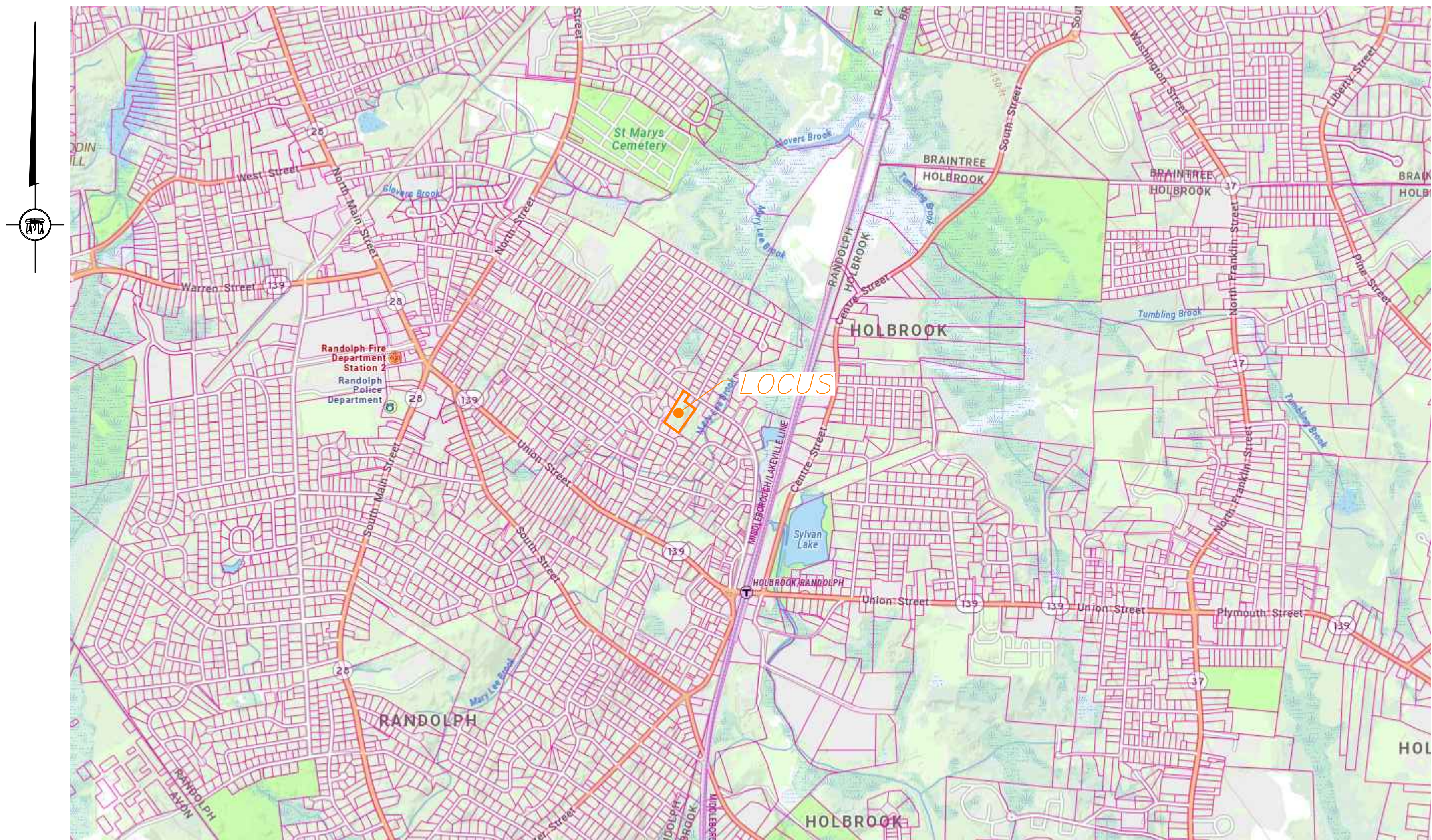


MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MASSACHUSETTS
FEBRUARY 6, 2023



LOCUS MAP
IMAGE FROM MASSGIS 2022
1" ≈ 800'

- SHEETS**
- 1 COVER SHEET
 - 2 EXISTING CONDITIONS
 - 3 CONSTRUCTION MANAGEMENT
 - 4 SUBDIVISION PLAN - SHEET 1
 - 5 SUBDIVISION PLAN - SHEET 2
 - 6 PROPOSED SITE LAYOUT
 - 7 PROPOSED SITE GRADING
 - 8 PROPOSED SITE UTILITIES
 - 9 PROPOSED ROAD PROFILE
 - 10 CONSTRUCTION DETAILS
 - 11 CONSTRUCTION DETAILS

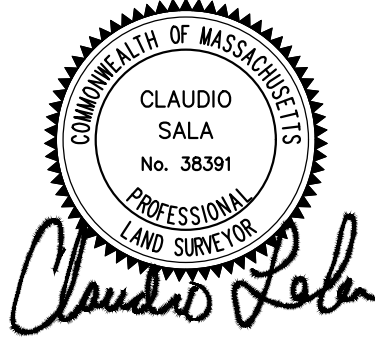
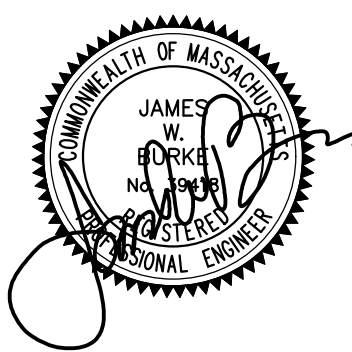
DeCelle-Burke-Sala
& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
www.decelle-burke-sala.com

APPLICANT
217 MILL ST, LLC
228 PARK AVENUE S, PMB35567
NEW YORK, NY 89135

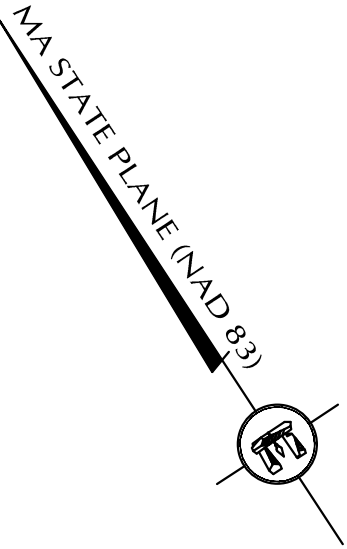
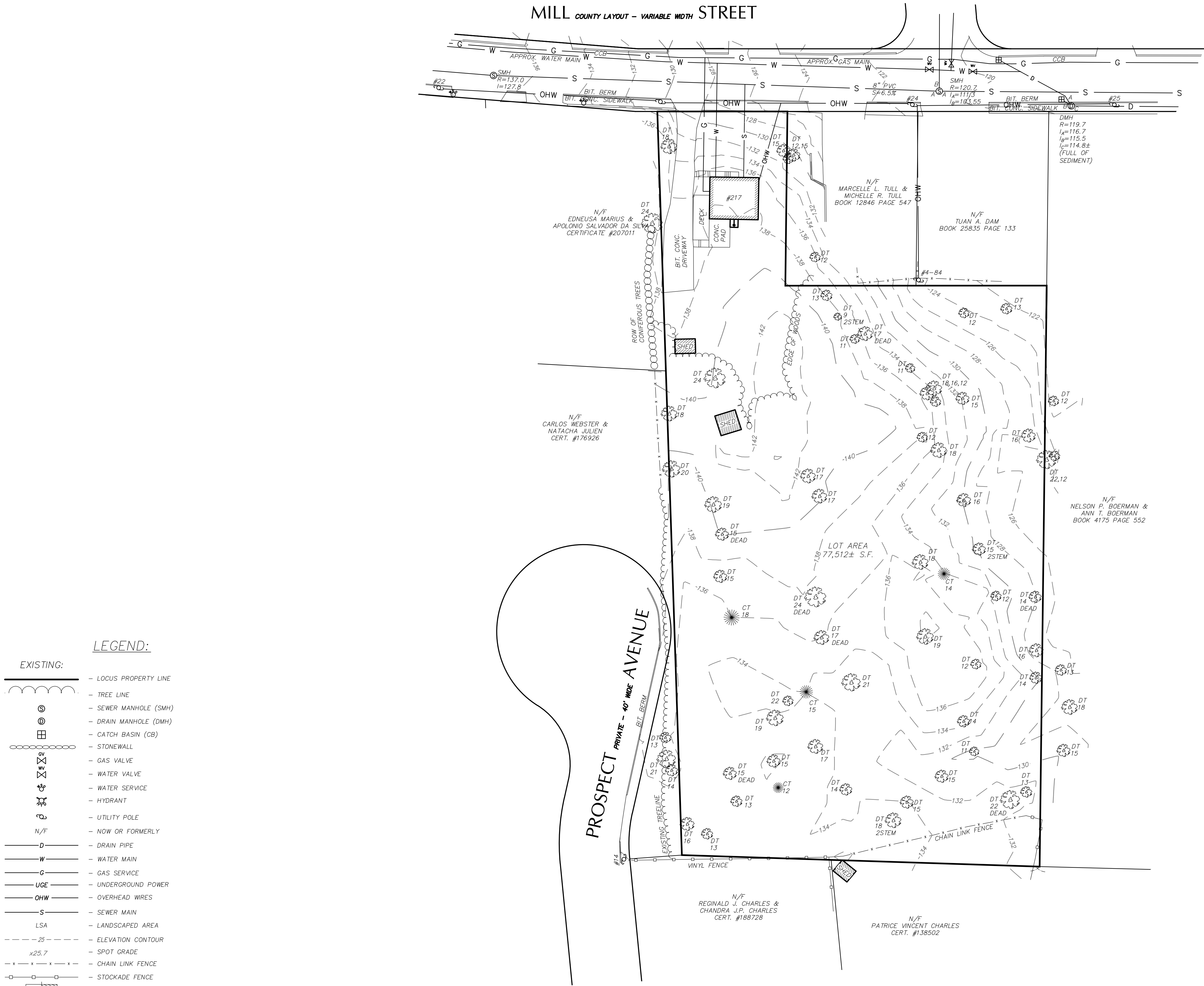
OWNER
ARSENAULT FAMILY TRUST
217 MILL STREET
RANDOLPH, MA 02368

ARCHITECT
DONAHUE ARCHITECTS, INC.
21 McGRATH HIGHWAY
QUINCY, MA 02169

CIVIL/SURVEY
DECILLE-BURKE-SALA & ASSOCIATES
1266 FURNACE BROOK PKWY., SUITE 401
QUINCY, MA 02169



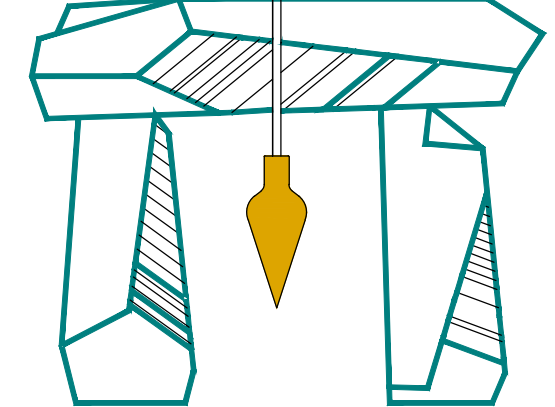
Project No. 2022.030		
REVISIONS		
NO.	DATE	COMMENT



LEGEND:

- EXISTING:
- LOCUS PROPERTY LINE
 - TREE LINE
 - SEWER MANHOLE (SMH)
 - DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
 - STONEWALL
 - GAS VALVE
 - WATER VALVE
 - WATER SERVICE
 - HYDRANT
 - UTILITY POLE
 - NOW OR FORMERLY
 - DRAIN PIPE
 - WATER MAIN
 - GAS SERVICE
 - UNDERGROUND POWER
 - OVERHEAD WIRES
 - SEWER MAIN
 - LANDSCAPED AREA
 - ELEVATION CONTOUR
 - SPOT GRADE
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - TEST PIT
 - HAND HOLES FOR UTILITIES
 - LIGHT POLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE

DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



CLAUDIO SALA, PLS DATE

- GENERAL NOTES:
- LOCUS:
 - ASSESSORS ID: 51-H-8.01
RECORD OWNER: ARSENAULT FAMILY TRUST
DEED REFERENCE: BOOK 14059 PAGE 498
PLAN REFERENCE: PLAN No. 204 of 1997
 - THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING JUNE 2022. ELEVATIONS SHOWN REFER TO NAVD-88.
 - EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
 - DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
 - LOCUS IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FIRM 25021C0217E, EFFECTIVE 07/17/2012.
 - PARCEL IS ZONED RSFHD.

PROJECT TITLE & LOCATION:

MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MA

PLAN TITLE:

EXISTING CONDITIONS

PREPARED FOR:

217 MILL ST, LLC
228 PARK AVENUE S, PMB 35567
NEW YORK, NY 89135

DATE: FEBRUARY 6, 2023

REVISED:

REVISED:

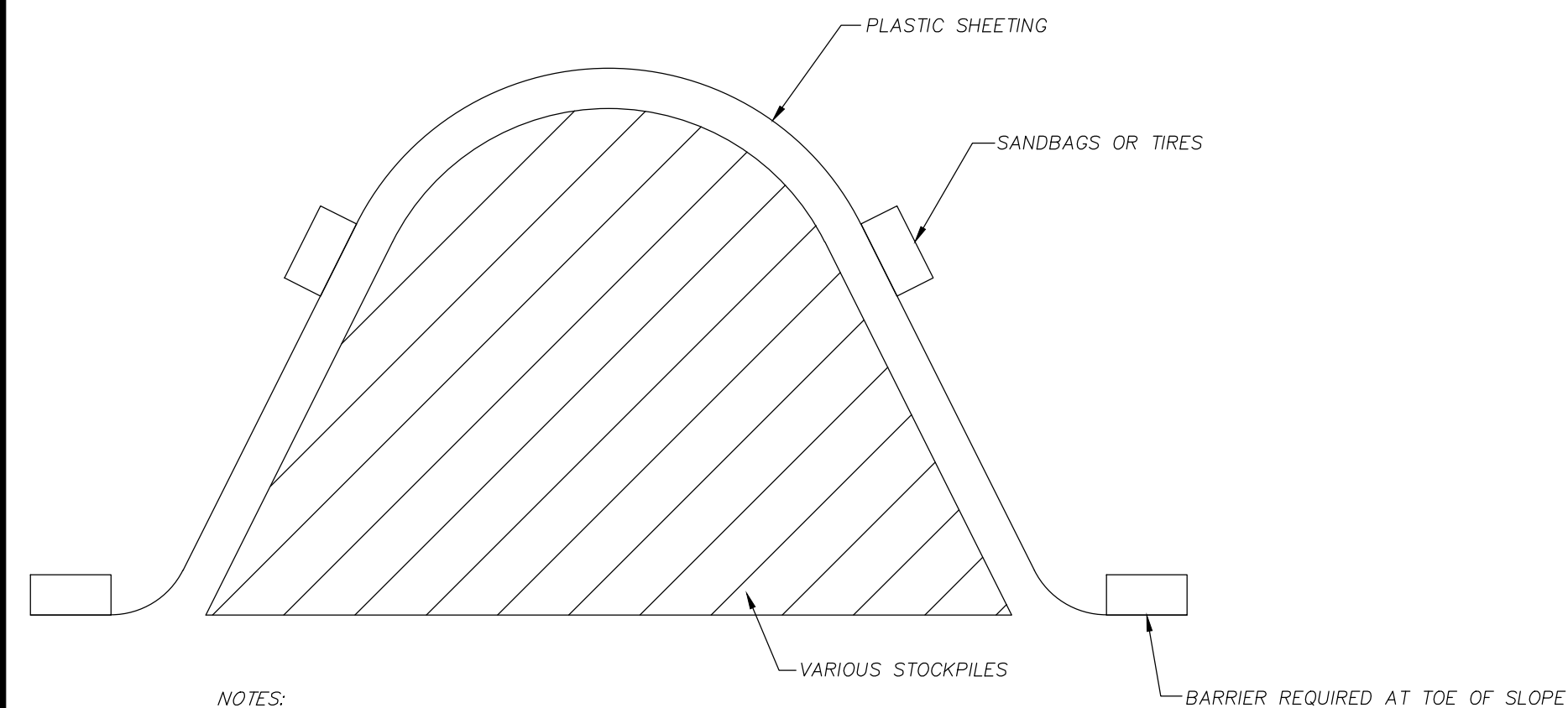
REVISED:

REVISED:

JOB NUMBER: 2022.030 SHEET 2 OF 11

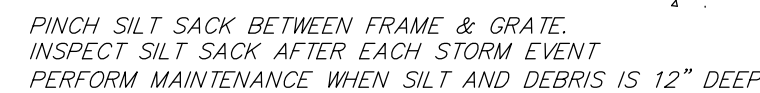
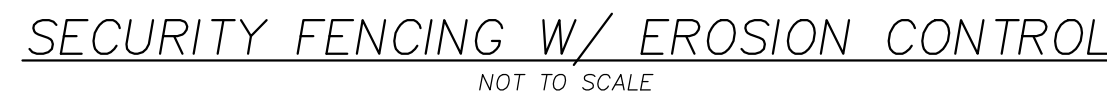
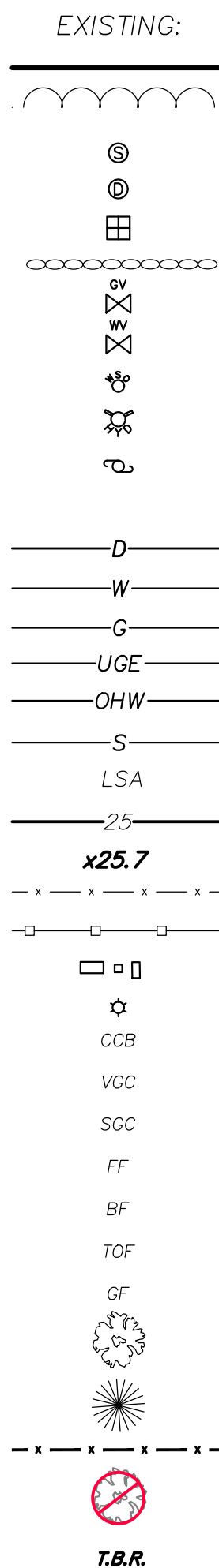
30 15 0 30 60

SCALE: 1" = 30'

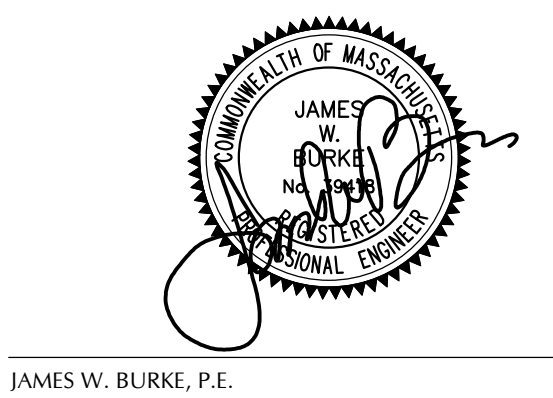


1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. BARRIER REQUIRED AT TOE OF SLOPE
3. COVERING MAINTAINED TIGHTLY IN PLACE USING
SANDBAGS OR TIRES ON ROPE WITH A MAXIMUM 10
SPACING IN ALL DIRECTIONS

NOT TO SCALE



NOT TO SCALE



ASSESSORS ID: 511-H-8.01
 ASSESSOR: ARSENAL FAMILY TRUST
 DEED REFERENCE: BOOK 14059 PAGE 499
 PLAN REFERENCE: PLAN No. 204

2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING JUNE, 2022. ELEVATIONS SHOWN REFER TO NAVD-83.

3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION WITH ANY DIG-AND-PIPE OR ANY OTHER APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.

4. DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATE CHAPTER 82C, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND OBSTRUCTIONS ARE SHOWN. SHOWN LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

4. LOCUS IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FORM 250210217E, EFFECTIVE 07/17/2012.

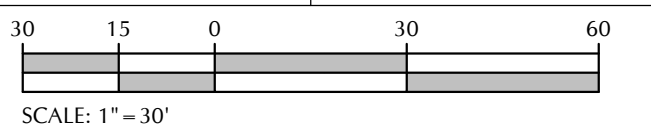
5. PARCEL IS ZONED RSFHD.

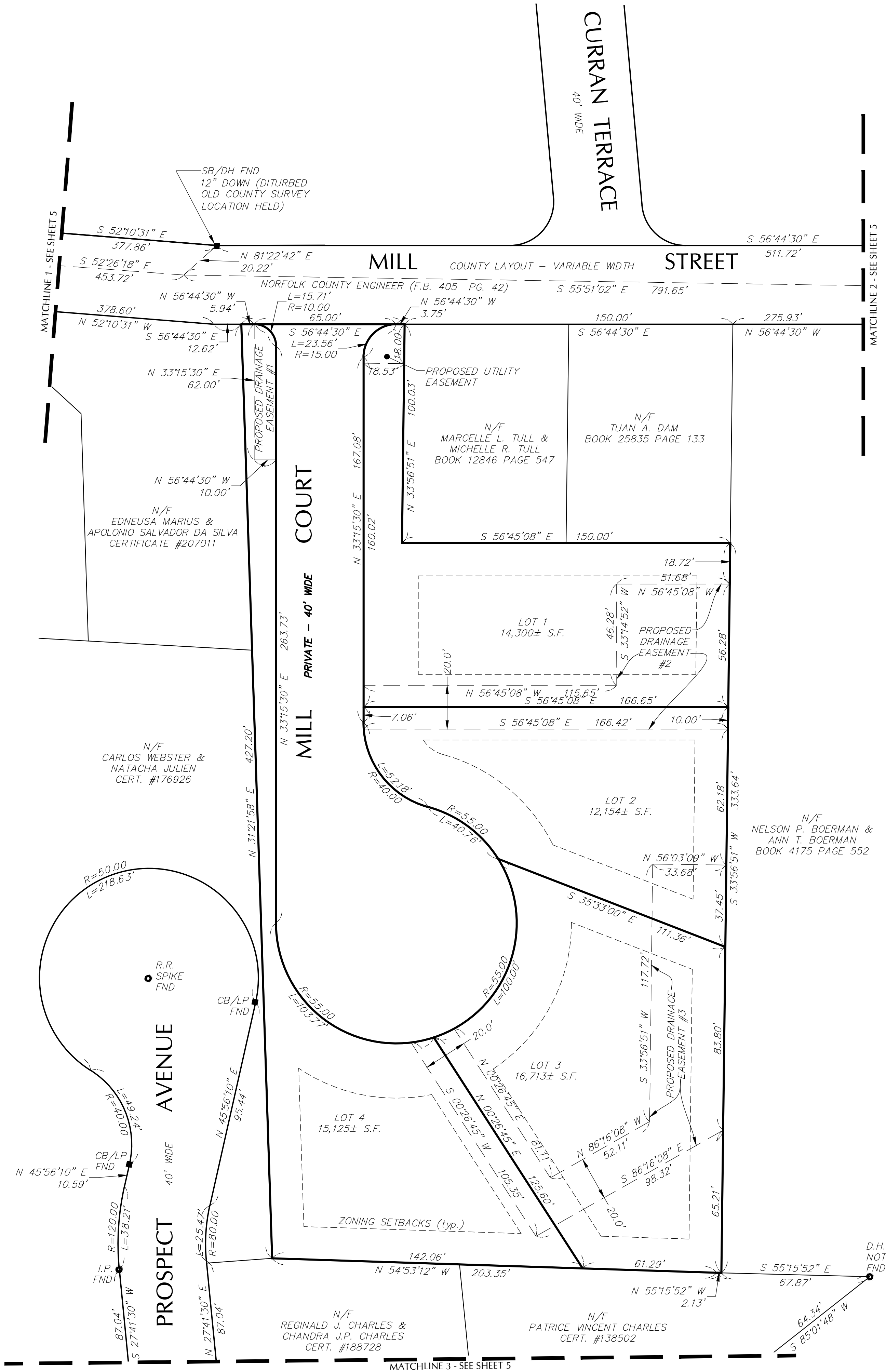
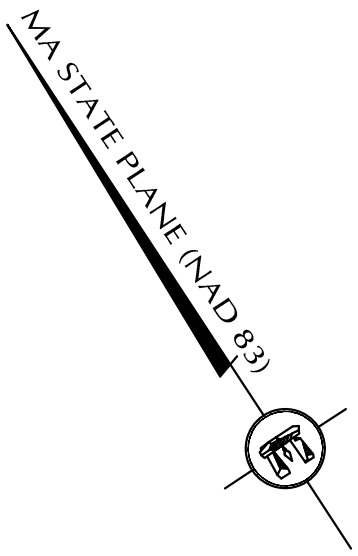
MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MA

CONSTRUCTION MANAGEMENT

217 MILL ST, LLC
228 PARK AVENUE S, PMB 35567
NEW YORK, NY 89135

SCALE: 1" = 30'





EXISTING:

- N/F
 - SB/DH FND
 - CB/LP FND
 - CB/DH FND
 - DH/FND
 - PIPE/FND
- LOCUS PROPERTY LINE
 - NOW OR FORMERLY
 - STONE BOUND W/ DRILL HOLE FOUND
 - CONCRETE BOUND W/ LEAD PLUG FOUND
 - CONCRETE BOUND W/ DRILL HOLE FOUND
 - DRILL HOLE FOUND
 - PIPE FOUND

LEGEND:

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN THE COMMONWEALTH OF MASSACHUSETTS

CLAUDIO SALA, PLS DATE

APPROVED BY
PLANNING BOARD
TOWN OF RANDOLPH

Date:

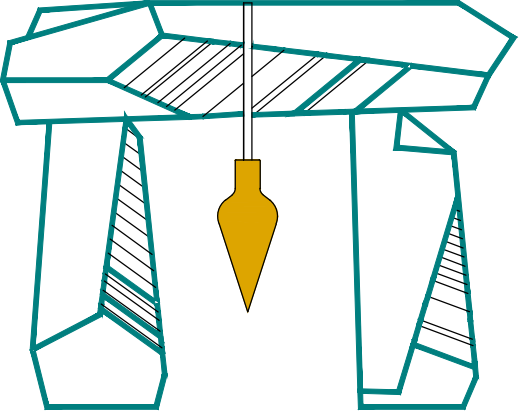
PLANNING BOARD ENDORSEMENT UNDER THE SUBDIVISION CONTROL LAW SHOULD NOT BE CONSIDERED AS EITHER AN ENDORSEMENT OR APPROVAL OF ZONING REQUIREMENTS.

ZONING SCHEDULE	
(TOWN OF RANDOLPH ZONING CODE DATED AUGUST 9, 2021)	
LOT ZONING CLASSIFICATION : RSHDD a/k/a RSFHD	
ZONING REQUIREMENT	REQUIRED
MIN. LOT AREA	12,000 S.F.
MIN. LOT FRONTAGE	100 FEET
MIN. LOT WIDTH	75 FEET
MIN. LOT DEPTH	100 FEET
MIN. FRONT SETBACK	25 FEET
MIN. SIDE SETBACK	15 FEET
MIN. REAR SETBACK	15 FEET
MAX. BUILDING HEIGHT	2.5 STORIES/40 FEET

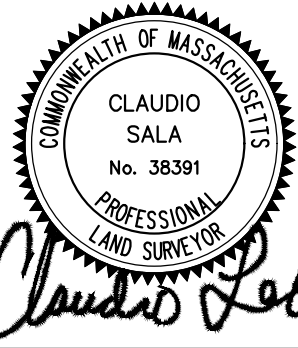
OWNED BY:

ARSENAULT FAMILY TRUST
217 MILL STREET, RANDOLPH, MA 02368
DEED REFERENCE: BOOK 14059 PAGE 498

DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



CLAUDIO SALA, PLS DATE

GENERAL NOTES:

- LOCUS:
- ASSESSORS ID: 51-H-8.01
RECORD OWNER: ARSENAULT FAMILY TRUST
DEED REFERENCE: BOOK 14059 PAGE 498
PLAN REFERENCE: PLAN No. 204 of 1997
- THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING JUNE 2022. ELEVATIONS SHOWN REFER TO NAVD-88.
- LOCUS IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FIRM 25021C0217E, EFFECTIVE 07/17/2012.

PLAN REFERENCES:

NORFOLK COUNTY REGISTRY OF DEEDS

PL. BK. 96 PLAN No. 4658
PL. BK. 319 PLAN No. 207 of 1985
PL. BK. 383 PLAN No. 682 of 1989
PL. BK. 406 PLAN No. 638 OF 1992
PL. BK. 446 PLAN No. 204 of 1997
PL. BK. 449 PLAN No. 515 of 1997
PL. BK. 491 PLAN No. 693 of 2001
PLAN No. 770 of 1957
PLAN No. 267 of 1972
PLAN No. 529 of 1976

LAND COURT

LC PLAN 24454
LC PLAN 29830
LC PLAN 30039
LC PLAN 35883

NORFOLK COUNTY ENGINEERING DEPARTMENT

FIELD BOOK 15 PAGES 18-25
FIELD BOOK 405 PAGES 13-24
FIELD BOOK 405 PAGES 35-55
PLAN BOOK 8 PAGE 529

PROJECT TITLE & LOCATION:

MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MA

PLAN TITLE:

DEFINITIVE SUBDIVISION PLAN
SHEET 1

PREPARED FOR:

217 MILL ST, LLC
228 PARK AVENUE S, PMB 35567
NEW YORK, NY 89135

DATE: FEBRUARY 6, 2023

REVISED:

REVISED:

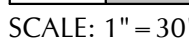
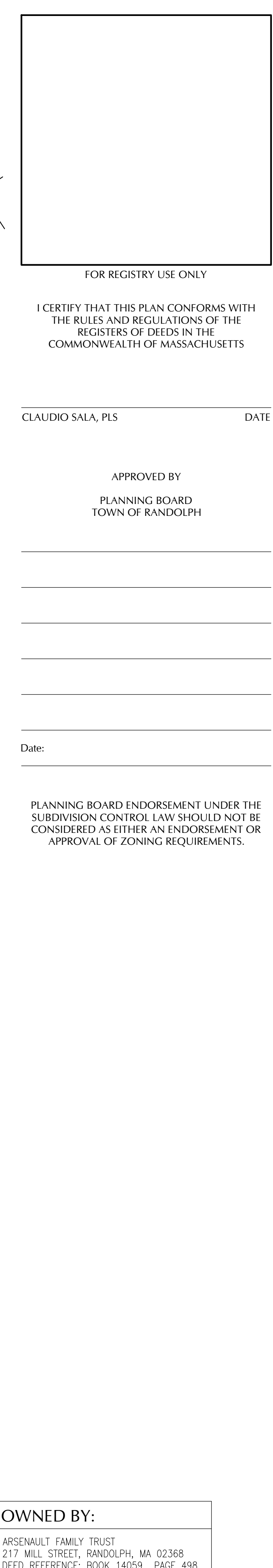
REVISED:

REVISED:

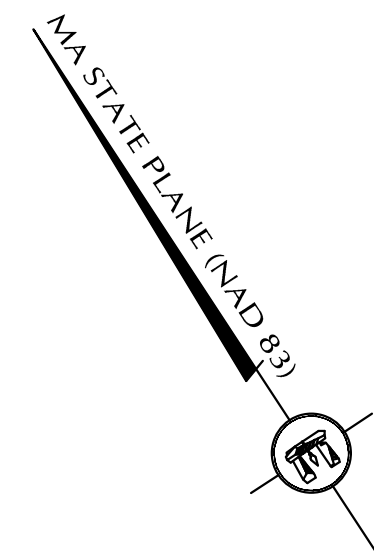
JOB NUMBER: 2022.030 SHEET 4 OF 11

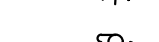
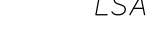
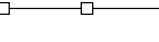
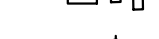
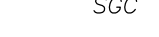
30 15 0 30 60

SCALE: 1" = 30'



ARSENAULT FAMILY TRUST
217 MILL STREET, RANDOLPH, MA 02368
DEED REFERENCE: BOOK 14059 PAGE 498



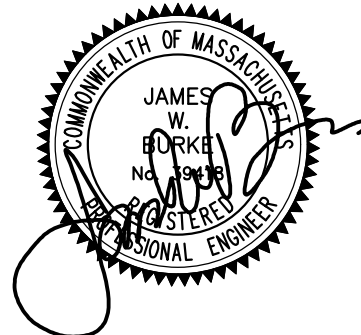
EXISTING:		EXISTING:
	— LOCUS PROPERTY LINE	
	— TREE LINE	
	— SEWER MANHOLE (SMH)	
	— DRAIN MANHOLE (DMH)	
	— CATCH BASIN (CB)	
	— STONEWALL	
	— GAS VALVE	
	— WATER VALVE	
	— WATER SERVICE	
	— HYDRANT	
	— UTILITY POLE	
N/F	— NOW OR FORMERLY	
	— DRAIN PIPE	
	— WATER MAIN	
	— GAS SERVICE	
	— UNDERGROUND POWER	
	— OVERHEAD WIRES	
	— SEWER MAIN	
LSA	— LANDSCAPED AREA	LSA
	— ELEVATION CONTOUR	
± 25.7	— SPOT GRADE	± 25.7
	— CHAIN LINK FENCE	
	— STOCKADE FENCE	
	— HAND HOLES FOR UTILITIES	
	— LIGHT POLE	
CCB	— CAPE COD BERM	CCB
VGC	— VERTICAL GRANITE CURB	VGC
SGC	— SLOPED GRANITE CURB	SGC
FF	— FIRST FLOOR	FF
BF	— BASEMENT FLOOR	BF
TOF	— TOP OF FOUNDATION	TOF
GF	— GARAGE FLOOR	GF
	— DECIDUOUS TREE	
	— CONIFEROUS TREE	

ZONING SCHEDULE	
(TOWN OF RANDOLPH: ZONING CODE DATED AUGUST 9, 2021)	
LOT ZONING CLASSIFICATION : RSHDD a/k/a RSFHD	
ZONING REQUIREMENT	REQUIRED
MIN. LOT AREA	– 12,000 S.F.
MIN. LOT FRONTAGE	– 100 FEET
MIN. LOT WIDTH	– 75 FEET
MIN. LOT DEPTH	– 100 FEET
MIN. FRONT SETBACK	– 25 FEET
MIN. SIDE SETBACK	– 15 FEET
MIN. REAR SETBACK	– 15 FEET
MAX. BUILDING HEIGHT	– 2.5 STORIES/40 FEET

<u>LIST OF WAIVERS</u> (TOWN OF RANDOLPH SUBDIVISION REGULATIONS EFFECTIVE JANUARY 28, 2020)		
SUBDIVISION REQUIREMENT	REQUIRED	PROPOSED
MIN. INTERSECTION OFFSET DRAINAGE STRUCTURES ON SEPARATE LOTS	200 FEET	129± FEET

A diagram of a simple pendulum. It consists of a yellow, teardrop-shaped bob hanging from a black support structure by a thin black string. The support structure is a horizontal bar with two vertical legs. The bob is positioned in the center, hanging straight down.

& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



JAMES W. BURKE, P.E. DATE

GENERAL NOTES:

- LOCUS:
- ASSESSORS ID: 51-W-8-01
RECORD OWNER: ARSENault FAMILY TRUST
DEED REFERENCE: BOOK 14059 PAGE 498
PLAN REFERENCE: PLAN NO. 204 OF 1997
3. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THE SURVEY OFFICE DURING JUNE 2022. ELEVATIONS SHOWN REFER TO NAVD=88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE 26C, § 22, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN, LOCATIONS AND ELEVATIONS OF UTILITIES AND SUBSURFACE STRUCTURES. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. LOCUS IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FIRM 2502100217E, EFFECTIVE 07/17/2012.
5. PARCEL IS ZONED RSFSD.

PROJECT TITLE & LOCATION:

MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MA

PLAN TITLE:

PROPOSED SITE LAYOUT

PREPARED FOR:

217 MILL ST, LLC
228 PARK AVENUE S, PMB 35567
NEW YORK, NY 89135

DATE: FEBRUARY 6, 2023

REVISÉ

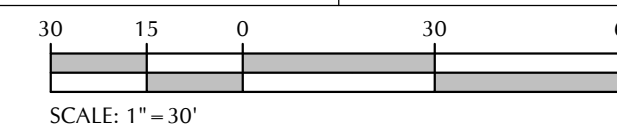
REVISED

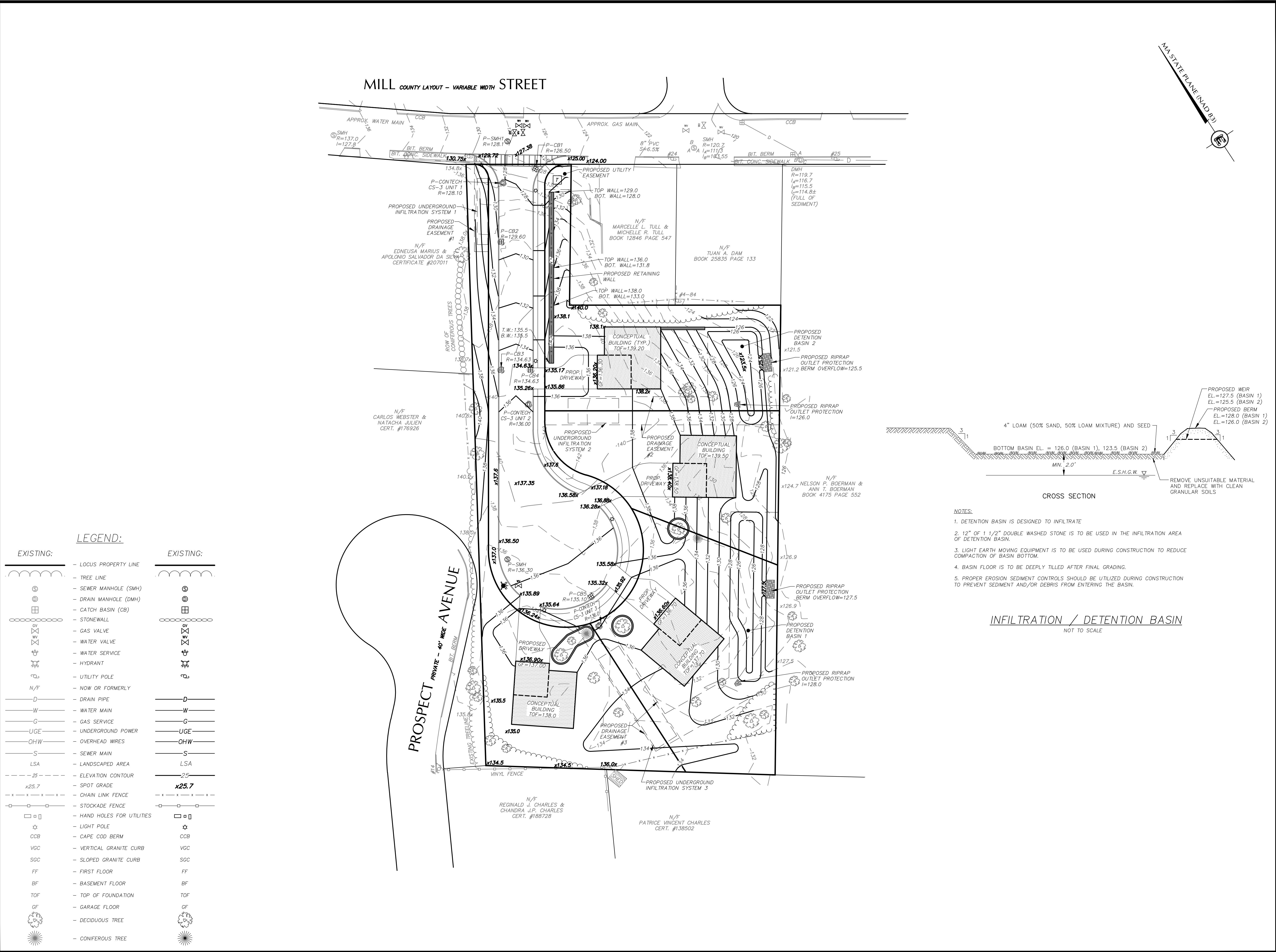
REVISÉ:

REVISÉ

JOB NUMBER: 2022.030

SHEET 6 OF 11





DeCelle-Burke-Sala

& Associates, Inc.

1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com

JAMES W. BURKE, P.E.

DATE

GENERAL NOTES:

1. LOCUS:
2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING JUNE 2022. ELEVATIONS SHOWN REFER TO NAVD-88.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
4. LOCUS IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FIRM 25021C0217E, EFFECTIVE 07/17/2012.
5. PARCEL IS ZONED RSFH.

PROJECT TITLE & LOCATION:

MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MA

PLAN TITLE:

PROPOSED SITE GRADING

PREPARED FOR:

217 MILL ST, LLC
228 PARK AVENUE S, PMB 35567
NEW YORK, NY 89135

DATE: FEBRUARY 6, 2023

REVISED:

REVISED:

REVISED:

REVISED:

JOB NUMBER: 2022.030

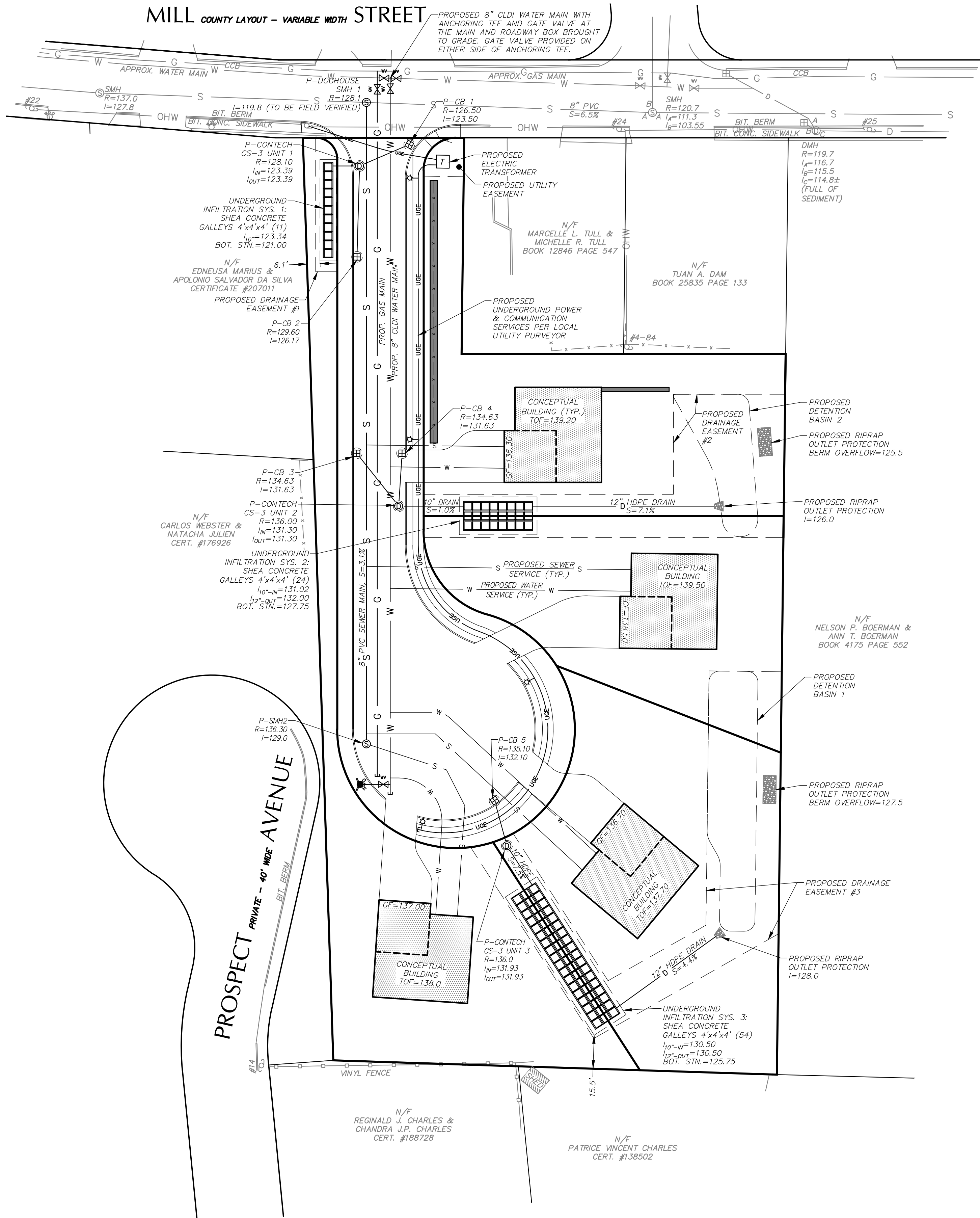
SHEET 7 OF 11

SCALE: 1" = 30'

MA STATE PLANE (NAD 83)



MILL COUNTY LAYOUT - VARIABLE WIDTH STREET



LEGEND:

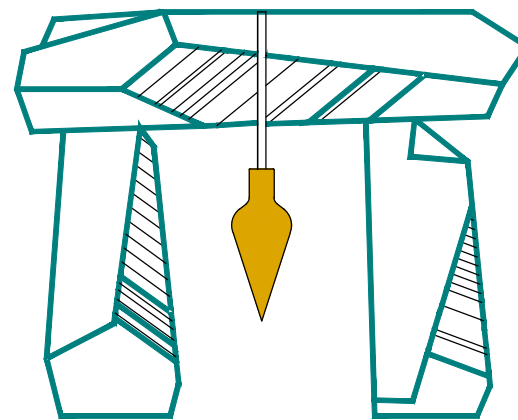
EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- ELEVATION CONTOUR
- SPOT GRADE
- CHAIN LINK FENCE
- STOCKADE FENCE
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- CAPE COD BERM
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- FIRST FLOOR
- BASEMENT FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- DECIDUOUS TREE
- CONIFEROUS TREE

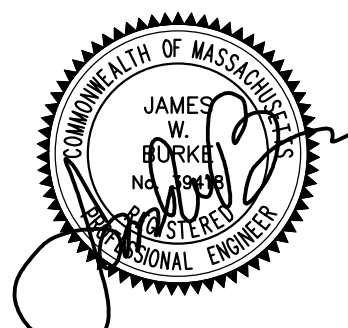
EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- ELEVATION CONTOUR
- SPOT GRADE
- CHAIN LINK FENCE
- STOCKADE FENCE
- HAND HOLES FOR UTILITIES
- LIGHT POLE
- CAPE COD BERM
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- FIRST FLOOR
- BASEMENT FLOOR
- TOP OF FOUNDATION
- GARAGE FLOOR
- DECIDUOUS TREE
- CONIFEROUS TREE

DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



JAMES W. BURKE, P.E.

DATE

GENERAL NOTES:

1. LOCUS:

ASSESSORS ID: 51-H-8.01
RECORD OWNER: ARSENAULT FAMILY TRUST
DEED REFERENCE: BOOK 14059 PAGE 498
PLAN REFERENCE: PLAN No. 204 of 1997

2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING JUNE 2022. ELEVATIONS SHOWN REFER TO NAVD-88.

3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.

DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

4. LOCUS IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FIRM 25021C0217E, EFFECTIVE 07/17/2012.

5. PARCEL IS ZONED RSFH.

PROJECT TITLE & LOCATION:

MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MA

PLAN TITLE:

PROPOSED SITE UTILITIES

PREPARED FOR:

217 MILL ST, LLC
228 PARK AVENUE S, PMB 35567
NEW YORK, NY 89135

DATE: FEBRUARY 6, 2023

REVISED:

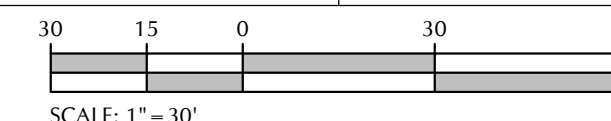
REVISED:

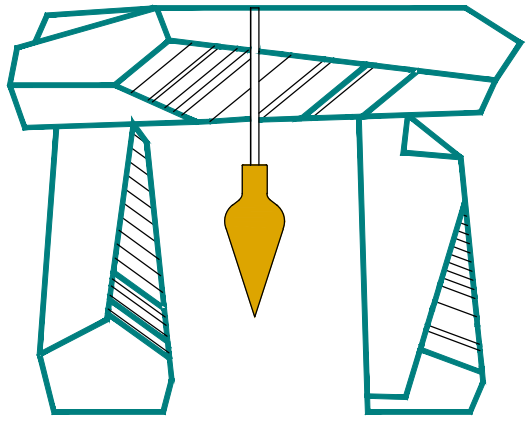
REVISED:

REVISED:

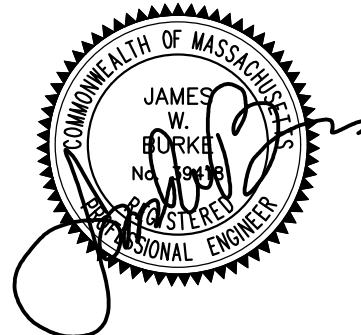
JOB NUMBER: 2022.030

SHEET 8 OF 11





& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



JAMES W. BURKE, P.E. DATE

GENERAL NOTES:

- LOCUS:
- ASSESSORS ID: 51-H-8.01
RECORD OWNER: ARSENAULT FAMILY TRUST
DEED REFERENCE: BOOK 14059 PAGE 498
PLAN REFERENCE: PLAN No. 204 of 1997
- THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING JUNE 2022. ELEVATIONS SHOWN REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- LOCUS IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FIRM 25021C0217E, EFFECTIVE 07/17/2012.
- PARCEL IS ZONED RSFHD.

PROJECT TITLE & LOCATION:

MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MA

PLAN TITLE:

PROPOSED ROAD PROFILE

PREPARED FOR:

217 MILL ST, LLC
228 PARK AVENUE S, PMB 35567
NEW YORK, NY 89135

DATE: FEBRUARY 6, 2023

REVISED:

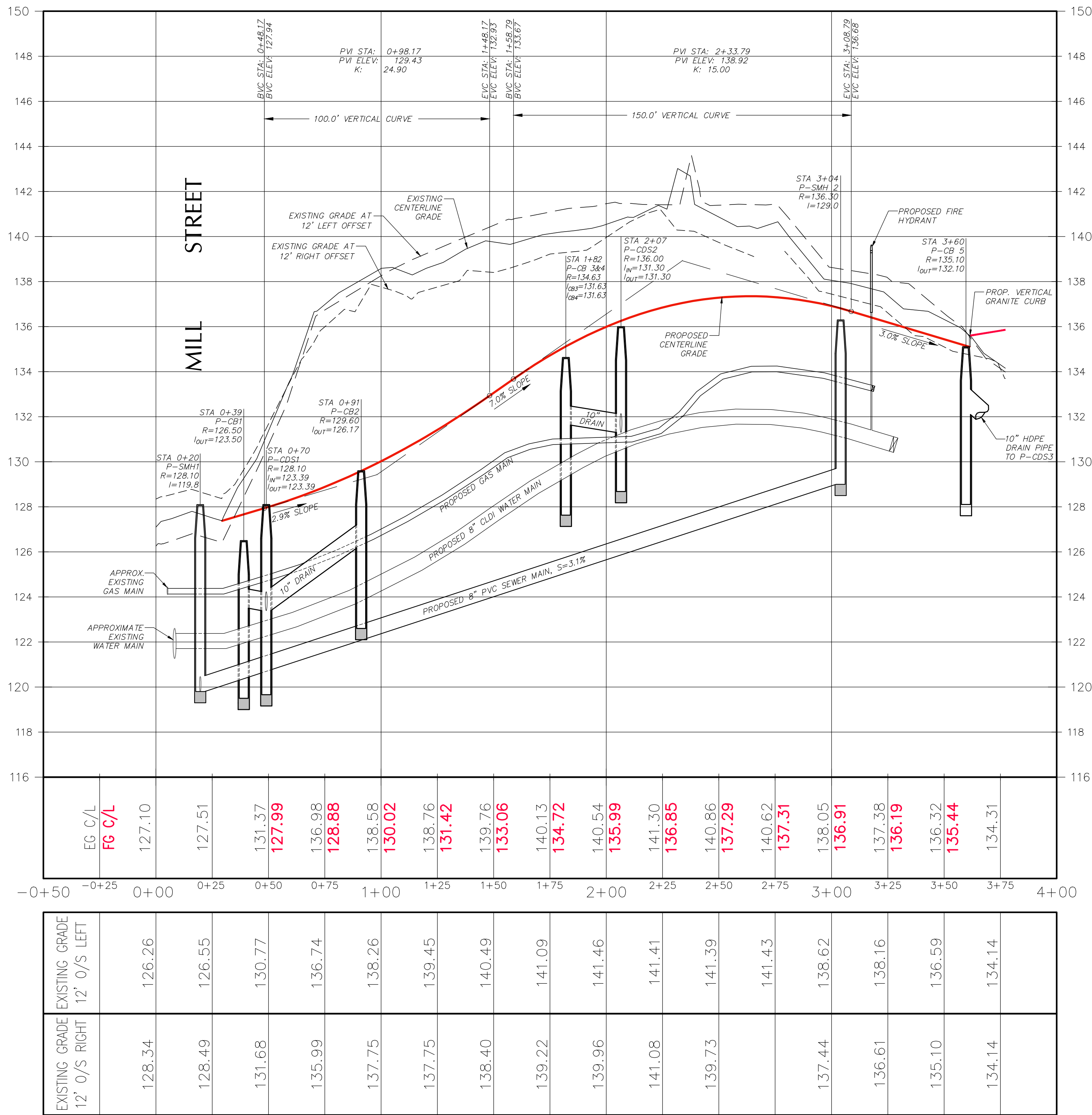
REVISED:

REVISED:

REVISED:

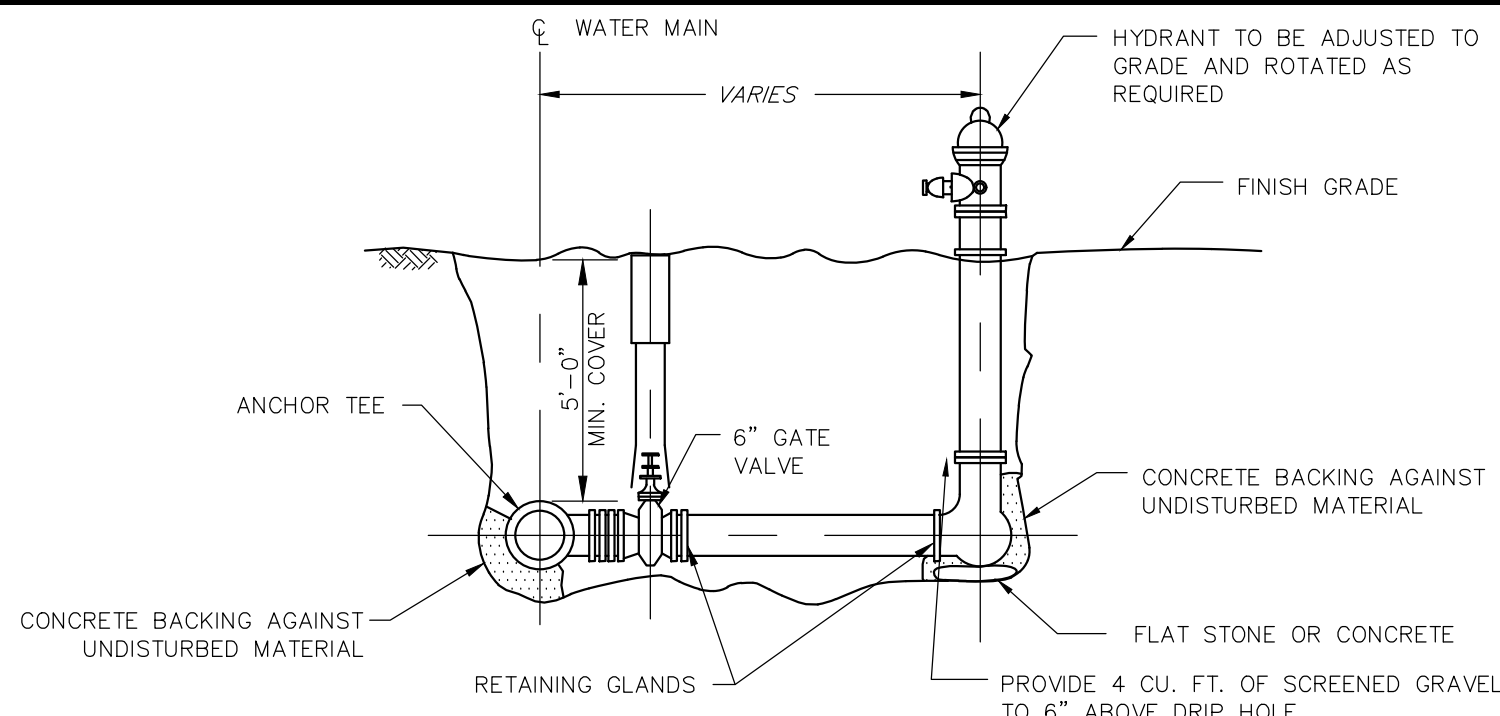
JOB NUMBER: 2022.030

SHEET 9 OF 11

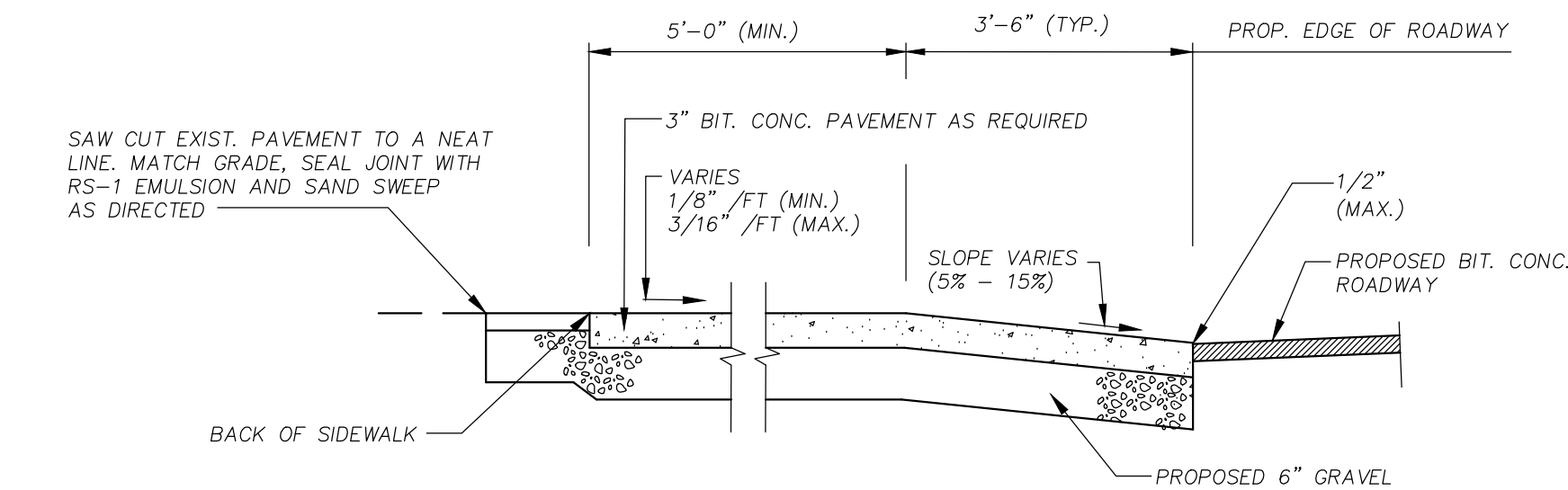
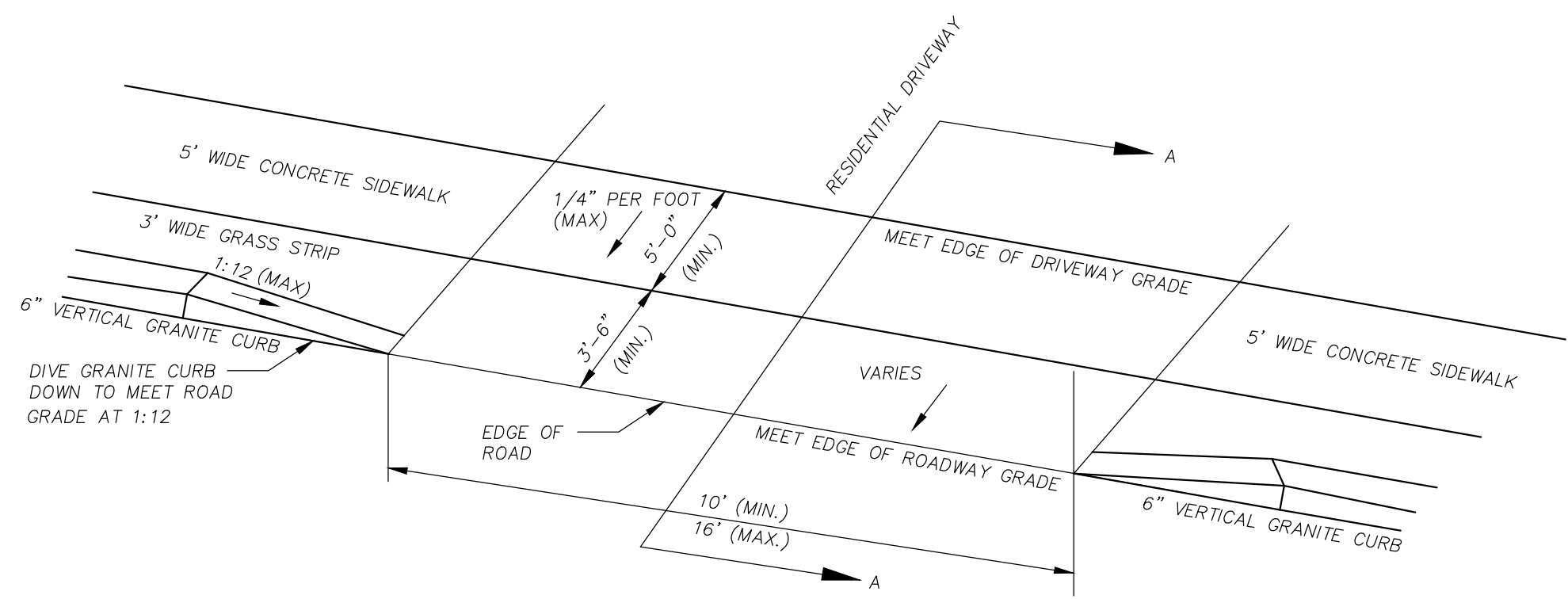


PROPOSED ROAD PROFILE

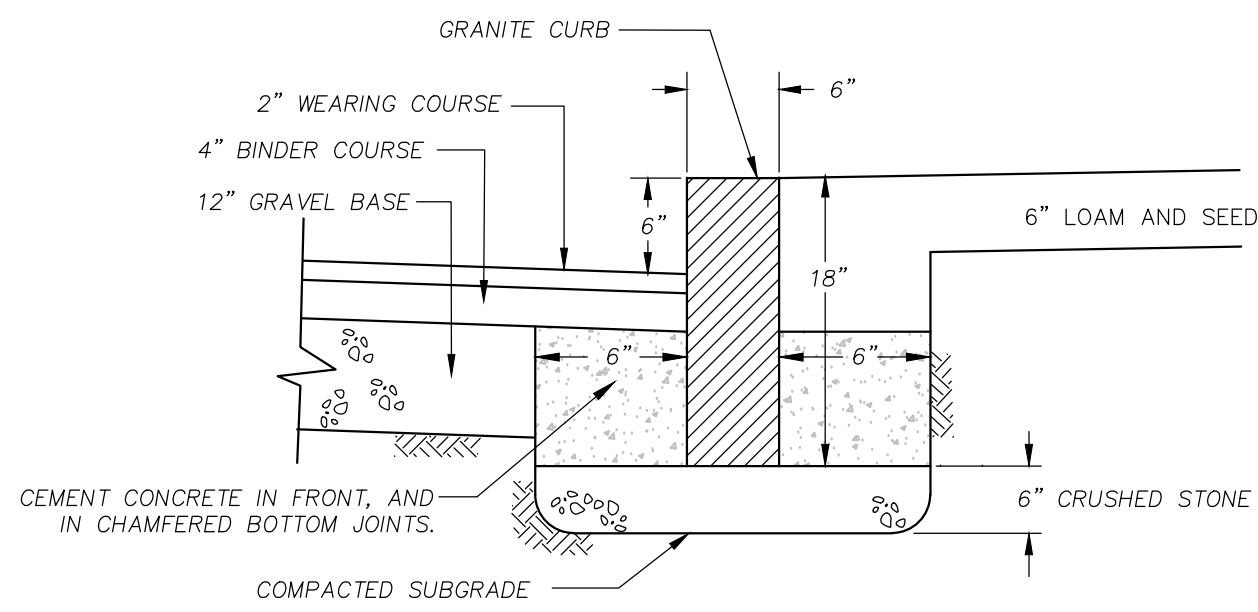
VERTICAL SCALE: 1" = 3'
HORIZONTAL SCALE: 1" = 30'



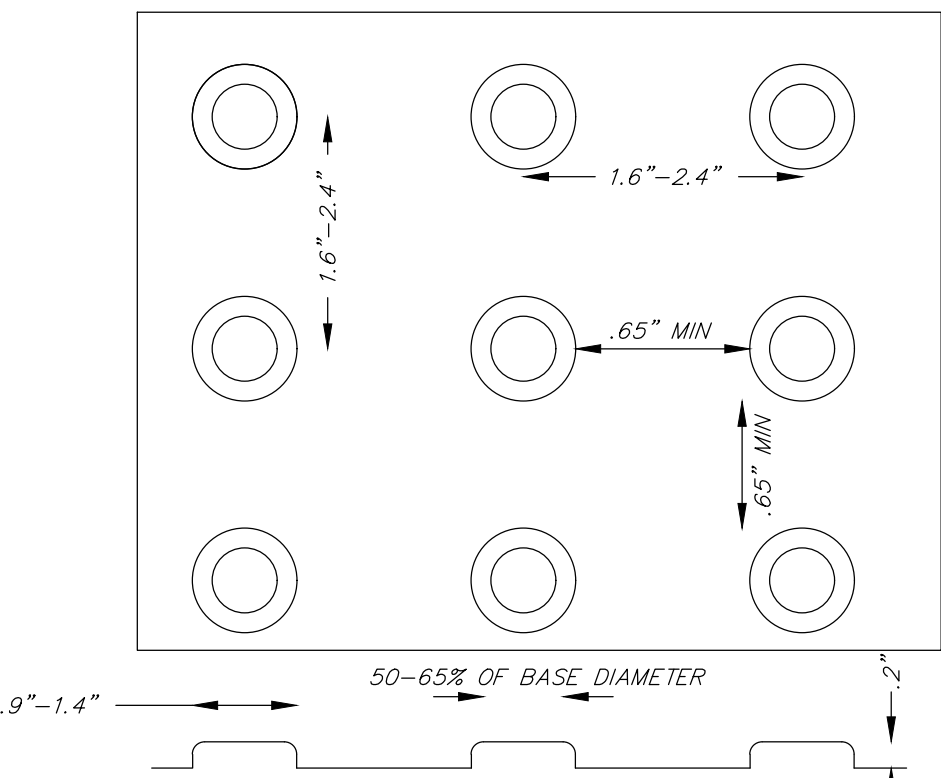
TYPICAL HYDRANT AND VALVE DETAIL
NOT TO SCALE



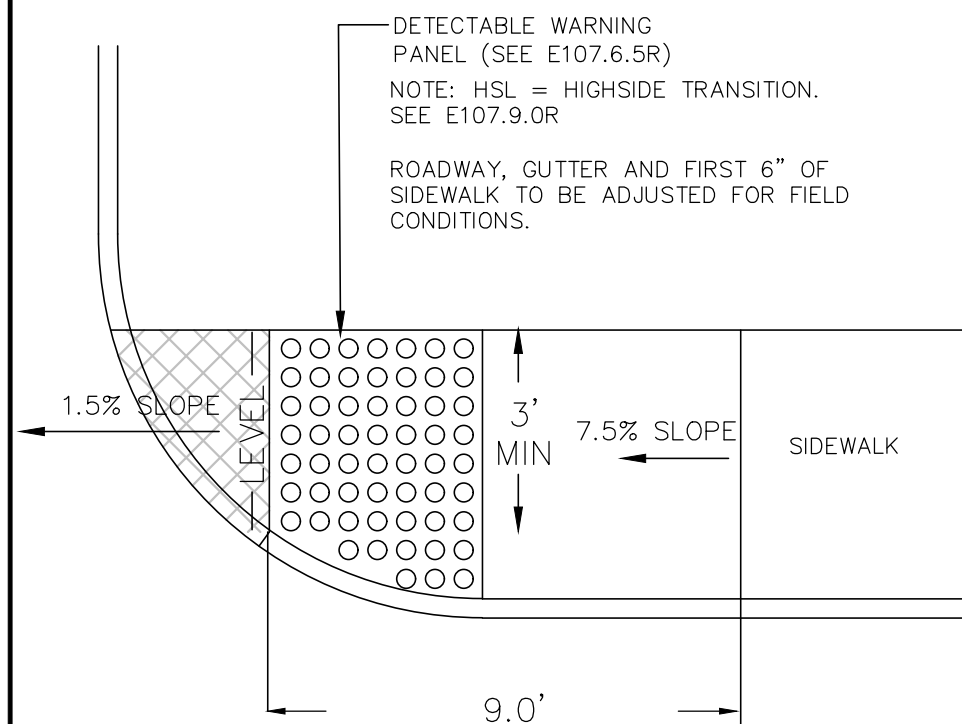
DRIVEWAY DETAIL W/ CURB OPENING
NOT TO SCALE



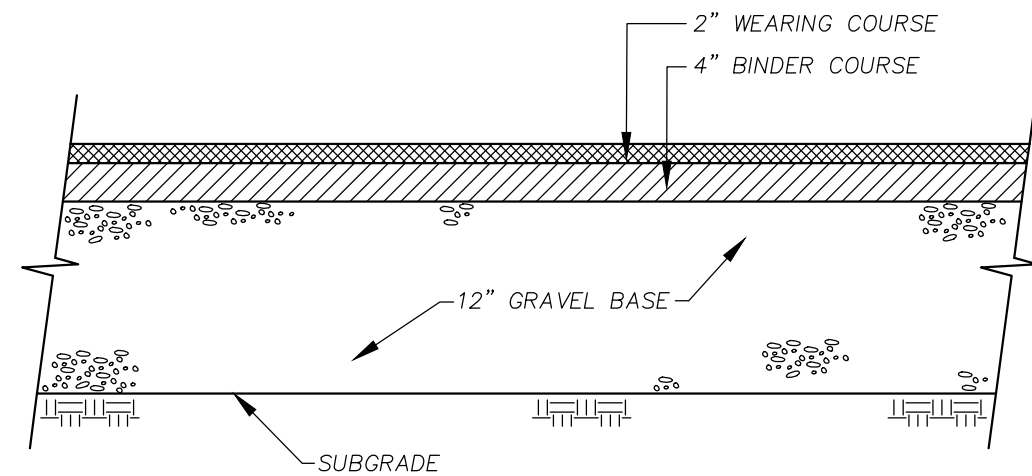
GRANITE CURB
NOT TO SCALE



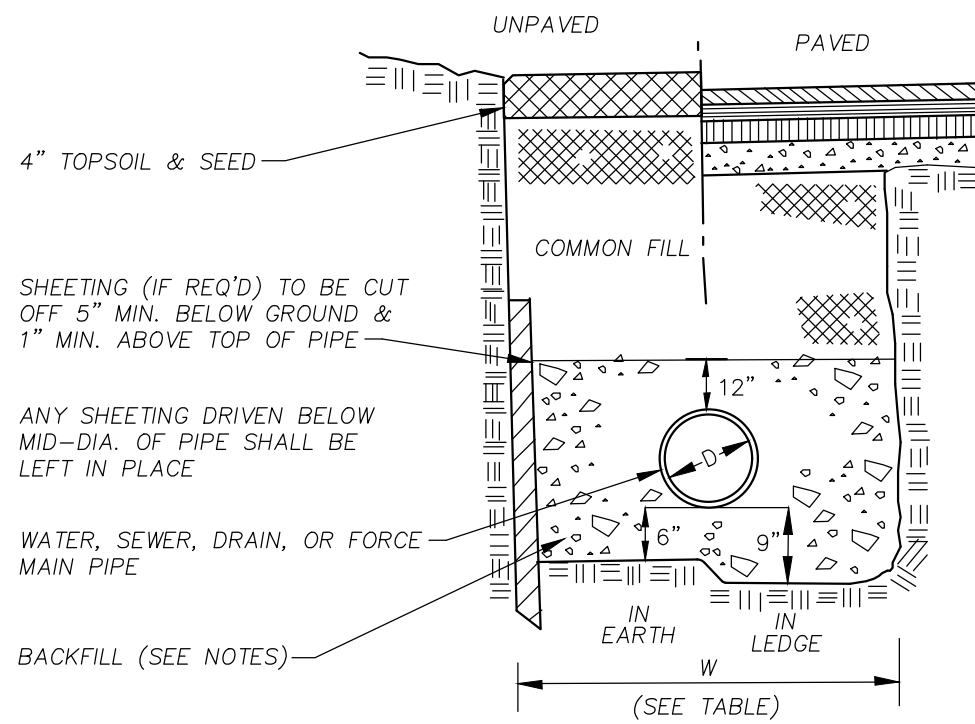
DETECTABLE WARNING PANEL
SEE MassDOT (E107.6.5R)
NOT TO SCALE



HANDICAP RAMP A DETAIL
NOT TO SCALE



PAVEMENT SECTION
NOT TO SCALE

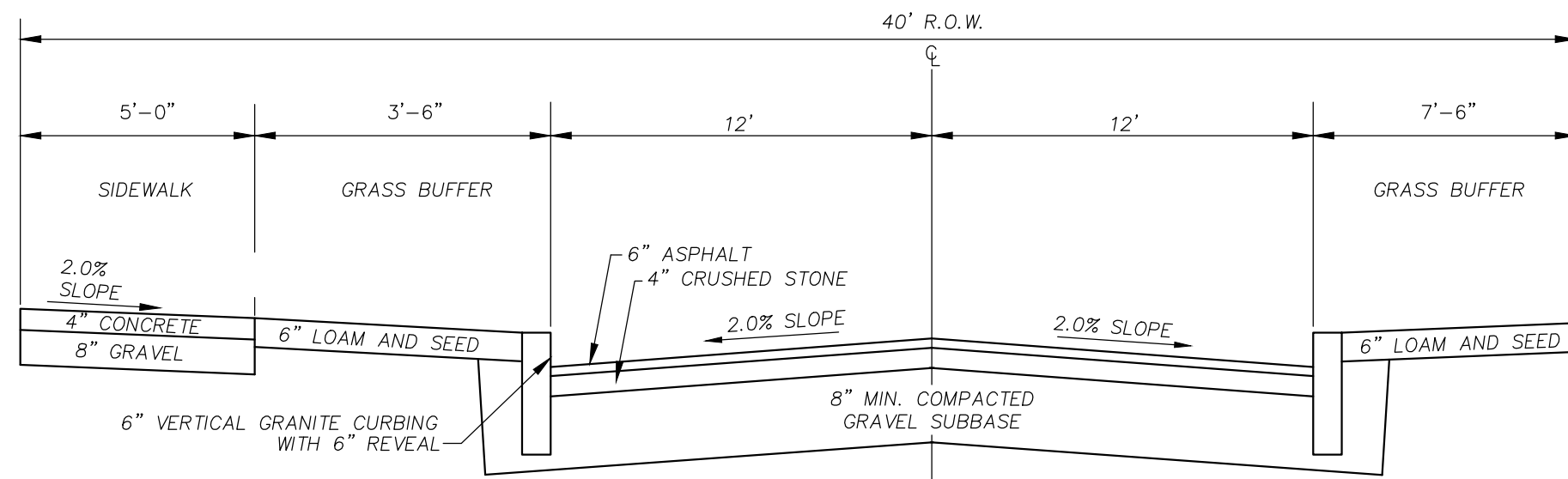


TRENCH WIDTH		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
1" TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

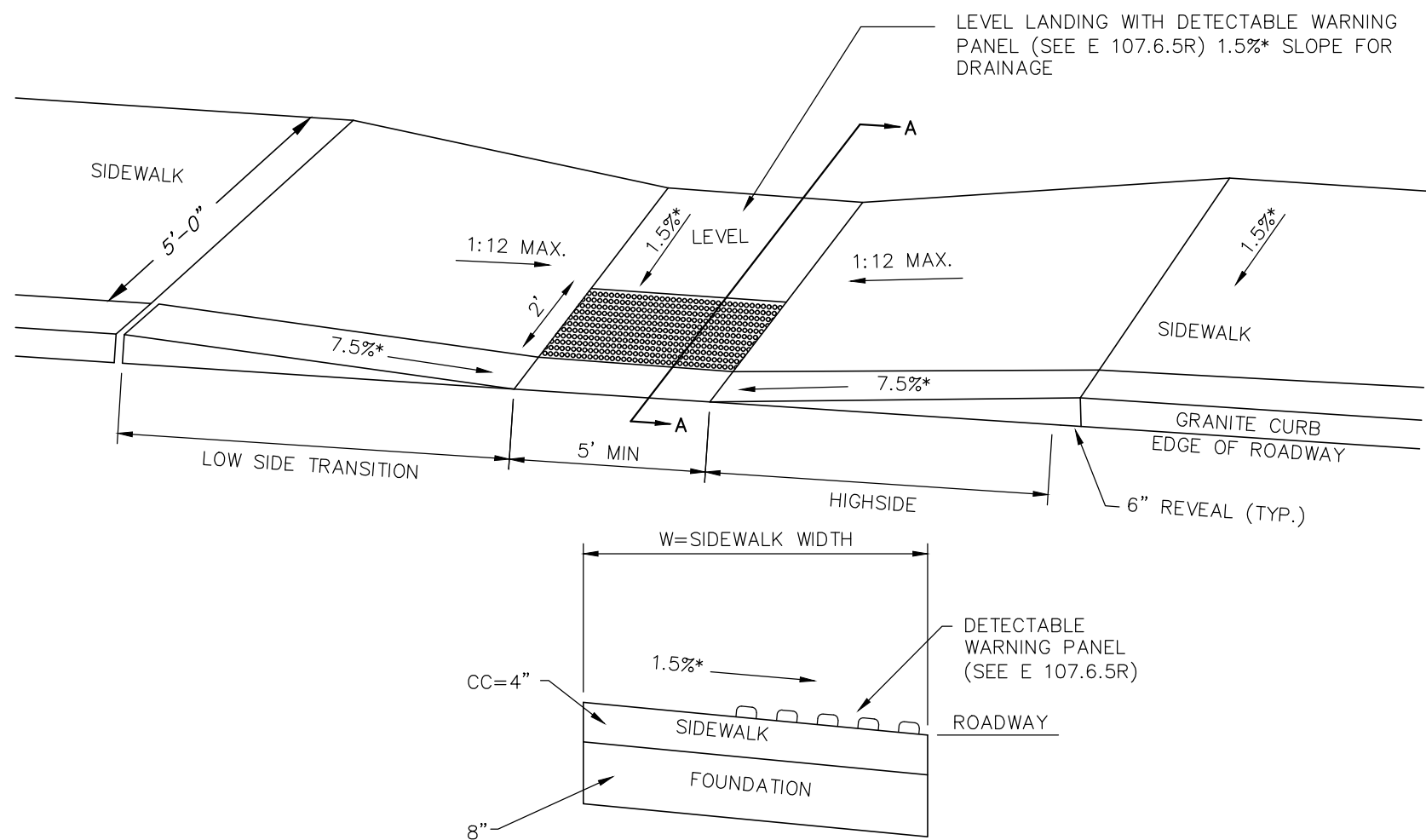
NOTES:

1. ALL TRENCH CONSTRUCTION TO CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
2. COMPACT FILL AND TAMP PIPE TO 93% MAX. DENSITY UNLESS OTHERWISE SPECIFIED.

TYPICAL TRENCH SECTIONS
NOT TO SCALE



TYPICAL ROAD CROSS-SECTION
NOT TO SCALE

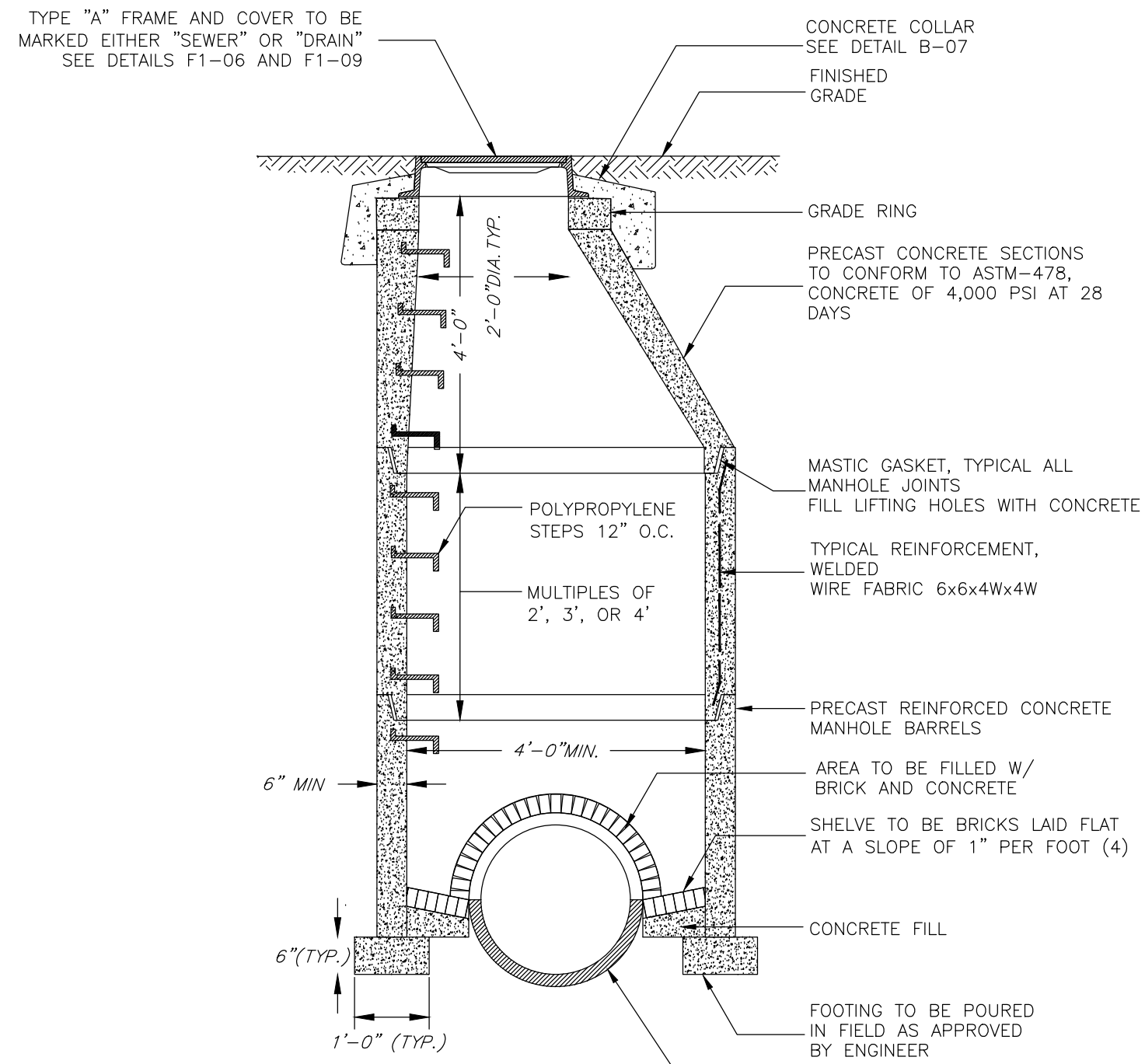


NOTE:

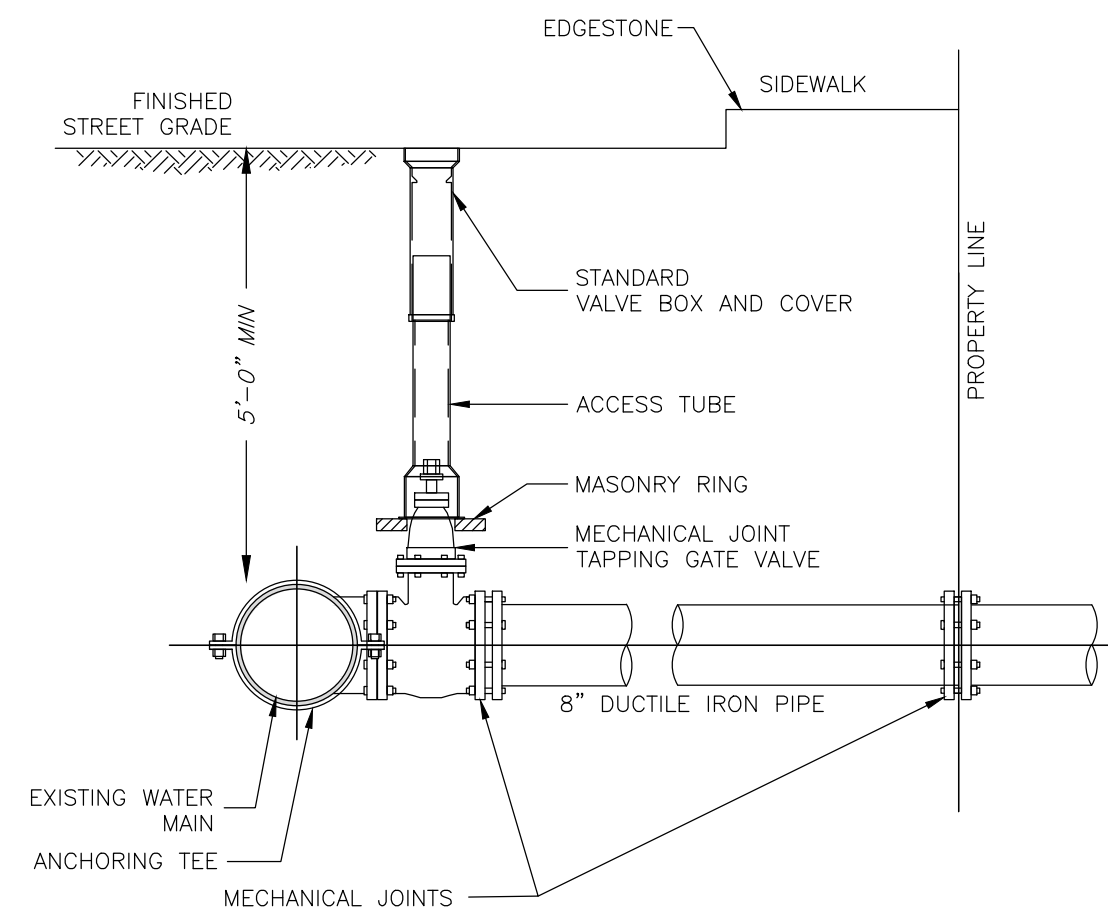
ROADWAY, GUTTER, AND FIRST 6" OF SIDEWALK TO BE ADJUSTED FOR FIELD CONDITIONS.

SECTION A-A

HANDICAP RAMP B DETAIL
NOT TO SCALE



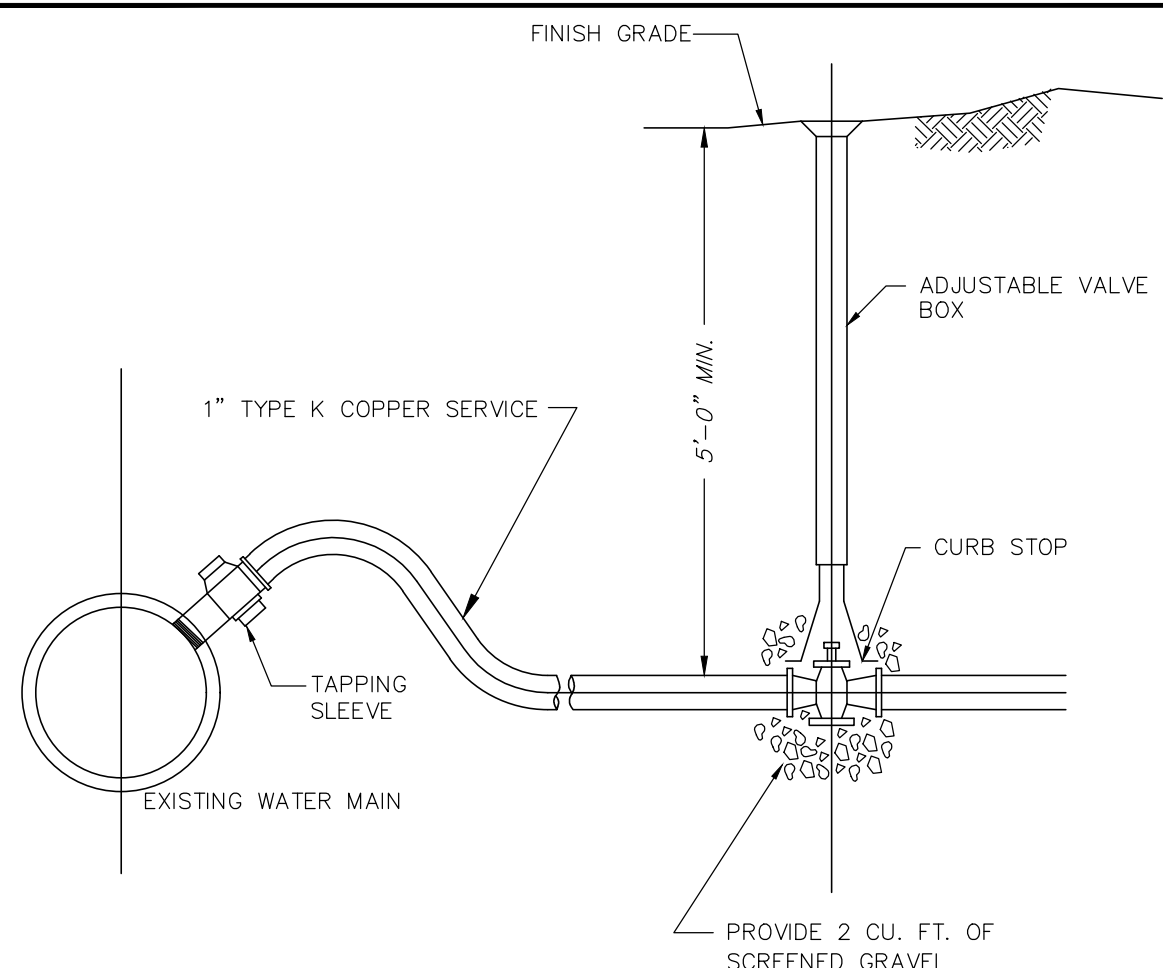
TYPICAL DOGHOUSE SEWER MANHOLE
NOT TO SCALE



NOTES:

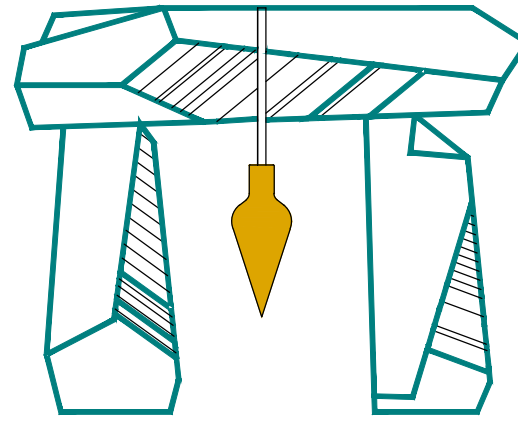
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
- USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
- SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

8" WATER MAIN CONNECTION
NOT TO SCALE

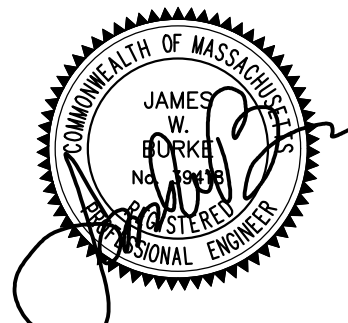


WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



JAMES W. BURKE, P.E.

DATE

GENERAL NOTES:

1. LOCUS:

ASSESSORS ID: 51-H-8-01
RECORD OWNER: ARSENAULT FAMILY TRUST
DEED REFERENCE: BOOK 14059 PAGE 498
PLAN REFERENCE: PLAN No. 204 of 1997

2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING JUNE 2022. ELEVATIONS SHOWN REFER TO NAVD-88.

3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.

DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

4. LOCUS IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FIRM 25021C0217E, EFFECTIVE 07/17/2012.

5. PARCEL IS ZONED RSFH0.

PROJECT TITLE & LOCATION:

MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MA

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

217 MILL ST, LLC
228 PARK AVENUE S, PMB 35567
NEW YORK, NY 89135

DATE: FEBRUARY 6, 2023

REVISED:

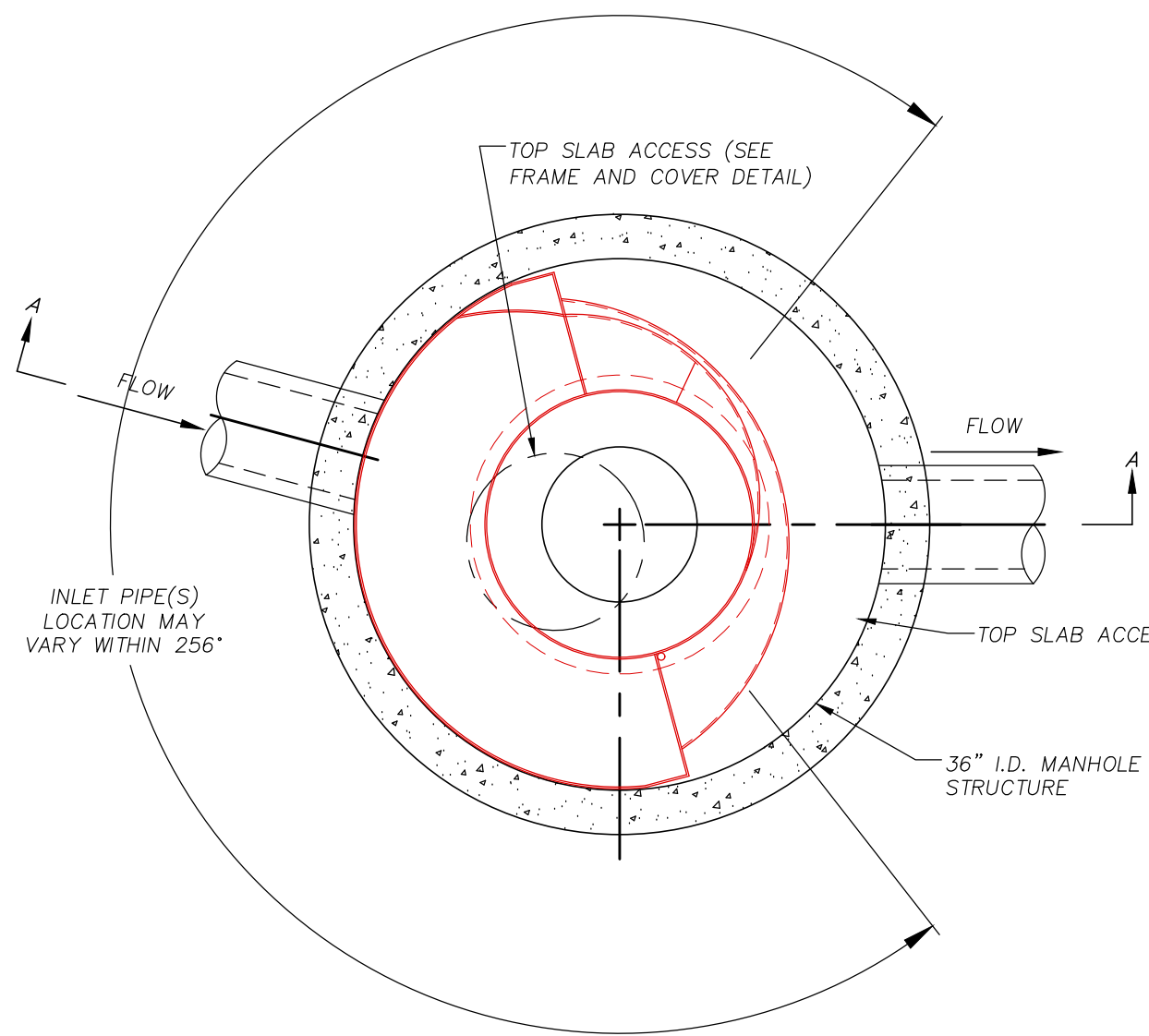
REVISED:

REVISED:

REVISED:

JOB NUMBER: 2022.030

SHEET 10 OF 11



PLAN VIEW B-B
NOT TO SCALE



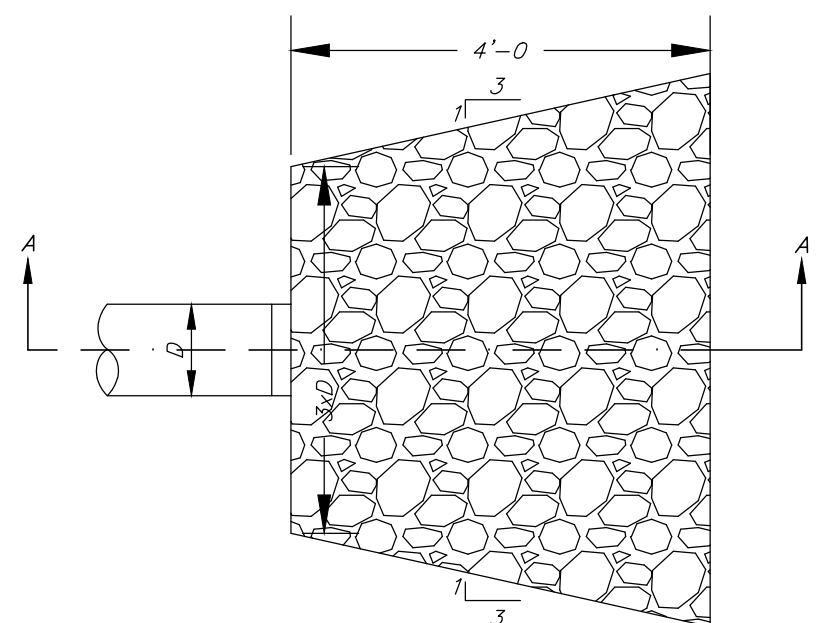
- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 - CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2" AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 - CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

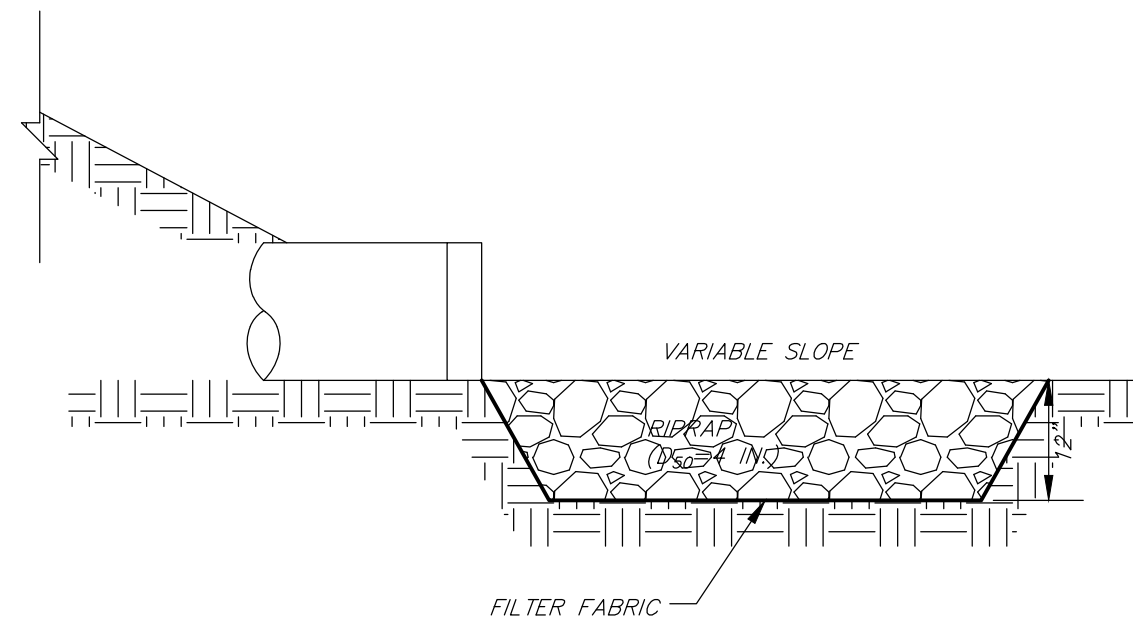


THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 5,786,846; 6,120,631; 6,199,630; 6,849,785. RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.

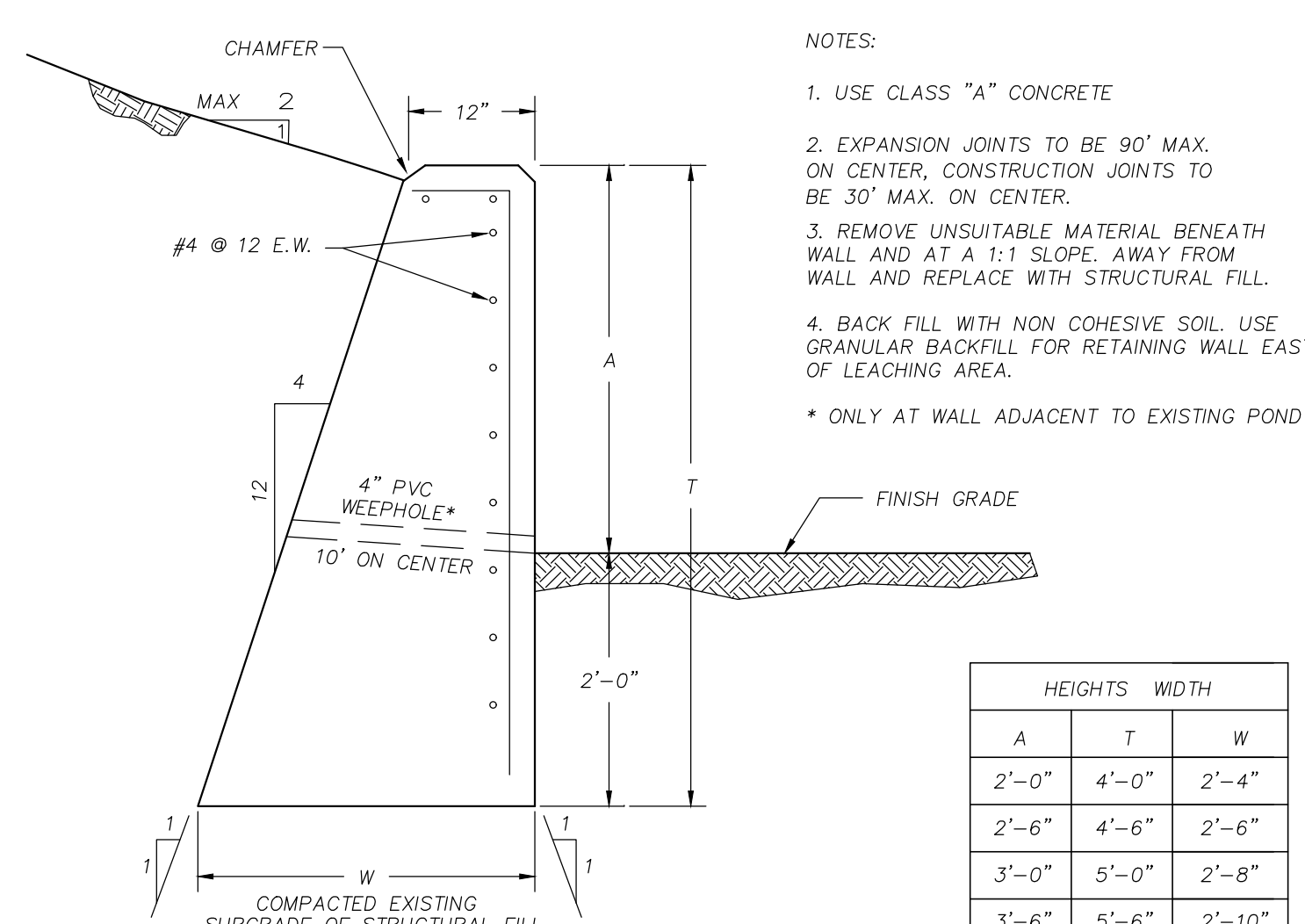
CONTECH CS-3 CASCADE SEPARATOR
NOT TO SCALE



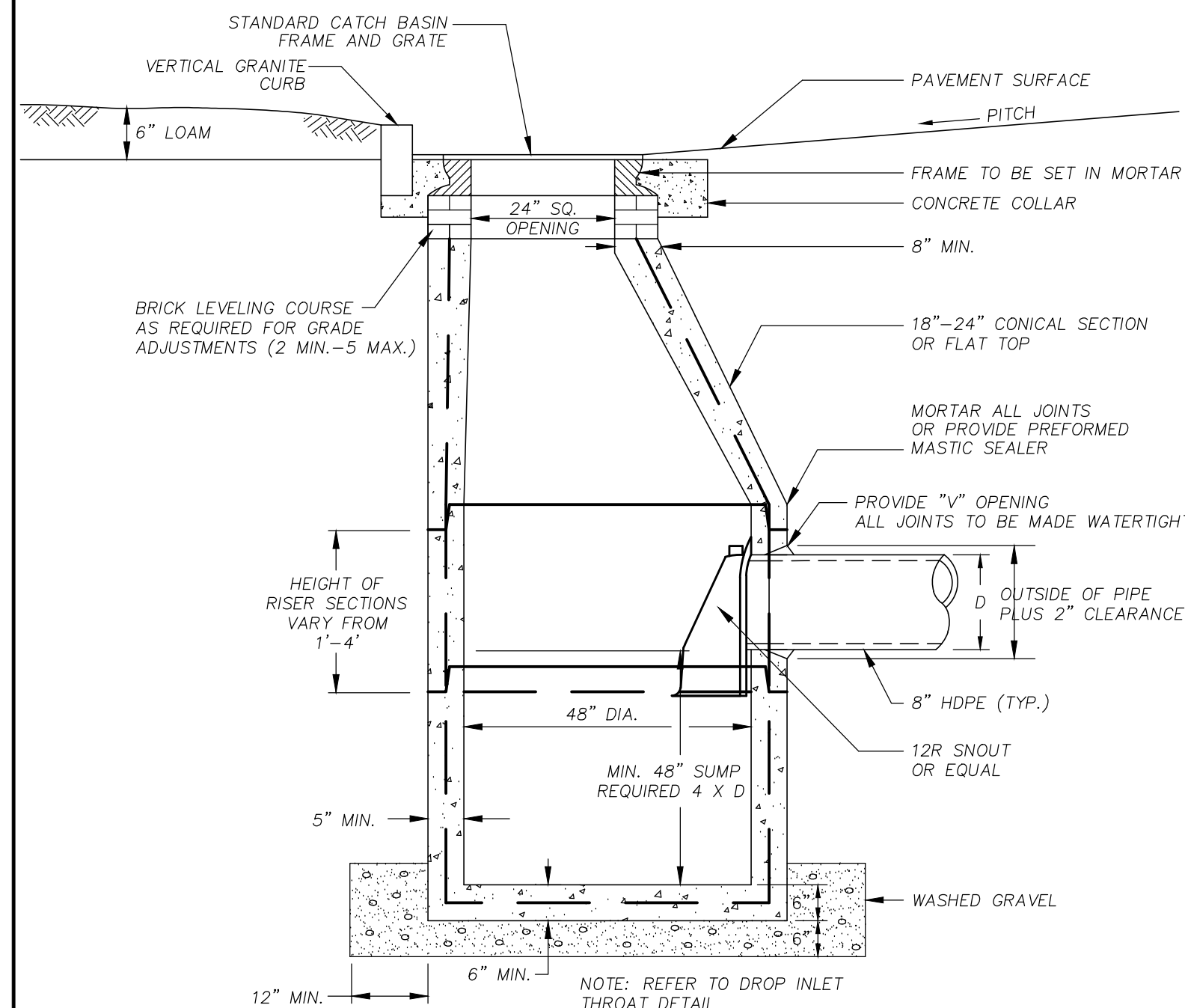
PLAN VIEW



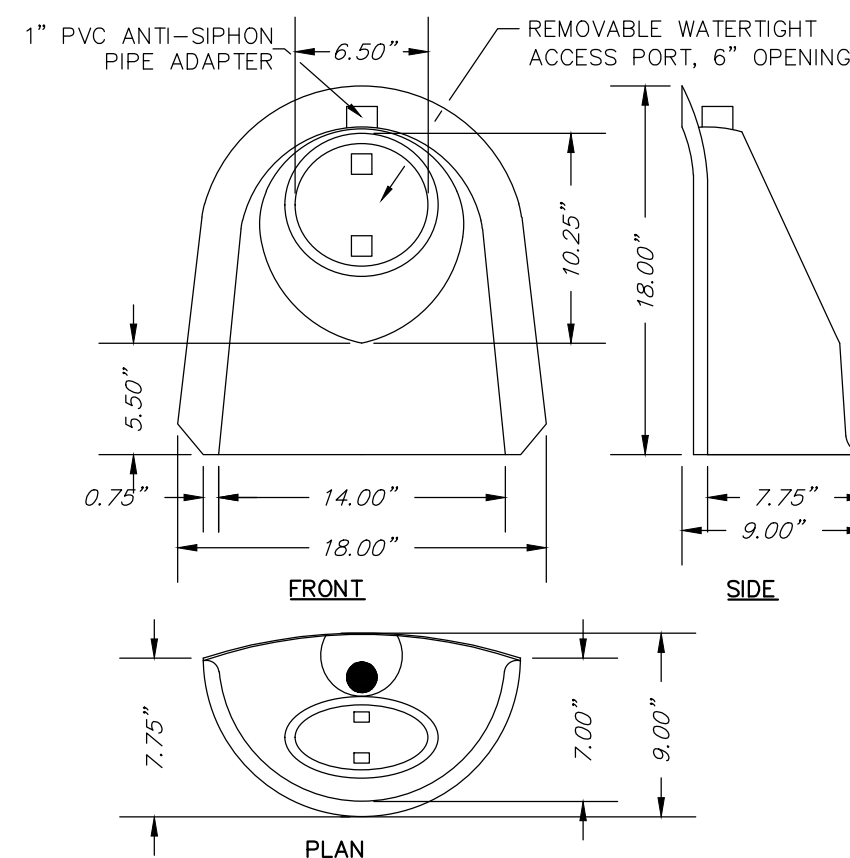
RIP-RAP AT OUTLET
NOT TO SCALE



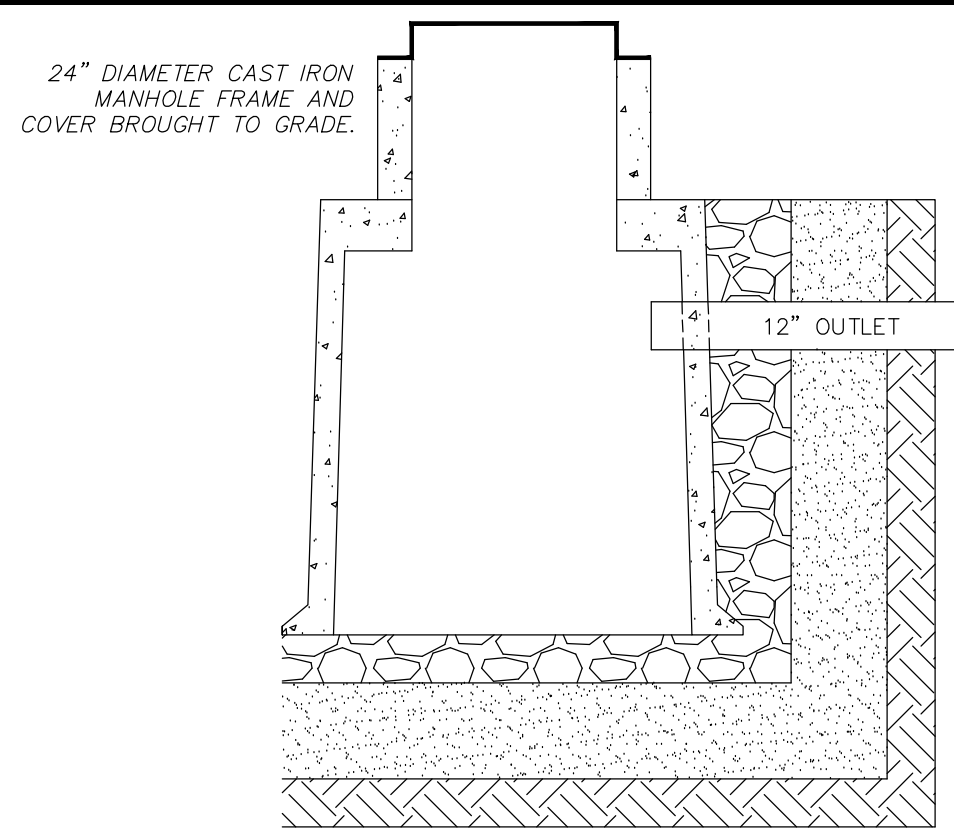
RETAINING WALL
NOT TO SCALE



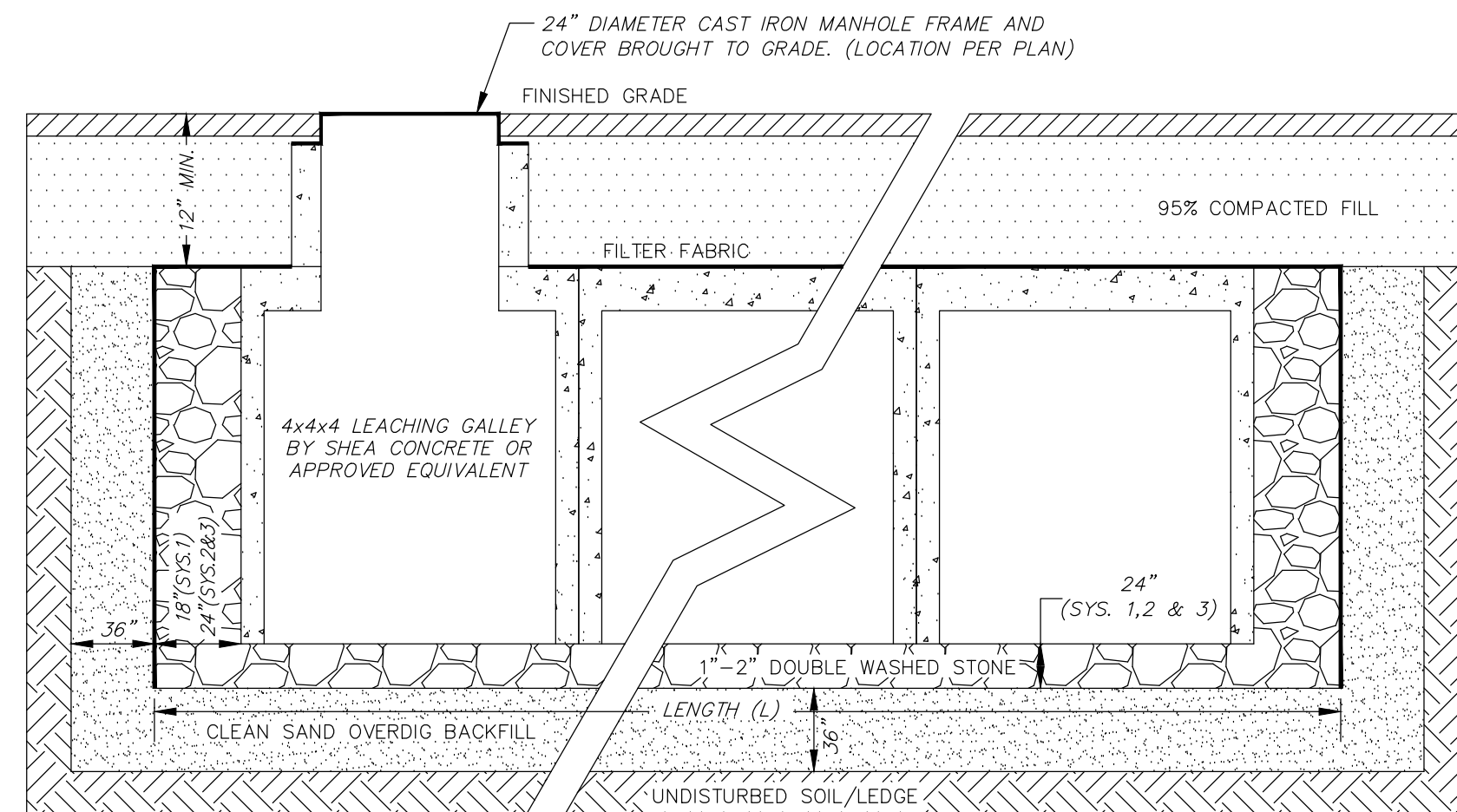
PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



12R SNOOT OUTLET HOOD
NOT TO SCALE



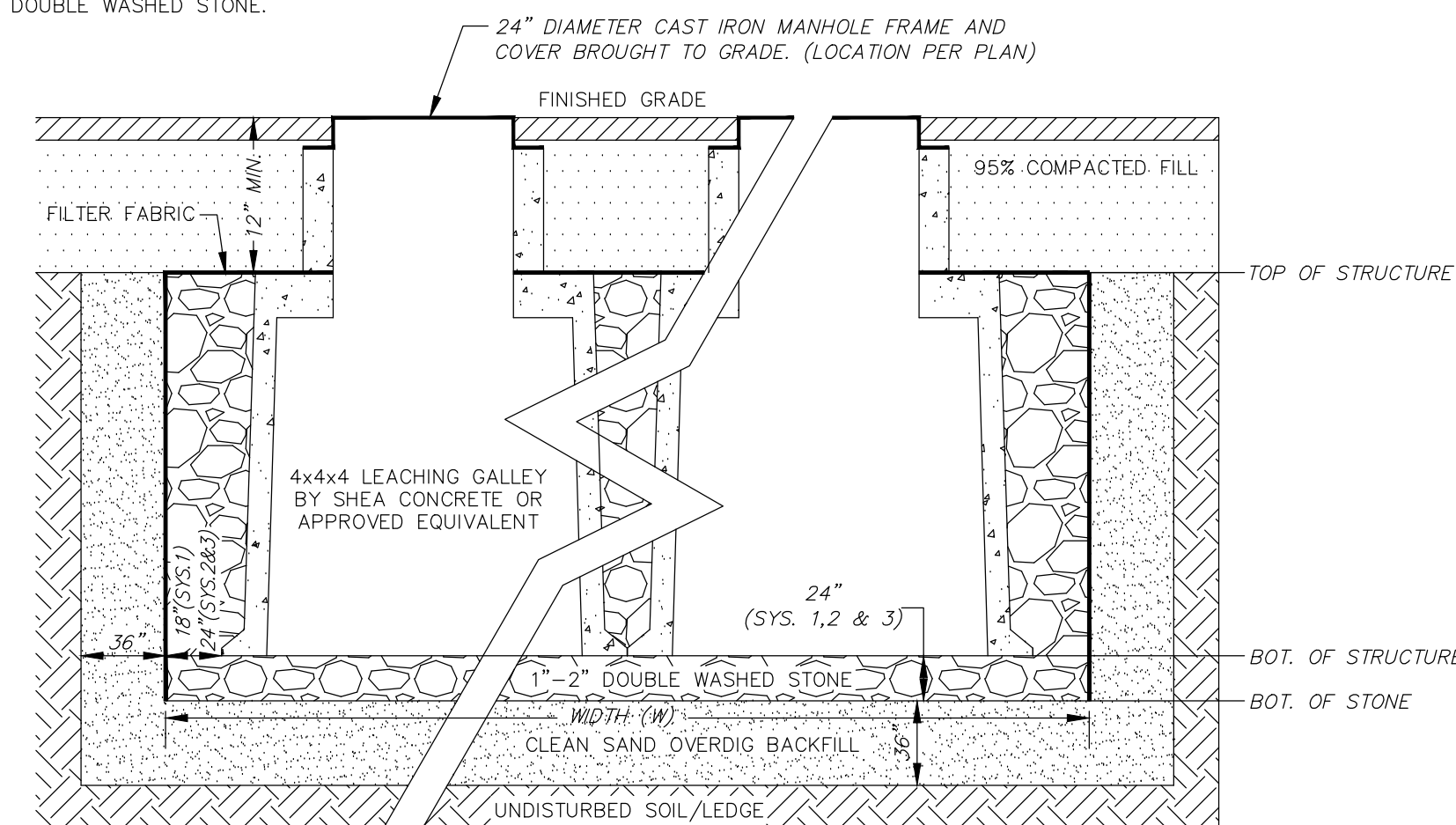
UNDERGROUND INFILTRATION SYSTEMS 2 & 3 OUTLET DETAIL
NOT TO SCALE



UNDERGROUND INFILTRATION SYSTEMS 1, 2 & 3 PROFILE
NOT TO SCALE

INFILTRATION NOTES:

- ALL LEDGE AND DELETERIOUS MATERIAL TO BE REMOVED WITHIN A MINIMUM OF 36 INCHES OF THE LIMIT OF STONE FOR THE INFILTRATION SYSTEMS. 36" MINIMUM BETWEEN LEDGE AND DELETERIOUS MATERIAL SHALL BE BACKFILLED WITH CLEAN SAND.
- STRUCTURES TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER FOR AN INSPECTION OF THE EXCAVATION FOR THE INFILTRATION SYSTEMS PRIOR TO INSTALLATION.
- STONE SURROUNDING INFILTRATION STRUCTURES TO BE 1 TO 2 INCH DOUBLE WASHED STONE.

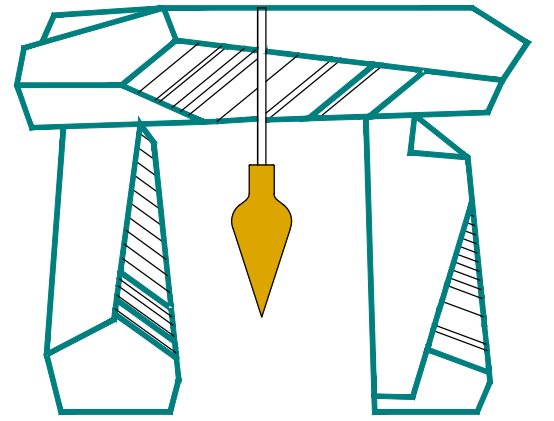


UNDERGROUND INFILTRATION SYSTEMS 1, 2 & 3 SECTION
NOT TO SCALE

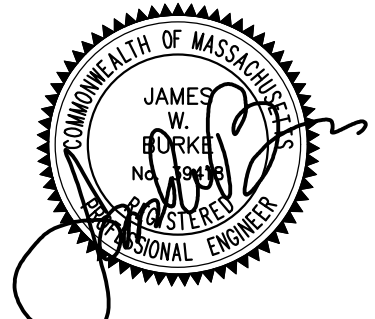
	SYSTEM 1	SYSTEM 2	SYSTEM 3
# OF GALLIES	11	24	54
WIDTH OF FIELD (W) (FT.)	7.50'	17.50'	17.50'
LENGTH OF FIELD (L) (FT.)	47.00'	36.00'	76.00'
TOP OF STRUCTURE (ELEVATION)	127.25	131.50	130.50
10" INVERT IN (ELEVATION)	123.34	131.02	130.00
12" INVERT OUT (ELEVATION)		132.00	130.50
BOTTOM OF STRUCTURE (ELEVATION)	123.00	129.75	127.75
BOTTOM OF STONE (ELEVATION)	121.00	127.75	125.75

UNDERGROUND INFILTRATION SYSTEMS 1, 2 & 3 DIMENSION SCHEDULE

DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



JAMES W. BURKE, P.E. DATE

GENERAL NOTES:

- LOCUS:
- ASSESSORS ID: 51-H-8-01
RECORD OWNER: ARSENAULT FAMILY TRUST
DEED REFERENCE: BOOK 14059 PAGE 498
PLAN REFERENCE: PLAN No. 204 of 1997
- THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING JUNE 2022. ELEVATIONS SHOWN REFER TO NAVD-88.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- LOCUS IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FIRM 25021C0217E, EFFECTIVE 07/17/2012.
- PARCEL IS ZONED RSFH0.

PROJECT TITLE & LOCATION:

MILL COURT DEVELOPMENT
DEFINITIVE SUBDIVISION
217 MILL STREET
RANDOLPH, MA

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

217 MILL ST, LLC
228 PARK AVENUE S, PMB 35567
NEW YORK, NY 89135

DATE: FEBRUARY 6, 2023

REVISED:

REVISED:

REVISED:

REVISED:

JOB NUMBER: 2022.030

SHEET 11 OF 11