

Attachment 1: Mav Addition



30' FLOODPLAIN SETBACK SHALL CONFORM TO ZONING ORDINANCE CHAPTER 4, SECTION 5.14. PARAGRAPH C. FOR RETAIL & COMMERCIAL DEVELOPMENT SHALL PROVIDE AT LEAST (3) AMENITIES LISTED THEREIN.

LOT 4  
BLOCK A  
MAV ADDITION  
DOC. NO. 2021-40, P.R.D.C.T.  
FISHTRAP PROPERTIES, LLC  
DOC. NO. 2021-44099, D.R.D.C.T.  
4 FT. WIDE  
CURB CUT WITH  
10'X10' RIPRAP  
15' DRAINAGE EASEMENT  
DOC. NO. 2021-40, P.R.D.C.T.

PROPOSED FIRE  
HYDRANT

5' DRAINAGE EASEMENT  
DOC. NO. 2021-40,  
P.R.D.C.T.

WATER EASEMENT  
DOC. NO. 2021-40,  
P.R.D.C.T.

WATER EASEMENT  
DOC. NO. 2021-40,  
P.R.D.C.T.

WATER EASEMENT  
DOC. NO. 2021-40,  
P.R.D.C.T.

WATER EASEMENT  
DOC. NO. 2021-40,  
P.R.D.C.T.

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P.R.D.C.T.

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DOC. NO. 2021-40,  
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WATER EASEMENT  
DOC. NO. 2021-40,  
P.R.D.C.T.

WATER EASEMENT  
DOC. NO. 2021-40,  
P.R.D.C.T.

Site Benchmarks

TBM-1: "X" CUT SET ON THE NORTH CORNER OF A STORM INLET LOCATED EAST OF AN PARKING AREA, APPROXIMATELY 231 FEET NORTH OF FISHTRAP ROAD AND 12 FEET SOUTHWEST OF A FIRE HYDRANT. ELEVATION = 599.49

TBM-2: "X" CUT SET APPROXIMATELY 42 FEET NORTHEAST FROM THE INTERSECTION OF THE SOUTHEAST RIGHT OF WAY LINE OF VILLAGE PARK LANE AND APPROXIMATELY 12 FEET SOUTHWEST FROM THE MEDIAN. ELEVATION = 602.06

SITE SUMMARY TABLE:

BLOCK	LOT	ZONING	PROPOSED USED	LOT AREA (SF)	(AC)	BUILDING AREA (SF)	MAX BUILDING HEIGHT (FT)	COVERAGE (%)	FLOOR AREA RATIO	PARKING REQUIRED (1 PER 250 SF)	PARKING PROVIDED	ADA PARKING REQUIRED	ADA PARKING PROVIDED	INTERIOR LANDSCAPE REQUIRED (SF)	INTERIOR LANDSCAPE PROVIDED (SF)	IMPERVIOUS AREA (SF)	OPEN SPACE REQUIRED (7%) (7% OF LOT AREA)	OPEN SPACE PROVIDED (SF)
A	3	O-OFFICE	MEDICAL OFFICE	64,096	1.471	10,007	15.61	6.931	15.61	40	40	2	2	600	2,052	35,548	4,487	28,548
Total				64,096	1.471	10,007	15.61	6.931	15.61	40	40	2	2	600	2,052	35,548	4,487	28,548

TOWN OF PROSPER SITE PLAN GENERAL NOTES:

DEVELOPMENT PLAN REVIEW GUIDELINES

- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED PER THE ZONING ORDINANCE.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED PER THE ZONING ORDINANCE.
- OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
- LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
- ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
- TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
- SPEED BUMPS/JUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS. AMENDMENT 503.1.1
- THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
- BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D.05
- THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
- THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
- DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
- FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
- AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500') DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLIES" AMENDMENT 507.5.1
- FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5' STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
- FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
- THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
- A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
- THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
- ONE- AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS: AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE- AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,500 SQUARE FEET (511 M2) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
- SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING SERVICES DEPARTMENT.
- SITE PLAN APPROVAL IS REQUIRED BEFORE THE GRADING RELEASE.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW PER THE ZONING ORDINANCE.
- ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
- IMPACT FEES WILL BE ASSESSED PER THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF GO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
- THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.
- THE TOWN CURRENTLY CONTRACTS WITH CWD FOR WASTE DISPOSAL SERVICES. THEY MAY BE CONTACTED AT 972-392-9300.

(3) AMENITIES PER ZONING ORDINANCE CHAPTER 4, SECTION 2.60:

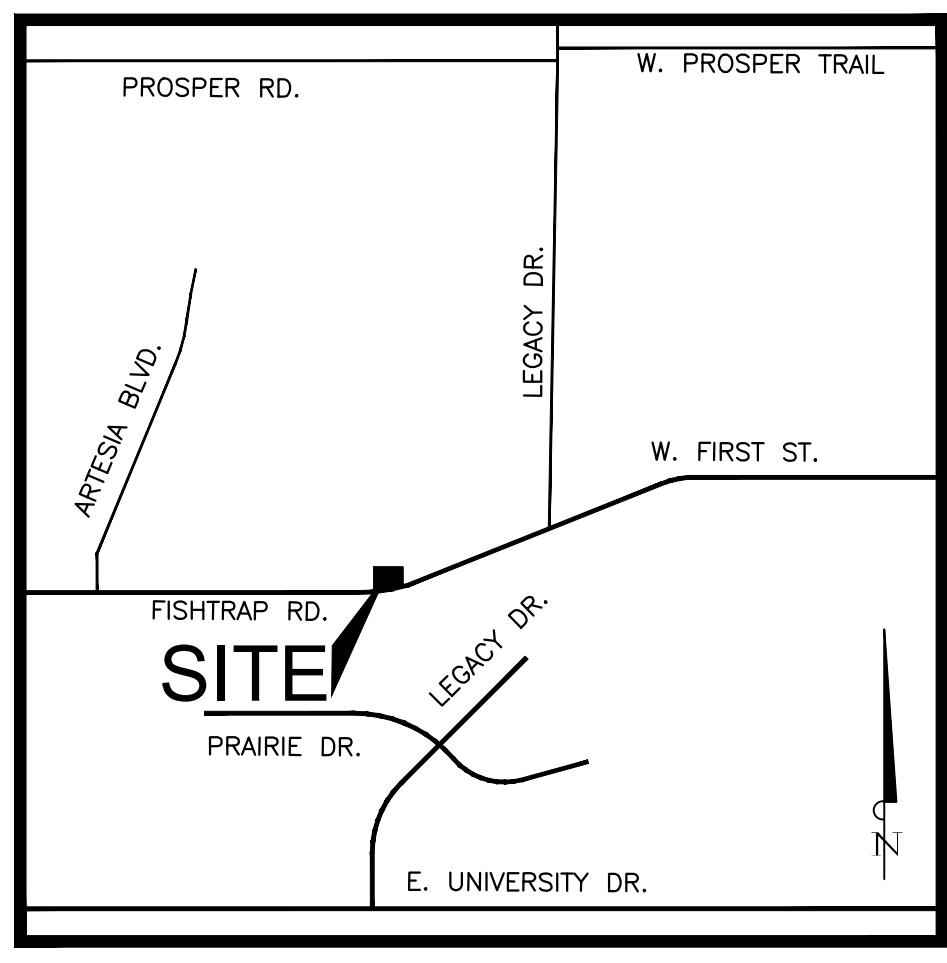
- A THIRTY (30) FOOT LANDSCAPE EDGE ADJACENT TO THE FLOODPLAIN OF THE MAJOR CREEK WITH A DOUBLE ROW OF THREE (3) INCH CALIPER TREES PLANTED ON THIRTY (30) FOOT CENTERS. EXISTING TREES IN HEALTHY GROWING CONDITION AND OF A SPECIES FROM THE LIST OF RECOMMENDED PLANT MATERIALS IN CHAPTER 4, SECTION 2 OF THIS ORDINANCE, AS IT EXISTS OR MAY BE AMENDED, MAY BE COUNTED TOWARD THIS REQUIREMENT.
- A COMMON PATIO, BALCONY, COURTYARD, OR TERRACE A MINIMUM OF 750 SQUARE FEET LOCATED BETWEEN THE BUILDING AND THE MAJOR CREEK.
- BUILDING TO HAVE THE SAME BUILDING MATERIALS AND ARCHITECTURAL ELEMENTS ON ALL FOUR SIDES.

FLOODPLAIN NOTE

ACCORDING TO MAP NO. 48121C04305, DATED APRIL 18, 2011 & LOMR 14-08-1789P EFFECTIVE DATE MAY 14, 2014 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP: FLOOD INSURANCE RATE MAP OF COLLIN COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION. THIS PROPERTY IS WITHIN ZONE "X" & (UNSHADED) ZONE "A" WITHIN A SPECIAL FLOOD HAZARD AREA.

WATER METER SCHEDULE

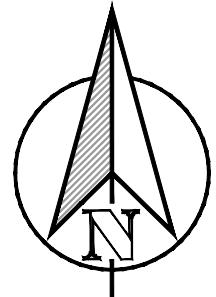
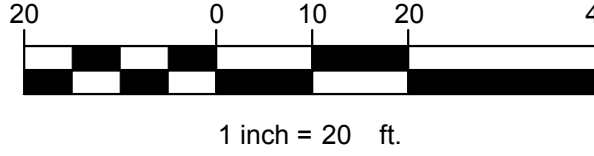
ID	TYP.	SIZE	NO.	SAN. SEWER
1	DOM.	2"	2	6"
2	IRR.	1"	2	N/A



VICINITY MAP

N.T.S.

GRAPHIC SCALE



LEGEND	
	FIRE LANE CONCRETE PAVEMENT PER TOWN OF PROSPER STANDARDS
	HEAVY DUTY CONCRETE PAVEMENT
	DUMPSTER DUTY CONCRETE PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PUBLIC CONCRETE SIDEWALK PER CITY DETAILS
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE STRIPING PER CITY STANDARDS
	PARKING COUNT

CHC PROSPER - OFFICE DEVELOPMENT  
PHASE 2

SITE PLAN  
CASE #:D22-0052

OWNER/DEVELOPER:

PROSPER PROFESSIONAL CENTRE, LLC  
C/O CHC MANAGEMENT, 451 S. MAIN STREET  
FORT WORTH, TEXAS 76104  
PH: 817.288.3035

CONTACT NAME: RORY MAGUIRE

APPLICANT:

CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021

CONTACT NAME: MATT MOORE

SURVEYOR:

WINDROSE LAND SURVEYING,  
1955 LAKEWAY DRIVE, SUITE 220  
LEWISVILLE, TX 75057  
PH: 972.370.5830

CONTACT NAME: CHAD ODEN

LEGAL DESCRIPTION:

LOT 3R, BLOCK A  
MAV ADDITION  
GROSS AREA: 1.471 AC OR 64,096 SF

CITY:		STATE:	
TOWN OF PROSPER		TEXAS	
COUNTY	SURVEY:	ABSTRACT NO.	
DENTON	L. NEATHERLY SURVEY	962	

TEXAS REGISTRATION #14199



PRELIMINARY

FOR REVIEW ONLY  
Not for construction purposes.  
CLAYMOORE ENGINEERING  
ENGINEERING AND PLANNING  
CONSULTANTS  
Engineer: DREW DONOSKY  
P.E. No. 125651 Date: 7/5/2022

CHC PROSPER - PHASE II  
FISHTRAP ROAD  
PROSPER, TEXAS

NO.	DATE	REVISION	BY

SITE PLAN

DESIGN:	MKT
DRAWN:	MKT
CHECKED:	ASD
DATE:	6/21/2022

SHEET  
SP-1

File No.: 2022-093

PLOTTED BY: MARK TORRES  
PLOT DATE: 7/5/2022 4:32 PM  
LOCATION: Z:\PROJECTS\2022-093 CHC PROSPER FISHTRAP PH 2\CADD\SHEETS\SP-1 SITE PLANDWG  
LAST SAVED: 7/5/2022 1:06 PM



# Attachment 2: Grace Chapel Site Plan

## TOWN OF PROSPER SITE PLAN GENERAL NOTES:

### DEVELOPMENT PLAN REVIEW GUIDELINES

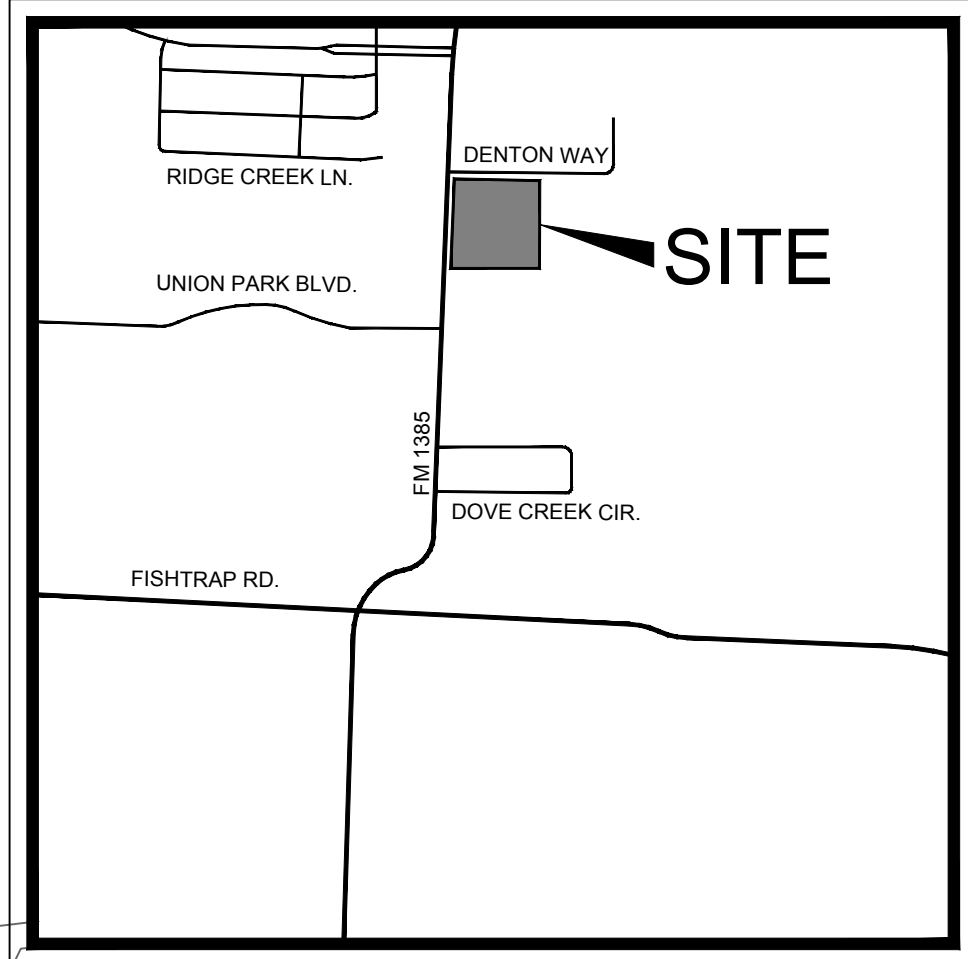
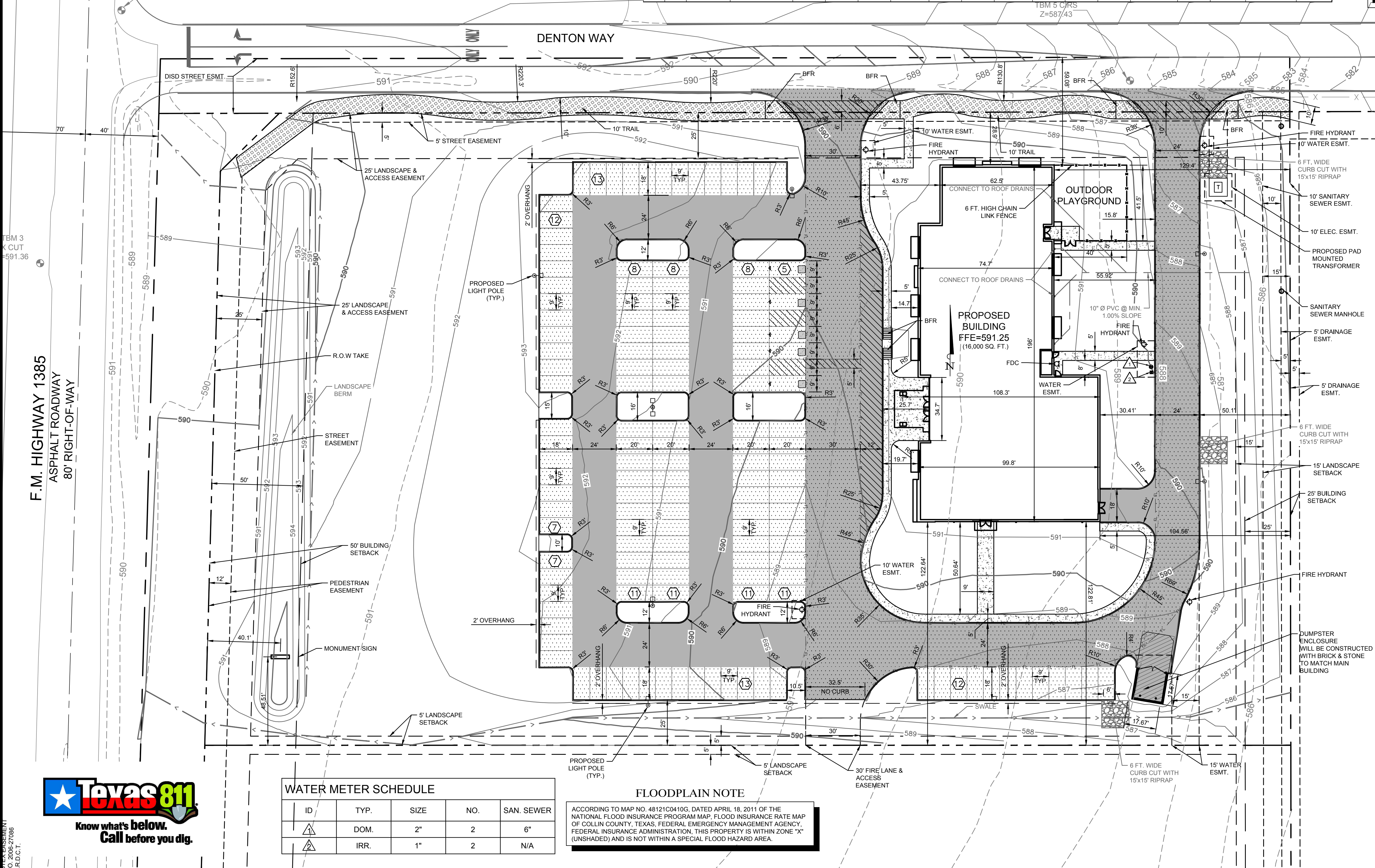
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- THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
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- AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R3, R3.3 DEVELOPMENTS SHALL BE EVERY 600 FEET (600'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM
- HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLIES." AMENDMENT 507.5.1.
- FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5" STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
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- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FAÇADE PLAN.

- SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
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- THE TOWN CURRENTLY CONTRACTS WITH CWD FOR WASTE DISPOSAL SERVICES. THEY MAY BE CONTACTED AT 972-382-9300.

## SITE SUMMARY TABLE:

BLOCK	LOT	ZONING	PROPOSED USED	LOT AREA		BUILDING AREA	MAX BUILDING HEIGHT	COVERAGE	FLOOR AREA RATIO	PARKING REQUIRED	PARKING PROVIDED	ADA PARKING REQUIRED	ADA PARKING PROVIDED	INTERIOR LANDSCAPE REQUIRED	INTERIOR LANDSCAPE PROVIDED	IMPERVIOUS AREA	OPEN SPACE REQUIRED (7%)	OPEN SPACE PROVIDED
				(SF)	(AC)	(SF)	(FT)	(%)						(SF)	(SF)	(SF)	(SF)	(SF)
A	1	A - AGRICULTURE	CHURCH/ADMIN /CLASSROOM	236,172	5,422	19,403	1 STORY - 29'11"	8.22	12.16:1	130	137	5	5	(15 SF PER SPACE) 2,145	3,490	120,409	(7% OF LOT AREA) 16,532	115,763
			Total	236,172	5,422	19,403		8.22		130	137	5	5	2,145	3,490	120,409	16,532	115,763



VICINITY MAP  
N.T.S.

LEGEND	
[Pattern]	FIRE LANE CONCRETE PAVEMENT PER TOWN OF PROSPER STANDARDS
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	DUMPSTER DUTY CONCRETE PAVEMENT
[Pattern]	LIGHT DUTY CONCRETE PAVEMENT
[Pattern]	CONCRETE SIDEWALK
[Pattern]	PUBLIC CONCRETE SIDEWALK PER CITY DETAILS
[Pattern]	PROPOSED CONCRETE CURB AND GUTTER
[Pattern]	PROPOSED FIRE LANE STRIPING PER CITY STANDARDS
[Pattern]	PARKING COUNT

PARKING SUMMARY	
PARKING REQUIRED CHURCH = 300 / 3 SEATS = 100 CLASSROOM = 6"1.5 = 9 ADMIN/DAYCARE = 21 CHILDREN = 120	130 SPACES
PARKING PROVIDED	137 SPACES
ADA REQUIRED	5 SPACES
ADA PROVIDED	5 SPACES

GRACE CHAPEL PROSPER	
SITE PLAN CASE #:D21-0111	
OWNER/DEVELOPER: NORTH TEXAS CONFERENCE OF THE UNITED METHODIST CHURCH PO BOX 866128 PLANO, TEXAS 75086 CONTACT NAME: KENNETH WOLVERTON	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 CONTACT NAME: DREW DONOSKY	
SURVEYOR: EAGLE SURVEYING, LLC 210 SOUTH ELM STREET, SUITE 104, TX 75057 PH: 940.222.3009 CONTACT NAME: MASON DECKER	
LEGAL DESCRIPTION: LOTS 1, BLOCK A NORTH TEXAS CONFERENCE OF THE METHODIST CHURCH ADDITION GROSS AREA: 5,422 OR 236,172 SF	
CITY: TOWN OF PROSPER	STATE: TEXAS
COUNTY: DENTON	SURVEY: JOHN MORTON SURVEY
ABSTRACT NO. 793	

WATER METER SCHEDULE				
ID	TYP.	SIZE	NO.	SAN. SEWER
[Symbol]	DOM.	2"	2	6"
[Symbol]	IRR.	1"	2	N/A

**FLOODPLAIN NOTE**  
ACCORDING TO MAP NO. 48121C0410G, DATED APRIL 18, 2011 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF COLLIN COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.

TEXAS REGISTRATION #14199

**CLAYMOORE ENGINEERING**

1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TEXAS 76021  
PHONE: 817.281.0572  
WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**

FOR REVIEW ONLY  
Not for construction purposes.

**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING  
CONSULTANTS

Engineer: DREW DONOSKY  
P.E. No. 125651, Date: 7/14/2022

**GRACE CHAPEL PROSPER  
FM 1385 & DENTON WAY  
PROSPER, TX**

**SITE PLAN**

DESIGN: MKT  
DRAWN: MKT  
CHECKED: ASD  
DATE: 7/14/2022

SHEET  
**SP-1**

File No. 2020-064



Attachment 3: Grace Chapel Preliminary Site Plan

TOWN OF PROSPER SITE PLAN GENERAL NOTES:

- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
- LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
- ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- OCCUPANT NOTIFICATION PER THIS SECTION AND 907.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
- TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
- SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS.
- THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.1.1
- THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
- THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
- DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
- FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
- AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLIES." AMENDMENT 507.5.1
- FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5' STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
- FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
- THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
- A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
- THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
- ONE-AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS. AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE-AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,000 SQUARE FEET (511 M2) OR GREATER. DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE PRELIMINARY SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FAÇADE PLAN.
- SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
- IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE. HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
- THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.

FLOODPLAIN NOTE

ACCORDING TO MAP NO. 4812100410G, DATED APRIL 18, 2011 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF COLLIN COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.

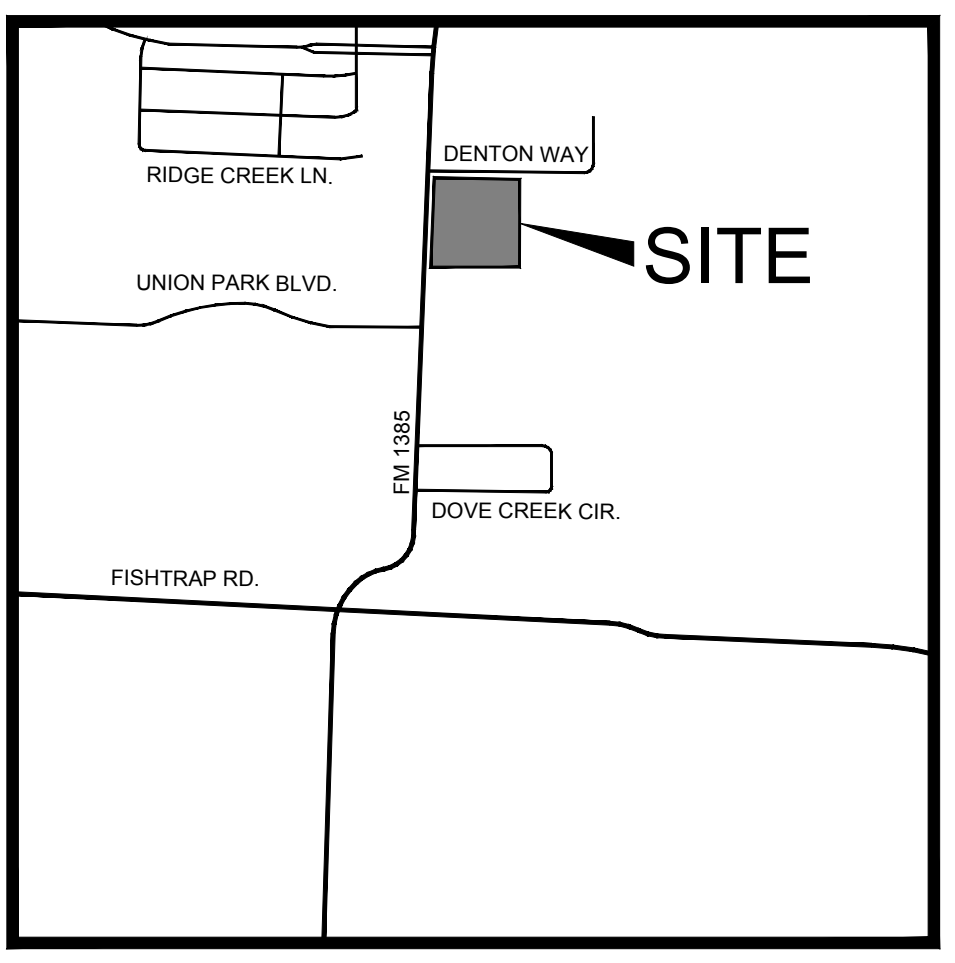
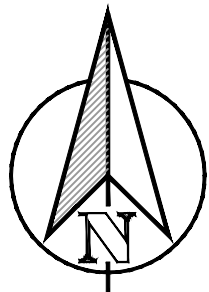
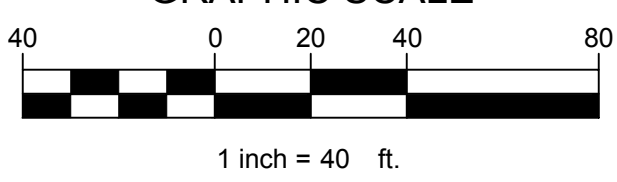


SITE SUMMARY TABLE:

BLOCK	LOT	ZONING	PROPOSED USED	LOT AREA		BUILDING AREA	MAX BUILDING HEIGHT	COVERAGE	FLOOR AREA RATIO	PARKING REQUIRED	PARKING PROVIDED	ADA PARKING REQUIRED	ADA PARKING PROVIDED	INTERIOR LANDSCAPE REQUIRED	INTERIOR LANDSCAPE PROVIDED	IMPERVIOUS AREA	OPEN SPACE REQUIRED (7%)	OPEN SPACE PROVIDED
				(SF)	(AC)	(SF)	(FT)	(%)						(SF)	(SF)	(SF)	(SF)	(SF)
A	1	A - AGRICULTURE	CHURCH/ADMIN /CLASSROOM	236,187	5,422	19,403	1 STORY - 25'11"	8.22	12.16:1	130	137	5	5	(15 SF PER SPACE) 2,025	3,490	120,409	(7% OF LOT AREA) 16,532	115,763
A	2	A - AGRICULTURE	TBD	214,887	4,933	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD

NOTE: REZONING FOR LOT 2 WILL BE REQUIRED FOR A NON-RESIDENTIAL USE.

GRAPHIC SCALE



VICINITY MAP  
N.T.S.

LEGEND	
	FIRE LANE CONCRETE PAVEMENT PER TOWN OF PROSPER STANDARDS
	HEAVY DUTY CONCRETE PAVEMENT
	DUMPSTER DUTY CONCRETE PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PUBLIC CONCRETE SIDEWALK PER CITY DETAILS
	HEAVY DUTY CONCRETE PAVEMENT PER TxDOT DETAILS
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE STRIPING PER CITY STANDARDS
	PARKING COUNT

GRACE CHAPEL PROSPER

PRELIMINARY SITE PLAN  
CASE #:D22-0034

OWNER/DEVELOPER:  
NORTH TEXAS CONFERENCE OF THE  
UNITED METHODIST CHURCH  
PO BOX 866128  
PLANO, TEXAS 75086  
CONTACT NAME: KENNETH WOLVERTON

APPLICANT:  
CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
PH: 817.281.0572  
CONTACT NAME: DREW DONOSKY

SURVEYOR:  
EAGLE SURVEYING, LLC  
210 SOUTH ELM STREET, SUITE 104,  
TX 75057  
PH: 940.222.3009  
CONTACT NAME: MASON DECKER

LEGAL DESCRIPTION:  
LOTS 1 & 2, BLOCK A  
NORTH TEXAS CONFERENCE OF THE  
METHODIST CHURCH ADDITION  
GROSS AREA: 10.35 AC OR 451,074 SF

CITY: TOWN OF PROSPER  
STATE: TEXAS

COUNTY: DENTON  
SURVEY: JOHN MORTON SURVEY  
ABSTRACT NO. 793

DESIGN: MKT  
DRAWN: MKT  
CHECKED: ASD  
DATE: 7/14/2022

SHEET

PSP

File No. 2020-064



PRELIMINARY  
FOR REVIEW ONLY  
Not for construction purposes.  
CLAYMOORE ENGINEERING  
ENGINEERING AND PLANNING  
CONSULTANTS  
Engineer: DREW DONOSKY  
P.E. No. 125651, Date: 7/14/2022

GRACE CHAPEL PROSPER  
FM 1385 & DENTON WAY  
PROSPER, TX

PRELIMINARY SITE PLAN

MARK TORRES  
7/14/2022 2:03 PM  
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LAST SAVED: 7/14/2022 1:23 PM