

14' X 15' LEASE AREA

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Collin County, Texas, also being situated in Lot 1R, Block A, Replat Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Instrument No. 2019-462, Map Records, Collin County, Texas, and being out of and a portion of that certain tract of land conveyed to the Prosper Independent School District by Instrument No. 20060901001264790, corrected by Instrument No. 20080624000765240, Deed Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a chiseled "x" set in concrete found for the southeast corner of said Lot 1R, also being the most easterly northeast corner of Lot 2, Block A, of Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Volume 2012-343, Map Records, Collin County, Texas,

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, South 89 degrees 39 minutes 09 seconds West, a distance of 32.76 feet to a Point;

THENCE through the interior of said Lot 1R, North 08 degrees 44 minutes 37 seconds West, a distance of 69.72 feet to a 5/8" iron rod set with cap marked "WEBB-4125" for the POINT OF BEGINNING hereof;

THENCE continuing through the interior of said Lot 1R the following four (4) courses:

- North 43 degrees 59 minutes 23 seconds West, a distance of 14.00 feet to a 5/8" iron rod set with cap marked "WEBB-4125";
- North 46 degrees 00 minutes 37 seconds East, a distance of 15.00 feet to a 5/8" iron rod set with cap marked "WEBB-4125";
- South 43 degrees 59 minutes 23 seconds East, a distance of 14.00 feet to a 5/8" iron rod set with cap marked "WEBB-4125";
- South 46 degrees 00 minutes 37 seconds West, a distance of 15.00 feet to the POINT OF BEGINNING hereof and containing 0.0048 acres or 210 square feet of land, more or less.

15' ACCESS EASEMENT

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Collin County, Texas, also being situated in Lot 1R, Block A, Replat Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Instrument No. 2019-462, Map Records, Collin County, Texas, and being out of and a portion of that certain tract of land conveyed to the Prosper Independent School District by Instrument No. 20060901001264790, corrected by Instrument No. 20080624000765240, Deed Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a chiseled "x" set in concrete found for the southeast corner of said Lot 1R, also being the most easterly northeast corner of Lot 2, Block A, of Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Volume 2012-343, Map Records, Collin County, Texas,

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, South 89 degrees 39 minutes 09 seconds West, a distance of 32.76 feet to a Point;

THENCE through the interior of said Lot 1R, the following two (2) courses:

- North 08 degrees 44 minutes 37 seconds West, a distance of 69.72 feet to a 5/8" iron rod set with cap marked "WEBB-4125":
- North 43 degrees 59 minutes 23 seconds West, a distance of 14.00 feet to the POINT OF BEGINNING hereof;

THENCE continuing through the interior of said Lot 1R the following four (4) courses:

- North 43 degrees 59 minutes 23 seconds West, a distance of 20.61 feet to a Point on the south line of an existing 24' fire lane, access, and utility easement as dedicated by said Replat Prosper Sports Complex;
- Along said 24' fire lane, access, and utility easement, North 46 degrees 10 minutes 50 seconds East, a distance of 15.00 feet to a Point;
- South 43 degrees 59 minutes 23 seconds East, a distance of 20.56 feet to a Point;
- South 46 degrees 00 minutes 37 seconds West, a distance of 15.00 feet to the POINT OF BEGINNING hereof and containing 0.0089 acres or 309 square feet of land, more or less.

5' UTILITY EASEMENT

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Collin County, Texas, also being situated in Lot 1R, Block A, Replat Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Instrument No. 2019-462, Map Records, Collin County, Texas, and being out of and a portion of that certain tract of land conveyed to the Prosper Independent School District by Instrument No. 20060901001264790, corrected by Instrument No. 20080624000765240, Deed Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2. South 89 degrees 39 minutes 09 seconds West, a distance of 32.76 feet to a Point;

THENCE through the interior of said Lot 1R the following two courses:

- North 08 degrees 44 minutes 37 seconds West, a distance of 69.72 feet to a 5/8" iron rod set with cap marked "WEBB-4125"
- North 43 degrees 59 minutes 23 seconds West, a distance of 4.49 feet to the POINT OF BEGINNING hereof;

THENCE continuing through the interior of said Lot 1R the following four (4) courses:

- South 46 degrees 00 minutes 37 seconds West, a distance of 52.30 feet to a Point on the northeast line of an existing electric easement as dedicated by said Replat Prosper Sports Complex;
- Along said existing electric easement, North 43 degrees 49 minutes 10 seconds West, a distance of 5.00 feet to a Point;
- North 46 degrees 00 minutes 37 seconds East, a distance of 52.29 feet to a Point;
- South 43 degrees 59 minutes 23 seconds East, a distance of 5.00 feet to the POINT OF BEGINNING hereof and containing 0.0060 acres or 261 square feet of land, more or less.

5' COAX EASEMENT

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Collin County, Texas, also being situated in Lot 1R, Block A, Replat Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Instrument No. 2019–462, Map Records, Collin County, Texas, and being out of and a portion of that certain tract of land conveyed to the Prosper Independent School District by Instrument No. 20060901001264790, corrected by Instrument No. 20080624000765240, Deed Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a chiseled "x" set in concrete found for the southeast corner of sold Lot 1R, also being the most easterly northeast corner of Lot 2, Block A, of Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Volume 2012–343, Map Records, Collin County, Texas,

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, South 89 degrees 39 minutes 09 seconds West, a distance of 27.71 feet to the POINT OF BEGINNING hereof;

THENCE continuing along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, South 89 degrees 39 minutes 09 seconds West, a distance of 5.05 feet to a Point;

THENCE through the interior of said Lot 1R the following three (3) courses:

- North 08 degrees 44 minutes 37 seconds West, a distance of 69.72 feet to a Point;
- North 46 degrees 00 minutes 37 seconds East, a distance of 6.12 feet to a Point;
- South 08 degrees 44 minutes 37 seconds East, a distance of 73.99 feet to the POINT OF BEGINNING hereof and containing 0.0082 acres or 359 square feet of land, more or less.

LEASE AREA #2

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Collin County, Texas, also being situated in Lot 2, Block A, Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Volume 2012–343, Map Records, Collin County, Texas, and being out of and a portion of that certain tract of land conveyed to the Town of Prosper by Instrument No. 20070312000330490, Deed Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a chiseled "x" set in concrete found for the southeast corner of Lot 1R, Block A, Replat Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Instrument No. 2019-462, Map Records, Collin County, Texas, also being the most easterly northeast corner of said Lot 2;

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, South 89 degrees 39 minutes 09 seconds West, a distance of 27.71 feet to the POINT OF BEGINNING hereof;

THENCE through the interior of said Lot 2 the following three (3) courses:

- South 08 degrees 44 minutes 37 seconds East, a distance of 8.87 feet to a Point;
- 2. South 81 degrees 15 minutes 23 seconds West, a distance of 5.00 feet to a Point;
- North 08 degrees 44 minutes 37 seconds West, a distance of 9.61 feet to a Point;

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, North 89 degrees 39 minutes 09 seconds East, a distance of 5.05 feet to the POINT OF BEGINNING hereof and containing 0.0011 acres or 46 square feet of land, more or less.

l	PROJECT INFORMATION	LEGEND	\ \		
l	CENTER OF LIGHT POLE COORDINATES:	-O- PP - POWER POLE			
	Latitude: N 33' 15' 30.6856" NAD83 Longitude: W 96' 48' 07.1271" NAD83 Ground Elevation (AMSL): 649.8 Feet Top of Existing Light Pole: 79.9 AGL	TPED – TELEPHONE RISER WV– WATER VALVE - H – FIRE HYDRANT TOWER CENTROID			
l	NOTES:	X LP - LIGHT POLE			
l	INGRESS/EGRESS IN COMMON WITH LESSOR.	⊞ EM - ELECTRIC METER I GM - GAS METER	1		
	LATITUDE AND LONGITUDE SHOWN HEREON ARE BASED ON NAD83 AND ELEVATIONS NAVD 1988.	 IRS – IRON ROD SET IRF – IRON ROD FOUND 			
	MAGNETIC DECLINATION INFORMATION TAKEN FROM NOAA WEB SITE AND IS APPROXIMATE.	TBM BENCH MARK			
	LATITUDE AND LONGITUDE FROM GPS OBSERVATIONS PERFORMED COINCIDENT WITH SURVEY, 1983 NORTH AMERICAN DATUM.				
	BASIS OF ELEVATION: GPS OBSERVATIONS PERFORMED COINCIDENT WITH SURVEY.	SURVEYOR'S CERTIFICATE}	_		
	BASIS OF BEARINGS: GRID BEARINGS BASED ON GPS OBSERVATIONS PERFORMED COINCIDENT WITH SURVEY.	The undersigned does hereby described hereon prepared b	y the		
l	CONVERGENCE ANGLE: 0° 55' 34"	the survey correctly shows the le the property; that there are no			
	BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS WITHIN ZONE "X", AREAS OUTSIDE OF A 100 YR. FLOOD PLAIN AS SHOWN BY FIRM MAP COMMUNITY-PANEL NUMBER 48085C0120J, DATED 06/02/2009. NO SURVEYING WAS DONE TO DETERMINE THIS FLOOD ZONE.	conflicts, encroachments, ove on the plat hereon; that sub true, correct and accurate r undersigned hereby certifies the tract shown on this plat shown hereon is correct. TI by the "Texts Society of Pro-	oject epres that of his s		
		Kurtis R./Webb R.P.L.S. #4125			

Surveyor's address to items relevant to survey as described in Report of Title prepared by US Title Solutions, File No. 67571-TX2103-5039, effective date 03/15/2021:

Easement by C. B. Shipley to Texas Power & Light Company, of Dallas, Texas, dated 11/19/1924 recorded 3/14/1925 in book 254 page 82. Does not affect the subject tract.

Right of Way by Virginia Shipley, a widow to Lone Star Gas Company, a Corporation, dated 8/15/1955 recorded 12/16/1955 in book 507 page 364. Does not affect the subject tract.

Easement by Prosper Independent School District to County of Collin, acting by and through Collin County Commissioners Court, dated 8/7/2000 recorded 9/6/2000 in Instrument No: 2000-0096880. Current right-of-way of Frontier Parkway; does not affect the subject tract.

Easement by William F. Ellis, Vice President Bank of America, N.A., Trustee of the Virginia C. Shipley Trust to TXU Gas Company, a corporation, dated 2/12/2002 recorded 4/4/2002in Instrument No: 2002-0032402. Does not affect the subject tract.

Easement by William F. Ellis, Vice President Bank of America, N.A., Trustee, amnd Tommy Allen to CoServ Gas, Ltd., a Texas limited partnership, dated 3/6/2006 recorded 3/9/2006 in Instrument No: 20060309000306590. Does not affect the lease area, access easement, coax or utility easements shown hereon.

Easement by William F. Ellis, Vice President Bank of America, N.A., Trustee, and Tommy Allen to CoServ Gas, Ltd., a Texas limited partnership, dated 3/6/2006 recorded 3/9/2006 in Instrument No: 20060309000306600. Does not affect the subject tract.

Easement by Town of Prosper to Oncor Electric Delivery Company LLC, a Delaware limited liability company, dated 10/17/2017 recorded 11/27/2017 in Instrument No: 20171127001564720. Does not affect the subject tract.

Easement by Prosper Independent School District to Grayson Collin Electric Cooperative, Inc., dated 7/28/2020 recorded 8/5/2020 in Instrument No :20200805001257680. Shown hereon; affects the utility easement shown hereon.

Prosper Sports Complex Lots 1 & 2, Block A dated 9/4/2012 recorded 9/20/2012 in Instrument No. 2012-343. Easements dedicated therein shown hereon.

Replat Prosper Sports Complex Lot 1R, Block A dated 6/27/2019 recorded 7/8/2019 in Instrument No. 2019-462. Easements dedicated therein shown hereon.

VICINITY MAP



rtify that a survey was made on the ground of the property legally ie undersigned and is true and correct to the best of my knowledge; location of all buildings, structures and other improvements situated or visible discrepancies, conflicts, shortages in area, boundary line pping of improvements, easements or rights—of—way except as shown is property has access to a public roadway; and the plat hereon is a seentation of the property described hereinabove. Furthermore, the the has calculated the quantity of land or acreage contained within survey and described hereon and certifies that the quantity of land survey meets the applicable requirements for land surveys as defined sional Surveyors Manual of Practice for Land Surveying in Texas".



Webb Surveying, Inc. Land Surveyors Surveying, Inc. Land Surveyors Sure 139 Buen, 1X 75023 Page 2200 Plean, 1X 75023							
STIRVEV		SITE NAME. DAN3931D PROSPER		SHE NUMBER: DAUSSOLD	1240 FRONTIFR PARKWAY	PROSPER TY 75078	
Te - Mobile - 7668 WARREN PARKWAY FRISCO, TEXAS 75034 OFFICE: (972) 464-3030 FAX: (972) 464-3180							
	OR K	WN		KR KR			
DESCRIPTION:	DATE OF SURVEY	ISSUED	REVISED LEASE AREA	MISC. REVISIONS	REVISED LEASE AREA		
NO: DATE:	1 03/29/2021	2 04/08/2021	3 05/26/2021	4 06/08/2021	5 03/15/2022	10	2
N N	5	V	r _		6 6 7	2	

FLOOD NOTE:

HE PROPOSED SITE IS LOCATED IN FLOOD ZONE X, AERA OF MINIMAL FLOOD HAZARD, PER FEMA MAP# 48085C0120J EFFECTIVE ON 06/02/09. IF A PROFESSIONAL CONSULTANT HAS FINDING OF FLOODING/WETLANDS CONTACT ALLPRO CONSULTING GROUP, INC FOR A REDESIGN.

SITE LAYOUT IS BASED ON ZONING DRAWINGS BY ALLPRO CONSULTING GROUP, INC ACGI#21-5315 DATED 03/23/22 AND SITE WALK BY ALLPRO CONSULTING GROUP, INC. ACGI#21-0857 DATED 03/23/21. IF ANY DISCREPANCY IS NOTICED BETWEEN THE ACTUAL SITE LAYOUT AND THESE DRAWINGS, PLEASE NOTIFY ALLPRO CONSULTING GROUP, INC. FOR A REDESIGN.

NOTE

ALL INSTALLATIONS SHOULD BE IN COMPLIANCE WITH ANSI/ASSE A10.48 AND ANY OTHER SAFETY STANDARDS.

NOTES:

- PROPOSED BURIED OR OVERHEAD UTILITIES MUST BE CONTAINED WITHIN A DEDICATED UTILITY EASEMENT. ALL EXISTING AND NEW UTILITY EASEMENTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. NO DIGGING OR TRENCHING SHALL BE ALLOWED WITHOUT PRIOR VERIFICATION OF EXISTING BURIED UTILITIES.
- 2. POWER & FIBER/TELCO SOURCES AND ROUTING TO BE FIELD
- VERIFIED.

3. ALL UTILITY RUNS TO BE LOCATED WITHIN EASEMENT

NOTE: REFERENCE SURVEY BY WEBB SURVEYING, INC KRW JOB# 221-018 DATED 03/15/22. ALL PROPERTY LINES, UTILITIES AND EASEMENTS TO BE VERIFIÉD IN FIELD. DUE DILIGENCE SHALL BE DONE BY OTHERS BEFORE THE SITE IS BUILT AS SHOWN. IN CASE OF ANY CONFLICTS DUE TO PROPERTY LINES OR NEW EXPANSION ON AN EXISTING EASEMENTS OR DUE TO LANDLORD PREFERENCE FOR A DIFFERENT DESIGN, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC FOR A REDESIGN BEFORE SITE IS BUILT.



CMU WALL/FOUNDATION DESIGN IS BY ALLPRO CONSULTING GROUP, INC ACGI# 22-4294 DATED 12/19/22.

LEGEND

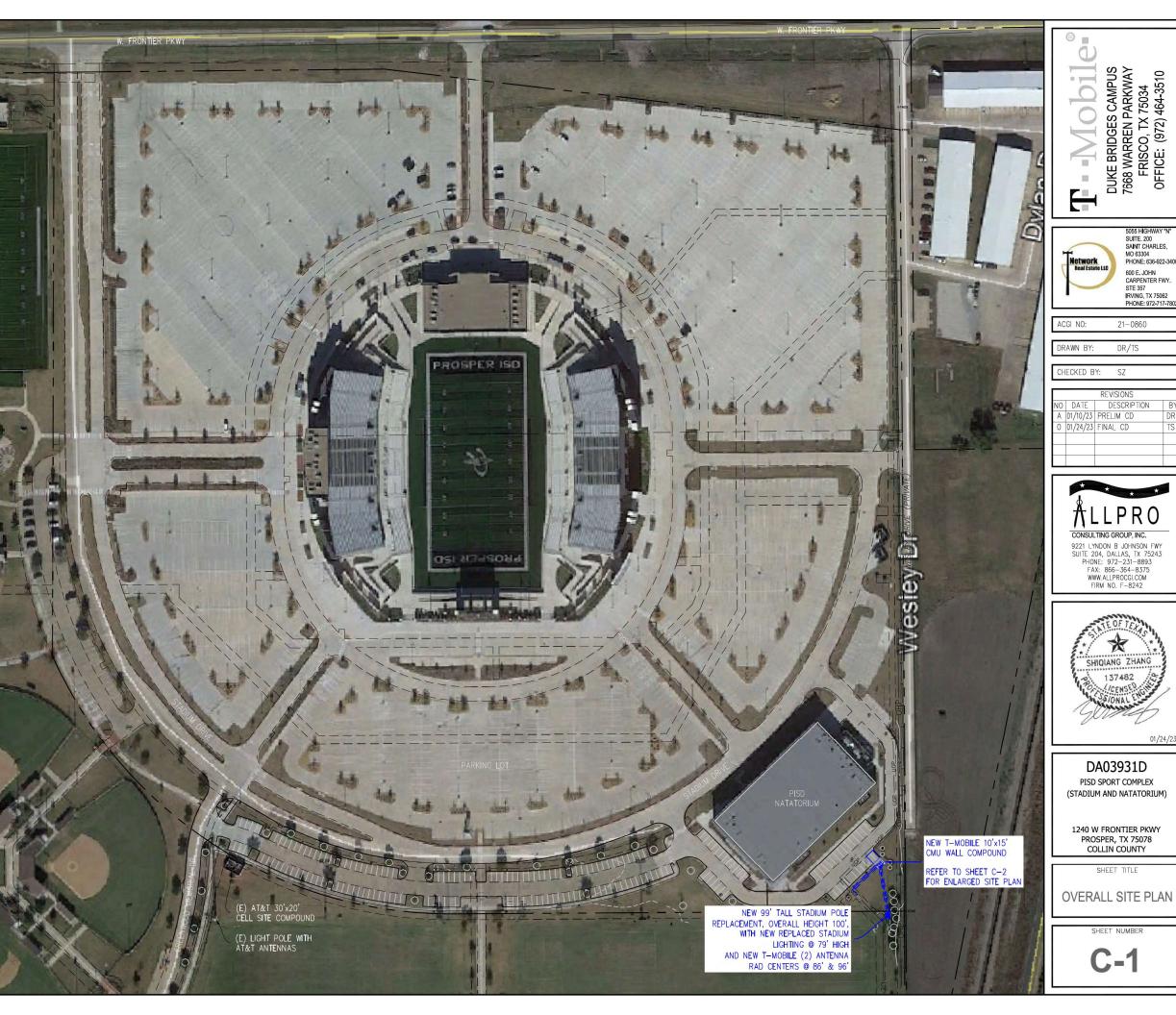
-O- PP - POWER POLE TPED - TELEPHONE RISER ○ WV- WATER VALVE -O- FH - FIRE HYDRANT + TOWER CENTROID X LP - LIGHT POLE ⊞ EM - ELECTRIC METER GM - GAS METER IRS - IRON ROD SET ○ IRF - IRON ROD FOUND твм BENCH MARK

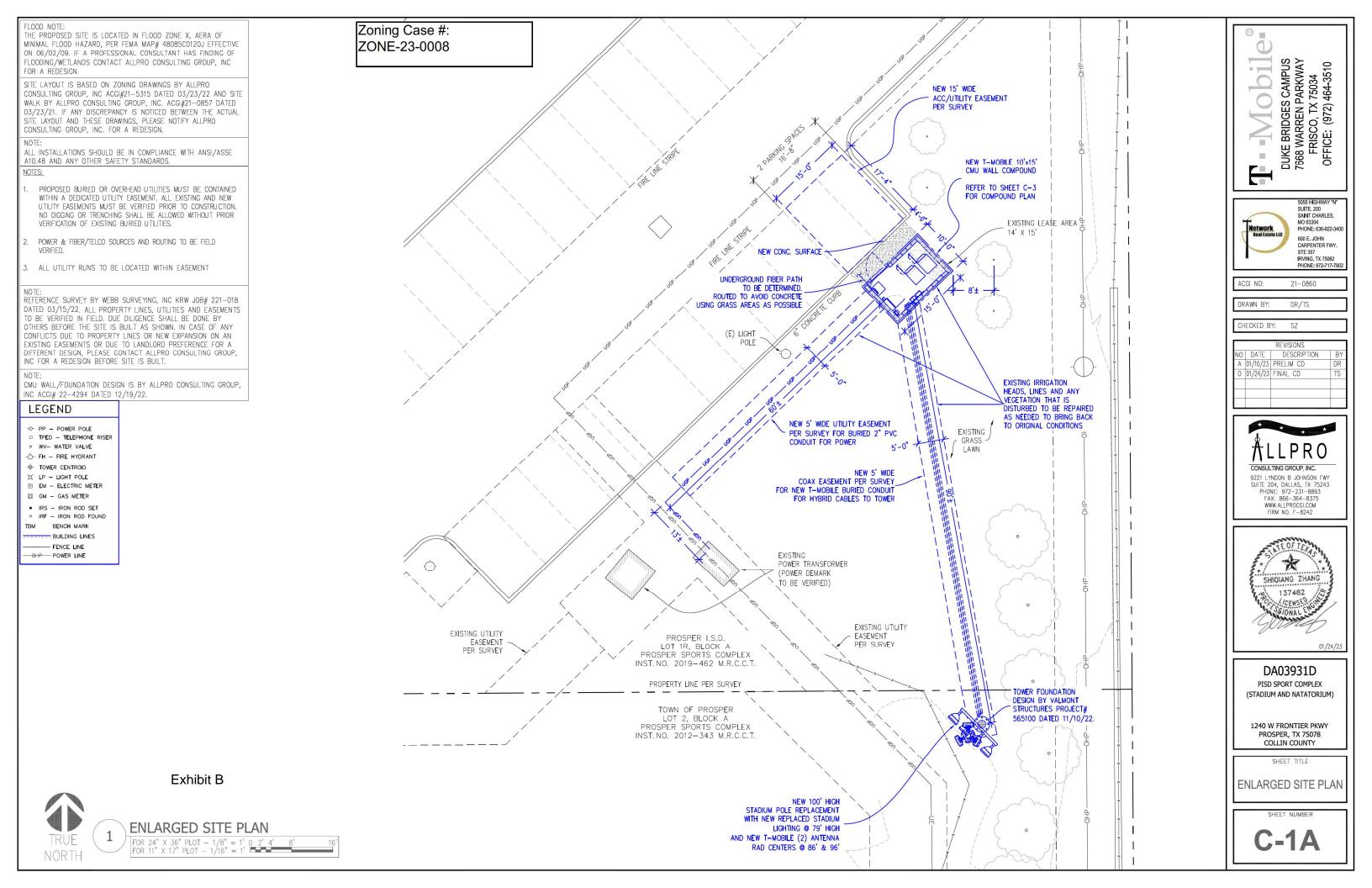
BUILDING LINES - FENCE LINE OHP POWER LINE

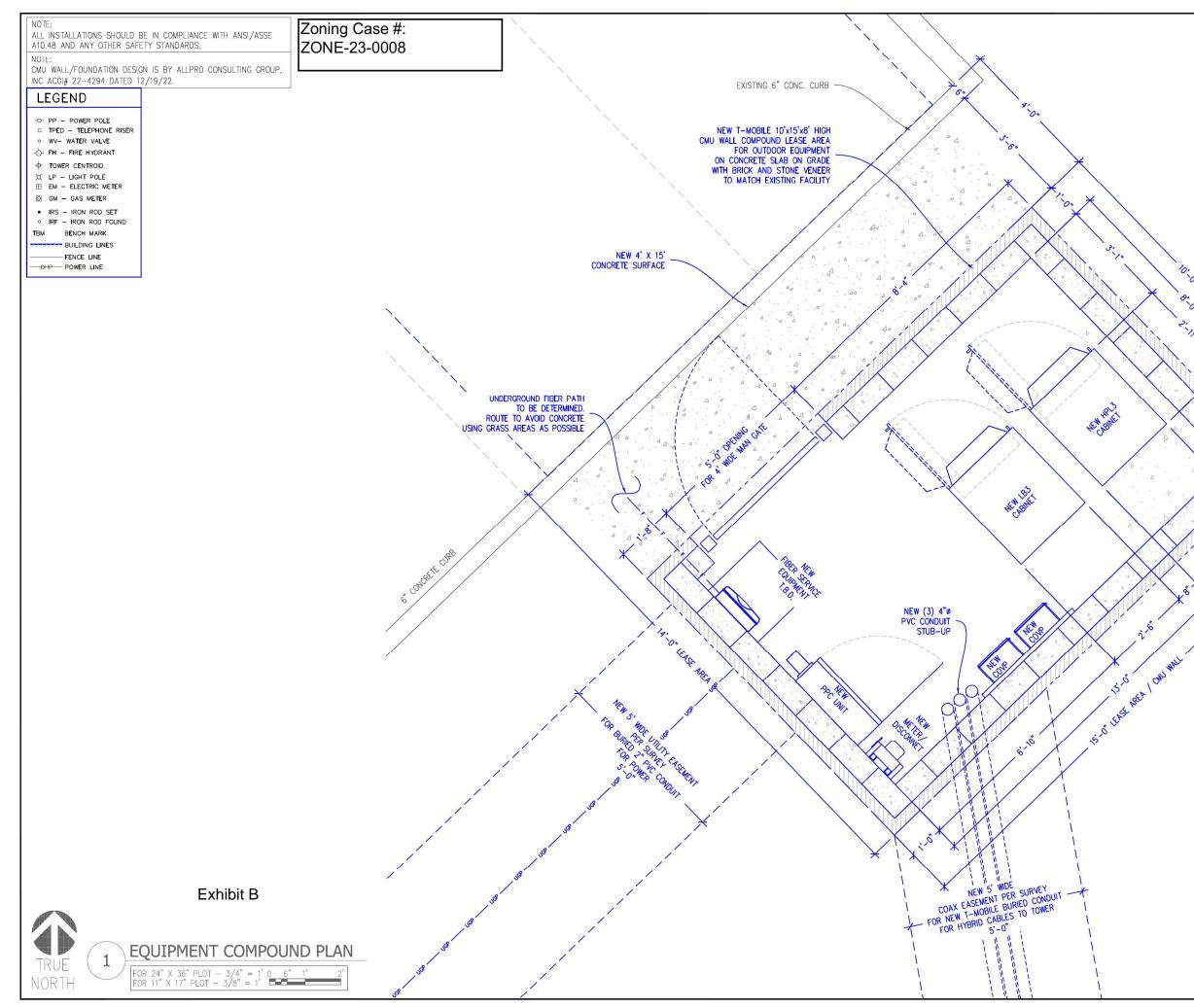
Exhibit B

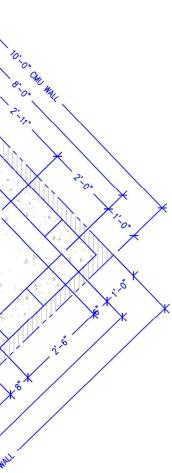
OVERALL SITE PLAN

NOR

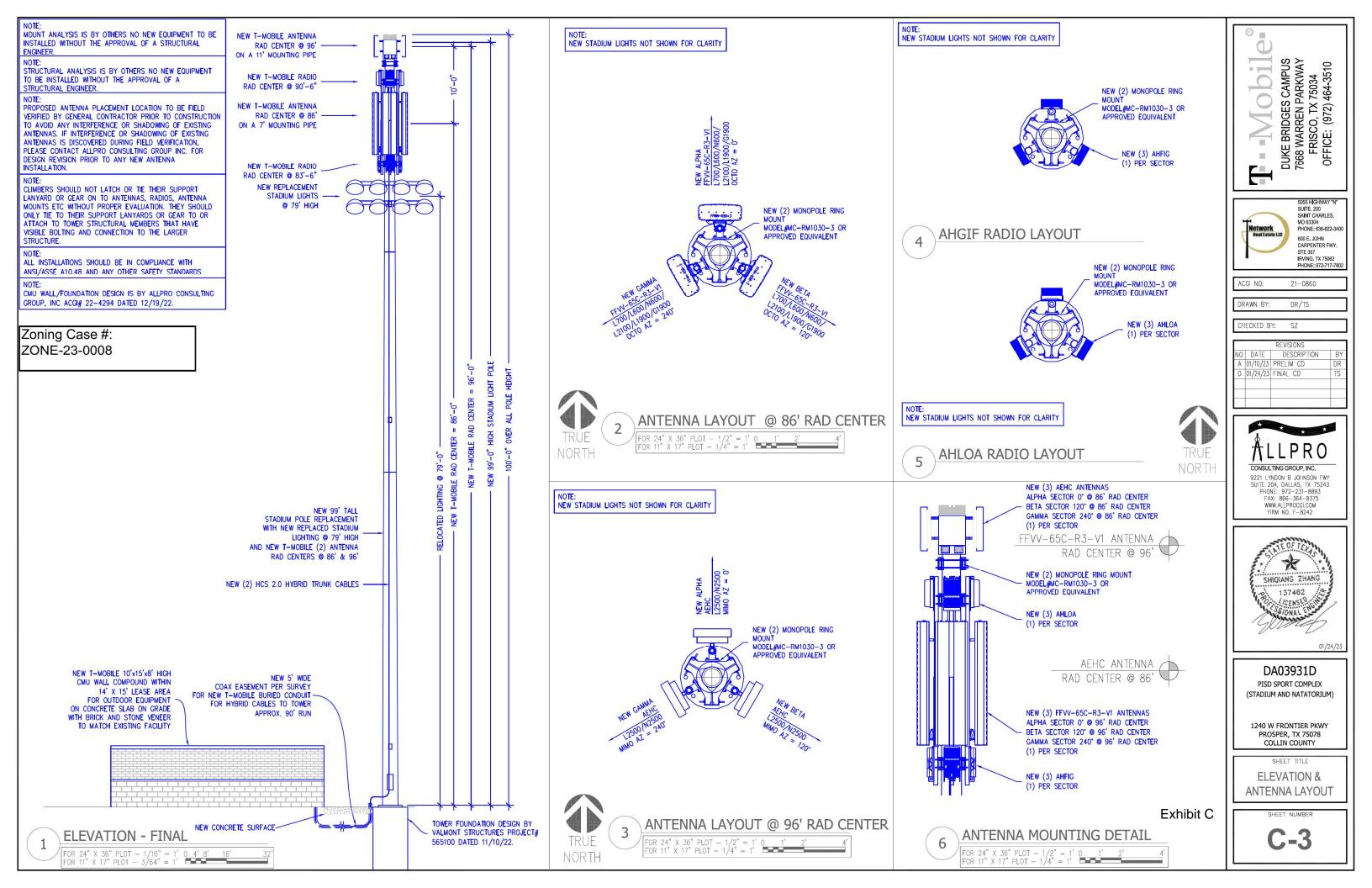


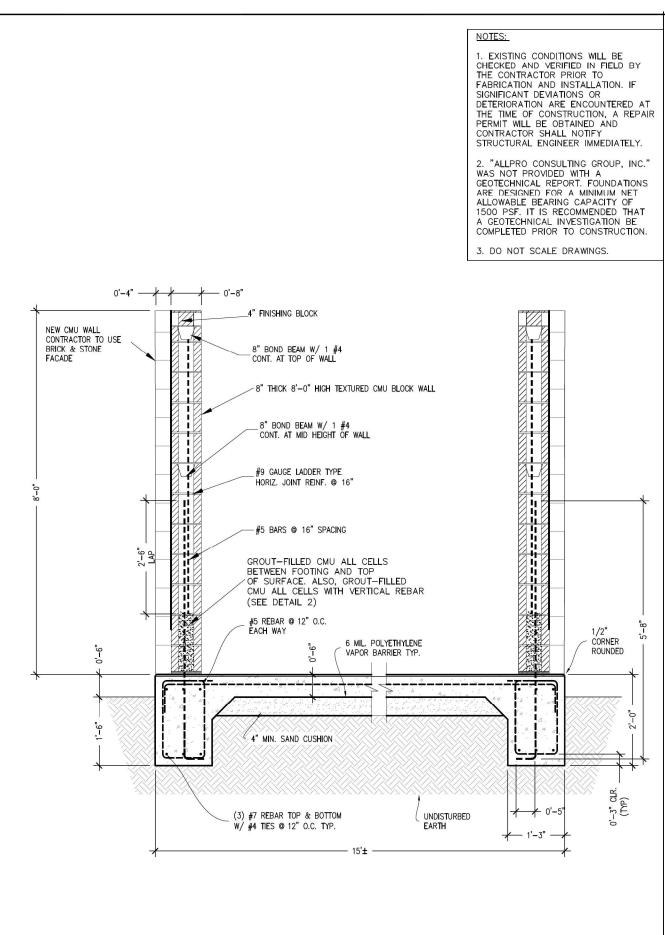




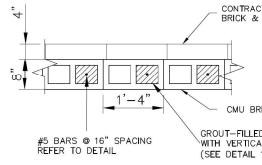




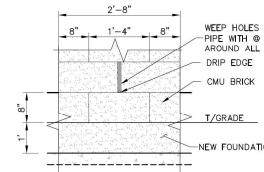




1) CMU WALL SECTION ON EXISTING FOOTAGE SIDE SCALE : 1/2"=1'-0" 1. ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH ANSI/ ASSE 10.48 AND ANY OTHER SAFETY STANDARDS.

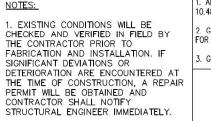


2 REBAR W/ GROUT SPACI





		 T. Mobile DUKE BRIDGES CAMPUS 7688 WARREN PARKWAY FRISCO, TX 75034 OFFICE: (972) 464-3510
		ACGI NO: 22-4294
		DRAWN BY: SP
		CHECKED BY: SZ
CTOR TO USE & STONE FACADE		0 12/19/22 CMU WALL DESIGN
RICK		∱LL P R O
ED CMU ALL CELLS AL REBAR 1 FOR GROUT LOCATION)		CONSULTING GROUP, INC. 9221 Lyndon B Johnson Fwy Suite 204, Dailas, TX 75243 Phone: 972-231-8893 Fax: 886-364-8375 www.aliprogloom registration no. 8242
ING		
S WITH 1/2" DRAINAGE 2'-8" SPACING L WALLS		SHIQIANG ZHANG 137482 ICENSI ICENS I
		SITE ID: DA0931D
- TION		SITE NAME: PISD SPORT COMPLEX
		1240 FRONTIER PKWY PARK RD, PROSPER, TX 75078 COLLIN COUNTY
		SHEET TITLE
	Exhibit C	SHEET NUMBER

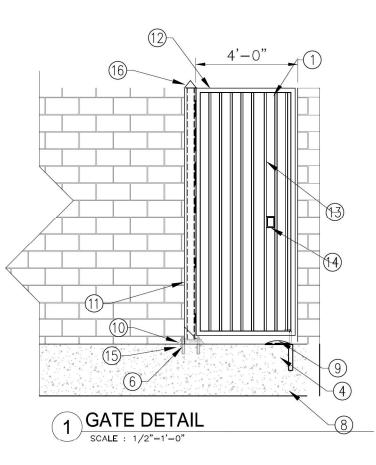


2. "ALLPRO CONSULTING GROUP, INC." WAS NOT PROVIDED WITH A GEOTECHNICAL REPORT. FOUNDATIONS ARE DESIGNED FOR A MINIMUM NET ALLOWABLE BEARING CAPACITY OF 1500 PSF. IT IS RECOMMENDED THAT A GEOTECHNICAL INVESTIGATION BE COMPLETED PRIOR TO CONSTRUCTION.

3. DO NOT SCALE DRAWINGS.

ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH ANSI/ ASSE 10.48 AND ANY OTHER SAFETY STANDARDS.

. GENERAL CONTRACTOR TO VERIFY WITH GENERATOR MANUFACTURER FOR FIT PRIOR TO POURING CONCRETE AND INSTALLATION. . GENERATOR DESIGN AND DRAWINGS BY OTHERS



REFERENCE NOTES:

1. MANUFACTURER TO PROVIDE RUST INHIBITIVE PAINT OR GALVANIZATION

2. EXISTING SITE MATERIAL.

3. WELD ON HEAVY DUTY HINGE (4) PER LENGTH OF TUBE WITH FINISH TO MATCH FRAME.

4. (1) GATE STOP

5. HSS4x4x3/8 FINISH TO MATCH GATE FRAME. WELDED TO BASEPLATE W/ 3/16" WELD ALL AROUND.

6. 3/4" BASEPLATE W/ (4) 3/4" DIAMETER BOLTS EMBEDDED 4 1/2" INTO FOUNDATION W/ HILTI HY200 ADHESIVE ANCHOR. 1 1/2" 5000 PSI NON SHRINK GROUT BELOW.

7. 1/2" CAP PLATE. WELD TO TOP OF POST W/ 3/16" WELD ALL AROUND.

8. GATE STOP SUPPORT 12" DIAMETER BY 2'-O" DEEP 3000 PSI CONCRETE W/ MUSHROOM GATE STOP EMBEDDED ON TOP OF CONCRETE.

9. REMOVABLE 1/2" DIAMETER BENT BAR WITH CASING EMBEDDED IN GATE STOP CONCRETE.

10. BASE BLOCK TRIMMED AROUND BASE AND GROUTED FROM TOP W/ 5000 PSI NON SHRINK GROUT OVER BASEPLATE.

11. LAST TWO CELLS FULLY GROUTED. ONE CELL AWAY FROM END TO BE FULLY GROUTED W/ (2) #5 BARS.

12. 2 SQ. IN. STEEL FRAME ALL AROUND.

13. 1 SQ. IN. STEEL PICKETS @ 4" O.C.

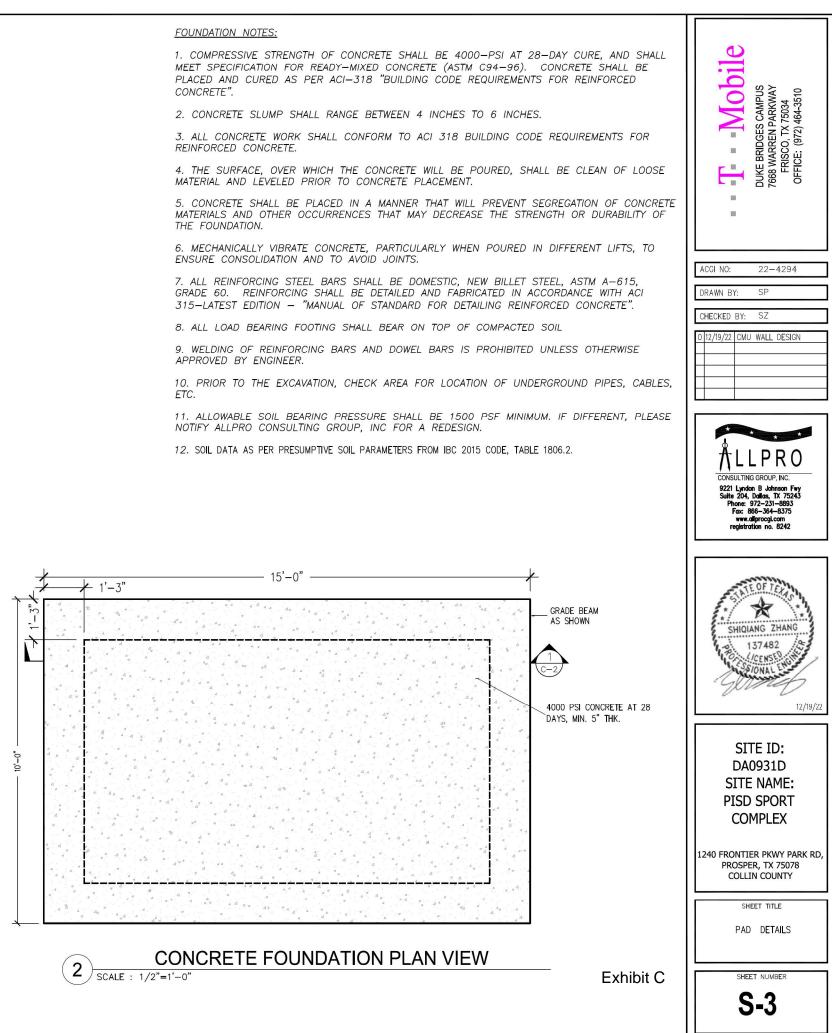
14. KNOX BOX

15. 13" TALL BY 12" CONCRETE VERTICAL EXTENSION FROM FOOTING FOR STEEL GATE BASE PLATE ANCHOR

CONCRETE".

REINFORCED CONCRETE.

ENSURE CONSOLIDATION AND TO AVOID JOINTS.





MASONRY

1. MASONRY STRENGTH

A. HOLLOW CONCRETE MASONRY UNITS: GRADE N. LIGHTWEIGHT WITH A COMPRESSIVE STRENGTH OF F = 1500PSI ON THE NET AREA.

B. GROUT: 2000 PSI. MINIMUM 28 DAY COMPRESSIVE STRENGTH. VIBRATE GROUT IMMEDIATELY AFTER POURING AND AGAIN AFTER 5 MINUTES. GROUT SHALL CONFORM TO TO ASTM C476 AND UBC 2103. MIX GROUT FOR AT LEAST FIVE MINUTES AND UNTIL MIX HAS BEEN ATTAINED. GROUT SHALL HAVE SUFFICIENT WATER ADDED TO PRODUCE A CONSISTENCY FOR POURING WITHOUT SEGREGATION USE GROUT WITHIN 1.5 HOURS OF ADDITION OF MIXING WATER.

COMPRESSIVE STRENGTH. CONFORM TO UBC 2103.

D. 4,000 PSI STRENGTH CONCRETE AT 28 DAY 3" TO 5" SLUMP.

LAY UNITS IN RUNNING BOND. CORNERS SHALL HAVE A STANDARD BOND BY OVER- LAPPING UNITS.

MAXIMUM GROUT LIFT WITHOUT CLEAN-OUTS SHALL BE 4'-0".

TIE VERTICAL REINFORCING AT EACH END OF BAR AND AT 4'--0" MAXIMUM VERTICAL SPACING USING SINGLE WIRE LOOP TYPE TIES AS MANUFACTURED BY A.A. WIRE PRODUCTS COMPANY OR APPROVED ALTERNATE.

SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS.

GROUT SOLID ALL WALLS IN CONTACT WITH EARTH, RETAINING WALLS, STEM WALLS, AND AS NOTED ON DRAWINGS.

AS A STRUCTURAL ELEMENT.

8. PRIOR TO CROUTINC, THE CROUT SPACE SHALL BE CLEAN FILLED WITH GROUT DO NOT SO THAT ALL SPACES TO BE CONTAIN MORTAR PROJECTIONS GREATER THAN 1/2 INCH. MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. SHALL BE PLACED SO THAT ALL SPACES DESIGNATED TO BE GROUTED SHALL BE FILLED WITH GROUT AND THE GROUT SHALL BE CONFINED TO THOSE SPECIFIC SPACES.

9. GROUT MATERIALS AND WATER CONTENT SHALL BE FLUIDITY CONTROLLED TO PROVIDE ADEQUATE PLACEMENT, WITHOUT SEGREGATION OF THE CONSTITUENTS, AND SHALL BE MIXED THOROUGHLY.

10. THE GROUTING OF ANY SECTION OF WALL SHALL BE COMPLETED IN ONE DAY WITH NO INTERRUPTIONS GREATER THAN ONE HOUR.

12. BETWEEN GROUT POURS, A HORIZONTAL CONSTRUCTION JOINT SHALL BE FORMED BY STOPPING ALL C.M.U. AT THE SAME ELEVATION AND WITH THE GROUT STOPPING A MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. GROUT SHALL BE PLACED SO THAT WHERE BOND BEAMS OCCUR. THE GROUT POUR SHALL BE STOPPED A MINIMUM OF 1/2 INCH BELOW THE TOP OF THE MASONRY.

13. SEGREGATION OF GROUT MATERIALS AND DAMAGE TO THE MASONRY SHALL BE AVOIDED DURING THE GROUTING PROCESS.

14. GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION DURING PLACEMENT BEFORE LOSS OF PLASTICITY IN A MANNER TO FILL THE GROUT SPACE. GROUT POURS GREATER THAN 12 INCHES IN HEIGHT WILL BE RECONSOLIDATED BY MECHANICAL VIBRATION TO WHERE BOND BEAMS OCCUR, THE GROUT POUR SHALL BE STOPPED A MINIMUM OF 1/2 MECHANICALLY VIBRATED OR PUDDLED AND RODDED WITH SMOOTH BAR.

15. GROUT SHALL NOT BE HANDLED NOR PUMPED UTILIZING ALUMINUM EQUIPMENT UNLESS IT CAN BE DEMONSTRATED WITH THE MATERIAL AND EQUIPMENT TO BE USED THAT THERE WILL BE GROUTED MASONRY SHALL BE CONSTRUCTED IN SUCH ANO DELETERIOUS EFFECT ON THE STRENGTH OF THE GROUT.MANNER THAT ALL ELEMENTS OF THE MASONRY ACT TOGETHER16. PLACE #4 VERTICALREINFORCEMENT @ EACH CORNER AND @ EACH SIDE OF AN OPENING

