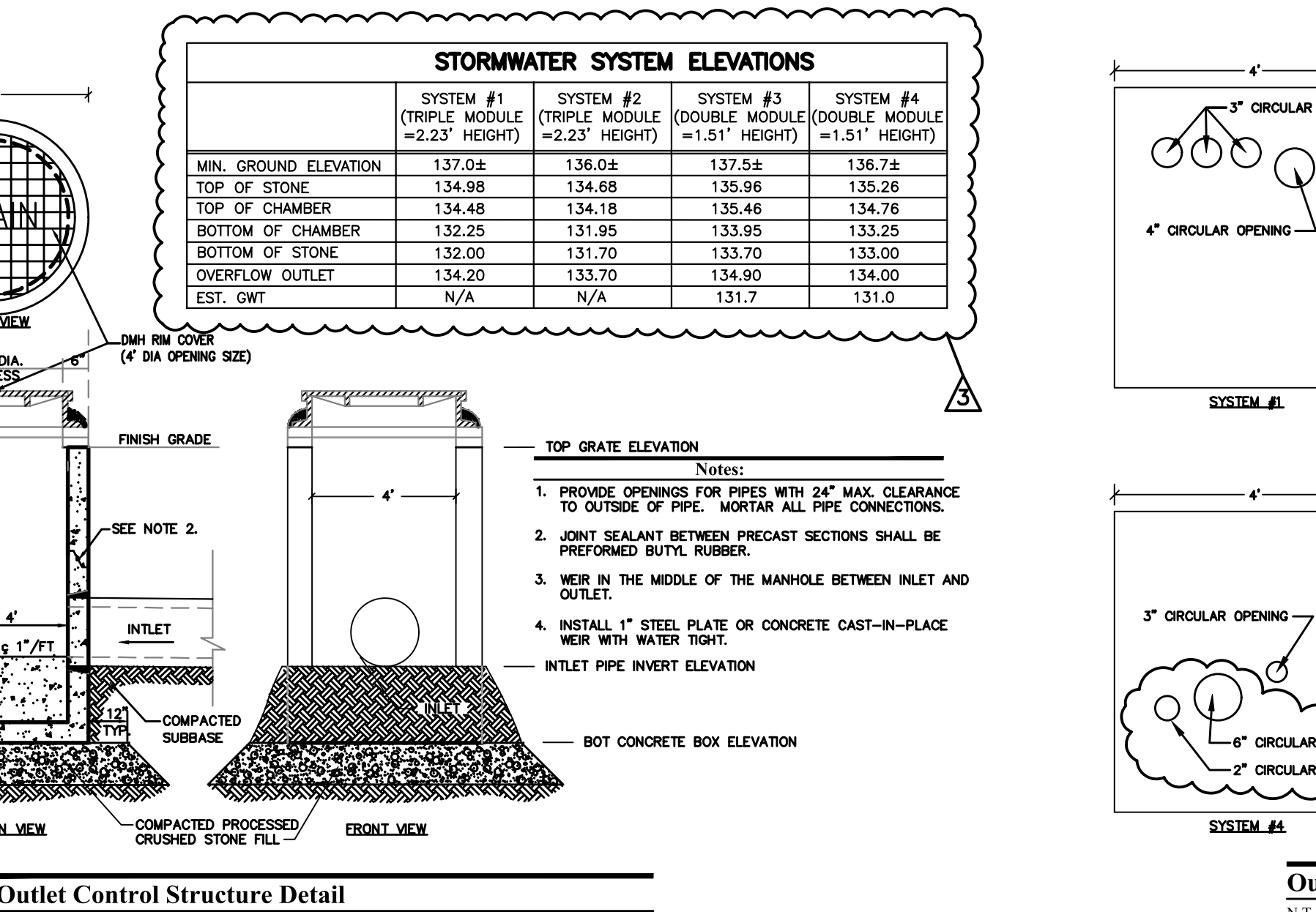
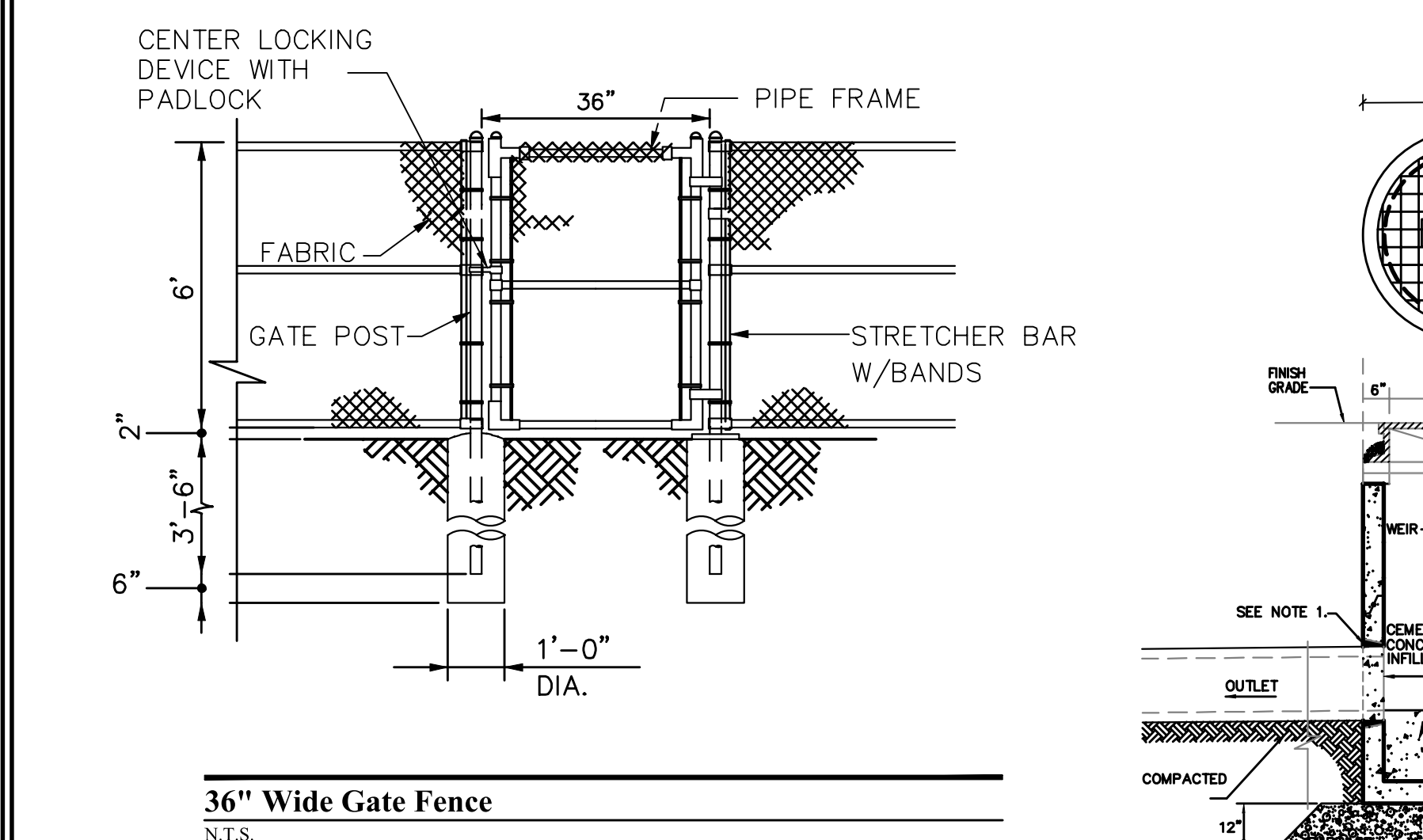
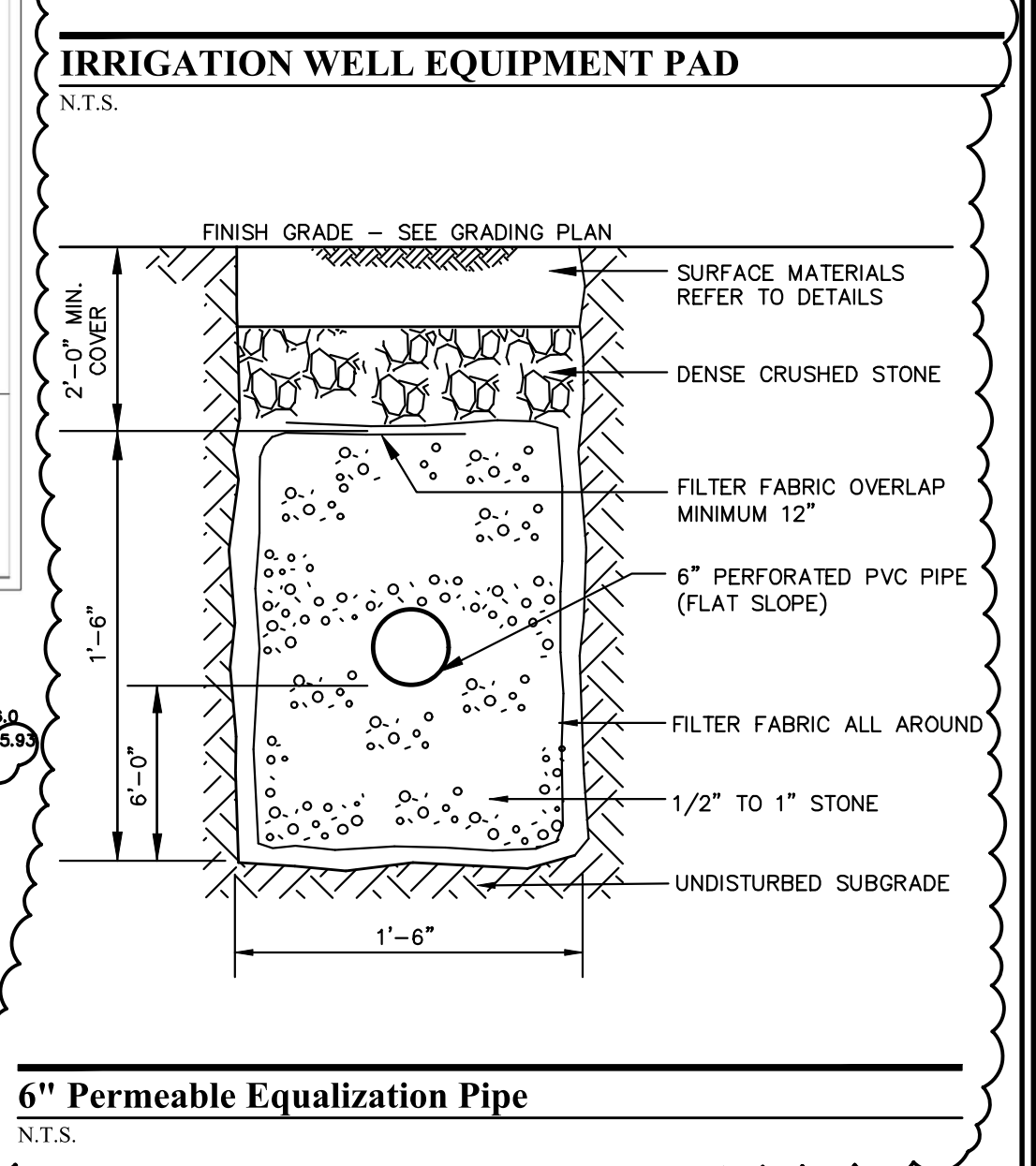
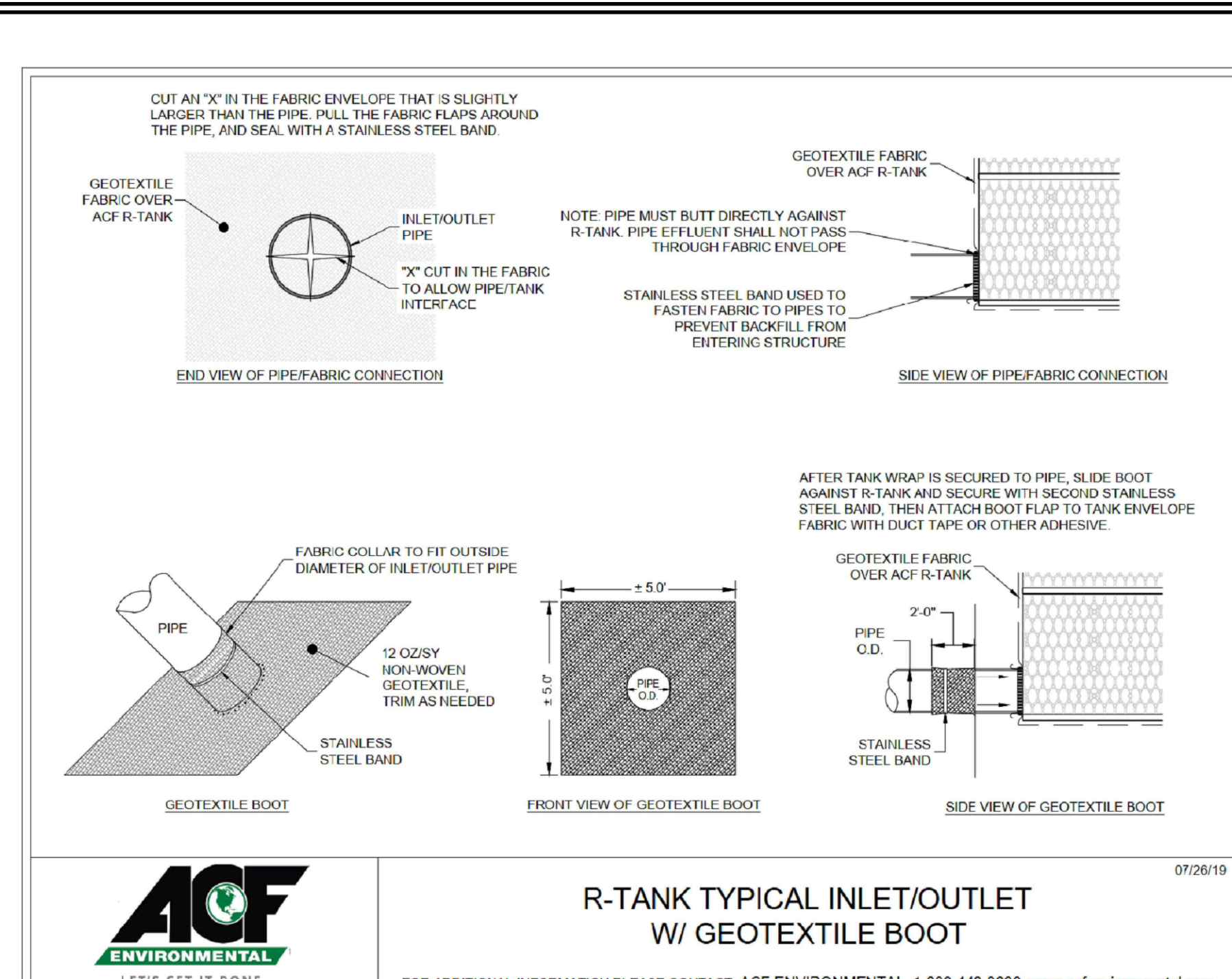
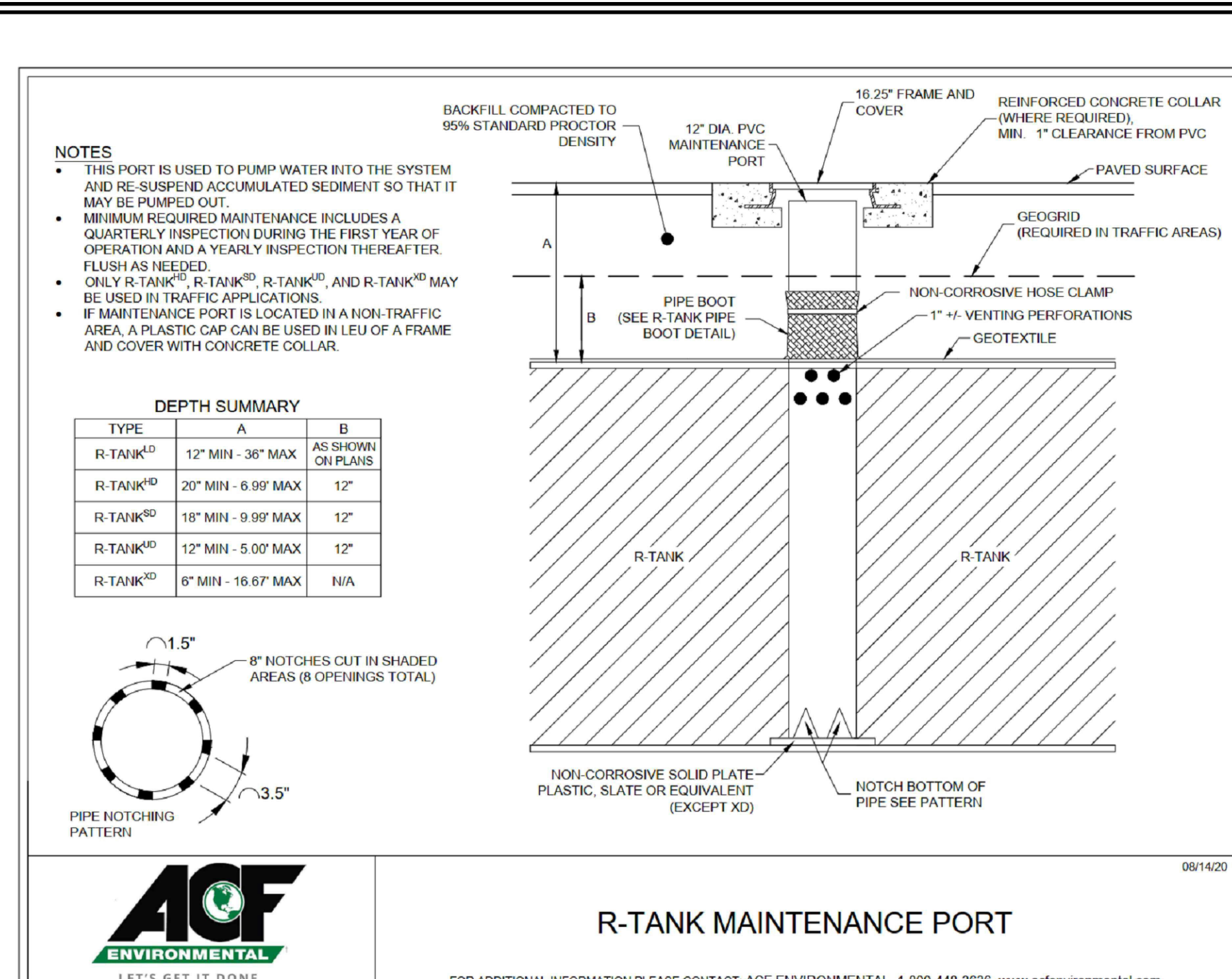
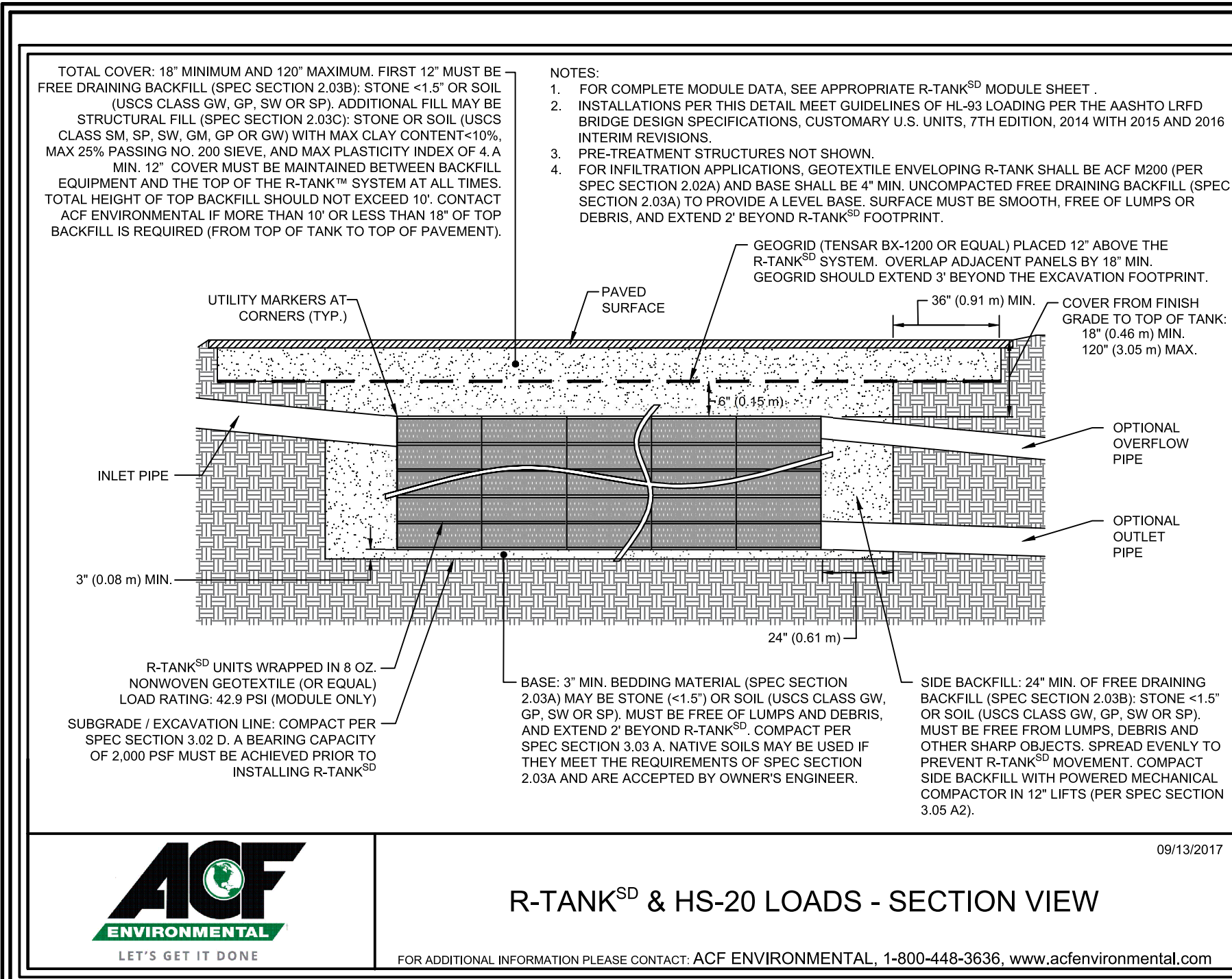
DRAWN BY: JKY
DESIGNED BY: CYM
CHECKED BY: CYM

DATE: 9-06-2022
LATEST REVISION: 5-25-2023

1285 WASHINGTON STREET
WEYMOUTH, MA
(781) 335-1464

PREPARED FOR:
PERMITTING

SHEET
C-7



06/01/2023

CIVIL ENGINEER
NO. 45441
REGISTERED
PROFESSIONAL ENGINEER

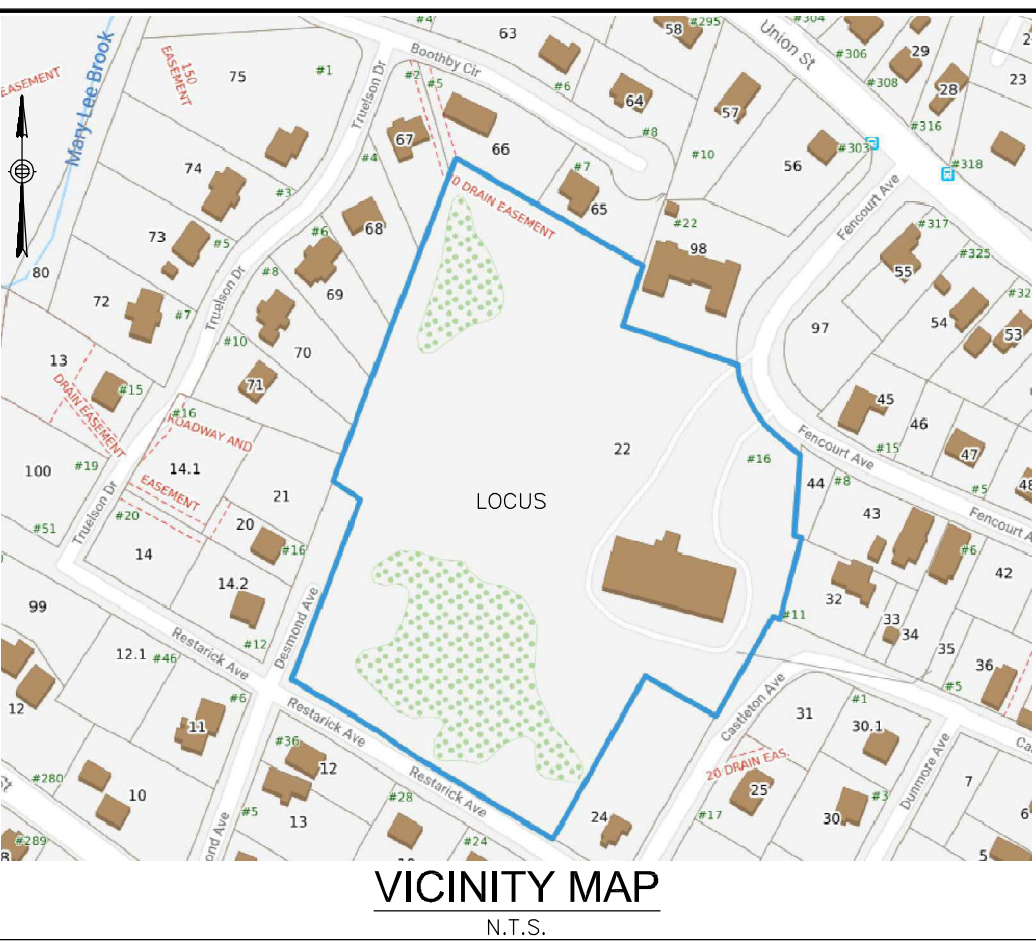
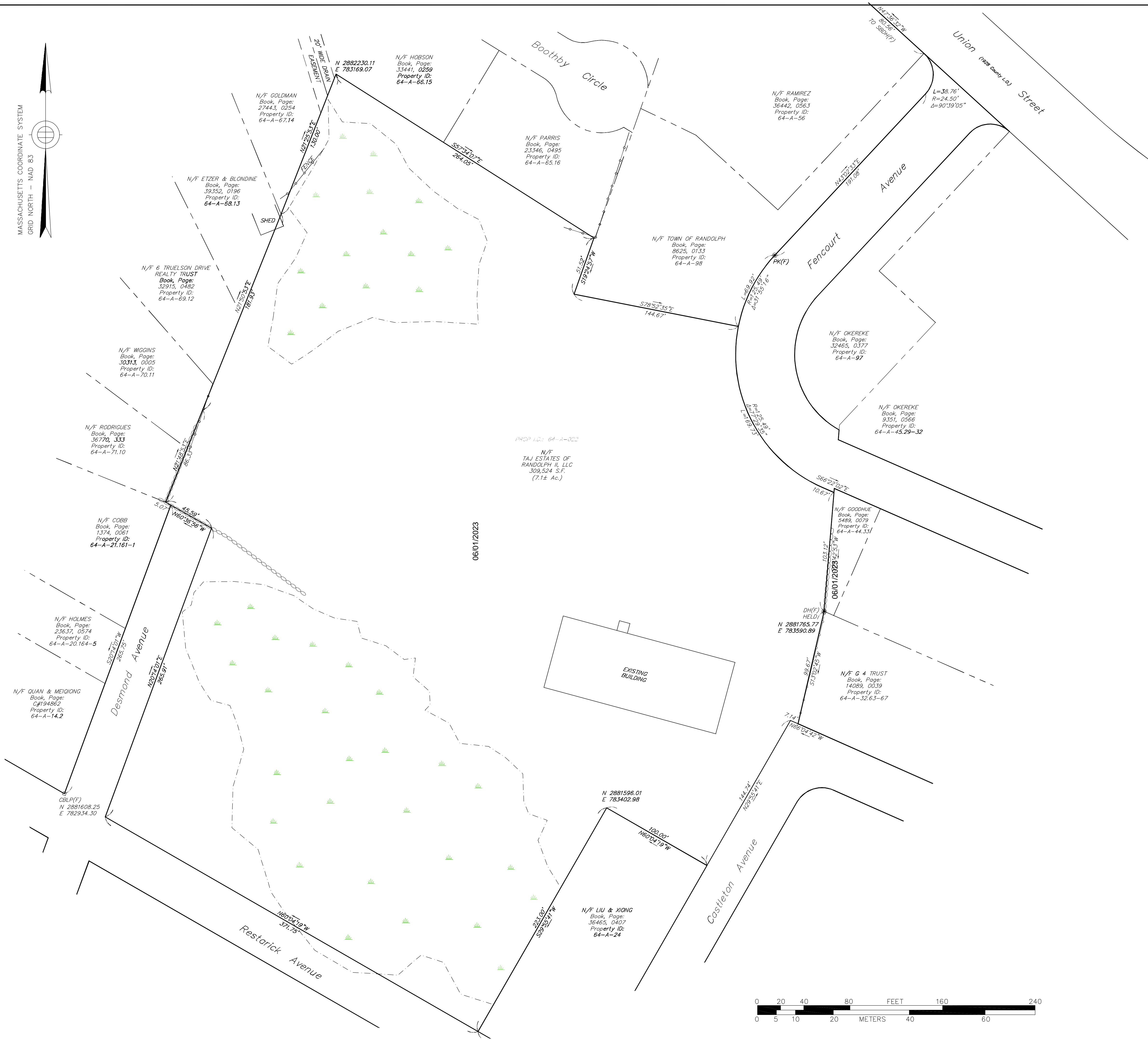
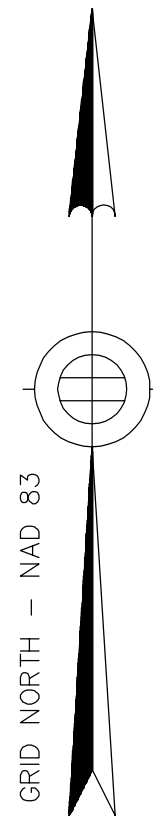
REVISIONS:		
NO.	COMMENTS:	DATE:
1	SITE PLAN REVIEW COMMENTS	9-26-2022
2	REVISED PER TOWN COMMENTS	2-15-2023
3	REVISED PER TOWN COMMENTS	5-25-2023

DETAILS 3 16 Fencourt Ave RANDOLPH, MASSACHUSETTS	
DRAWN BY: JKY DESIGNED BY: CYM CHECKED BY: CYM	DATE: 9-06-2022 LATEST REVISION: 5-25-2023

HARDY + MAN DESIGN GROUP, PC CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTING	
PREPARED FOR: PERMITTING	SHEET C-8

1285 WASHINGTON STREET
WEYMOUTH, MA
(781) 335-1464

MASSACHUSETTS COORDINATE SYSTEM
GRID NORTH - NAD 83



- NOTES:**
1. THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.
 2. THIS SITE IS NOT WITHIN A SPECIAL HAZARD FLOOD ZONE AS DESIGNATED BY F.L.R.M. NUMBER 23021C0219E EFFECTIVE DATE JULY 17, 2012.

ASSESSOR'S REFERENCE: 64-A-022

OWNER: TAJ ESTATES OF RANDOLPH II, LLC

DEED REFERENCE: BOOK 39214, PAGE 555

LOT AREA: 7.1±Ac.

- PLAN REFERENCES:
- Plan # 362-1527
 - Plan # 56-2671
 - Plan # 201-28
 - Plan # 28221-A
 - Plan # 37408-A
 - Plan # 40430-A
 - Plan # 40430-B
 - Plan # D1901-203
 - Plan # D3469-96
 - Plan # D4137-680
 - Plan # D4346-565
 - Plan # D4346-570
 - Plan # D4368-227
 - Plan # D4401-300-B
 - Plan # D4721-80
 - Plan # D5755-405
 - Plan # D6303-269
- UNION STREET COUNTY LAYOUT DATED JUNE 19, 1928 - 3 SHEETS



BORDERLAND ENGINEERING, INC.

61b Pleasant Street
Randolph, MA 02368

office 781-963-9500
fax 888-566-4131

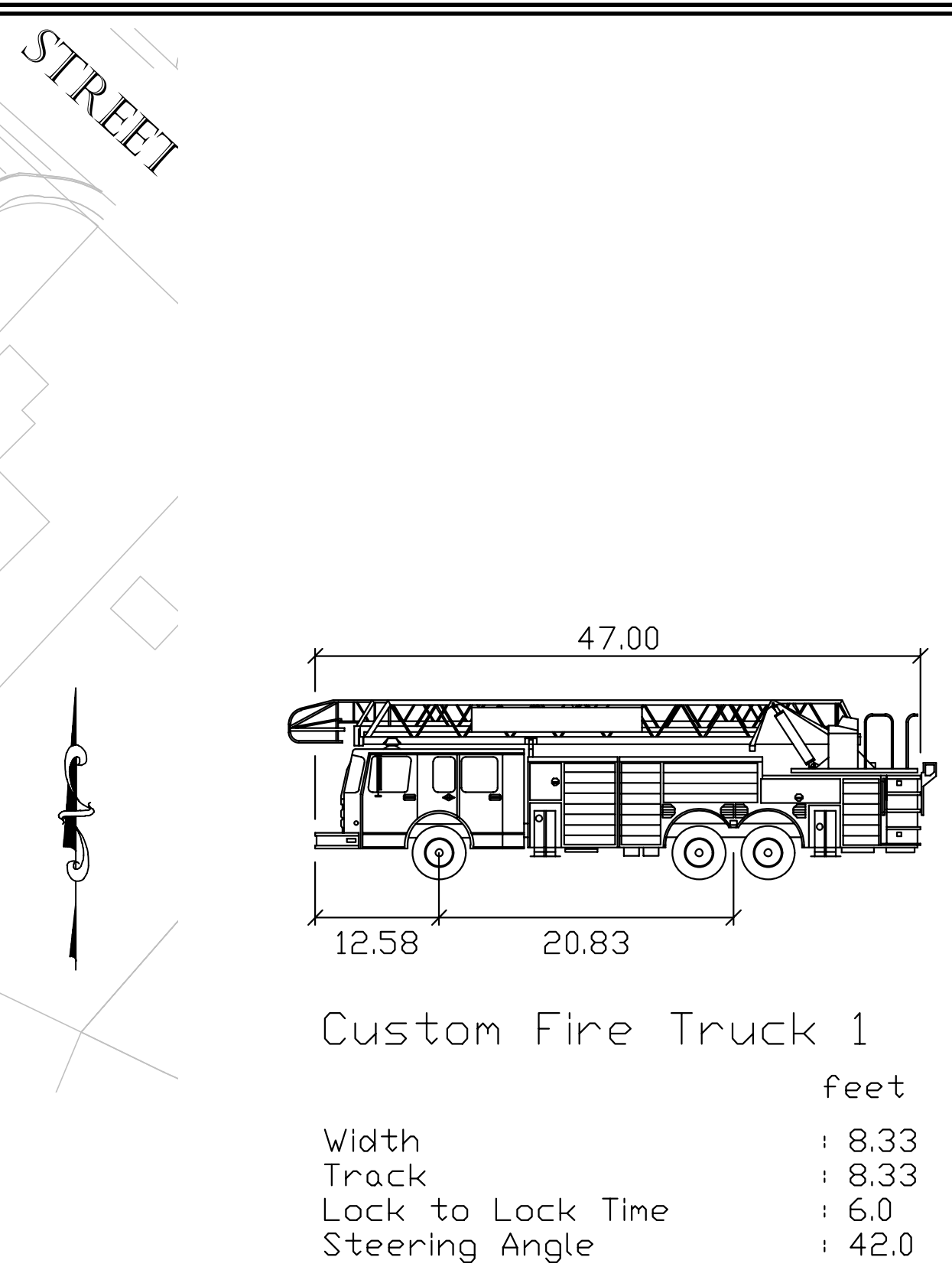
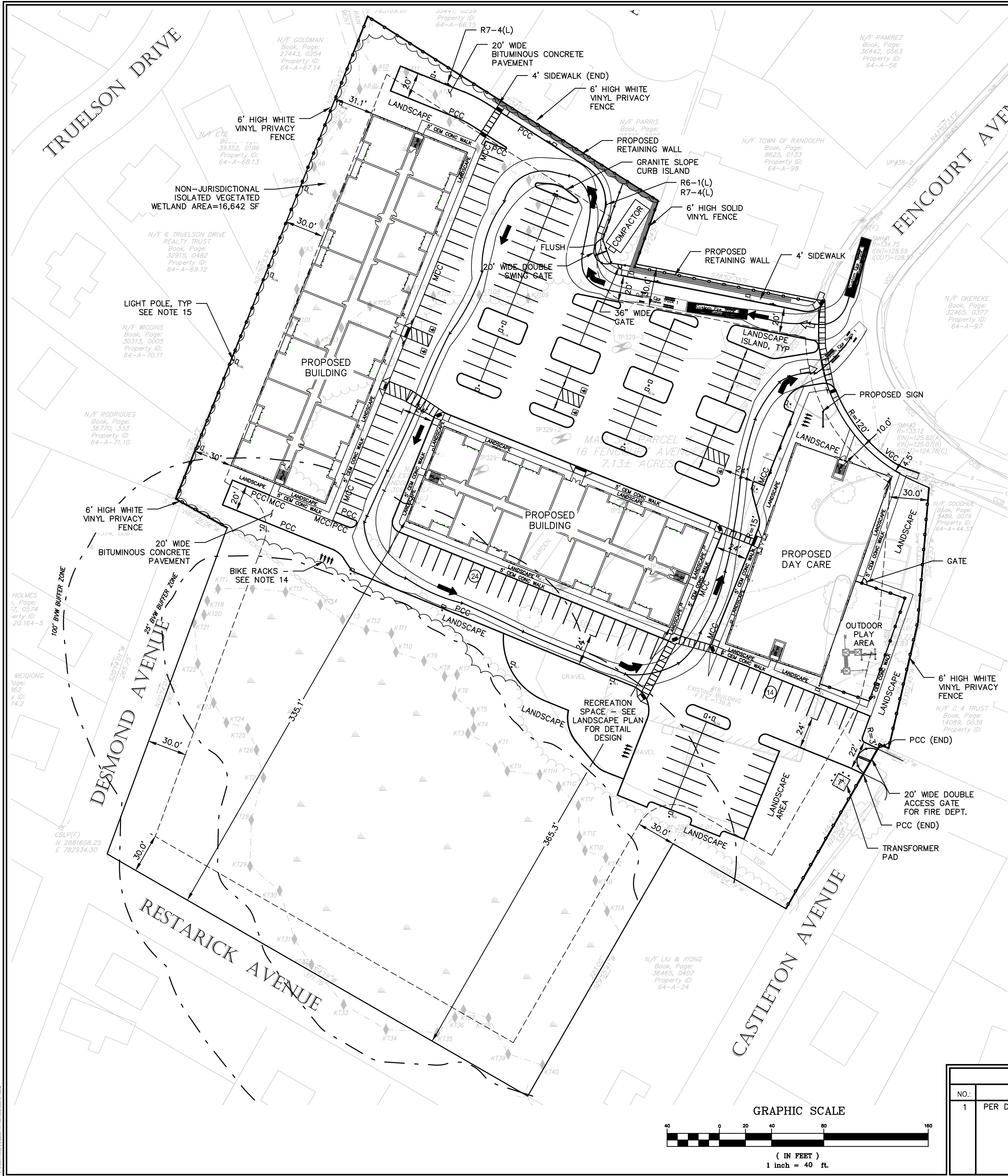
PLAN OF LAND
IN
RANDOLPH, MASSACHUSETTS

16 FENCOURT AVENUE

PREPARED FOR: **HARDY + MAN DESIGN GROUP, PC**
1285 WASHINGTON STREET
WEYMOUTH, MA 02189

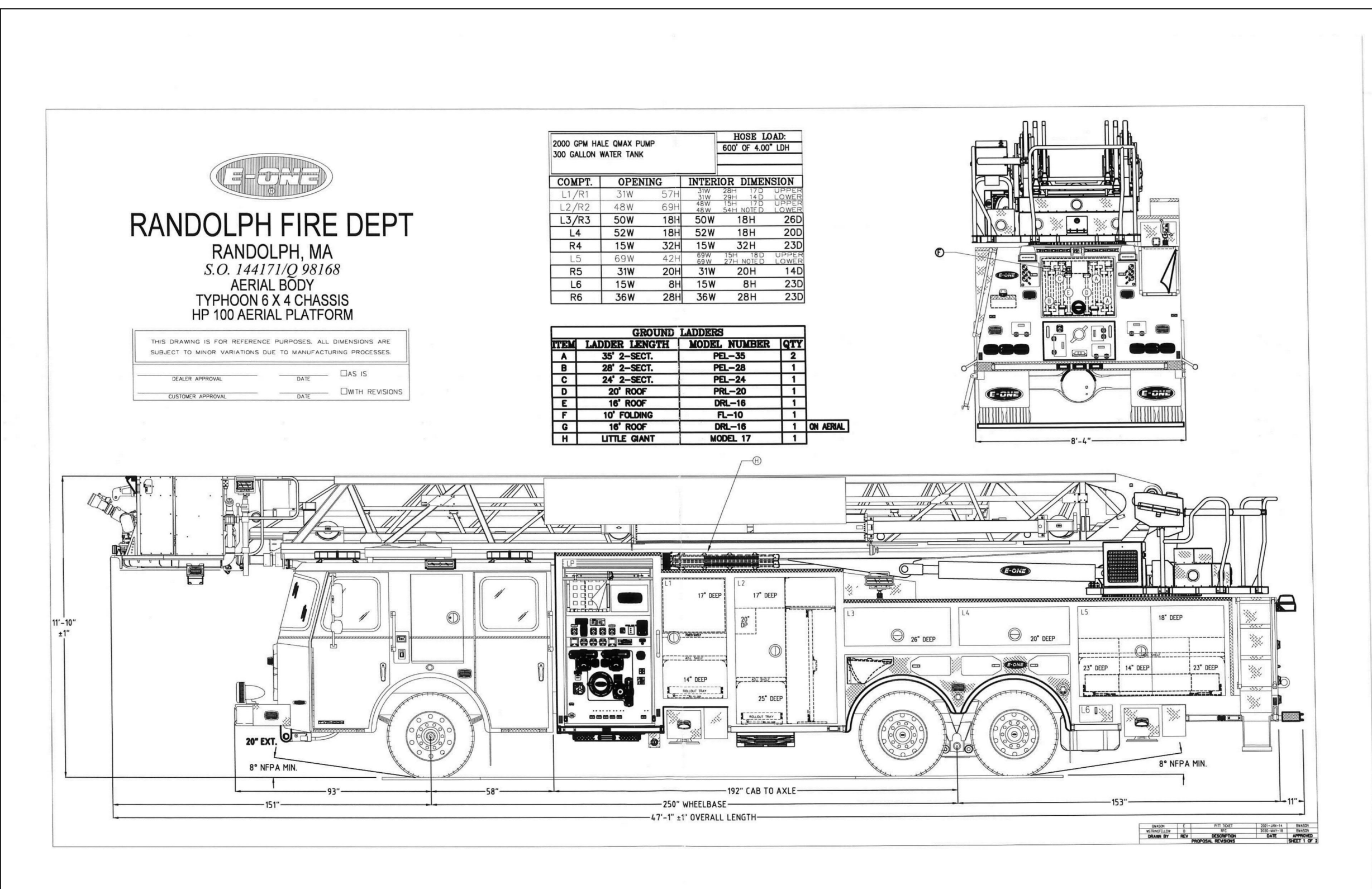
DRAWING SCALE: 1 INCH = 40 FEET


DATE: AUGUST 13, 2022 PROJECT NUMBER: P2225



Custom Fire Truck 1

Width	: 8.33
Track	: 8.33
Lock to Lock Time	: 6.0
Steering Angle	: 42.0



REVISIONS:			FIRE TRUCK STUDY 16 Fencourt Ave RANDOLPH, MASSACHUSETTS		 HARDY + MAN HARDY GROUP, PC <small>CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTING</small>	1285 WASHINGTON STREET WEYMOUTH, MA (781) 335-1464
NO.:	COMMENTS:	DATE:				
1	PER DESIGN REVIEW BOARD COMMENTS	5-15-2022	DRAWN BY: JKY DESIGNED BY: CYM CHECKED BY: CYM	DATE: 9-06-2022 LATEST REVISION: 2-15-2023 SCALE: 1" = 40'	PREPARED FOR: PERMITTING	SHEET FIRE