

ZONING EXHIBIT "A"

LEGAL DESCRIPTION

BEING ALL OF LOT 3, BLOCK A, ST. MARTIN DE PORRES, AN ADDITION TO THE CITY OF PROSPER, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2017-365, PLAT RECORDS, DENTON COUNTY, TEXAS, AND ALSO BEING A PORTION OF US HIGHWAY 380, A PUBLIC 160' RIGHT-OF-WAY, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" YELLOW CAPPED IRON ROD STAMPED "BHB INC" FOUND AT THE NORTHWEST CORNER OF SAID LOT 3 AND THE SOUTHWESTERLY MOST CORNER OF LOT 2, OF SAID BLOCK A, SAID IRON ROD ALSO BEING IN THE NORTHEASTERLY LINE OF LOT 1, BLOCK A, COOK CHILDREN'S MEDICAL CENTER ADDITION, AN ADDITION TO THE CITY OF PROSPER, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2019-421, PLAT RECORDS, DENTON COUNTY, TEXAS;

THENCE ALONG THE NORTH LINE OF SAID LOT 3 AND THE SOUTH LINE OF SAID LOT 2, THE FOLLOWING CALLS;

SOUTH 89 DEGREES 59 MINUTES 52 SECONDS EAST, 295.24 FEET, TO A FOUND 5/8" YELLOW CAPPED IRON ROD STAMPED "BHB INC";

SOUTH 00 DEGREES 00 MINUTES 38 SECONDS EAST, 101.95 FEET, TO A FOUND 5/8" IRON ROD;

SOUTH 89 DEGREES 59 MINUTES 08 SECONDS EAST, 221.17 FEET, TO A FOUND 5/8" YELLOW CAPPED IRON ROD STAMPED "BHB INC";

NORTH 45 DEGREES 04 MINUTES 43 SECONDS EAST, 44.88 FEET, TO A FOUND 5/8" YELLOW CAPPED IRON ROD STAMPED "BHB INC";

NORTH 89 DEGREES 59 MINUTES 53 SECONDS EAST, 199.88 FEET, TO A FOUND 5/8" YELLOW CAPPED IRON ROD STAMPED "BHB INC";

SOUTH 45 DEGREES 02 MINUTES 07 SECONDS EAST, 75.88 FEET, TO A FOUND 5/8" YELLOW CAPPED IRON ROD STAMPED "BHB INC";

SOUTH 00 DEGREES 03 MINUTES 26 SECONDS WEST, 210.62 FEET, TO A FOUND 5/8" IRON ROD;

SOUTH 89 DEGREES 57 MINUTES 51 SECONDS EAST, 137.29 FEET, TO A FOUND 5/8" YELLOW CAPPED IRON ROD STAMPED "BHB INC";

NORTH 44 DEGREES 56 MINUTES 46 SECONDS EAST, 122.07, TO A FOUND 5/8" YELLOW CAPPED IRON ROD STAMPED "BHB INC", AT THE NORTHWEST CORNER OF SAID LOT 3, SAID IRON ROD ALSO BEING THE NORTHWESTERLY MOST CORNER OF A CALLED 21.886 ACRE TRACT OF LAND, DESCRIBED BY DEED TO TEEL 380 LP, RECORDED IN DOCUMENT NUMBER 2021-153671, DEED RECORDS, DENTON COUNTY, TEXAS;

THENCE SOUTH 00 DEGREES 00 MINUTES 10 SECONDS, 313.14 FEET, ALONG THE EAST LINE OF SAID LOT 3 AND THE WEST LINE OF SAID LOT 1, TO THE POINT OF BEGINNING, AND CONTAINING 9.666 ACRES OR 421,045 SQUARE FEET OF LAND, MORE OR LESS.

THENCE OVER AND ACROSS, SAID RIGHT-OF-WAY OF US HIGHWAY 380, THE FOLLOWING CALLS;

SOUTH 01 DEGREES 23 MINUTES 57 SECONDS EAST, 80.00 FEET;

SOUTH 88 DEGREES 36 MINUTES 03 SECONDS WEST, 777.48 FEET;

NORTH 01 DEGREES 23 MINUTES 57 SECONDS WEST, 80.00 FEET, TO THE SOUTHWEST CORNER OF SAID LOT 3, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 1;

THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 332.51 FEET, ALONG THE WEST LINE OF SAID LOT 3 AND THE EAST LINE OF SAID LOT 1, TO A FOUND 5/8" YELLOW CAPPED IRON ROD STAMPED "DUNAWAY ASSOC LP";

THENCE NORTH 44 DEGREES 59 MINUTES 52 SECONDS WEST, 350.54 FEET, CONTINUING ALONG THE WEST LINE OF SAID LOT 3 AND THE EAST LINE OF SAID LOT 1, TO THE POINT OF BEGINNING, AND CONTAINING 9.666 ACRES OR 421,045 SQUARE FEET OF LAND, MORE OR LESS.

TEEL 380 LP
CALLED 21.886 ACRES
DOC. NO. 2021-153671
D.R.D.C.T.

US HIGHWAY 380
160' RIGHT-OF-WAY

OWNER

MICHAEL OLSAN, S.T.D., BISHOP FOR THE
CATHOLIC DIOCESE OF FORT WORTH
800 W. LOOP 820 S.
FORT WORTH, TX 76108

FLOOD HAZARD NOTE

ACCORDING TO COMMUNITY PANEL NUMBER 48121C0430G, DATED APRIL 18, 2011, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY LIES WITHIN ZONE "X" WHICH IS NOT A SPECIAL FLOOD HAZARD AREAS. IF THIS SITE IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

EXHIBIT A

8.238 ACRES OF LAND IN THE MEMPHIS, EL PASO, & PACIFIC
RAILROAD COMPANY SURVEY, ABSTRACT NO's. 1620 & 1681

TOWN OF PROSPER PROJECT NO:
ZONE-23-0009



SMDPCC SCHOOL ZONING

J. BATES SURVEY, ABST. NO. 1620 & C.L. SMITH SURVEY, ABST. NO. 1681

CITY OF PROSPER, DENTON COUNTY, TEXAS

PROJ. MGR.:	J.DEAL
PROJ. ASSOC.:	N/A
DRAWN BY:	M.LANGSTON
DATE:	05/01/2023
SHEET	1 OF 1
616.157001	

LOT 1, BLOCK A
COOK CHILDREN'S MEDICAL CENTER ADDITION
DOC. NO. 2019-421
P.R.D.C.T.

LOT 2, BLOCK A
ST. MARTIN DE PORRES
DOC. NO. 2017-365
P.R.D.C.T.

LOT 3, BLOCK A
ST. MARTIN DE PORRES
DOC. NO. 2017-365
P.R.D.C.T.

LINE	BEARING	LENGTH
L1	S00°00'38"E	101.95'
L2	N45°04'43"E	44.88'
L3	S45°02'07"E	75.88'
L4	S01°23'57"E	80.00'
L5	N01°23'57"W	80.00'

LOCATION MAP

1"=2000'

BULK REGULATIONS

THE SURVEYED PROPERTY IS LOCATED IN PLANNED DEVELOPMENT NO. XX "PD-XX" ZONING DISTRICT. THIS PLANNED DEVELOPMENT IS INTENDED TO PROVIDE FOR AND ENCOURAGE DEVELOPMENT THAT CONTAINS A COMPATIBLE MIX OF RESIDENTIAL, OFFICE, AND COMMERCIAL USES WITHIN CLOSE PROXIMITY TO EACH OTHER, RATHER THAN SEPARATING USES WITH THE FOLLOWING DEFINED RESTRICTIONS PROVIDED TO THE SURVEYOR.

- A. SIZE OF YARDS:
1. MINIMUM FRONT YARD: 30 FEET
 2. MINIMUM SIDE YARD:
 - a. 15 FEET ADJACENT TO A NONRESIDENTIAL DISTRICT. THE MINIMUM SIDE YARD SETBACK MAY BE ELIMINATED FOR ATTACHED RETAIL BUILDINGS ON SEPARATE LOTS AS SHOWN ON AN APPROVED SITE PLAN.
 - b. 30 FEET FOR A 1 STORY BUILDING ADJACENT TO A RESIDENTIAL DISTRICT AND 60 FEET FOR A 2 STORY BUILDING ADJACENT TO A RESIDENTIAL DISTRICT.
 - c. 30 FEET ADJACENT TO A STREET.
 3. MINIMUM REAR YARD:
 - a. 15 FEET ADJACENT TO A NONRESIDENTIAL DISTRICT. THE MINIMUM SIDE YARD SETBACK MAY BE ELIMINATED FOR ATTACHED RETAIL BUILDINGS ON SEPARATE LOTS AS SHOWN ON AN APPROVED SITE PLAN.
 - b. 30 FEET FOR A 1 STORY BUILDING ADJACENT TO A RESIDENTIAL DISTRICT AND 60 FEET FOR A 2 STORY BUILDING ADJACENT TO A RESIDENTIAL DISTRICT.
- B. SIZE OF LOTS:
1. MINIMUM SIZE OF LOT AREA: 10,000 SQUARE FEET.
 2. MINIMUM LOT WIDTH 100 FEET.
 3. MINIMUM LOT DEPTH 100 FEET.
- C. MAXIMUM HEIGHT: 2 STORIES, NO GREATER THAN 40 FEET IN HEIGHT, EXCLUDING UNOCCUPIED ARCHITECTURAL ELEMENTS, SUCH AS TOWERS, PARAPETS, AND CORNICES, THAT MAY BE ALLOWED UP TO 45 FEET IN HEIGHT FOR THE ANCHORS ONLY.
- D. LOT COVERAGE: 50%

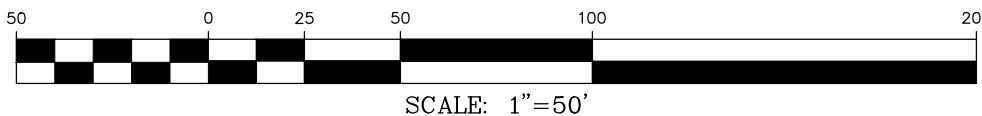
SURVEYOR'S NOTES

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE, WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT. EASEMENTS, SETBACKS AND OTHER RESTRICTIONS WHICH MAY BE FOUND IN A CURRENT TITLE REPORT, LOCAL ORDINANCES, DEEDS OR OTHER INSTRUMENTS OF RECORD **HAVE NOT BEEN** SHOWN.
2. THIS DOCUMENT WAS PREPARED UNDER 22 TEXAS ADMINISTRATIVE CODE §138.95, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.
3. THE THOROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES AND DOES NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAT.
4. ALL DISTANCES AND COORDINATES SHOWN ARE AT SURFACE. USING SCALE FACTOR 1.00015063
4. THIS EXHIBIT IS NO TO BE CONSTRUED AS A BOUNDARY SURVEY AND IS NOT FOR THE CONVEYANCE OF REAL PROPERTY.

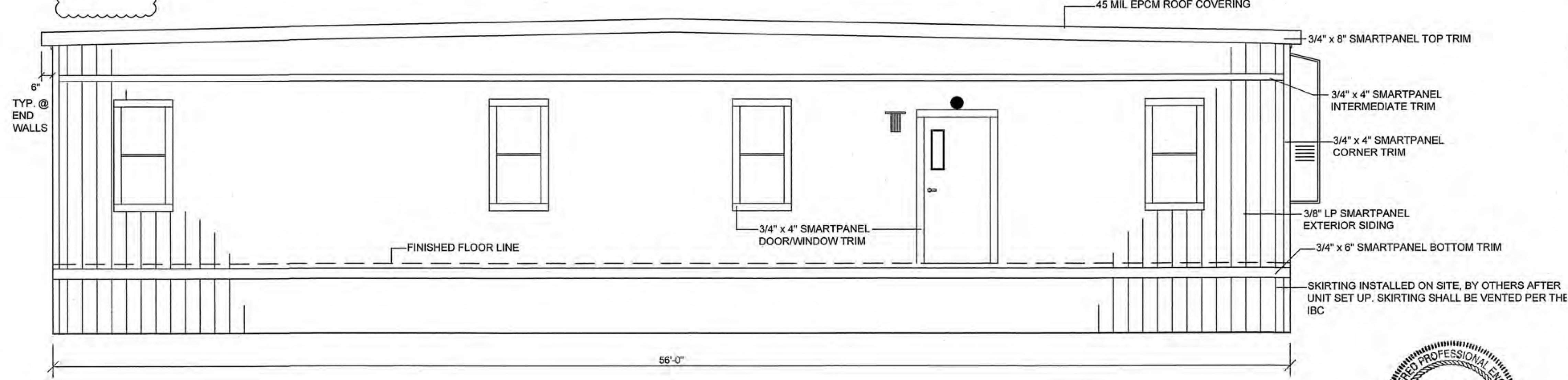
BASIS OF BEARINGS

COORDINATES AND BEARINGS ARE BASED UPON THE TEXAS
STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM
OF 1983 (2011), TEXAS NORTH CENTRAL ZONE (4202).

GRAPHIC SCALE



SCALE: 1"=50'

$$4 \overline{) 12}$$


Texas Industrialized
Building Code Council

IBC ☒ IRC ☐

Approval Date: 8/1/17

APPROVED
PFS CORPORATION

IHDRA- 7



1 FRONT ELEVATION
1/4" = 1'-0"



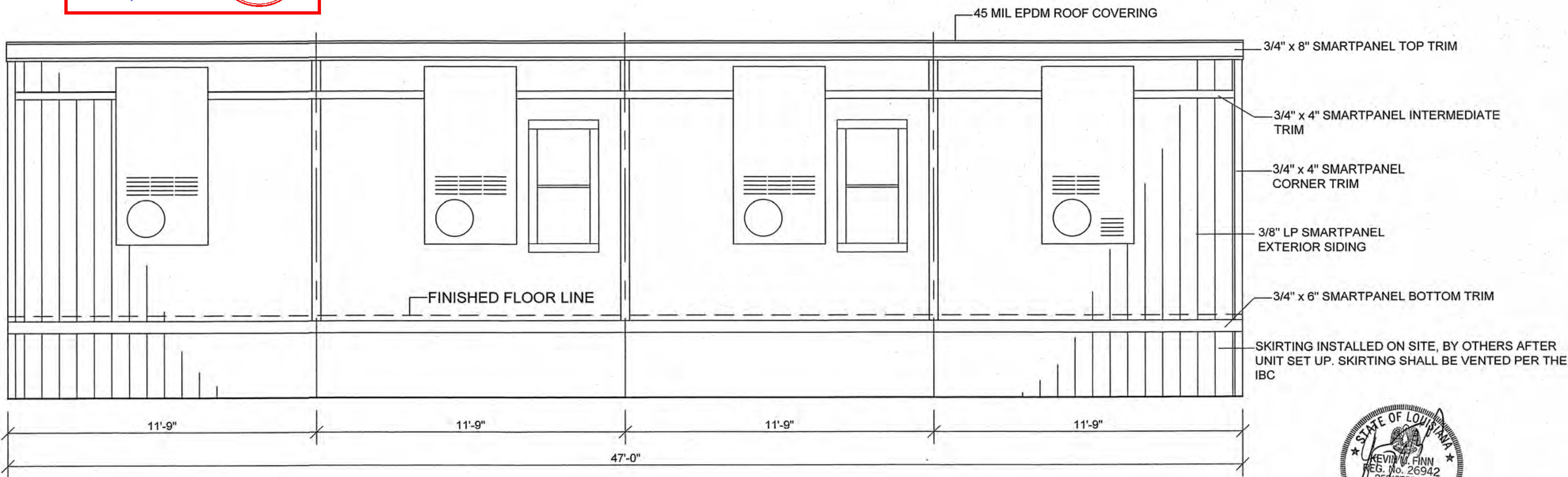
GENERAL NOTES:

1. THIS CONCEPTUAL ELEVATION IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTION DIVISION.
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL MEET THE SPECIFICATIONS OF THE ZONING ORDINANCE.
3. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL MEET THE SPECIFICATIONS OF THE ZONING ORDINANCE.
4. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DIVISION.
5. WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.

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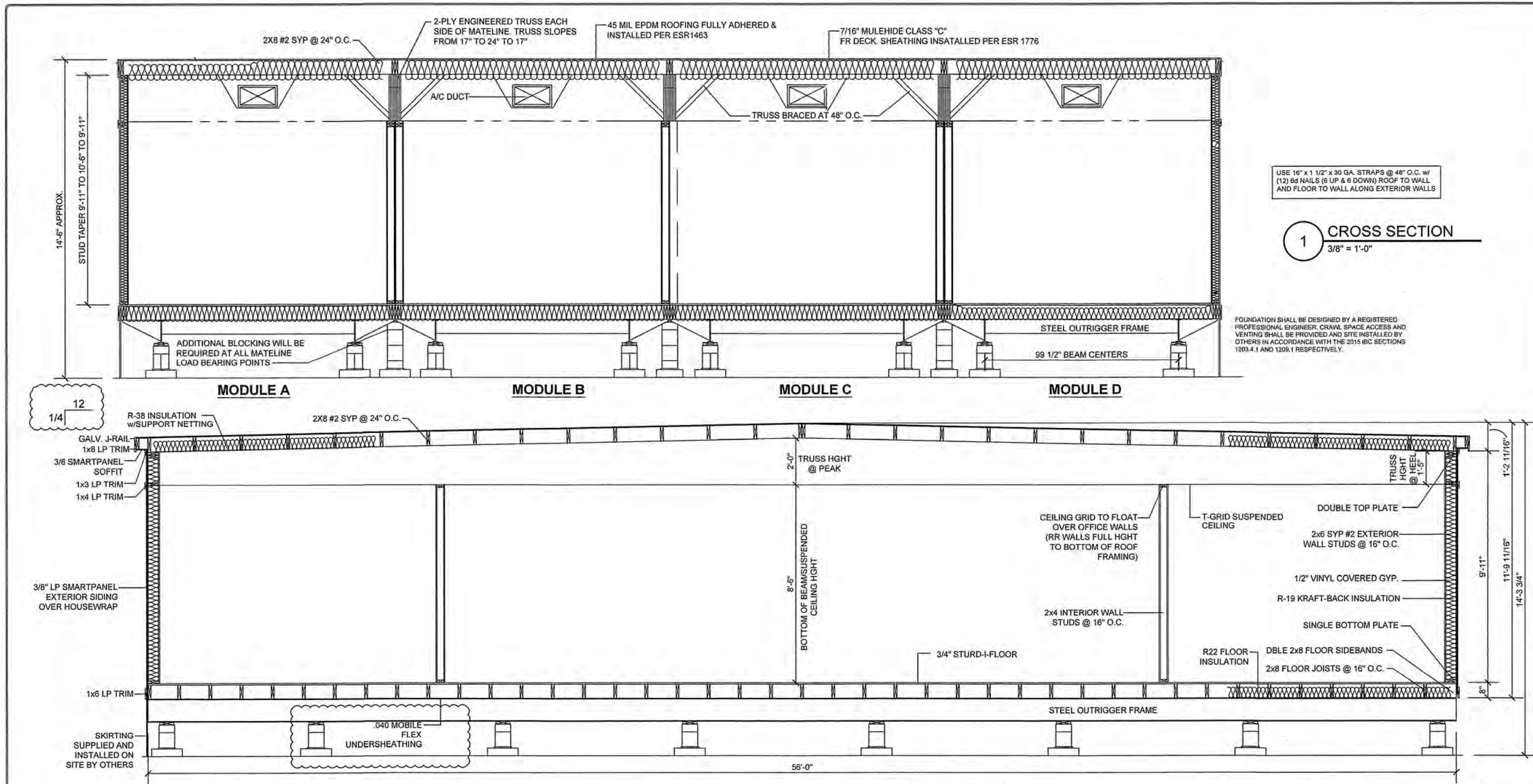
**BOXX MODULAR
E-PLEX**
A VARIABLE UNIT COMPLEX

britco
SHEET
S1



2 SIDE ELEVATION
1/4" = 1'-0"



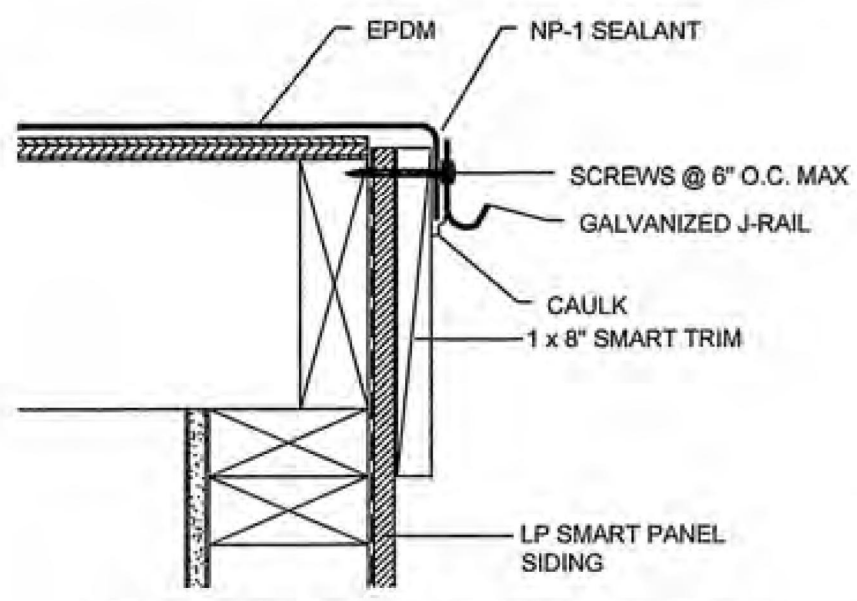


USE 16" x 1 1/2" x 30 GA. STRAPS @ 48" O.C. W/ (12) 6d NAILS (6 UP & 6 DOWN) ROOF TO WALL AND FLOOR TO WALL ALONG EXTERIOR WALLS

1 CROSS SECTION
3/8" = 1'-0"

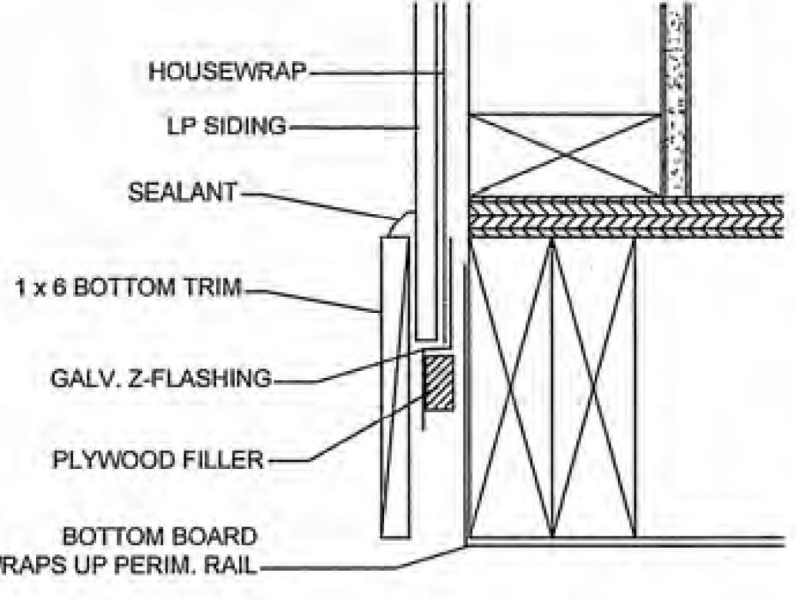
FOUNDATION SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER. CRAWL SPACE ACCESS AND VENTING SHALL BE PROVIDED AND SITE INSTALLED BY OTHERS IN ACCORDANCE WITH THE 2015 IRC SECTIONS 1203.4.1 AND 1209.1 RESPECTIVELY.

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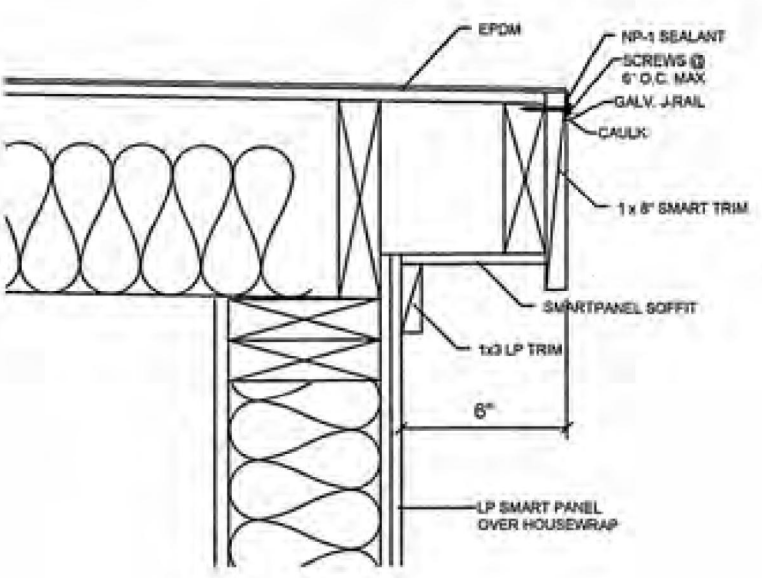


2 SIDE WALL ROOF DETAIL
NTS

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Approval Date: 8/1/17
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3 BOTTOM TRIM DETAIL
3" = 1'-0"



4 END WALL ROOF OVERHANG DETAIL
NTS



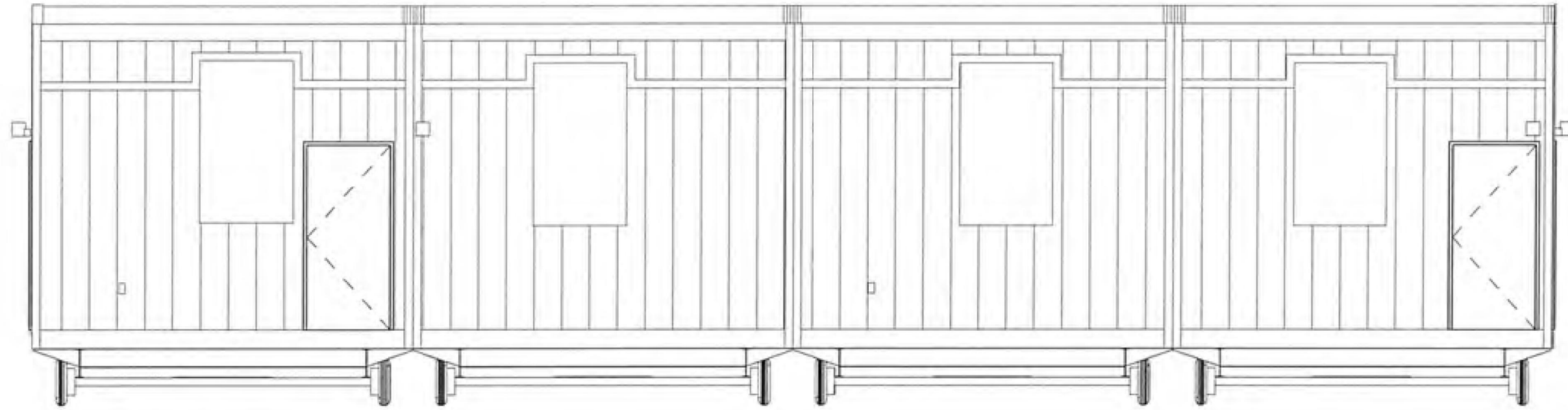
NO.	DATE	REVISION DESCRIPTION	BY	PROJECT:	TITLE	SPEC.
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				DRAWN BY: JT	DATE: 6/20/17	SCALE: PER PLAN

britco
SHEET S2
BOX MODULAR E-PLEX A VARIABLE UNIT COMPLEX

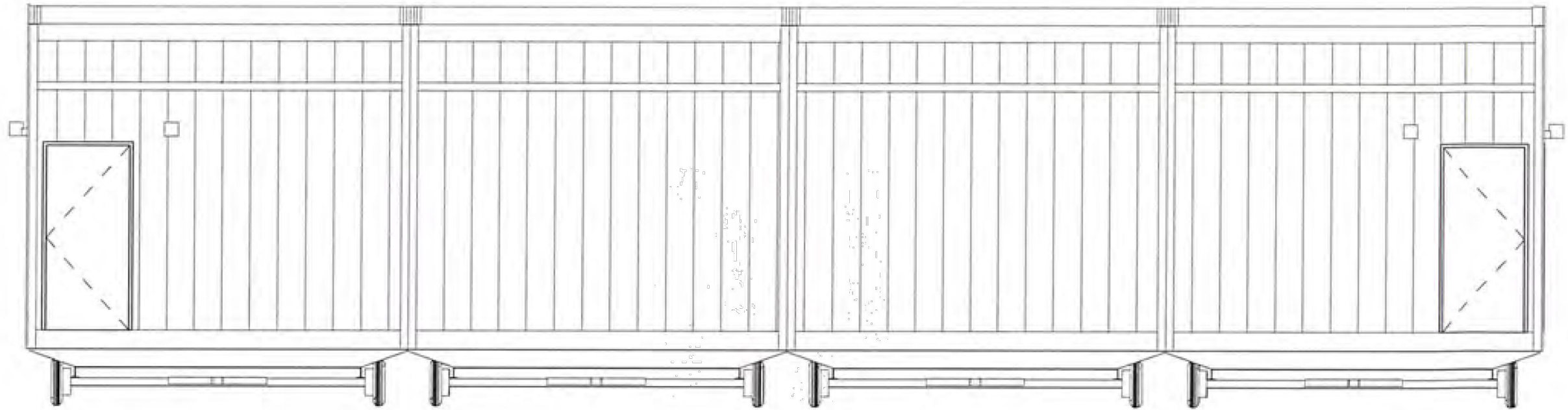


ST. MARTIN DE PORRES CATHOLIC CHURCH
PROSPER, TEXAS
EXHIBIT D- FACADE PLAN

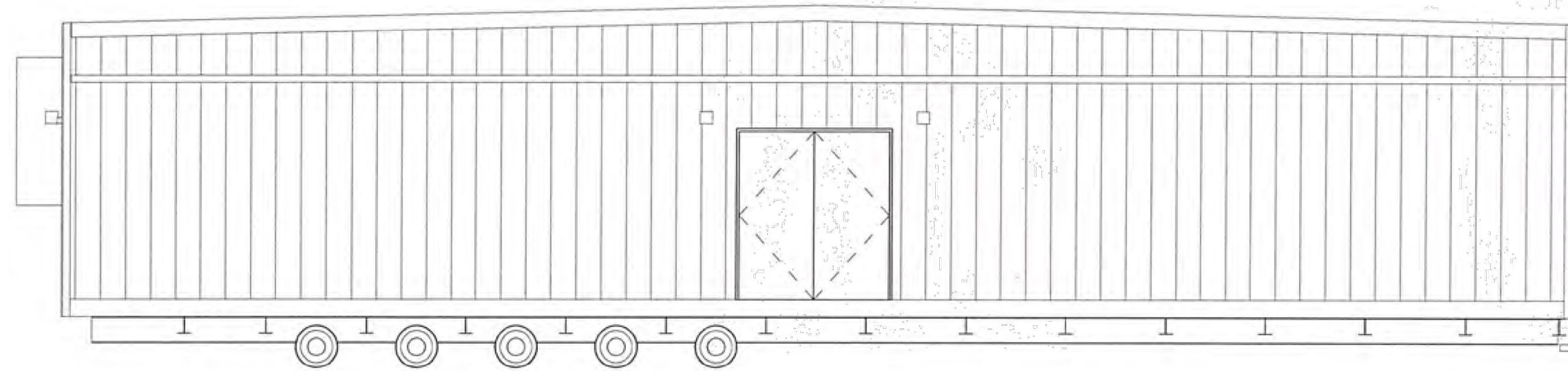
Plot Date: 05/08/23 Draw Name: P:\616157\Meristof\Architecture\001_SMDPCC_Temp_School_Bldg\New\Exhibits\Exhibit D - FACADE PLAN.dwg Updated By: QJGlas



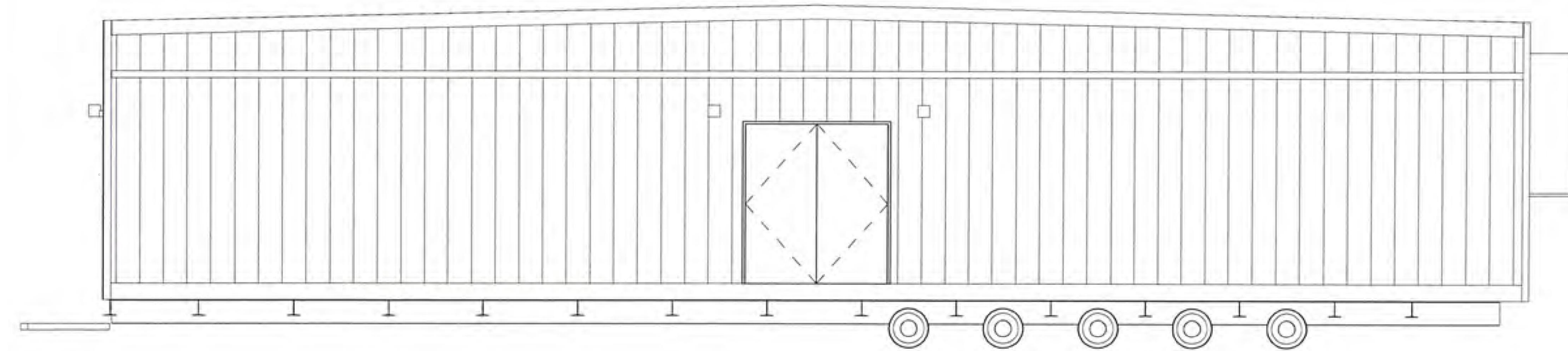
2 EAST ELEVATION
1/8" = 1'-0"



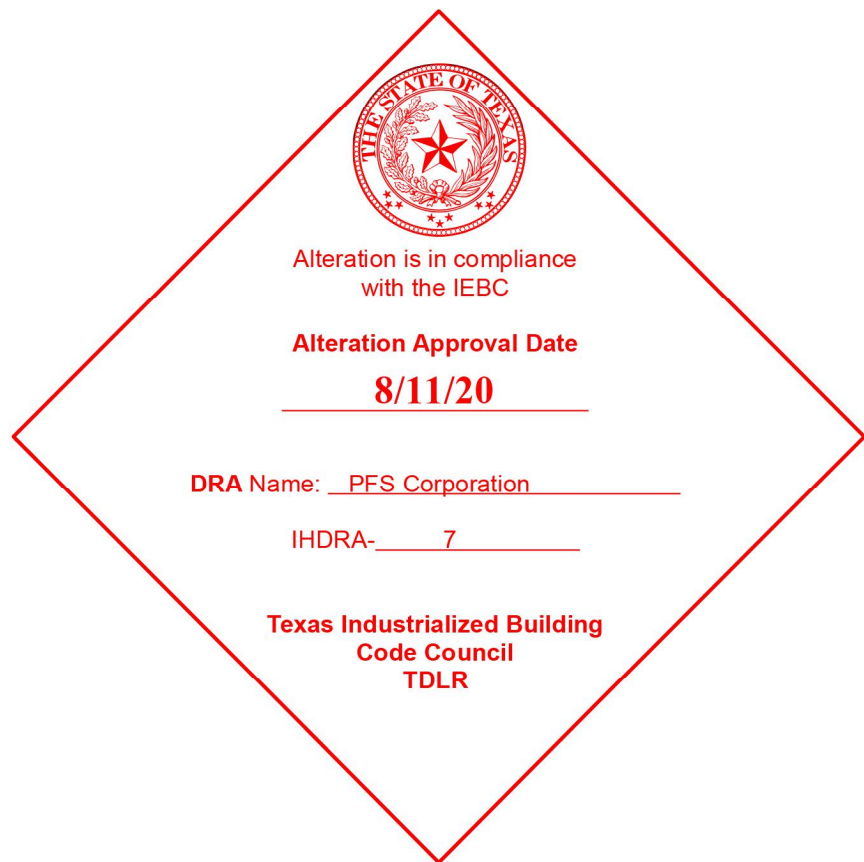
1 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



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1101 Foundation Dr., Waco, TX 76712
Tel: (254) 741-6701

DATE:	20JUL20	#	
SCALE:	1/8" = 1'-0"	0	
DRAWN BY:	MAJ		
CHECKER:			
Bid #:	R202181		

DESCRIPTION	BY	DATE
ISSUE FOR REVIEW	MAJ	20JUL20

PROJECT TITLE:
(2) 4 UNIT CLASSROOMS A,B,C,D

DRAWING TITLE:
ELEVATIONS

PROJECT NO:
20597-01

SHEET NO:
D02

britco
BUILDING INNOVATION

PAGE 2 OF 4

UNIT ENVELOPE HEAT LOSS/GAIN CALCULATIONS
MODEL: AMTEX NORTEX MODULAR SPACE - N12664-1, HOUSTON, TX.
PER ASHRAE 90.1-2004

COMBINED ROOF/CEILING THERMAL TRANSMITTANCE VALUE CALCULATIONS

ROOF/CLG COMPONENT	AREA	RESIST	A/R
ROOF/CLG CAVITY	6688.125	32.45	206.11
ROOF/CLG FRAMING	691.875	11.83	58.48
TOTALS:	7380		264.5903314
U(ROOF) = (A/R) / A =	0.03585235	BTU/IN/DE	* MEETS CODE

COMBINED GROSS FLOOR THERMAL TRANSMITTANCE VALUE CALCULATIONS

FLOOR COMPONENT	AREA	RESIST	A/R
FLOOR CAVITY	6688.125	25.45	262.79
FLOOR FRAMING	691.875	12.83	53.93
TOTALS:	7380		316.72104
U(FLOOR) = (A/R) / A =	0.04291613	BTU/IN/DE	* MEETS CODE

TOTAL ENVELOPE CONFORMANCE

	GROSS AREA	ACTUAL A/R	Uo LIMIT	A X Uo	
WALL	3308.59373		342.17	0.432	1429.31
ROOF/CEILING	7380		264.59	0.070	516.60
FLOOR	7380		316.72	0.203	1498.14
GRAND TOTAL =	18069	(1)	923.48	(2)	3444.052489
OVERALL ENVELOPE Uo	0.05110969		** MEETS CODE **		

IF THE GRAND TOTAL (1) OF THE WALL, ROOF/CEILING AND FLOOR A/R VALUES IS EQUAL TO OR LESS THAN, THE TOTAL (2) OF THE A x Uo CODE LIMITS FOR THE WALL, ROOF/CEILING AND FLOOR, THE TOTAL ENVELOPE MEETS THE CODE, EVEN THOUGH INDIVIDUALLY THE WALL, ROOF/CEILING OR FLOOR MAY NOT.

IF THE TOTAL ENVELOPE CALCULATION INDICATES THAT THE DESIRED CONSTRUCTION DOES NOT MEET CODE REQUIREMENTS, MAKE CHANGES IN THE STRUCTURE TO ADD INSULATION, REDUCE GLASS AREAS OR USE INSULATING GLASS AS REQUIRED TO MEET THE CODE REQUIREMENTS.



PAGE 1 OF 4

UNIT ENVELOPE HEAT LOSS/GAIN CALCULATIONS
MODEL: NORTEX MODULAR SPACE - N12664-1, HOUSTON, TX.
PER ASHRAE 90.1-2004

BUILDING LENGTH: 60 FT
BUILDING WIDTH: 123 FT
EXT. WALL HEIGHT: 9.1666666 FT

Is insulation in rafters? YES
ROOF SLOPE: 0.25 IN. / FT.
0.25

WINDOW SIZE: (A) 0 IN. WIDE BY 0 IN. HIGH
NO. OF WINDOWS: (A) 0 WITH INSULATING GLAZING
WINDOW SIZE: (B) 0 IN. WIDE BY 0 IN. HIGH
NO. OF WINDOWS: (B) 0 WITH INSULATING GLAZING
WINDOW SIZE: (C) 0 IN. WIDE BY 0 IN. HIGH
NO. OF WINDOWS: (C) 0 WITH INSULATING GLAZING
WINDOW SIZE: (D) 0 IN. WIDE BY 0 IN. HIGH
NO. OF WINDOWS: (D) 0 WITH INSULATING GLAZING
HOLLOW METAL DOORS: 36 IN. WIDE BY 80 IN. HIGH
GLASS DOOR: 72 IN. WIDE BY 84 IN. HIGH
QTY OF H.M. DOORS= 3 QTY OF GLASS DOORS= 1

DESIGN CONDITIONS
ANNUAL HEATING DEGREE DAYS = 1346
INSIDE WINTER DESIGN TEMPERATURE 72
OUTSIDE WINTER DESIGN TEMPERATURE 27
INSIDE SUMMER DESIGN TEMPERATURE 75
OUTSIDE SUMMER DRY BULB TEMPERATURE 94
OUTSIDE SUMMER WET BULB TEMPERATURE 77

ENERGY EFFICIENCY REQUIREMENTS
WALLS (Uo WALL) = 0.432
ROOF/CEILING (Uo ROOF/CEILING)= 0.070
FLOOR (Uo FLOOR) = 0.203

U-FACTOR CALCULATIONS
ROOF/CEILING R @ CAVITY 0.17 R @ RAFTER 0.17
OUTSIDE AIRFILM 0.00
ROOFING: .045 EPDM 0.00
SHEATHING: 7/16" FR DECK 0.67
ROOF INSULATION 30.00
FRAMING: 2x8 #2 SYP. OR BTR. @ 24" O.C. 9.38
CEILING INSULATION 0.93
INSIDE AIRFILM 0.68
R TOTAL FOR ROOF/CLG AREAS= 32.45
NET R VALUE FOR CEILING = 31.1613
U VALUE = 1/R = 0.0321

Texas Industrialized Building Code Council
IBC ☒ IRC ☐
Approval Date: 5/17/10
APPROVED PFS CORPORATION
IHDR- 7

UNIT ENVELOPE HEAT LOSS/GAIN CALCULATIONS
MODEL: AMTEX NORTEX MODULAR SPACE - N12664-1, HOUSTON, TX.
PER ASHRAE 90.1-2004

WALL	R @ CAVITY	R @ STUD
OUTSIDE AIRFILM	0.17	0.17
SIDING: 26GA R-PANEL	0.00	0.00
SHEATHING: 1/8" FELT OR EQUIV. OVER 7/16" OSB	0.67	0.67
WALL INSULATION	13.00	-----
STUD: 2x4 WOOD	-----	4.38
COVERING: 5/8" GYPSUM	0.56	0.56
INSIDE AIRFILM	0.68	0.68
R TOTAL FOR WALLS =	15.08	6.46
NET R VALUE FOR WALLS =		14.27
U VALUE = 1/R =		0.0701

FLOOR	R @ CAVITY	R @ JOIST
INSIDE AIRFILM	0.68	0.68
COVERINGS: CARPET & 1/8" TILE	1.55	1.55
DECKING: 3/4" T&G EDGE GOLD	0.93	0.93
INSULATION BATT:	22.00	-----
FLOOR JOIST: 2x8 #2 SYP. OR BTR. @ 16" O.C.	-----	9.38
BOTTOM BOARD	0.12	0.12
OUTSIDE AIRFILM	0.17	0.17
R TOTAL FOR FLOOR =	25.45	12.83
NET R VALUE FOR FLOOR =		24.27
U VALUE = 1/R =		0.0412

AREA SUMMARY		
TOTAL WALL CAVITY AREA:		3096.06
TOTAL WALL FRAMING AREA:		314.53
TOTAL WINDOW AREA:		0.00
TOTAL METAL DOOR AREA:		60.00
TOTAL GLASS DOOR AREA:		42
TOTAL FLOOR CAVITY AREA:		6688.13
TOTAL FLOOR FRAMING AREA:		691.88
TOTAL CEILING CAVITY AREA:		6688.13
TOTAL CEILING FRAMING AREA:		691.88
THE PERCENT OF OPENINGS IS:		1.20%

WALL COMPONENT	AREA	RESIST	A/R
WINDOWS	0	1.38	0.00
HOLLOW METAL DOORS	60	1.428	42.02
GLASS DOORS	42	0.91	48.15
WALL CAVITY	3096.06248	15.08	205.31
WALL FRAMING	314.531	6.46	48.69
TOTALS:	3308.594		342.169
U(WALL) = (A/R) / A =	0.10341822	BTU/IN/DE	* MEETS CODE

- GENERAL NOTES:
- THIS CONCEPTUAL ELEVATION IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTION DIVISION.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL MEET THE SPECIFICATIONS OF THE ZONING ORDINANCE.
 - WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL MEET THE SPECIFICATIONS OF THE ZONING ORDINANCE.
 - ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DIVISION.
 - WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.

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UNIT ENVELOPE HEAT LOSS/GAIN CALCULATIONS
MODEL: AMTEX NORTEX MODULAR SPACE - N12664-1, HOUSTON, TX.
PER ASHRAE 90.1-2004

TOTAL ENVELOPE HEAT LOSS CALCULATIONS				
ITEM	AREA	U-VALUE	DESIGN TEMP	HEAT LOSS MBTU/H

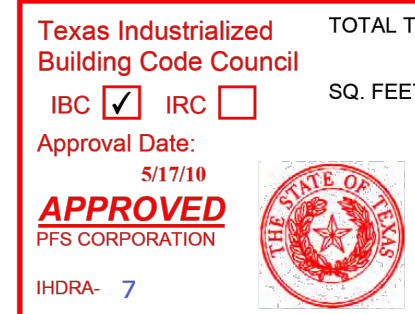
FLOOR	7380	0.0412	45	13.69
WALLS	3308.59373	0.0701	45	10.43
ROOF	7380	0.0321	45	10.66
WINDOWS	0	0.5400	45	0.00
METAL DOORS	60	0.5000	45	1.35
GLASS DOORS	42	1.0989	45	2.08
VENTILATION (CFM)	1480	0.0180	45	71.93
INFILTRATION	366	0.4320	45	14.23
TOTAL HEAT LOSS				124.36 MBTU

THIS IS EQUIVALENT TO 36.1 KW OF ELECTRIC HEAT REQUIRED IF RESISTANCE HEAT ALONE IS PROVIDED. IF A HEAT PUMP UNIT IS USED, THE TOTAL HEATING CAPACITY OF THE UNIT MUST BE CONSIDERED.

TOTAL ENVELOPE HEAT GAIN CALCULATIONS				
ITEM	AREA	U-VALUE	DESIGN TEMP	HEAT GAIN MBTU/H

FLOOR	7380	0.0412	19	5.78
WALLS	3308.59373	0.0701	19	4.40
ROOF	7380	0.0321	19	4.50
WINDOWS	0	0.54	19	0.00
METAL DOORS	60	0.5000	19	0.57
GLASS DOORS	42	1.0989	19	0.88
SUNLIGHT THRU GLASS	42	2.02702	19	1.62
LIGHTING	7380		1 W/SF	25.18
OCCUPANCY 100sf/OCU	74		PEOPLE	33.30
MISC OFFICE OR CLSRM EQUIP	7380		1.5 W/SF	37.77
DUCT LOSS				19
VENTILATION (CFM)	1480	0.0180	19	30.37
INFILTRATION	366	0.4320	19	6.01
TOTAL HEAT GAIN				150.38 MBTU

TOTAL TONS OF COOLING REQUIRED =	12.53
SQ. FEET OF FLOOR AREA PER TON =	588.92



Manhard CONSULTING

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Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
Construction Managers | Environmental Scientists | Landscape Architects | Planners
Texas Board of Professional Engineers & Land Surveyors Reg. No. F-10194754 (Surv), F-21732 (Eng)

ST. MARTIN DE PORRES CATHOLIC CHURCH

PROSPER, TEXAS

EXHIBIT D- FACADE PLAN

PROJ. MGR.: AC

PROJ. ASSOC.: KH

DRAWN BY: JO

DATE: 5/8/23

SHEET

EX D2-2

616.157.001