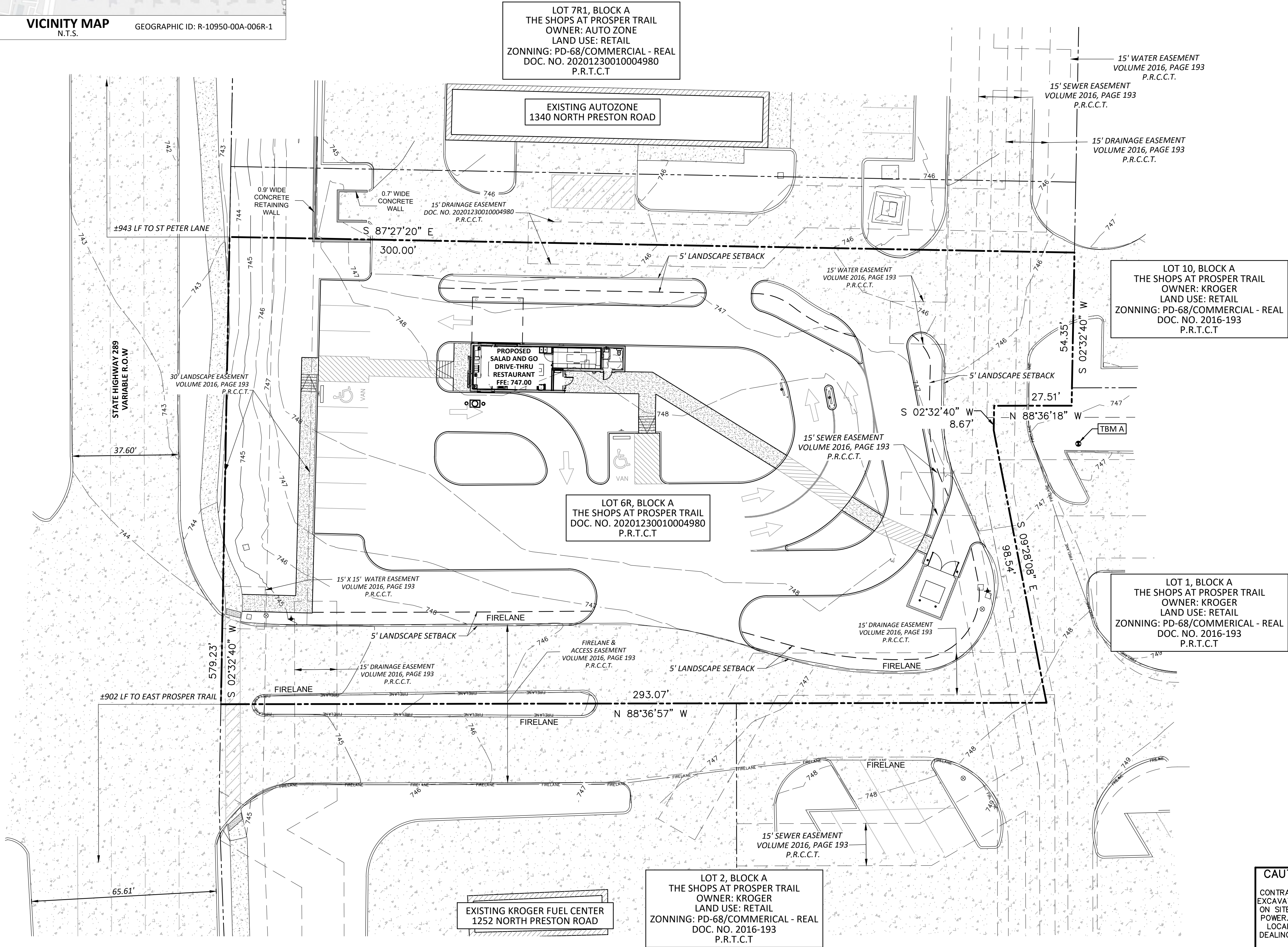


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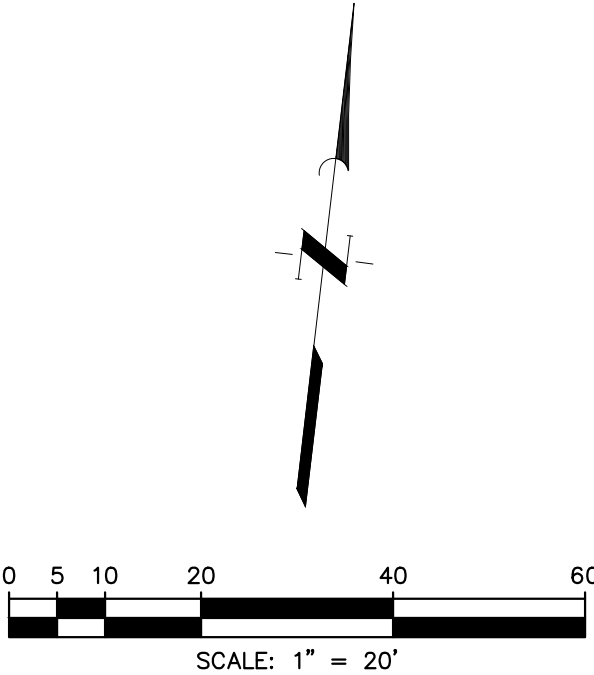
SITE DATA BASED ON SALAD AND GO PROPOSED DEVELOPMENT	
THE SHOPS AT PROSPER TRAIL, LOT 6R BLOCK A	
GENERAL	
EXISTING ZONING:	C1/COMMERCIAL - REAL
PROPOSED ZONING:	SUP
LOT AREA EXISTING:	46,948 SQUARE FEET (1.078 AC)
LOT AREA PROPOSED:	46,948 SQUARE FEET (1.078 AC)



BENCHMARK
ALL ELEVATIONS AND BEARINGS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS UTILIZING THE ALLTERA RTK NETWORK, NAVD (88) DATUM, (GEOID 12A)

TBM A
BEING AN "X" CUT ON TOP OF CURB INLET LOCATED ON THE WEST SIDE OF THE EASTERN PRIVATE DRIVE, APPROXIMATELY 14 FEET SOUTH AND 3 FEET EAST OF THE NORTHEAST CORNER NEAR THE PARKING DRIVE AISLE FOR KROGER SUPERMARKET
ELEVATION 747.40 FEET, NAVD 88 (2011 ADJUSTMENT).

100-YEAR FLOOD PLAIN
ACCORDING TO MAP NO. 48085C01201 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR COLLIN COUNTY DATED JUNE 2, 2009, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREA OF MINIMAL FLOOD HAZARD.



LEGEND	
	PROPERTY LINE
	EXIST. SIDEWALK
	EXIST. LANDSCAPE AREA
	EXIST. BUILDING
	PROP. SIDEWALK

OWNER
MQ PROSPER RETAIL, LLC
4622 MAPLE AVENUE,
SUITE 200
DALLAS, TEXAS 75129
TEL (972) 980-8789
CONTACT: DONALD L. SILVERMAN

SURVEYOR
EAGLE SURVEYING, LLC
210 SOUTH ELM STREET
SUITE 104
DENTON, TEXAS 76201
TEL (940) 222-3009
CONTACT: MASON DECKER

APPLICANT
JONES | CARTER, INC.
4500 MERCANTILE PLAZA DRIVE
SUITE 210
FORT WORTH, TEXAS 76137
TEL (972) 265-7190
CONTACT: RYAN ALCALA, PE

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CASE NO. S21-0005
EXHIBIT A

TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005

REVISIONS	
No.	Date

JONES CARTER
Texas Board of Professional Engineers Registration No. F-439
4350 Lockhill-Spring Road, Suite 100 • San Antonio, Texas 78249 • 210.484.5511

SCALE:	AS SHOWN	DESIGNED BY:	ACH
DATE:	NOVEMBER 2021	CHECKED BY:	RIA
JOB NO.:	17007-0033-00	DRAWN BY:	MRZ

INTERIM REVIEW
Not intended for construction, bidding or permit purposes.

Engineer: RYAN J. ALCALA, P.E.
P.E. Serial No.: 137823
Date: NOVEMBER 2021

SALAD AND GO - PROSPER - PRESTON AND PROSPER TRAIL
1300 NORTH PRESTON ROAD - PROSPER, TEXAS 75078

LOT 6R, BLOCK A
THE SHOPS AT PROSPER TRAIL
ABSTRACT NUMBER: 172
1.078 ACRES
PREPARATION DATE: 11/22/2021

SHEET NO. **1**

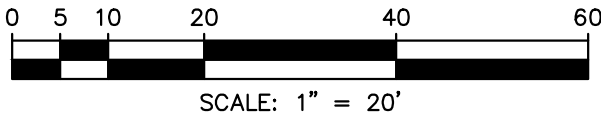
OF

SITE DATA BASED ON SALAD AND GO PROPOSED DEVELOPMENT ESTATES ABOVE WIMBLEDON, LOT 3R BLOCK 6, S21-0005	
GENERAL	
EXISTING ZONING:	PD-68/COMMERCIAL - REAL
PROPOSED ZONING:	SUP
FRONT SETBACK:	20 FEET
SIDE SETBACK:	NONE
REAR SETBACK:	NONE
LOT AREA:	46,948 SQUARE FEET (1.078 AC)
LOT COVERAGE ALLOWED:	N/A
BUILDING AREA:	DRIVE THRU RESTAURANT - 750 SQUARE FEET (0.017 AC)
PROPOSED BUILDING AREA:	750 SQUARE FEET
PROPOSED BUILDING HEIGHT:	1 STORY - 20 FEET
EXISTING USE:	VACANT LOT
PROPOSED USE:	RESTAURANT WITH DRIVE-THRU AND NO INDOOR DINING
PARKING REQUIRED:	10 SPACES (1/2 SPACE PER SQUARE FEET OF BUILDING)
PARKING PROVIDED:	10 SPACES
HANDICAP PARKING REQUIRED:	1 SPACES
HANDICAP PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	3,286 SQUARE FEET (7%)
LANDSCAPE AREA PROVIDED:	9,749 SQUARE FEET
LOT COVERAGE PERCENTAGE:	0.02%
IMPERVIOUS AREA PERCENTAGE:	37,199 SQUARE FEET
FLOOR AREA RATIO:	0.02 : 1

OWNER	SURVEYOR
MO PROSPER RETAIL, LLC	EAGLE SURVEYING, LLC
4622 MAPLE AVENUE,	210 SOUTH ELM STREET
SUITE 200	SUITE 104
DALLAS, TEXAS 75129	DENTON, TEXAS 76201
TEL (972) 980-8789	TEL (940) 222-3009
CONTACT: DONALD L. SILVERMAN	CONTACT: MASON DECKER
APPLICANT	
JONES CARTER, INC.	
4500 MERCANTILE PLAZA DRIVE	
SUITE 210	
FORT WORTH, TEXAS 76137	
TEL (972) 265-7190	
CONTACT: RYAN ALCALA, PE	

NOTES

- ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
- ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
- SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO USE CARE NOT TO DISTURB EXISTING LANDSCAPING OUTSIDE DISTURBED AREA. IF DISTURB CONTRACTOR TO RESTORE TO ORIGINAL CONDITIONS OR BETTER.
- CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES.



LEGEND

	PROPERTY LINE
	EXIST. FIRELANE
	PARKING COUNT
	EXIST. FIRE HYDRANT TO REMAIN
	EXIST. CONCRETE DRIVE
	EXIST. CONCRETE SIDEWALK
	EXIST. FIRE LANE
	PROPOSED 4" REINFORCED CONCRETE SIDEWALK
	PROPOSED MENU BOARD
	PROP. BARRIER FREE RAMP
	PROP. WATER METER
	PROP. GREASE TRAP

SITE PLAN NOTES

ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

1) DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED PER THE ZONING ORDINANCE.

2) OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED PER THE ZONING ORDINANCE.

3) OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.

4) LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.

5) ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.

6) BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.

7) OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.

8) FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.

9) TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.

10) SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.

11) FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS.

AMENDMENT 503.1.1

12) THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1

13) BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105

14) THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4

15) THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4

16) DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.

17) FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1

18) AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLYES." AMENDMENT 507.5.1

19) FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1

20) FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1

21) THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE DESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1

22) A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1

23) THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5

24) ONE- AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS. AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE- AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,500 SQUARE FEET (511 M2) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2

25) HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.

26) ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.

27) ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.

28) ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FAÇADE PLAN.

29) SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.

30) APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING SERVICES DEPARTMENT.

31) SITE PLAN APPROVAL IS REQUIRED BEFORE THE GRADING RELEASE.

32) ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.

33) ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW PER THE ZONING ORDINANCE.

34) ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.

35) IMPACT FEES WILL BE ASSESSED PER THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE. HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.

36) THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.

CASE NO. S21-0005

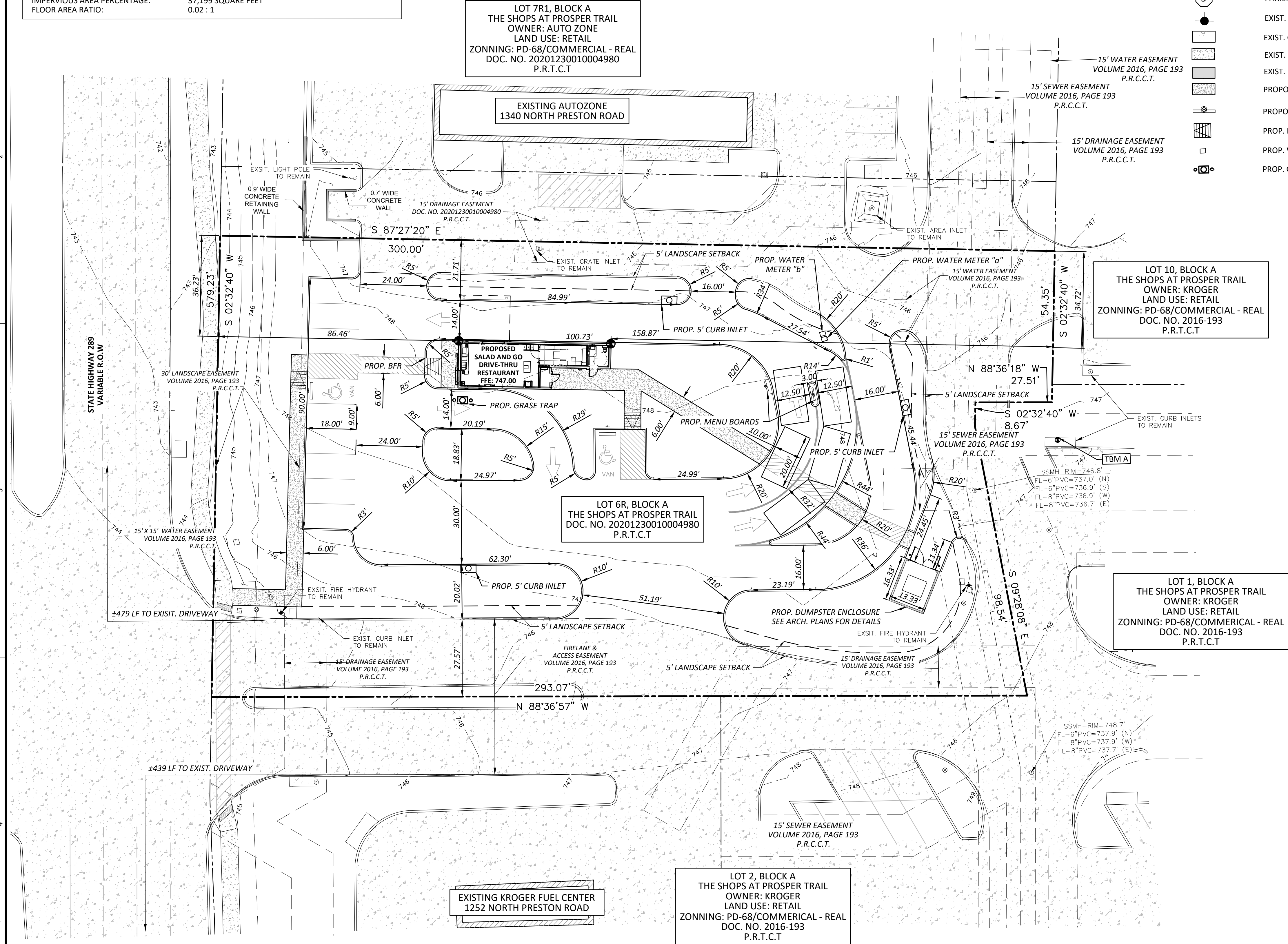
EXHIBIT B

CAUTION: OVERHEAD ELECTRIC

CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

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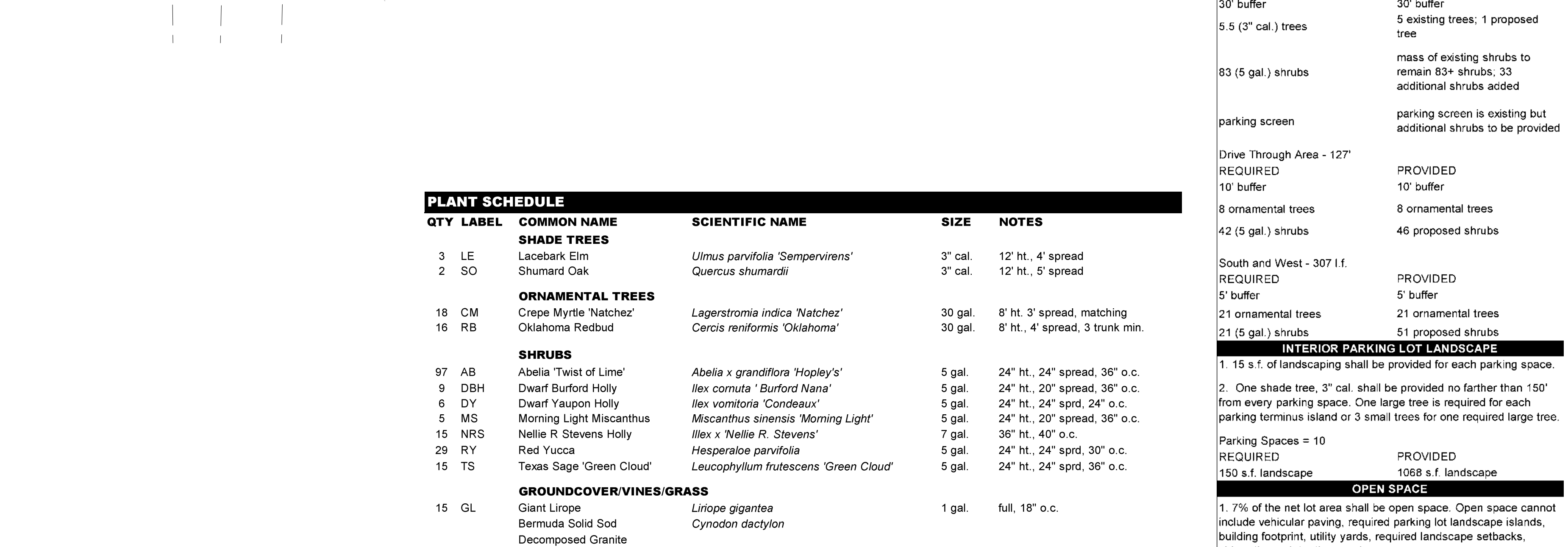


App.	
REVISIONS	
No.	Date

JONES CARTER	
Texas Board of Professional Engineers Registration No. F-439 4390 Lockhill-Spring Road, Suite 100 • San Antonio, Texas 78249 • 210.684.5511	
SCALE: AS SHOWN	DESIGNED BY: ACH
DATE: NOVEMBER 2021	CHECKED BY: RJA
JOB NO.: 17007-0033-00	DRAWN BY: RBZ

INTERIM REVIEW	
Not intended for construction, bidding or permit purposes.	
Engineer: RYAN J. ALCALA, P.E.	
P.E. Serial No.: 137823	
Date: NOVEMBER 2021	

SALAD AND GO - PROSPER - PRESTON AND PROSPER TRAIL	
1300 NORTH PRESTON ROAD - PROSPER, TEXAS 75078	
SITE PLAN	
LOT 6R, BLOCK A THE SHOPS AT PROSPER TRAIL ABSTRACT NUMBER: 172 1.078 ACRES PREPARATION DATE: 11/22/2021	
SHEET NO.	
2	
OF	



Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

LANDSCAPE TABULATIONS for Prosper, TX
PERIMETER REQUIREMENTS

- | | |
|---------------------------|---------------------|
| REQUIRED | PROVIDED |
| 10' buffer | 10' buffer |
| 8 ornamental trees | 8 ornamental trees |
| 42 (5 gal.) shrubs | 46 proposed shrubs |
| South and West - 307 l.f. | |
| REQUIRED | PROVIDED |
| 5' buffer | 5' buffer |
| 21 ornamental trees | 21 ornamental trees |
| 21 (5 gal.) shrubs | 51 proposed shrubs |

INTERIOR PARKING LOT LANDSCAPE

- | | |
|---------------------|---------------------|
| Parking Spaces = 10 | |
| REQUIRED | PROVIDED |
| 150 s.f. landscape | 1068 s.f. landscape |
| OPEN SPACE | |

1. 7% of the net lot area shall be open space. Open space cannot

- TOWN OF PROSPER LANDSCAPE GENERAL NOTES

- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY AND LANDSCAPE ASSOCIATION (TNA) SPECIFICATIONS.
- ALL PLANT SUBSTITUTIONS ARE SUBJECT TO TOWN APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
- ALL TREES SHALL BE ESTABLISHED PRIOR TO CERTIFICATE OF OCCUPANCY, UNLESS OTHERWISE APPROVED BY THE TOWN.
- GROUND COVERS IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE YEAR OF INSTALLATION AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE TOWN.
- TREES MUST BE PLANTED FOUR FEET OR GREATER FROM CURBS, SIDEWALKS, UTILITY POLES AND STRUCTURES AND MAINTAIN CLEARANCE STRUCTURES. THE TOWN HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- TREES SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE TEST FOOT OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
- TREE PITS SHALL BE REEFED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF PIT WITHIN A 24 HOUR PERIOD, THE CONTRACTOR SHALL PROVIDE BERMING OR DEVISE ALTERNATIVE DRAINAGE.
- TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE TRUNK FLARE.
- THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
- BURIED CABLES AND ELECTRIC BASKETS SHALL BE LOOSENOED AND PULLED BACK FROM TRUNK OF TREE AS MUCH AS POSSIBLE.
- TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SURFACE CRACKING OR SOIL SEPARATION FROM THE TRUNK OF THE TREE. MULCH SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER
- MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 1'-2" FROM THE TRUNK OF THE TREE.
- NO PERMANENT OR TEMPORARY MAY IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE, IMPROPER OR MALICIOUS TECHNIQUES INCLUDING BUT NOT LIMITED TO:
- UNBALANCED OR UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH BACKHOE OR USE OF FIRE OR POISON TO CAUSE DEATH OF A TREE.
- REMOVAL OF BRANCHES OR LIMBS OF TREES WITHOUT OTHER AGREES. SUCH SHALL BE FREE OF STONES, ROOTS AND CLODS AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL TO PLANT GROWN.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3" OF MULCH.
- TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEARANCE HEIGHT OF 8'.
- PARKING SPACES AND DRIVEWAYS SHALL HAVE A MINIMUM CLEARANCE PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEARANCE TRUCK HEIGHT OF 14'.
- A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS.
- ALL TREES MUST BE NOT TO EXCEED 30" IN HEIGHT AND TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 9'.
- TREES PLANTED ON A SLOPE SHALL HAVE THE TREE WELL AT THE AVERAGE GRADE LINE.
- NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3' IN WIDTH; ALL BEDS LESS THAN 9' IN WIDTH SHALL BE GRASS, GROUNDERCOVER OR COVERED WITH FIXED GRASS.
- THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT AND PROTECTION OF THE LANDSCAPES. THE MAINTENANCE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO MOOWING, EDGING, PRUNING, FERTILIZATION AND OTHER ACTS NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
- ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GOOD CONDITION THROUGHOUT THE ENTIRE TERM OF THE TERM OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 90 DAYS UNLESS OTHERWISE APPROVED BY THE TOWN OF PROSPER.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT TO CONSTRUCT AND INSPECTION DEPARTMENT REQUIRED FOR EACH IRRIGATION SYSTEM.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON THE PROPERTY OF THE TOWN OF PROSPER. THE TOWN OF PROSPER HAS THE RIGHT TO REMOVE ANY ENCROACHMENTS FROM THE PUBLIC VIEW OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN OR BICYCLE TRAFFIC IS IMPEDED.
- NO PLANTING AREA SHALL EXCEED 3:1 SLOPE; 9° HORIZONTAL TO 1° VERTICAL.
- EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS.
- CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH OF THE DRIVEWAY.
- ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
- CONTACT TOWN OF PROSPER PARKS AND RECREATION DIVISION AT (972) 641-2200 FOR MORE INFORMATION.
- INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS prior to FINAL ACCEPTANCE BY THE TOWN AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
- FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MAINTENANCE OF UTILITY RECORDS, EASEMENTS AND OTHER APPOINTMENTS, TO BE ACCESSIBLE, ADJUSTED TO GRADE, AND TO THE TOWN OF PROSPERS PUBLIC WORKS DEPARTMENT STANDARDS FOR PLUMBING, ELECTRICAL, GAS, AND WATER.
- RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS, AND ALL OTHER UTILITY APPOINTANCES WITH FLAGGING OR DISC IDENTIFICATION BY THE TOWN.

PRUNING AND TRIMMING NOTES

1. CONTRACTOR SHALL PRUNE ALL EXISTING TREES ON-SITE USING STANDARD GUIDELINES IN THE INDUSTRY.
2. ALL TREES SHALL BE TRIMMED SO THAT NATURAL SHAPES OF THE SPECIES BE MAINTAINED.
3. DO NOT TOP OR HEAD TREES.
4. IF BALING OR SHEARING OF TREES HAS OCCURRED IN THE PAST, DISCONTINUE THIS PRACTICE AND ALLOW PLANTS TO GROW INTO NATURAL SHAPE.
5. REMOVE SUCKERS, DEAD, DYING, DISEASED, BROKEN AND / OR WEAK BRANCHES FROM ALL TREES ALONG THE MAIN TRUNK STRUCTURE AND WITHIN THE BRANCHING AREA.
6. CONTRACTOR SHALL PRUNE EXISTING DECIDUOUS HARDWOOD BY REMOVING BRANCHES FROM ALL TREES TO MAINTAIN THE INTEGRITY OF THE CANOPY SHALL BE RAISED TO 12'-0" ABOVE GRADE. FOR DECIDUOUS HARDWOOD TREES, WHEN POSSIBLE, THE INTEGRITY OF THE CANOPY AND STRUCTURE OF THE TREE SHALL BE MAINTAINED.
7. CONTRACTOR SHALL THIN THE CANOPY BY ONE-FOURTH. PRUNE TREES TO EVENLY SPACE BRANCHES WITHIN THE CANOPY WHENEVER POSSIBLE. REMOVE BRANCHES THAT CROSS OTHERS, DOUBT THE LEADERS AND THOSE THAT EXCESSIVELY EXTEND BEYOND THE NATURAL CROWN OF THE TREE.
8. CROWN SHOULD BE DEEP ROOT FEEDING AND ENCOURAGE INVIGORATION OF EXISTING TREES. THIS SHALL BE ORGANIC BASED NUTRIENTS BASED FOR ROOT GROWTH AND LEAF GROWTH.
9. CONTRACTOR SHALL BE REQUIRED TO CHIP ALL REMOVED BRANCHES, LEAFS, ETC.

-

GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TPOPSHIL WITH ON-SITE CONSTRUCTION MANAGER
2. LAWN SHALL BE 3/4" DEEP, 1" BELOW FINAL FINISHED GRADE TPO TO TPOPSHIL INSTALLATION.
3. CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWING. CONTRACTOR TO PROVIDE SLOPES PROVIDED AWAY FROM ALL BUILDINGS, ROUNDINGS AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE.
4. CORRECTLY SLOPED VIEWS STANDING WATER SHALL OCCUR.
5. ALL LAWN AREAS SHALL BE IRRIGATED, IRRIGATION FRENCHES COMPLETELY SETTLED AND FINISH GRADE ACHIEVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
6. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPOOLS, TRASH AND DEBRIS TO PLACEMENT OF TPO.
7. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
8. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

SOLID SOL

1. SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT ALL CORNERS AND STRAIGHTLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/-4). EXPOSED TOP SOIL SHOULD BE 2" MINIMUM.
2. LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS. NEW JOINTS WITH STRAIGHT EDGES TO BE MADE BY HAND. DO NOT PRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL JOINTS IF NECESSARY.
3. SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS. AFTER INSTALLATION IS COMPLETE, ON OR ABOUT OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

HYDROMULCH:

1. SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
2. BERMUDA GRASS SEED SHALL BE EXTRA HULMED, TREATED LAWN TYPE SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNLINED CONTAINER AND SHALL MEET THE FOLLOWING SPECIFICATION REQUIREMENTS
3. FIBER SHALL BE 100% WOOD CELULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNLINED CONTAINER, MANUFACTURED BY "CONVEY" OR EQUAL.
4. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED UNLINED CONTAINER AND SHALL BE "TERRO-TACK ONE", AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
5. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
6. USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPREADING.
7. IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
8. FOLLOWING SEED APPLICATION, FIBER SHALL BE ROLLED AND MAY SET. ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-SEEDING HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
9. ALL SEED APPLICATION SHALL BE DONE IMMEDIATELY AFTER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
10. ALL HYDROMULCH AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

1. CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS, NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITIONS THAT MAY PROHIBIT THE ISSUANCE OF A SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON THE SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
3. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE BARRER AREAS TO ACHIEVE FINAL CONTOUR AND FINISH. LEAK LINE SHALL BE FINISHED TO MATCH FINISHED GRADE. FINISHED GRADE IN PLANTING AREAS AND 1' BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
6. PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
7. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
8. MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
9. QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPECIES OF PLANTS SHALL BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
10. CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER PLANT AND BE PLANTED IN THE MANNER AND LOCATION SPECIFIED AND BE APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
11. TREES SHALL BE PLANTED AT A MINIMUM OF 3' FROM ANY UTILITY LINE, SIDEWALK, CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
12. 4" OF SHEPHEDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE APPLIED OVER WOOD BARRIER FIBER. MULCH SHALL BE SHEPHEDED HARDWOOD MULCH OR APPROVED EQUIV. (FINE STRAW MULCH IS PROHIBITED).
13. WOOD BARRIER FIBER SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WOOD BARRIER OR APPROVED EQUIV.
14. CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION:

1. ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:
1. VEGETATION SHOULD BE MAINTAINED

1. VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANTS ARE MAINTAINED PROPERLY AND REMAIN IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
2. MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UNLESS THE OWNER OR OWNER'S REPRESENTATIVE AGREES AND ASSUMES REGULAR MAINTENANCE.
3. ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS

1. STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE OR PLANS/DETAILS.
2. RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER RIVER FABRIC.
3. DECOMPOSED GRANITE SHALL CONSIDER TO A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DO NOT PLACE OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.
4. BOULDER SHALL BE ON AVERAGE 36" X 24" X 24" AND A MIN. OF 50LBS. BOULDER TO BE SET IN GROUND ON A 1" SAND SETTING BED APPROXIMATELY 2" BELOW FINISH GRADE. BOULDER SHOULD HAVE A FLAT TOP AND FINISH GRADE BOULDER HAS A NATURAL TOP AND BOTTOM. ENSURE THAT THE BOULDER IS POSITIONED CORRECTLY BEFORE INSTALLATION.



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NORTH ELEVATION MATERIALS			
DESCRIPTION	AREA	PERCENTAGE	
STONE	158.83 S.F.	14.54 %	
BRICK	783.68 S.F.	56.94 %	
BUMP	198.2 S.F.	13.75 %	

EAST ELEVATION MATERIALS			
DESCRIPTION	AREA	PERCENTAGE	
STONE	36.42 S.F.	10.38 %	
BRICK	348.78 S.F.	85.98 %	
BUMP	67.36 S.F.	17.76 %	

SOUTH ELEVATION MATERIALS			
DESCRIPTION	AREA	PERCENTAGE	
STONE	147.51 S.F.	13.19 %	
BRICK	781.62 S.F.	96.75 %	
BUMP	196.8 S.F.	14.75 %	

WEST ELEVATION MATERIALS			
DESCRIPTION	AREA	PERCENTAGE	
STONE	42.19 S.F.	11.7 %	
BRICK	258.01 S.F.	55.08 %	
BUMP	169.39 S.F.	30.32 %	

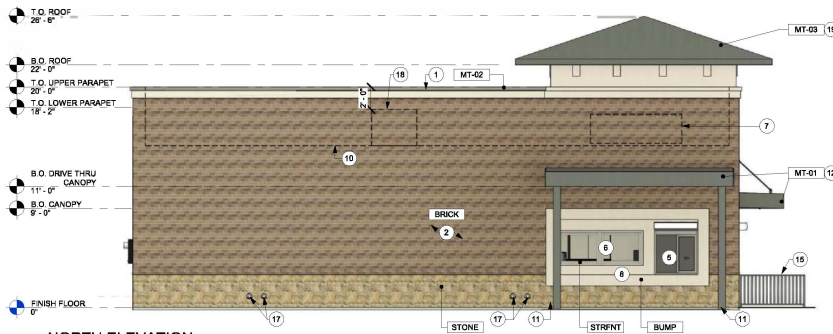
FINISH SAMPLES	
STONE	TEXAS STONE DESIGN INC. GRANBURY COBBLE
BRICK	QUICK BRK. TIMBERLAND W/ RED FLASH
BUMP	DRYVIT OYSTERSHELL
MT-01	METAL CHARCOAL GREY
MT-02	PAC-CLAD CHARCOAL GREY STANDING SEAM
STRFNT	CLEAR ANODIZED

EXTERIOR FINISH SCHEDULE				
DESCRIPTION	PRODUCT	FINISH	COLOR	
STONE	TEXAS STONE DESIGN	COBBLE	GRANBURY	
BRICK	QUICK BRK	N/A	TIMBERLAND W/ RED FLASH	
BUMP	STUCCO	DRYVIT	PAINTED	OYSTER SHELL
MT-01	METAL FASCIA	TBD	-	CHARCOAL GREY
MT-02	METAL COPING	TBD	-	CHARCOAL GREY
MT-03	METAL ROOFING	STANDING SEAM	-	CHARCOAL GREY
STRFNT	STOREFRONT	KAWNEER	CLEAR ANODIZED	

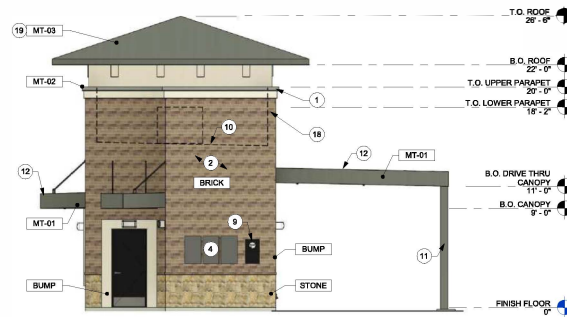
EXTERIOR ELEVATION KEYNOTES

- METAL PARAPET CAP PAINTED SW 7883 MONORAL SILVER.
- BRICK FINISH AS SCHEDULED.
- FIRE DEPARTMENT KNOX BOX.
- ELECTRICAL PANELS, REF. ELEC. PAINTED TO MATCH ADJACENT BUILDING MATERIAL.
- SLIDER WINDOW WITH DOUBLE INSULATED GLASS.
- FIXED WINDOW WITH DOUBLE INSULATED GLASS.
- FUTURE BUILDING SIGNAGE LOCATION. ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.
- POP-OUT.
- ELECTRICAL EQUIPMENT. UTILITY BOXES AND CONDUIT TO BE PAINTED TO MATCH BUILDING COLOR. REF. ELECTRICAL. PAINTED TO MATCH ADJACENT BUILDING MATERIAL.
- ROOF LINE, BEHIND.
- PAINTED STEEL COLUMN.
- PAINTED C-CHANNEL CANOPY.
- ACCESSIBLE SERVICE COUNTER.
- STUCCO ACCENTS TO MATCH COMPLEX.
- PAINTED 3-6" METAL GUARD RAIL.
- BUILDING NUMBER.
- ROOF DRAIN.
- PARAPET WALL TO SCREEN ROOFTOP EQUIPMENT. MECHANICAL EQUIPMENTS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- STANDING SEAM METAL ROOF.

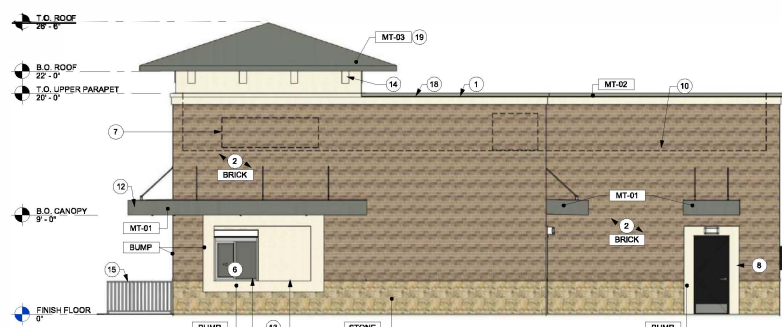
ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL, SEC. 22.108.04.
MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.



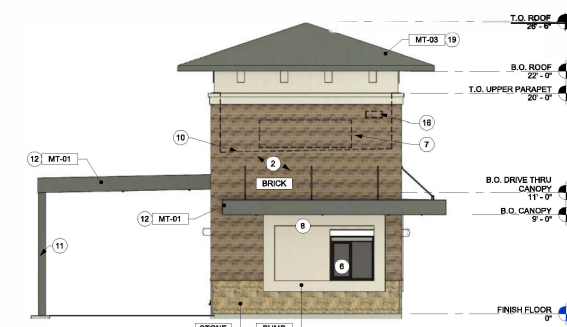
3 NORTH ELEVATION
Scale: 3/16" = 1'-0"



4 EAST ELEVATION
Scale: 3/16" = 1'-0"



1 SOUTH ELEVATION
Scale: 3/16" = 1'-0"



WEST ELEVATION
Scale: 3/16" = 1'-0"

OWNER

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FACADE PLAN - 11/12/2021

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTIONS

SALAD & GO
PRESTON & PROSPER TRAIL
1300 NORTH PRESTON ROAD
PROSPER, TX 75048

PROJECT #: 21-1125
ORIGINAL ISSUE DATE: 11/12/2021
PRODUCTION DESIGNER: J. JEFFERY
CHECKED BY: A. MORELAND

(SHEET TITLE)

EXHIBIT D
FACADE PLAN

SHEET NUMBER

FP-01