

SURVEYOR'S NOTES:

- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.00015271.
- This property lies within Zone "X" of the Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas, map no. 48085C01201, with an effective date of June 2, 2009, via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.
- Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).

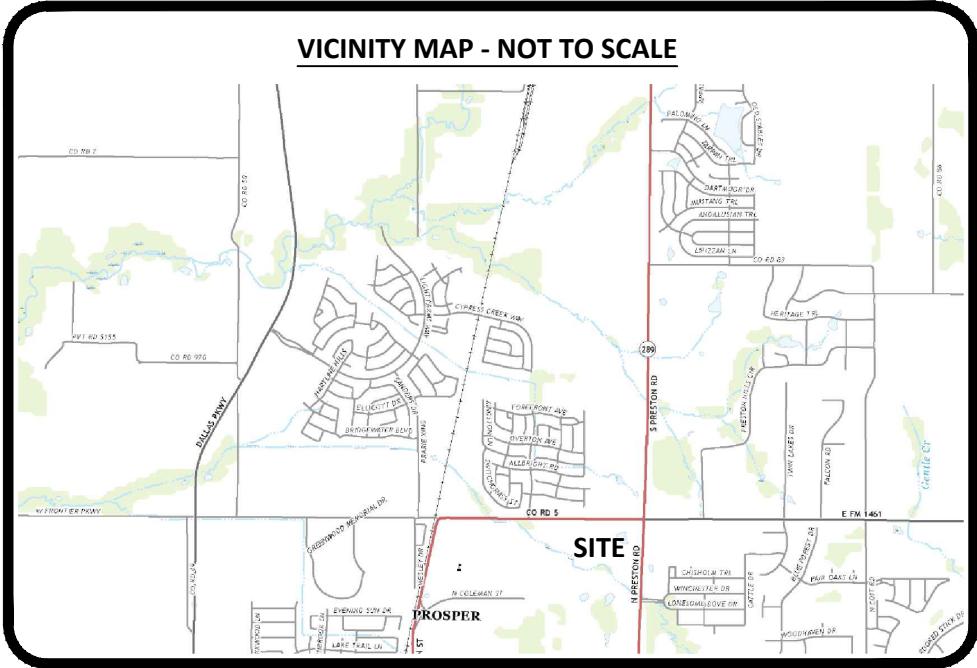
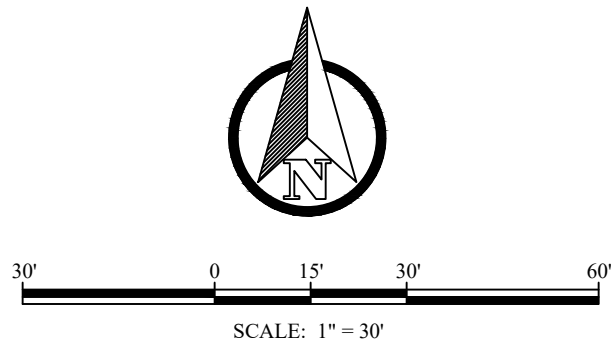
NOTE REGARDING UTILITIES

Source information from plans and markings will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

Utility locations are per observed evidence.

LEGEND OF ABBREVIATIONS

- D.R.C.C.T. DEED RECORDS, COLLIN COUNTY, TEXAS
- P.R.C.C.T. PLAT RECORDS, COLLIN COUNTY, TEXAS
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- DOC.# DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT
- SQ. FT. SQUARE FEET
- ROW RIGHT OF WAY
- CRS CAPPED REBAR SET



PROPERTY DESCRIPTION

BEING a portion of Lot 3 in Block A of Victory at Frontier, an addition in the Town of Prosper, Collin County, Texas, according to the plat recorded under Volume 2018, Page 699, Plat Records of Collin County, Texas, (P.R.C.C.T.), the subject tract being more particularly described by metes and bounds as follows (bearings are based on State Plane Coordinate System, Texas North Central Zone, North American Datum of 1983 (NAD '83)):

BEGINNING at a 1/2 inch rebar with pink cap stamped, "BARTON CHAPA" set (hereinafter called "capped rebar set") for the southeast corner of the herein described tract, said point being in the east line of said Lot 3;

THENCE through the interior of said Lot 3 the following calls:

- North 88 degrees 35 minutes 37 seconds West, a distance of 344.09 feet to an "X" cut in concrete set;
- North 01 degrees 24 minutes 24 seconds East, a distance of 167.98 feet to an "X" cut in concrete set;
- North 89 degrees 26 minutes 11 seconds East, a distance of 83.18 feet to an "X" cut in concrete set in the west line of Lot 2 in said Block A;

THENCE South 00 degrees 15 minutes 13 seconds West, with the west line of said Lot 2, a distance of 26.31 feet to a capped rebar set;

THENCE South 88 degrees 35 minutes 36 seconds East, with the south line of said Lot 2, a distance of 263.84 feet to a capped rebar set for the southeast corner thereof, same being a northeast corner of said Lot 3;

THENCE South 01 degrees 24 minutes 24 seconds West, with the east line of said Lot 3, a distance of 76.26 feet to a capped rebar set;

THENCE South 04 degrees 16 minutes 09 seconds West, with the east line of said Lot 3, a distance of 68.37 feet to the **POINT OF BEGINNING** and enclosing 1.198 acres (52,186 square feet) of land, more or less.

TITLE COMMITMENT NOTES

This survey was prepared without the benefit of a commitment for title insurance. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property that are not shown on this survey.

SURVEYOR'S CERTIFICATE

This is to certify that I, John H. Barton III, a Registered Professional Land Surveyor of the State of Texas, have prepared this map from an actual survey on the ground, and that this map correctly represents that survey made by me or under my direction and supervision. This survey meets the minimum requirements for a Category 1A, Condition II Land Title Survey. Fieldwork was completed on September 14, 2020.

Date of Plat/Map: **September 15, 2020**

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED, VIEWED, OR RELIED UPON AS A FINAL SURVEY DOCUMENT September 15, 2020

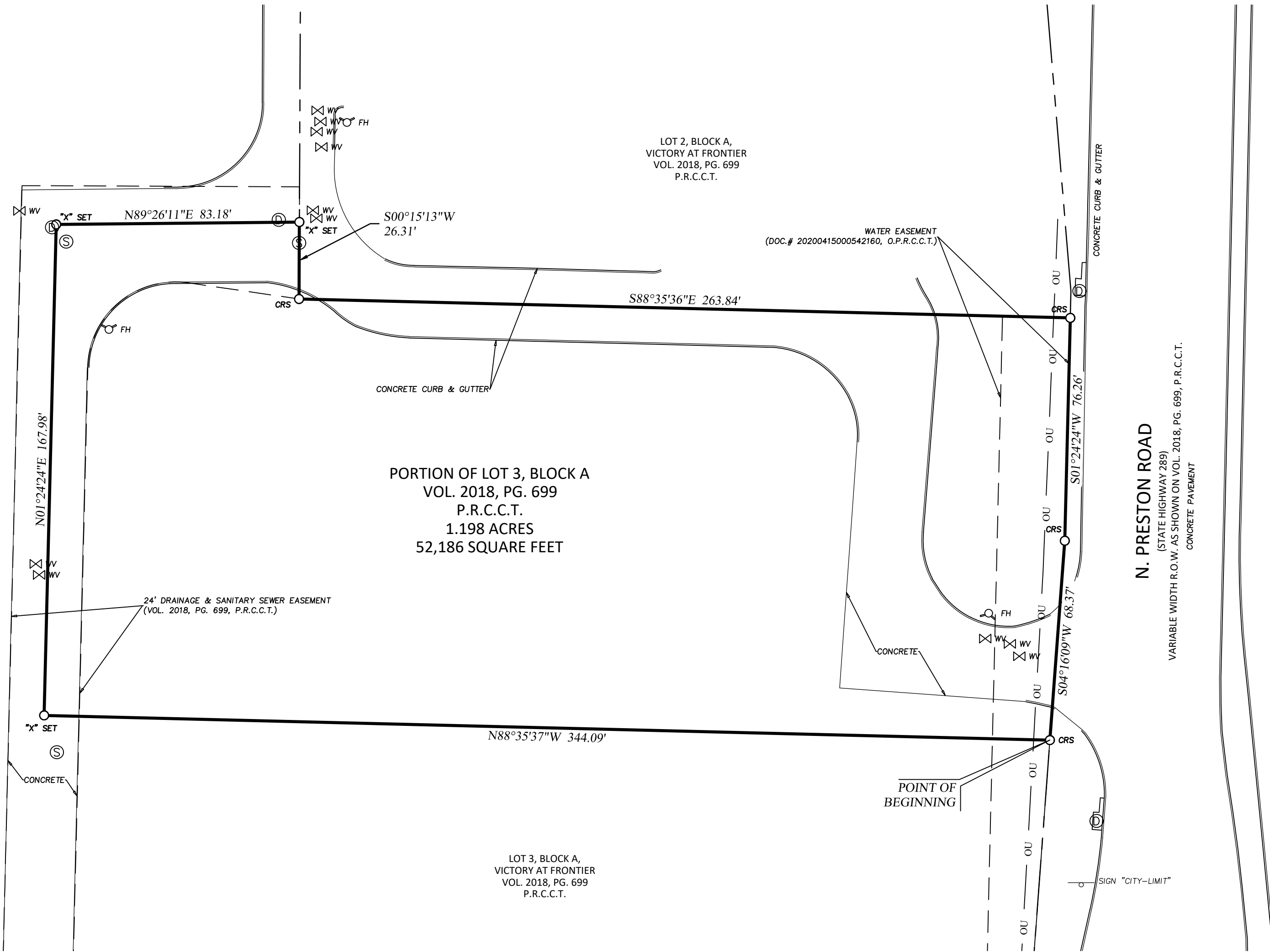
John H. Barton III, RPLS# 6737

TERMS OF ACCEPTANCE OF SURVEY

This survey is issued pursuant to a real estate transaction and is appurtenant to the title commitment referenced in the "Title Commitment Notes" This survey is issued for use in such transaction. Notwithstanding any of the above statements, the surveyor has a contractual relationship with one client or entity. Review/requested revisions by other parties must be received by or through such entity. Client is responsible for reviewing survey (including, but not limited to: notations; existence or lack of spelling/grammatical/typographical errors; certified parties; dates; instruments) within thirty (30) days of the date of plat or map. After such time has passed, client accepts survey as issued, and further revisions are not embraced by the above certification. Additional or altered commitments for title insurance will require an new or re-issued survey. Please feel free to request pricing for this at info@bcsdfw.com, or call (817) 864-1957.

LEGEND OF SYMBOLS

- air conditioning unit
- irrigation control valve
- cable tv
- electric meter
- fence or guardrail
- fire dept. connection
- fire hydrant
- bollard
- area drain
- grate inlet
- gas valve
- gas meter
- gas well
- sign
- sanitary sewer manhole
- storm water manhole
- telephone manhole
- tank fill lid
- telephone pedestal
- traffic signal pole
- utility clean out
- comm. utility cabinet
- electric utility cabinet
- comm. utility vault
- elect. utility vault
- water utility vault
- utility/service pole
- utility sign
- water shutoff
- water valve
- well
- water meter
- cable tv riser
- air release valve
- utility markings
- tree
- shrub/decorative tree or tree with diameter < 4 in.
- contour lines



CATEGORY 1A, CONDITION II LAND TITLE SURVEY

PORTION OF LOT 3, BLOCK A
VICTORY AT FRONTIER
TOWN OF PROSPER
COLLIN COUNTY, TEXAS



5200 State Highway 121
Colleyville, TX 76034
Phone: 817-488-4960

JOB NO. 2020.001.148

DRAWN: BCS

CHECKED: JHB

TABLE OF REVISIONS

DATE SUMMARY

VICTORY AT
FRONTIER

PROSPER,
TEXAS

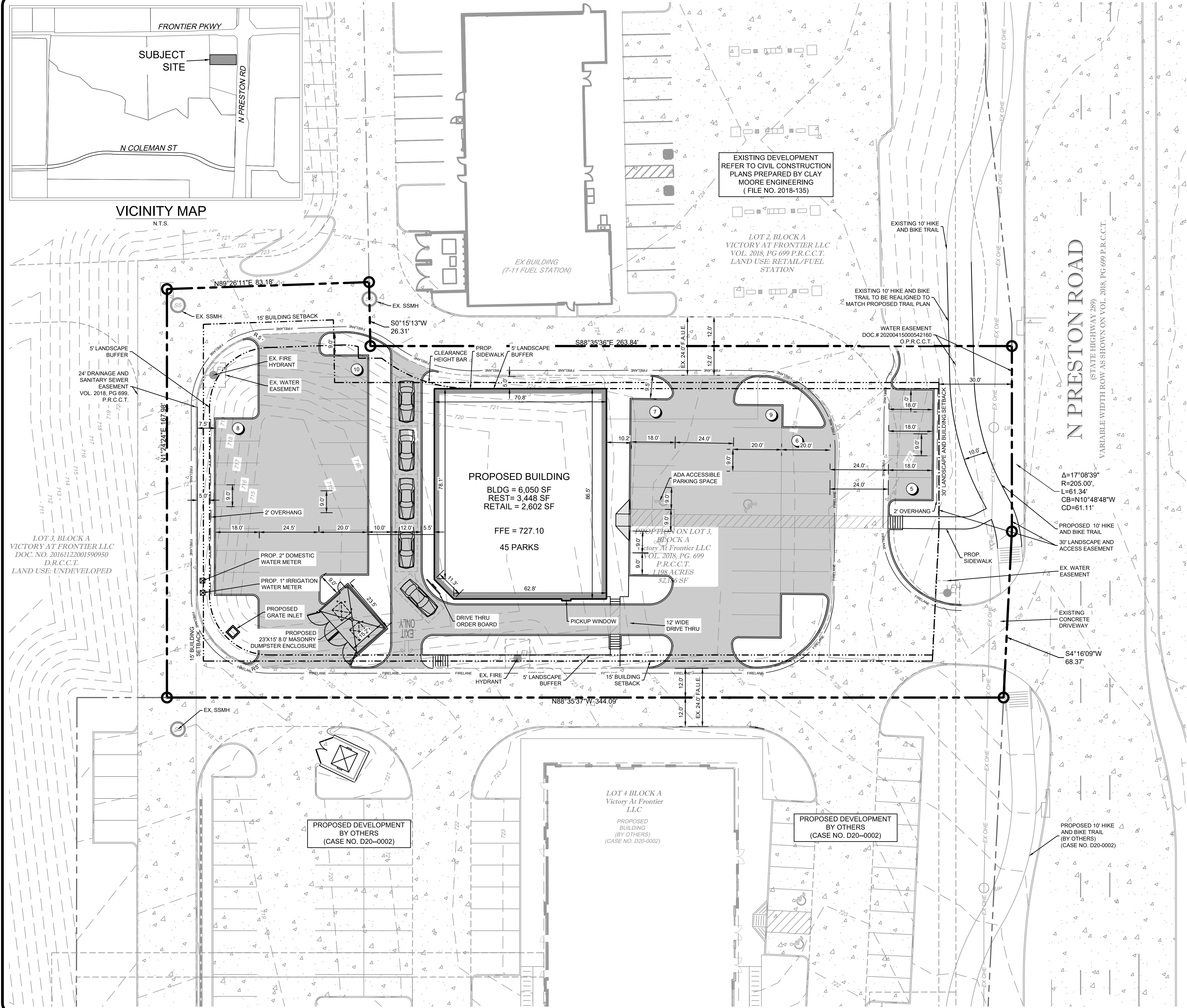
SHEET:

VO1

CATEGORY 1A,
CONDITION II
LAND TITLE
SURVEY

FILE PATH: K:\3040\WC2019_Frontier\Task D\Drawings\SU03_Production\K3 SITE PLAN_VIC2019

BURNING: C:\SITE PLAN_VIC2019.dwg
PLOTTER: HP DesignJet T120
PLOT DATE: 6/8/2022



Know what's below.
Call before you dig.

LEGEND

- PROPOSED FIRE HYDRANT
- PROPOSED CURB INLET
- ACCESSIBLE ROUTE
- PARKING COUNT
- PROPERTY BOUNDARY
- PROPOSED PAVEMENT

KE SITE PLAN DATA TABLE

EXISTING ZONING	PD-10
LOT AREA (SF) / (ACRES)	52,186 SF / 1.198 AC.
TOTAL BUILDING AREA (SF)	RESTAURANT: 6,050 SF
BUILDING HEIGHT	20'-0" (1 STORY)
MAXIMUM FAR (4:1)	9.28% / 0.0928:1

KE PARKING DATA TABLE

RESTAURANT PARKING REQUIREMENT	1 SPACE PER 100 SF
RETAIL PARKING REQUIREMENT	1 SPACE PER 250 SF
BUILDING AREA / PATIO AREA	6,050 SF
RESTAURANT PARKING SPACES REQUIRED	(3,400SF) 34 SPACES
RETAIL PARKING SPACES REQUIRED	(2,650SF) 11 SPACES
TOTAL PARKING SPACES PROVIDED	45 SPACES
REQUIRED ADA PARKING	3 SPACES (1 VAN)
PROVIDED ADA PARKING	3 SPACES (1 VAN)
IMPERVIOUS AREA (SF)	42,956 SF
REQUIRED LANDSCAPING (10% OF LOT AREA)	5,218 SF
PROVIDED LANDSCAPING	8,069 SF

LAYOUT & DIMENSIONAL CONTROL NOTES:

- BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAN TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
- DIMENSIONAL CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
- CURB RADIUS: UNLESS NOTED OTHERWISE, ALL CURB RADI SHALL BE 3' AT FACE OF CURB.
- BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
- ALL COORDINATES ARE U.S. SURVEY FEET, NAD '83 SURFACE.

NOTE TO CONTRACTOR

THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.



GRAPHIC SCALE

0 20 40 FEET

SCALE: 1" = 20'

SITE PLAN

CASE NO. S22-0006

VICTORY AT FRONTIER LOT 5

1.198 ACRES

LOT 5, BLOCK A

VICTORY AT FRONTIER, LLC

(VOL. 2018, PAGE 699)

P.R.C.C.T.

TOWN OF PROSPER, COLLIN, TEXAS

PREPARATION DATE: 10/25/2021

OWNER/APPLICANT

VICTORY AT FRONTIER, LLC

6125 LUTHER LANE STE 583

DALLAS, TX 75225-6202

PH: 214-934-2566

CONTACT: BOBBY MENDOZA

LANDSCAPE ARCHITECT

LONDON LANDSCAPES

P.O. BOX 28

COLLINSVILLE, TX 76233

CONTACT: AMY LONDON, RLA

ENGINEER

KIRKMAN ENGINEERING, LLC

5200 STATE HIGHWAY 121

COLLEEVILLE, TX 76034

PH: 817-488-4960

CONTACT: PATRICK FILSON, PE

SURVEYOR

BARTON CHAPA SURVEYING

5300 STATE HIGHWAY 121

COLLEEVILLE, TX 76034

PH: 817-864-1957

CONTACT: JACK BARTON, RPLS

PRELIMINARY FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR
DESIGN REVIEW ONLY AND
NOT INTENDED FOR THE
PURPOSES OF CONSTRUCTION,
BIDDING OR PERMIT. THEY
WERE PREPARED BY, OR
UNDER THE SUPERVISION OF:

PATRICK C. FILSON
P.E.# 108577
DATE: 6/8/2022

VICTORY GROUP
Victory Real Estate Group

6125 LUTHER LANE SUITE 583
DALLAS, TX 75225-6202
214-934-2566

VICTORY AT
FRONTIER - LOT 5
LOT 5, BLOCK A
TOWN OF PROSPER
COLLIN COUNTY, TEXAS

REV. DATE. DESCRIPTION:



KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEEVILLE, TX 76034
TEXAS FIRM NO. 15874

JOB NUMBER: VIC21019

ISSUE DATE: 05/09/2022

EXHIBIT B
SITE PLAN

SHEET:

C3.0

FACADE NOTES

This Façade Plan is for conceptual purposes only. All building plans require review and approval from the Building Inspections Division.

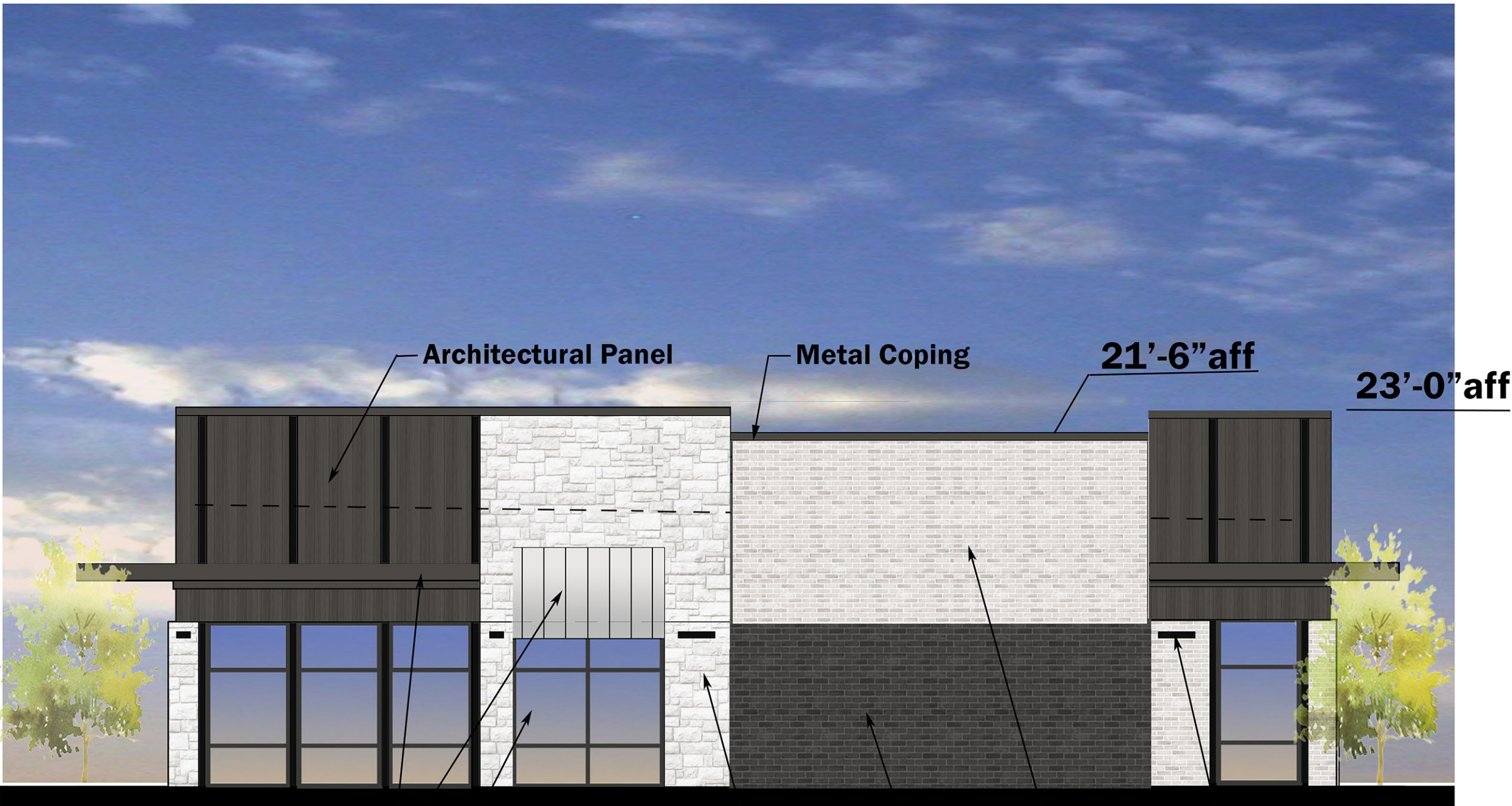
All mechanical equipment shall be screened from public view. Rooftop mounted equipment shall be screened by a parapet wall or screening wall. Screening walls shall be the specifications of the Zoning Ordinance.

When permitted, exposed utility boxes and conduits shall be painted to match the building.

All signage areas and locations are subject to approval by the Building Inspections Division.

Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

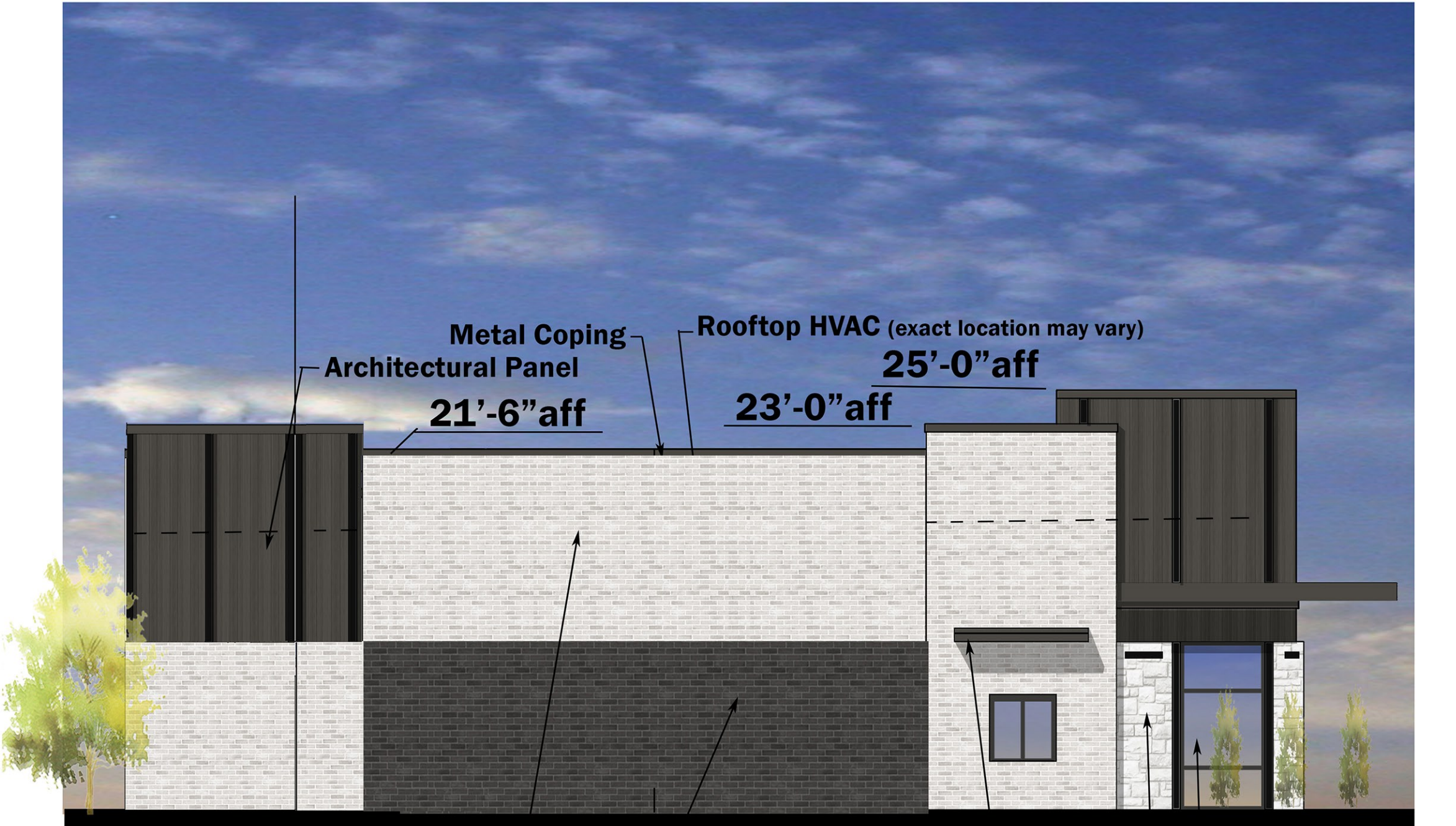
Any deviation from the approved Façade Plan will require re-approval by the Town of Prosper.



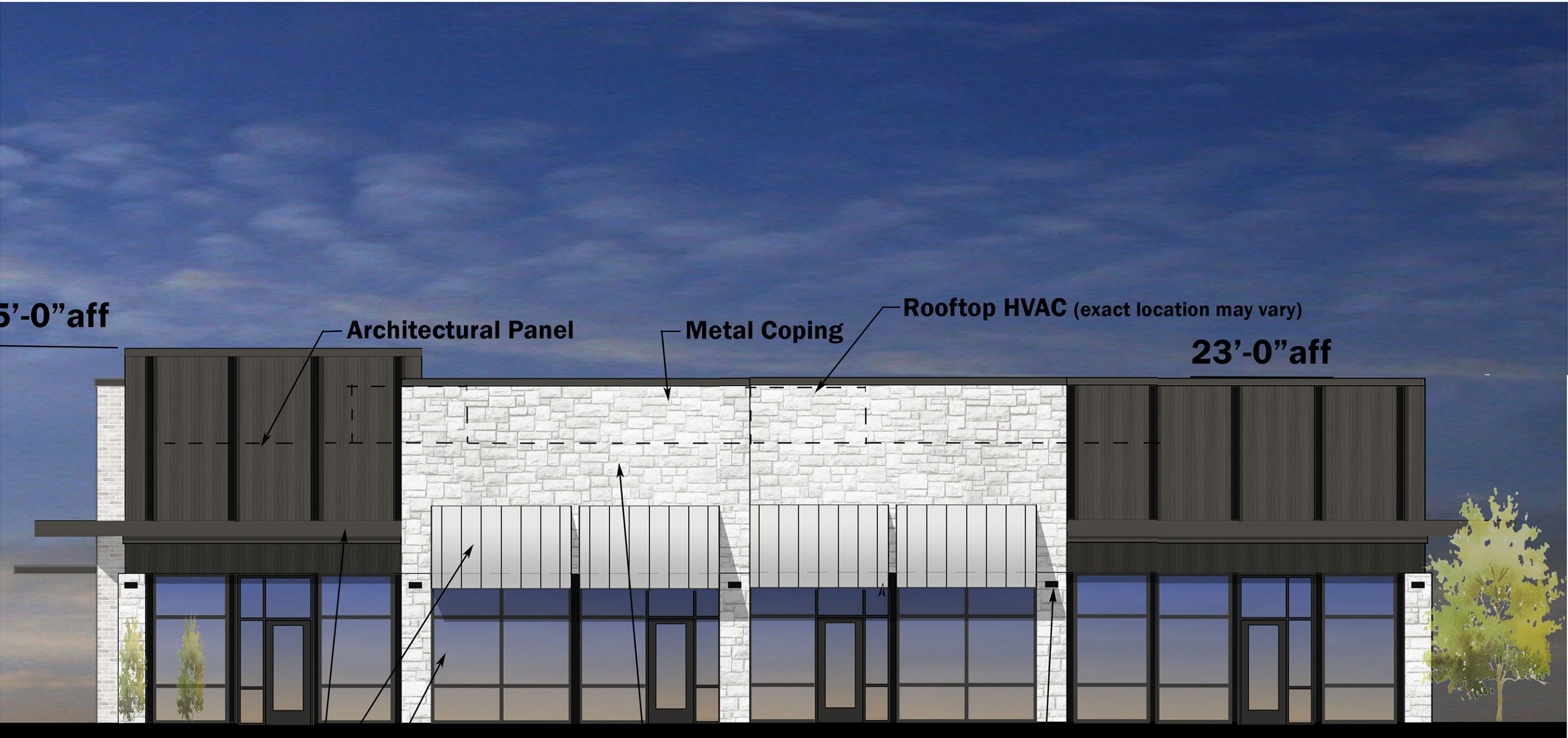
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

NORTH	
TOTAL FACADE:	1,615 SF
DOORS/GLAZING:	323 SF
NET FACADE:	1,292 SF 100%
MASONRY (STONE):	256 SF 20%
MASONRY (BRICK):	641 SF 49%
TOTAL MASONRY:	69%
PANELS :	320 SF 25%
METAL AWNING:	75 SF 6%

WEST	
TOTAL FACADE:	1,854 SF
DOORS/GLAZING:	262 SF
NET FACADE:	1,592 SF 100%
MASONRY (BRICK):	824 SF 52%
TOTAL MASONRY:	52%
PANELS :	269 SF 17%
METAL AWNING:	66 SF 4%
STUCCO:	433 SF 27%

SOUTH	
TOTAL FACADE:	1,617 SF
DOORS/GLAZING:	76 SF
NET FACADE:	1,541 SF 100%
MASONRY (STONE):	51 SF 3%
MASONRY (BRICK):	1,147 SF 74%
TOTAL MASONRY:	77%
PANELS :	277 SF 19%
METAL AWNING:	66 SF 4%

EAST	
TOTAL FACADE:	2,062 SF
DOORS/GLAZING:	773 SF
NET FACADE:	1,289 SF 100%
MASONRY (STONE):	649 SF 50%
TOTAL MASONRY:	50%
PANELS :	448 SF 35%
METAL AWNING:	192 SF 15%

TOTAL FACADE:	7,148 SF
TOTAL DOORS/GLAZING:	1,434 SF

NET FACADE	5,714 SF	100%
TOTAL MASONRY:	3,568 SF	62%
TOTAL ARCHITECTURAL PANEL:	1,314 SF	23%
TOTAL AWNINGS:	399 SF	7%
TOTAL STUCCO:	433 SF	8%

SITE PLAN	
CASE NO.	
VICTORY AT FRONTIER LOT 5	
1.198 ACRES	
PART OF LOT 5 BLOCK A	
VICTORY AT FRONTIER, LLC	
(VOL. 2018, PAGE 699)	
P.R.R.C.T.	
TOWN OF PROSPER, COLLIN, TEXAS	
PREPARATION DATE: 09/27/2021	
OWNER/APPLICANT	LANDSCAPE ARCHITECT
VICTORY AT FRONTIER, LLC	LONDON LANDSCAPES
6125 LUTHER LANE STE 583	P.O. BOX 28
DALLAS, TX 75225-6202	COLLINSVILLE, TX 76233
PH: 214-954-2566	CONTACT: AMY LONDON, RLA
CONTACT: BOBBY MENDOZA	
ENGINEER	SURVEYOR
KIRKMAN ENGINEERING, LLC	BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121	5200 STATE HIGHWAY 121
COLLEVILLE, TX 76034	COLLEVILLE, TX 76034
PH: 817-488-4690	PH: 817-884-1557
CONTACT: PATRICK FILSON, PE	CONTACT: JACK BARTON, RPLS

