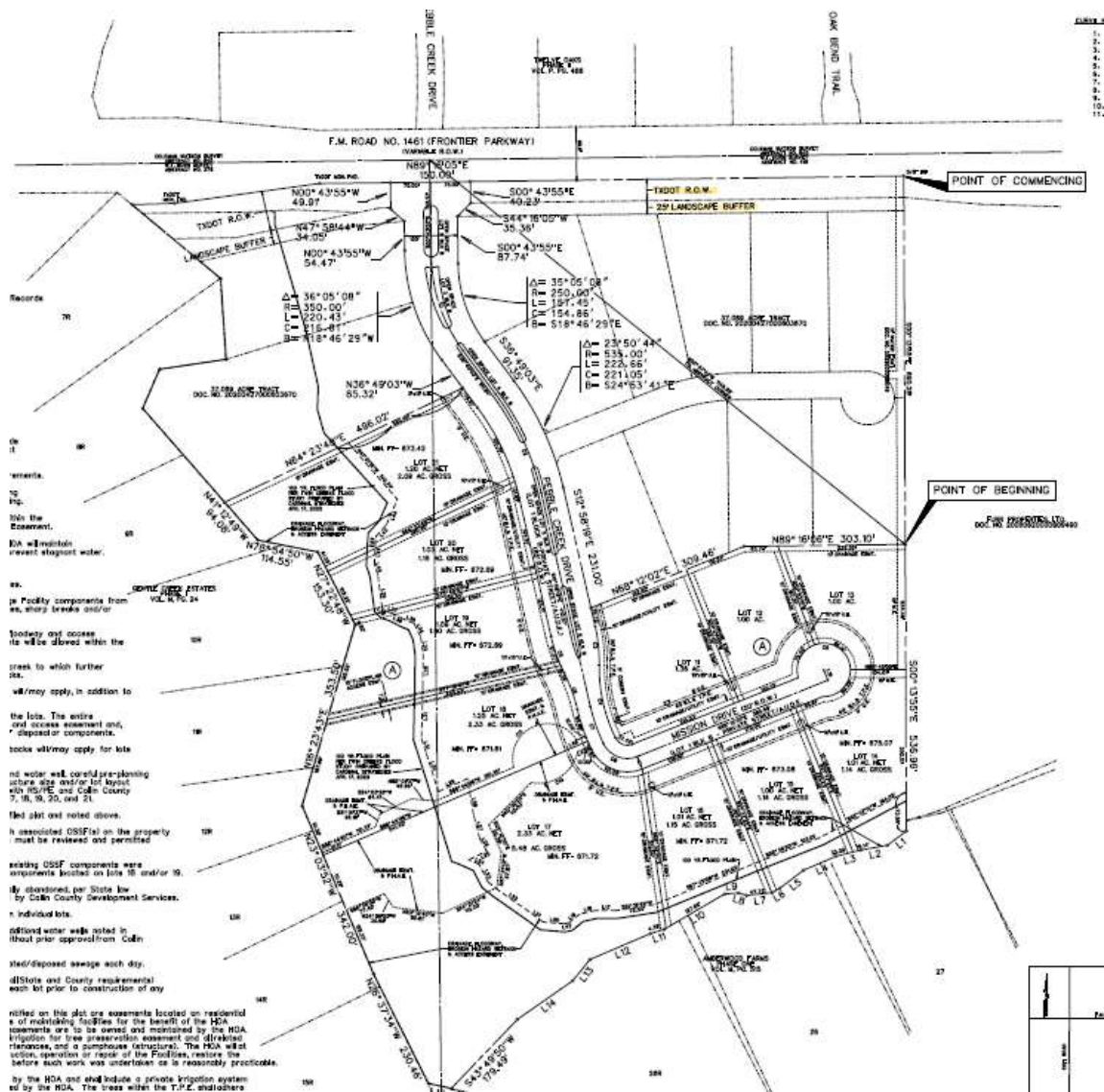


Exhibit D – Conceptual Plan

Twin Creeks Prosper, LLC submits the following conceptual plan in support of its PD Amendment Application.

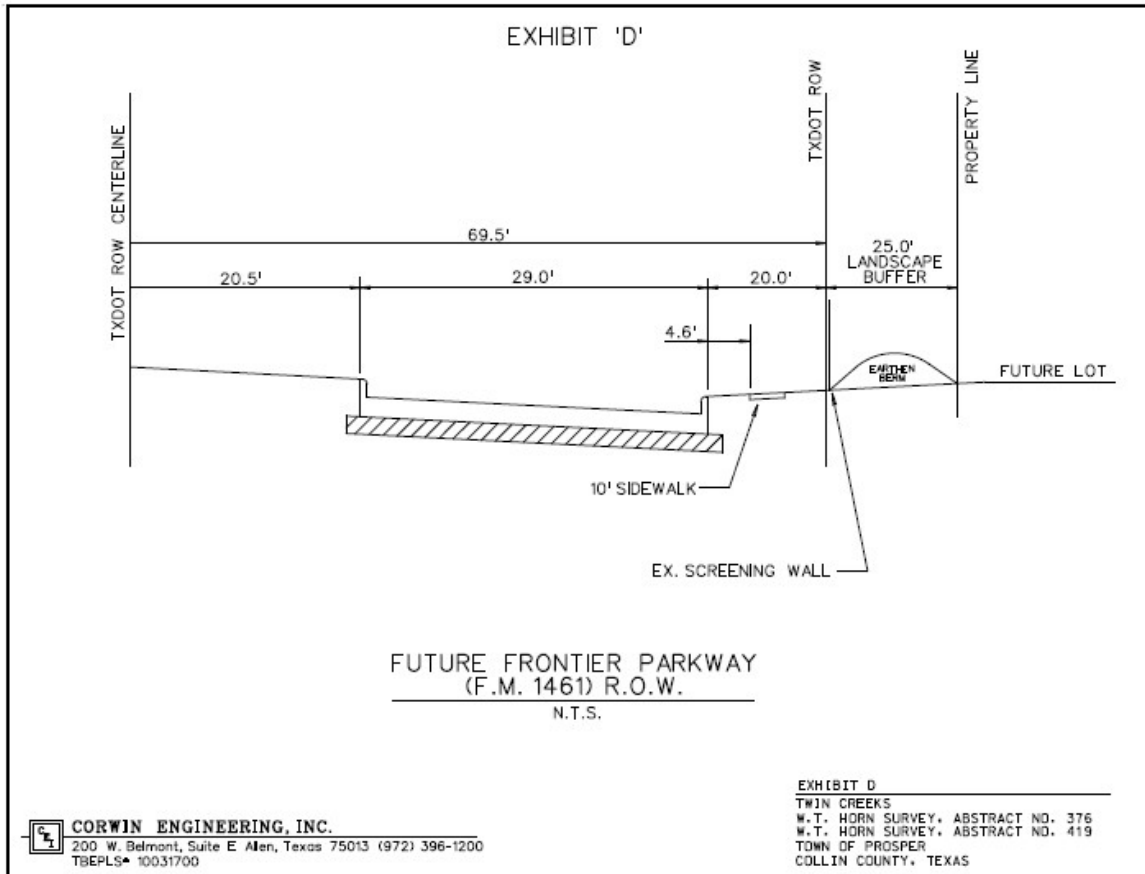
The screen wall is currently placed just outside the TXDOT ROW. Twin Creeks Prosper, LLC proposes leaving the screen wall in its current location with a landscaped hedge within the TXDOT ROW which will be installed and maintained by Twin Creeks Ranch Residential Community, Inc (HOA). A section of the plat with the TXDOT ROW and the Landscape Buffer highlighted as well as a proposed cross section of the current road, TXDOT ROW, location of the screen wall, and landscape buffer is shown below.



TXDOT has indicated a willingness to work with the Town of Prosper to allow for landscaping immediately in front of the screen wall withing the ROW. Twin Creeks Prosper will provide funds in escrow to underwrite the cost of placing the landscaping and will be responsible for upkeep.

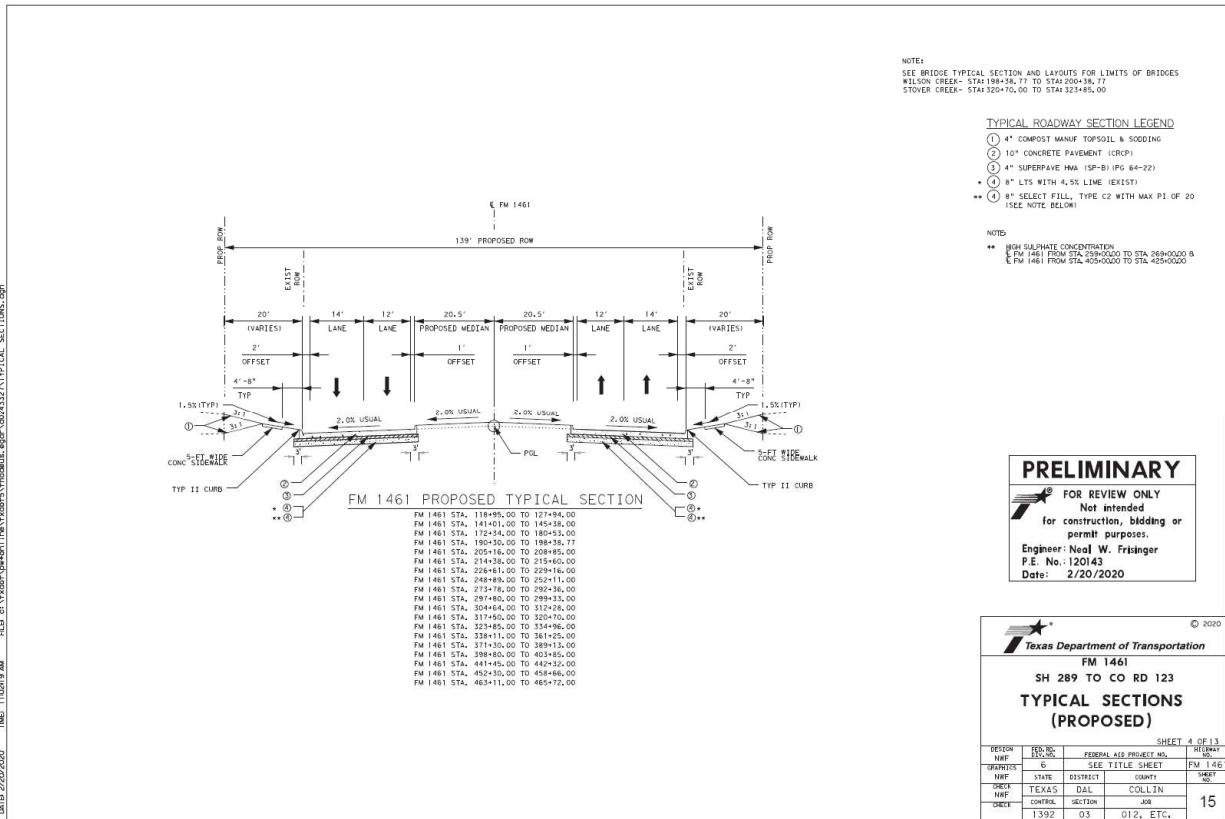
The area between the screen wall and the berm in the Landscape Buffer will drain via weep holes already existing in the screen wall.

The berm will be maintained by the HOA and the HOA will have access.



Above is the cross section from the TXDOT plans for the section of the expanded roadway in front of Twin Creeks.

Full TXDOT crosssection.



Below is a screenshot from the TXDOT plans for the future roadway in front of Twin Creeks showing the distance from the existing roadway edge to the future roadway edge.

