

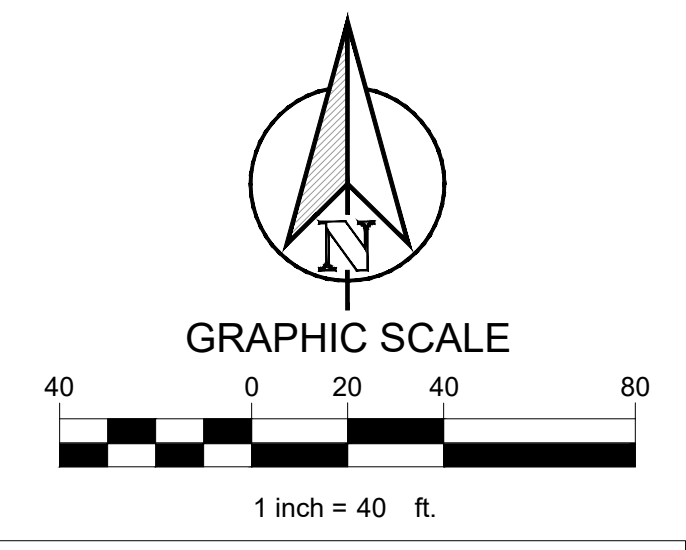


**VICTORY AT FRONTIER
 LOT 8, BLOCK A
 TOWN OF PROSPER, TEXAS**

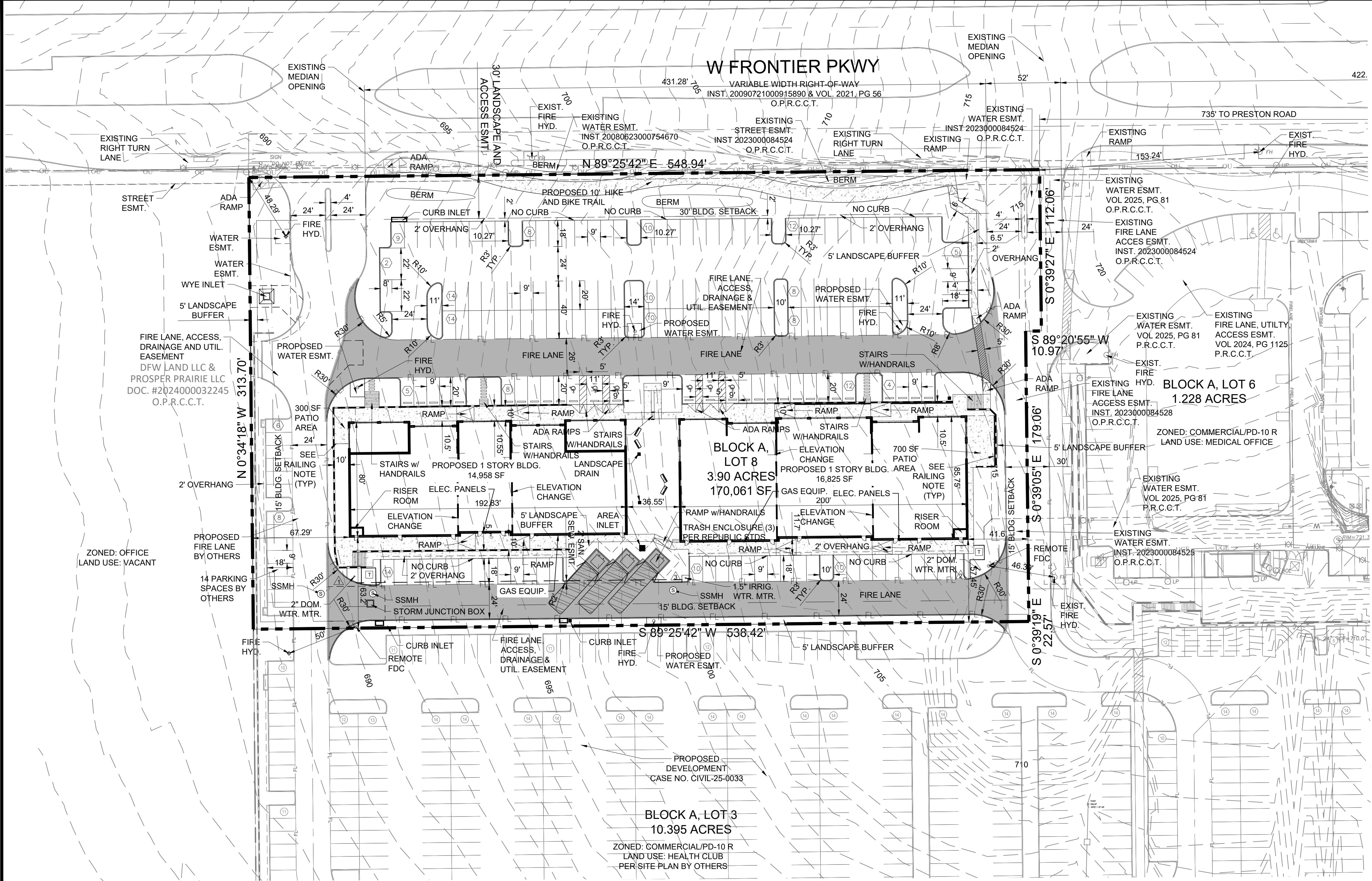
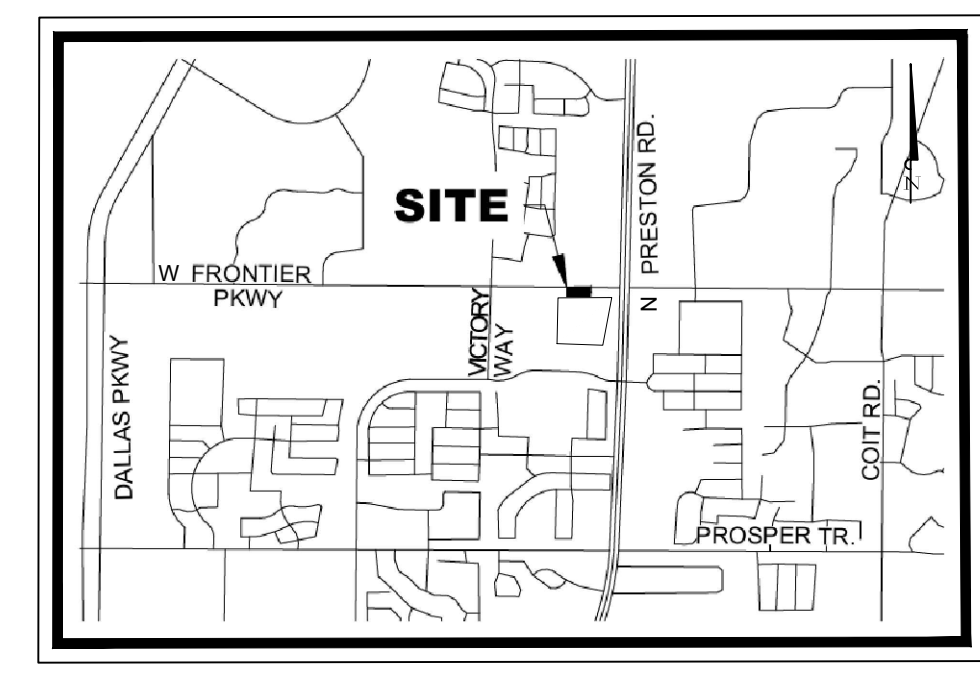
LEGEND	
[Symbol]	FIRE LANE
[Symbol]	DUMPSTER AREA CONCRETE PAVEMENT
[Symbol]	SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PARKING COUNT
[Symbol]	PROPOSED FIRE LANE STRIPING
[Symbol]	PROPOSED RETAINING WALL

NOTES:
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.

FLOODPLAIN INFORMATION
 According to FIRM Map No. 48085C0120J, effective June 2, 2009 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Dallas County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, a portion of this property is within Zone "A" which is defined as "Special Flood Hazard Areas Inundated By 100-Year Flood, no base flood elevations determined and Zone "X" unshaded, which is defined as "Areas determined to be outside 500-year floodplain". For the portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.



OPEN SPACE NOTE:
 7% OF NET LOT AREA IS REQUIRED TO BE PROVIDED AS OPEN SPACE. THE FOLLOWING SHALL NOT BE INCLUDED: VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION PONDS.

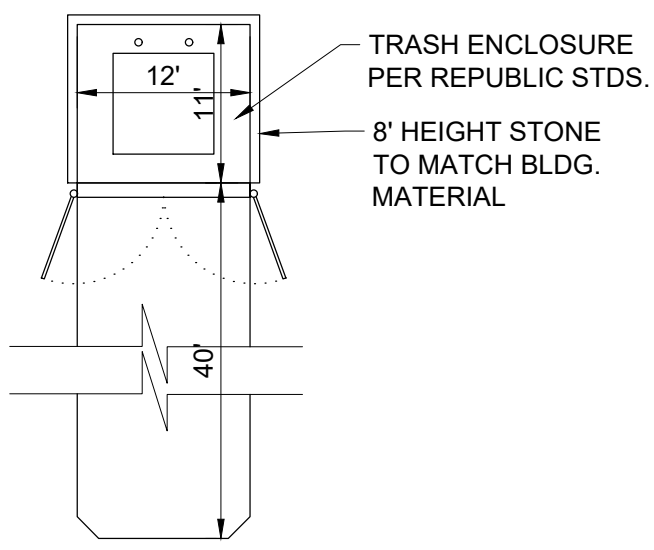


BENCHMARKS

SITE BENCHMARKS

- THE SITE BENCHMARK IS AN "X" CUT IN THE MEDIAN NOSE ON THE NORTH SIDE OF THE INTERSECTION OF PRESTON ROAD WITH FRONTIER PARKWAY. ELEVATION = 730.04' (NAVD '88)
- THE SITE BENCHMARK IS AN "X" CUT IN THE TOP OF THE CURB ON THE WEST SIDE OF A MEDIAN OF THE NORTH ENTRYWAY TO THE BUILDING AT 1921 N. PRESTON ROAD. ELEVATION = 717.70' (NAVD '88)

REFERENCE BENCHMARK:
 TOWN OF PROSPER STATION NO. 5: BRONZE DISK STAMPED "TOWN OF PROSPER SURVEY MONUMENT" LOCATED ON THE SOUTHWEST CORNER OF A CURB INLET LYING ON THE SOUTH SIDE OF N. COLEMAN STREET +225' WEST OF THE INTERSECTION OF N. COLEMAN STREET AND N. PRESTON ROAD. ELEVATION = 734.95'



WATER METER SCHEDULE

ID	TYP.	SIZE	NO.	SAN. SEWER
1	DOM.	2"	1	6"
2	DOM.	2"	1	6"
3	IRREG.	1.5"	1	N/A

GREASE TRAP NOTE:
 FUTURE GREASE TRAPS SHALL FOLLOW TOWN OF PROSPER ORDINANCE WITH NO WAIVERS, NO SHARED GREASE TRAPS, NO SUBSTANDARD SIZED UNITS, NO LOCATING THEM IN UNAPPROVED OR UNALLOWED AREAS SUCH AS PARKING AREAS OR FIRE LANES. RESTAURANT TENANTS WILL NOT BE PERMITTED IF TOWN REQUIREMENTS ARE NOT MET.

RAILING NOTE:
 ALL WALLS AND PATIOS SHALL HAVE FENCING 42 INCH IN HEIGHT AND MADE OF BLACK METAL TUBULAR RAILING, ADA COMPLIANT.

- SITE PLAN NOTES**
- All development standards shall follow Town Standards.
 - Landscaping shall conform to landscape plans approved by the Town of Prosper.
 - All development standards shall follow Fire Requirements per the Town of Prosper.
 - Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
 - All signage is subject to Building Official approval.
 - Impact fees will be assessed in accordance with the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time of CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
 - The approval of a Preliminary Site Plan shall be effective for a period of two (2) years from the date that the Preliminary Site Plan is approved by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of a Site Plan by the Planning & Zoning Commission. If a site plan is not approved within such two (2) year period, the Preliminary Site Plan approval is null and void. If Site Plan approval is only for a portion of the property, the approval of the Preliminary Site Plan for the remaining property shall be null and void.
 - Open Space requirements shall follow the Zoning Ordinance, per tract. Open Space shall not include vehicular paving, required parking lot landscape islands, building footprint, utility yards, required landscape setbacks, sidewalks, and detention pond *

SITE DATA SUMMARY TABLE

LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	WEST BUILDING AREA (SQ. FT.)	EAST BUILDING AREA (SQ. FT.)	BLDG HGT. (FT.# ST.)	LOT COVERAGE		PARKING			HANDICAP SP.	INTERIOR LANDSCAPE REQUIRED SF	INTERIOR LANDSCAPE PROVIDED SF	REQUIRED LANDSCAPING (10% OF LOT)	PROVIDED LANDSCAPING	OPEN SPACE REQ (% OF SITE)	OPEN SPACE PROVIDED	OPEN SPACE %	TOTAL IMPERVIOUS (SQ. FT.)	TOTAL PERVIOUS (SQ. FT.)						
								REQ.	PROV.	REQ. RATIO	REQ. PROV.	W/SHARED PARKING																
8	PD-10R RETAIL	RETAIL/RESTAURANT	3.90	170,061	8,075 REST. 300 SF PATIO	10,110 REST. 700 SF PATIO	42' 1-STORY	50% MAX	19.6%	1 SP / 250 SF REST.	1 SP / 100 SF REST.	1 SP / 200 SF PATIO	199	187	201	6	6	2805	5179	17,006	28,294	11,904	12,115	7.1%	142,394	84%	27,667	16%

** THERE IS A CROSS PARKING AGREEMENT BETWEEN LOTS 4, 5R, 7, & 8 BLOCK A OF VICTORY FRONTIER. PARKING PROVIDED WITH SHARED PARKING = 201 SPACES

PLOTTED BY: DAN CABALLERO
 PLOT DATE: 3/16/2026 10:04 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2025-011 VICTORY GROUP RETAIL 7 & 8 PROSPER\CADD\SHEETS\SITE PLAN.DWG
 LAST SAVED: 2/27/2026 11:08 AM

NO.	DATE	REVISION	BY

SITE PLAN

DESIGN: ASD
 DRAWN: DC
 CHECKED: ASD
 DATE: 3/16/2026

SHEET
SP-1

CASE NO. 2025-011