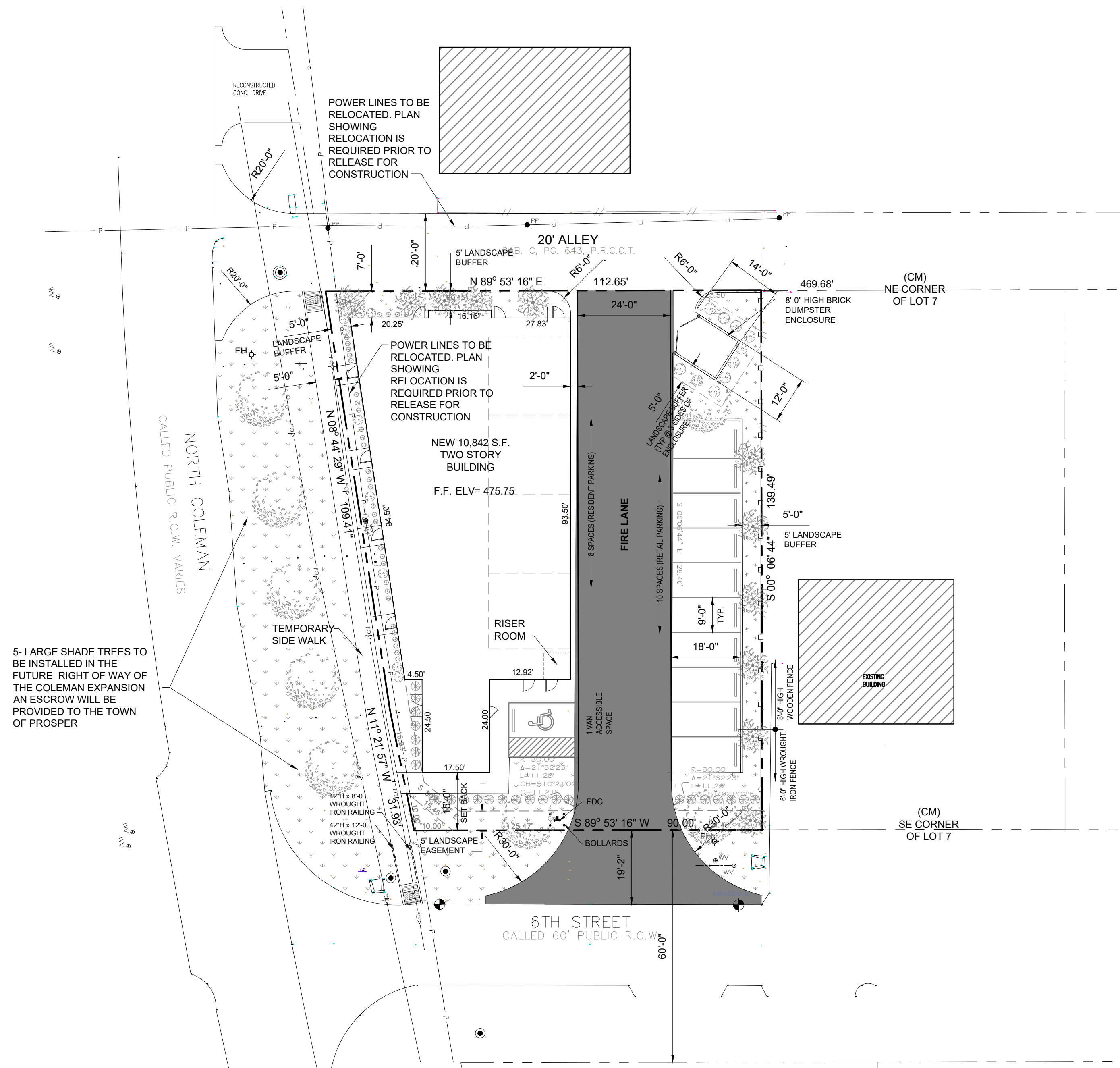


20 10 0 20 40

SCALE: 1"= 20'-0"



NORTH



PROPOSED SITE PLAN
SCALE: 1"= 20'-0"

ZONING

PLANNED DEVELOPMENT 127

BUILDING

TOTAL NEW BUILDING GROSS AREA 10,282 SQ.FT.
TOTAL SLAB AREA 5146 SQ.FT.

PROPOSED USE
1ST FLOOR AC SPACE: 2970 SQ.FT. RETAIL/OFFICE
GARAGE AREA: 1690 SQ.FT.

2ND FLOOR AC SPACE: 4660 SQ.FT. RESIDENTIAL 4- 2 BED ROOM UNITS

BUILDING CONSTRUCTION WOOD FRAME W/ BRICK VENEER
BUILDING HEIGHT 30'-0" (TWO STORY)

PARKING

RETAIL/OFFICE PARKING: 2450/250 = 10 SPACES
RETAIL PARKING PROVIDED 11
ACCESSIBLE PARKING 1 SPACES (INCLUDED)

RESIDENTIAL PARKING: 2 x 4 UNITS = 8 SPACES
RESIDENTIAL PARKING PROVIDED 8

PARKING LANDSCAPING:
TREES REQUIRED: 2 (1 PER LANDSCAPE ISLAND)
TREES PROVIDED: 2 (3" CALIBER)

LAND

LOT AREA: 14,214 SQ.FT.
LOT COVERAGE: 5146/14,214 = 36%

NOTE: NO STORAGE IS ALLOWED IN RESIDENTIAL PARKING SPACES

IMPERVIOUS SURFACE

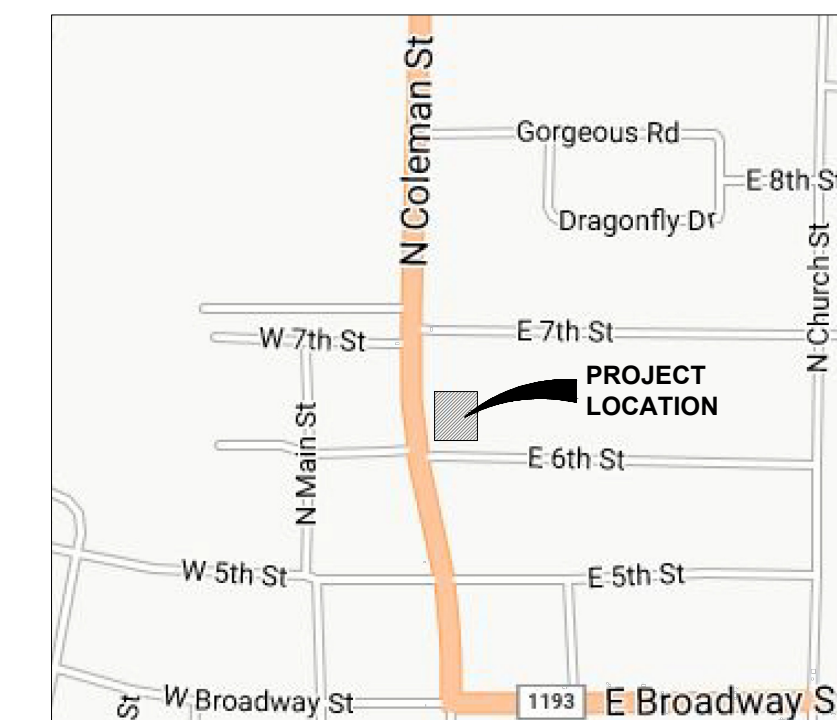
BUILDING SLAB AREA	5146 SQ.FT.
PAVED AREAS	6682 SQ.FT.
TOTAL IMPERVIOUS SURFACE	11,828 SF
TOTAL SITE AREA	14,214 SF
TOTAL IMPERVIOUS AREA PERCENTAGE	83%

WATER METER SCHEDULE

DOMESTIC WATER METER
NEW 2" METER IN VALVE BOX
IRRIGATION WATER METER
NEW 1 1/2" METER IN VALVE BOX

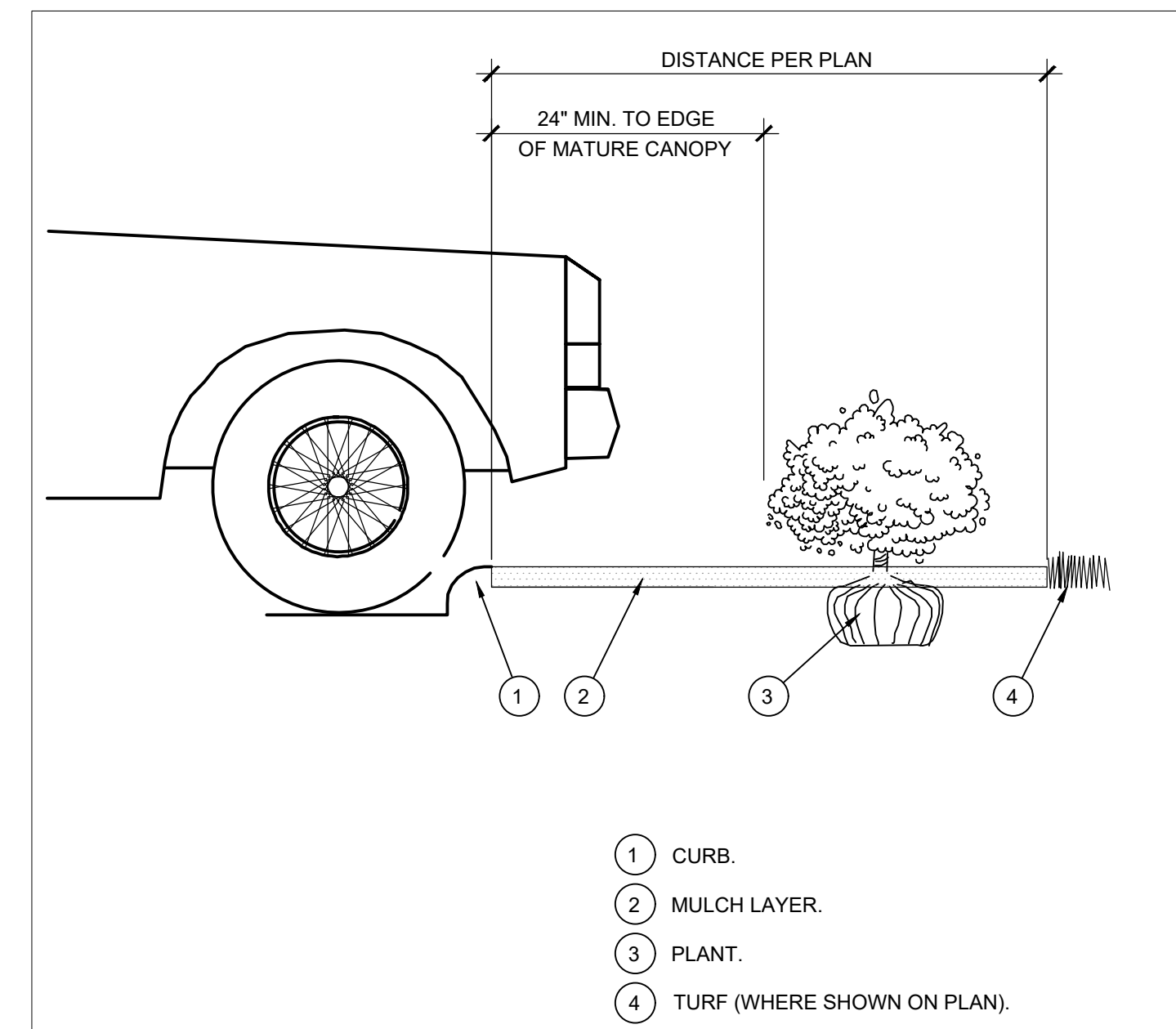
LEGEND

FH	NEW FIRE HYDRANT	---	PROPERTY LINE
FO	FIBER OPTIC	- - - - -	CHAIN LINK FENCE
GM	GAS METER	○ ○ ○ ○ ○	ORNAMENTAL FENCE
GUY	GUY WIRE	□ □ □ □ □	WOODEN FENCE
HP	HIGH MASS LIGHT POLE	/// ///	EXISTING WOODEN FENCE
LP	LIGHT POLE	— GAS — GAS — GAS	GAS LINE
PP	POWER POLE	---	EXISTING SANITARY SEWER LINE
SSMH	SANITARY SEWER MANHOLE	— P —	OVERHEAD POWER LINE
TPED	TELEPHONE PEDESTAL		EXISTING TREE
TS	TRAFFIC SIGN		NEW SHADE TREE
SS	SANITARY SEWER		NEW ORNAMENTAL TREE
CO	CLEAN OUT		NEW SHRUB
DCO	DOUBLE CLEAN OUT		NEW SHRUB
WM	WATER METER		MANHOLE
	GRASS		TEMPORARY BENCH MARK
	CONCRETE		
	TRAFFIC DIRECTION		
	PAVEMENT SLOPE		
	ACCESSIBILITY RAMP		
- - - - -	NEW CULVERT		

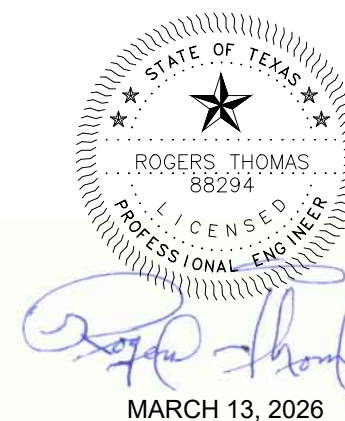


LOCATION MAP
NOT TO SCALE

NORTH



PARKING SPACE OVERHANG
NOT TO SCALE



PROSPER CENTRAL ADDITION BLOCK 1, LOT 1 DEVAPP-24-0108		
DATE	REVISION	BY
PROPOSED SITE PLAN EAST 6TH STREET MIXED USE FACILITY PROSPER CENTRAL ADDITION, BLOCK 1, LOT 1 TOWN OF PROSPER, COLLIN COUNTY TEXAS 75078		
THOMAS DESIGN TECHNOLOGIES ENGINEERS DESIGNERS PROJECT MANAGERS 1312 RABBIT RIDGE CEDAR HILL, TEXAS 75104 PHONE: (972) 672-8927 EMAIL: rthomas3710@att.net TBPE FIRM REGISTRATION NO. F-6086		
DESIGNED BY: THOMAS DESIGN TECH	CONTRACT NUMBER: 23-036	SHEET NO. C-2
DRAWN BY: THOMAS DESIGN TECH	FILE NAME: E 6th Street Mixed Use Civil Plans.Dwg	TOTAL SHEETS
REVIEWED BY: OWNER	PLOT SCALE: AS NOTED	
DATE: MARCH 13, 2026	CITY PROJECT NO.:	