

Exhibit A-1 – Metes and Bounds

LEGAL DESCRIPTION

WHEREAS, TWIN CREEKS PROSPER, LLC., CHRISTOPHER & SARAH HEASLIP & DILLON LIVING TRUST are the owners of a tract of land situated in the W.T. Horn Survey, Abstract No. 376 and the W.T Horn Survey, Abstract No. 419, being all of a 37.069 acre tract, as described in Doc. No. 20200427000603670, in the Deed Records of Collin County, Texas, being more particularly described as follows:

COMMENCING, at a 5/8 inch iron rod found at the northeast corner of said 37.069 acre tract and being in the south line of F.M. 1461 (Variable R.O.W.);

THENCE, South 00°13'55" East, along the east line of said 37.069 acre tract, for a distance of 690.26 feet, to a 1#2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc." at the POINT OF BEGINNING;

THENCE, South 00°13'55" East, continuing along said east line, for a distance of 536.96 feet, to a point in a creek;

THENCE, along said creek for the following fifteen (15) calls:

South 53°14'00" West, for a distance of 44.60 feet;
South 79°46'30" West, for a distance of 50.68 feet;
South 76°03'52" West, for a distance of 48.43 feet;
South 66°43'35" West, for a distance of 65.94 feet;
South 52°56'05" West, for a distance of 56.06 feet;
South 59°44'12" West, for a distance of 16.26 feet;
South 83°48'03" West, for a distance of 48.69 feet;
North 72°39'13" West, for a distance of 15.86 feet;
South 85°35'54" West, for a distance of 25.86 feet;
South 59°49'09" West, for a distance of 132.04 feet;
South 72°43'45" West, for a distance of 26.54 feet;
South 66°51'25" West, for a distance of 123.30 feet;
South 39°13'28" West, for a distance of 51.61 feet;
South 55°10'20" West, for a distance of 126.64 feet;

South 43°49'50" West, for a distance of 179.49 feet, being the most westerly corner of Lot 25R, Block A out of Amberwood Farms Phase Two, an addition to the Town of Prosper, as described in Doc. No. 2012-267 in said Plat Records and being in the north line of Lot 24R, Block A out of Amberwood Farms Phase Two, an addition to the Town of Prosper, as described in Vol. M, Pg. 3 in said Plat Records, and being in the south line of said 37.069 acre tract;

North 77°38'52" West, along the north line of said Lot 24R, Block A and the south line of said 37.069

acre tract, for a distance of 44.37 feet at the southwest corner of said 37.069 acre tract and the most westerly northwest corner of said Lot 24R, Block A same being in the east line of Gentle Creek Estates Phase I, an addition to the Town of Prosper, as described in Vol. M, Pg. 24 in the Plat Records of Collin County, Texas also being the intersection of another creek;

THENCE, North 26°37'34" West, along the east line of said Gentle Creek Estates Phase I and with said creek same being the west line of said 37.069 acre tract, for a distance of 230.46 feet;

THENCE, continuing along said east and west lines and with said creek for the following five (5) calls:

North 23°03'52" West, for a distance of 342.00 feet;

North 16°23'43" East, for a distance of 353.50 feet;

North 27°22'48" West, for a distance of 153.30 feet;

North 78°54'50" West, for a distance of 114.55 feet;

North 41°12'49" West, for a distance of 94.08 feet;

THENCE, North 64°23'48" East, departing said creek and said lines, for a distance of 496.02 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, North 36°49'03" West, for a distance of 65.32 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of curvature of a curve to the right, having a radius of 350.00 feet, a central angle of 36°05'08";

THENCE, along said curve to the right for an arc distance of 220.43 feet (Chord Bearing North 18°46'29" West - 216.81 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of tangency;

THENCE, North 00°43'55" West, for a distance of 54.47 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, North 47°58'44" West, for a distance of 34.05 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, North 00°43'55" West, for a distance of 49.91 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", in the north line of said 37.069 acre tract and the south line of said F.M. 1461;

THENCE, North 89°16'05" East, along the north line of said 37.069 acre tract and the south line of said F.M. 1461, for a distance of 150.00 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 00°43'55" East, departing said north and south lines, for a distance of 40.23 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 44°16'05" West, for a distance of 35.36 feet, to a 1/2 inch iron rod set with a yellow

cap stamped "Corwin Eng. Inc.";

THENCE, South $00^{\circ}43'55''$ East, for a distance of 87.74 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of curvature of a curve to the left, having a radius of 250.00 feet, a central angle of $35^{\circ}05'08''$;

THENCE, along said curve to the left for an arc distance of 157.45 feet (Chord Bearing South $18^{\circ}46'29''$ East - 154.86 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc." at the point of tangency;

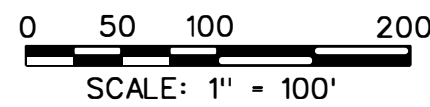
THENCE, South $36^{\circ}49'03''$ East, for a distance of 91.35 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of curvature of a curve to the right, having a radius of 535.00 feet, a central angle of $23^{\circ}50'44''$;

THENCE, along said curve to the right for an arc distance of 222.66 feet (Chord Bearing South $24^{\circ}53'41''$ East - 221.05 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of tangency;

THENCE, South $12^{\circ}58'19''$ East, for a distance of 231.00 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, North $68^{\circ}12'02''$ East, for a distance of 309.46 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, North $89^{\circ}16'06''$ East, for a distance of 303.10 feet, to the POINT OF BEGINNING and containing 22.345 acres of land.



NOTES:

- Bearings are referenced to a 37.069 acre tract, as described in Doc No. 20200427000603670, in the Deed Records of Collin County, Texas.
- LEGEND**
 B.L. - Building Line
 T.P.E. - Tree Preservation Easement
 W.E. - Water Easement
 U.E. - Utility Easement
 A.U.D.E. - Access, Utility, Drainage Easement
 D.E. - Drainage Easement
 H.O.A. - Homeowners Association
 A.U.D.E. - Access, Utility, Drainage Easement
 P.H.A.E. - Private Homeowner's Association Easement
 † - Street Name Change
 Δ - Indicates front yard
- "Notice: Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utility and building permits".
- All development will comply with Town of Prosper PD-59 requirements.
- All lots with fencing backing or siding to open space lots along Frontier Parkway are required to have ornamental metal fencing.
- No structure including fencing, pools or similar are allowed within the erosion hazard setback easement or Drainage and Floodway Easement.
- Ponds, walls, spillways, etc. shall be maintained by the HOA. HOA will maintain a constant water level in the ponds with proper aeration to prevent stagnant water.

8. OSSF notes:

All lots must utilize alternative type On-Site Sewage Facilities.

Must maintain state-mandated setback of all On-Site Sewage Facility components from any/all easements and drainage areas, water distribution lines, sharp breaks and/or creeks/ponds, etc. (Per State regulations).

Lots 14, 15, 16, 17, 18, 19, 20, and 21 all contain a drainage, floodway and access easement to which setbacks will apply. No OSSF components will be allowed within the easement.

Lots 14, 15, 16, 17, 18, 19, 20, and 21 are all bordered by a creek to which further setback will/may apply, in addition to the easement setbacks.

Lots 17 and 18 contain a pond to which further setbacks will/may apply, in addition to the easement setbacks.

Lots 14, 15, 16, 17, 18, 19, 20, and 21 all have flood plain on the lots. The entire flood plain area on each lot is under a drainage, floodway and access easement and, therefore, the flood plain area is not to be used for OSSF disposal or components.

Lot 17 and 18 contains an existing water well to which further setbacks will/may apply for lots 17 and 18.

Due to setbacks required for the easement, creek pond and water well, careful pre-planning will be required on lots 14, 15, 16, 17, 18, 19, 20, and 21. Structure size and/or lot layout may be limited due to setbacks. A pre-planning meeting with RS/P&E and Collin County Development Services is recommended for lots 14, 15, 16, 17, 18, 19, 20, and 21.

There are no easements other than those shown on the filed plat and noted above.

There were no permitted/approved existing structures with associated OSSF(s) on the property at the time of approval. Any existing structures or OSSF's must be reviewed and permitted by Collin County Development Services prior to any use.

There was a structure/dwelling removed from lot 19. No existing OSSF components were located. It is possible that there could be existing OSSF components located on lots 18 and/or 19.

If existing tanks are located on any lot, they must be legally abandoned, per State law (TAC 30, Chapter 285.36), and the abandonment inspected by Collin County Development Services.

Tree removal and/or grading for OSSF may be required on individual lots.

Other than an existing water well on lot 17, there are no additional water wells noted in this subdivision and no additional water wells are allowed without prior approval from Collin County Development Services.

Each lot is limited to a maximum of 5,000 gallons of treated/discharged sewage each day.

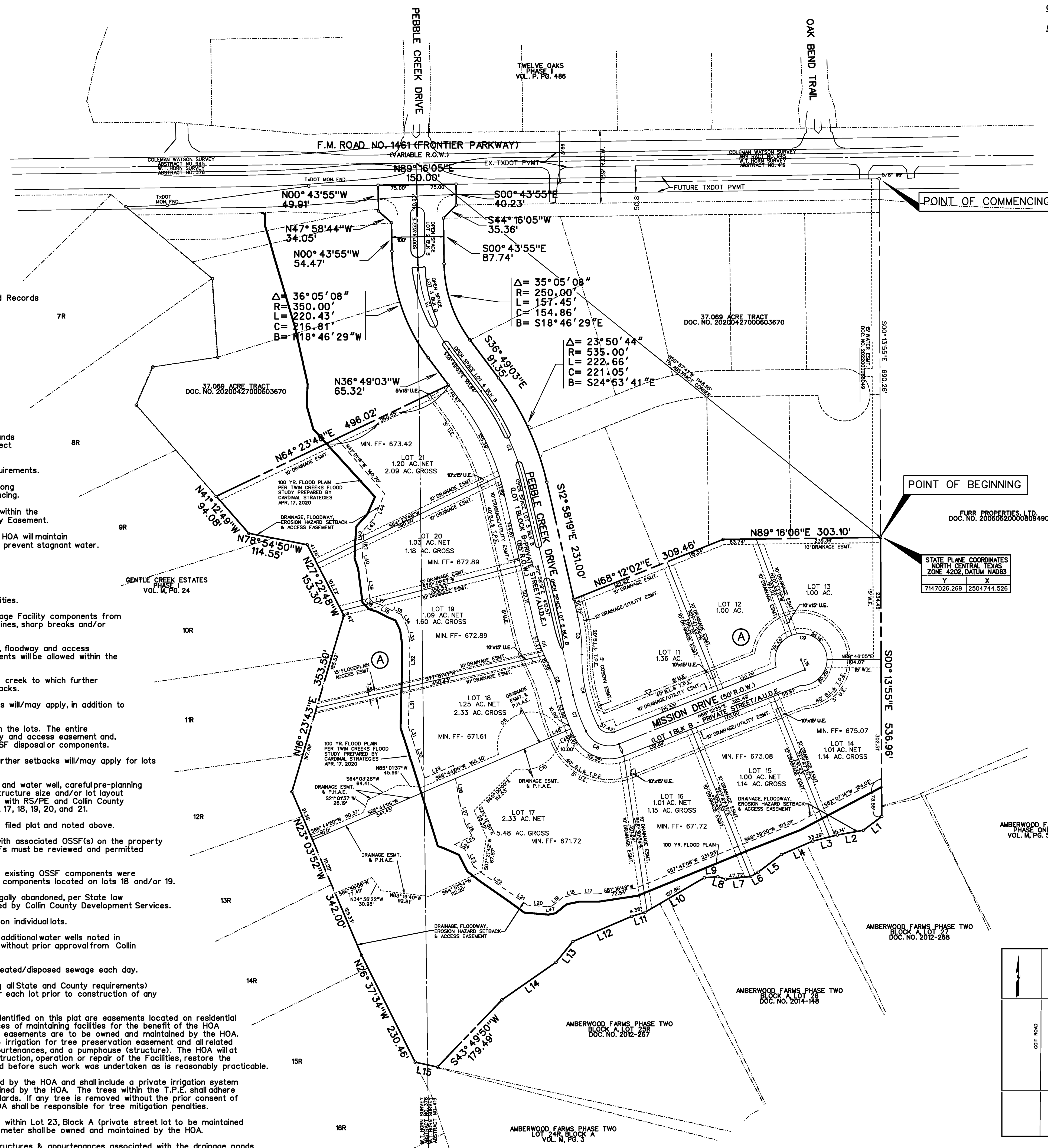
Individual site evaluations and OSSF design plans (meeting all State and County requirements) must be submitted to and approved by Collin County for each lot prior to construction of any OSSF system.

9. The Private Homeowner's Association Easement (P.H.A.E.) identified on this plat are easements located on residential lots dedicated to the Homeowner's Association for purposes of maintaining facilities for the benefit of the HOA and not individual residential lots. The facilities within these easements are to be owned and maintained by the HOA. Facilities allowed within these easements are restricted to irrigation for tree preservation easement and all related appurtenances, a water well, a pond pump and related appurtenances, and a pump house (structure). The HOA will at all times after doing any work in connection with the construction, operation or repair of the Facilities, restore the surface to as close as the condition in which it was found before such work was undertaken as is reasonably practicable.

10. The Tree Preservation Easement (T.P.E.) shall be maintained by the HOA and shall include a private irrigation system across residential lots that shall also be owned and maintained by the HOA. The trees within the T.P.E. shall adhere to all tree mitigation conditions per Town of Prosper standards. If any tree is removed without the prior consent of the Town's Parks and Recreation Dept, the Twin Creek HOA shall be responsible for tree mitigation penalties.

11. Electrical meter to serve HOA improvements shall be placed within Lot 23, Block A (private street lot to be maintained by HOA) for purpose of entry gate facilities. The electrical meter shall be owned and maintained by the HOA.

12. The retaining walls, fencing and all other permitted pond structures & appurtenances associated with the drainage ponds located on lots 17 and 18, Block A and located within a P.H.A.E. are to be owned and maintained by the HOA.

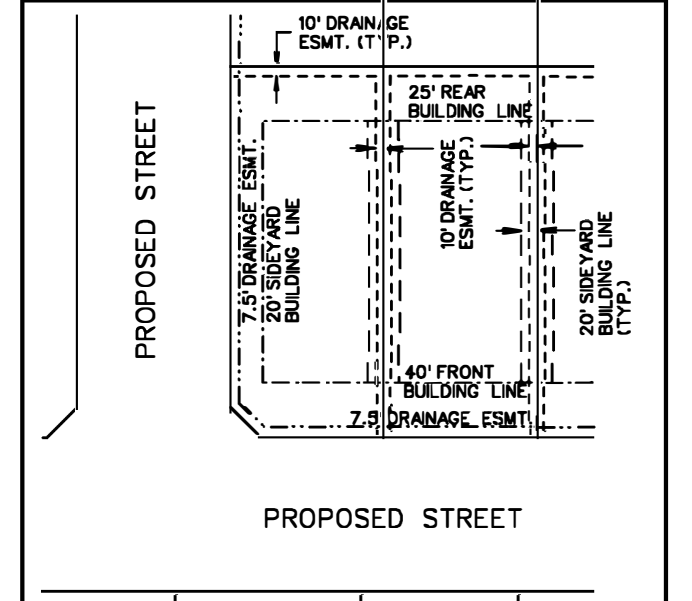
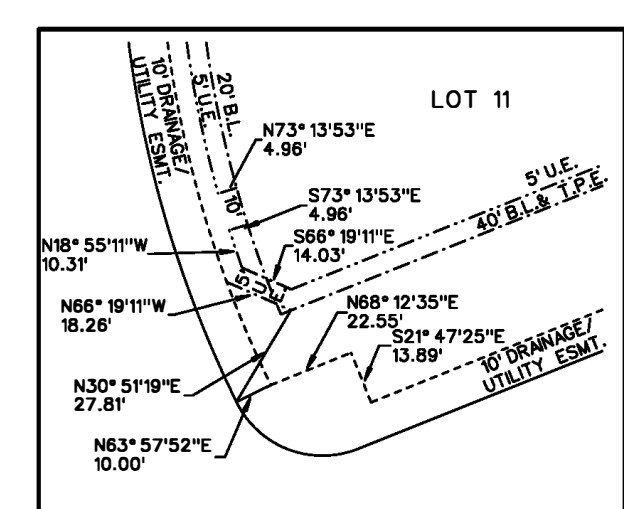
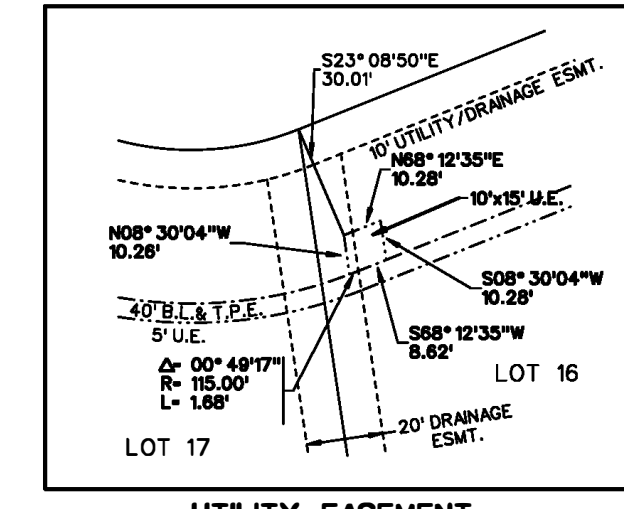


CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	36°05'08"	300.00'	188.94'	185.84'	S18°46'29"E
2.	23°50'44"	492.50'	204.97'	203.49'	S24°53'41"E
3.	13°52'20"	300.00'	72.63'	72.46'	S06°02'09"E
4.	26°56'09"	300.00'	141.04'	139.74'	S12°34'04"E
5.	13°52'20"	300.00'	72.63'	72.46'	S19°54'29"E
6.	13°52'20"	300.00'	72.63'	72.46'	S19°54'29"E
7.	13°03'49"	325.00'	74.10'	73.94'	S19°30'14"E
8.	85°45'16"	50.00'	74.83'	68.04'	S68°54'46"E
9.	71°13'05"	50.00'	252.01'	58.23'	S52°36'54"E
10.	89°18'50"	75.00'	116.91'	105.43'	S56°17'10"W
11.	162°57'29"	65.00'	184.87'	128.57'	S66°44'06"W

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	S 53°14'00" W	44.60'
2.	S 79°46'30" W	50.68'
3.	S 76°03'52" W	48.43'
4.	S 66°43'35" W	65.94'
5.	S 52°56'05" W	56.06'
6.	S 59°44'12" W	16.26'
7.	S 83°48'03" W	48.69'
8.	N 72°39'13" W	15.86'
9.	S 85°35'54" W	25.86'
10.	S 59°49'09" W	132.04'
11.	S 55°10'20" W	126.64'
12.	S 66°51'25" W	123.30'
13.	S 39°13'28" W	51.61'
14.	S 55°10'20" W	126.64'
15.	N 77°38'52" W	44.37'
16.	S 21°47'25" E	20.83'
17.	N 89°46'25" W	37.91'
18.	S 71°58'29" W	30.82'
19.	S 50°47'57" W	26.80'
20.	N 85°11'04" W	40.11'
21.	N 54°08'30" W	32.87'
22.	N 55°05'17" W	65.03'
23.	N 27°11'18" W	37.84'
24.	N 66°18'34" W	20.98'
25.	N 63°51'05" E	36.22'
26.	N 29°25'39" W	27.06'
27.	N 14°27'34" W	46.02'
28.	N 09°52'00" W	68.29'
29.	S 68°07'28" W	24.06'
30.	N 17°27'50" W	74.34'
31.	N 18°16'38" W	29.49'
32.	N 01°30'24" E	37.32'
33.	N 07°58'11" W	31.62'
34.	N 25°50'23" W	28.50'
35.	N 67°13'03" W	21.15'
36.	N 62°47'02" W	24.06'
37.	N 72°53'50" W	13.71'
38.	N 45°00'00" W	8.75'
39.	N 07°21'53" W	49.75'
40.	N 19°12'46" W	19.36'
41.	N 02°41'02" E	34.84'
42.	N 04°17'21" W	18.43'
43.	N 41°59'14" E	29.19'
44.	N 23°35'13" E	51.52'
45.	S 66°44'06" W	24.75'
46.	S 66°44'06" W	18.40'
47.	S 78°59'57" W	8.34'



POINT OF BEGINNING

FURR PROPERTIES LTD.
DOC. NO. 20060620000809490

STATE PLANE COORDINATES
NORTH CENTRAL TEXAS
ZONE 4202 DATUM NAD83

Y	X
7147026.269	2504744.528

NOTE: THE PURPOSE OF THIS AMENDING PLAT IS TO ADD THE MISSING BOUNDARY DIMENSION ON LOT 17.

EXHIBIT A-2
CASE NO. D22-0073
AMENDING PLAT
TWIN CREEKS RANCH
PHASE I
 11 TOTAL SINGLE FAMILY LOTS
 1 PRIVATE STREET LOT
 22.345 TOTAL ACRES
 2.874 TOTAL R.O.W. DEDICATION

OUT OF THE
W.T. HORN SURVEY, ABSTRACT NO. 376
W.T. HORN SURVEY, ABSTRACT NO. 419
 IN THE
TOWN OF PROSPER
COLLIN COUNTY, TEXAS
OWNERS
CHRISTOPHER & SARAH HEASLIP
 1740 PARKWOOD DRIVE
 PROSPER, TEXAS 75078
DILLON LIVING TRUST
 3412 TWIN LAKES DRIVE
 PROSPER, TEXAS 75078

TWIN CREEKS PROSPER, LLC.
 12400 PRESTON RD., STE. 100
 FRISCO, TEXAS 75033

PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200
 WARREN CORWIN

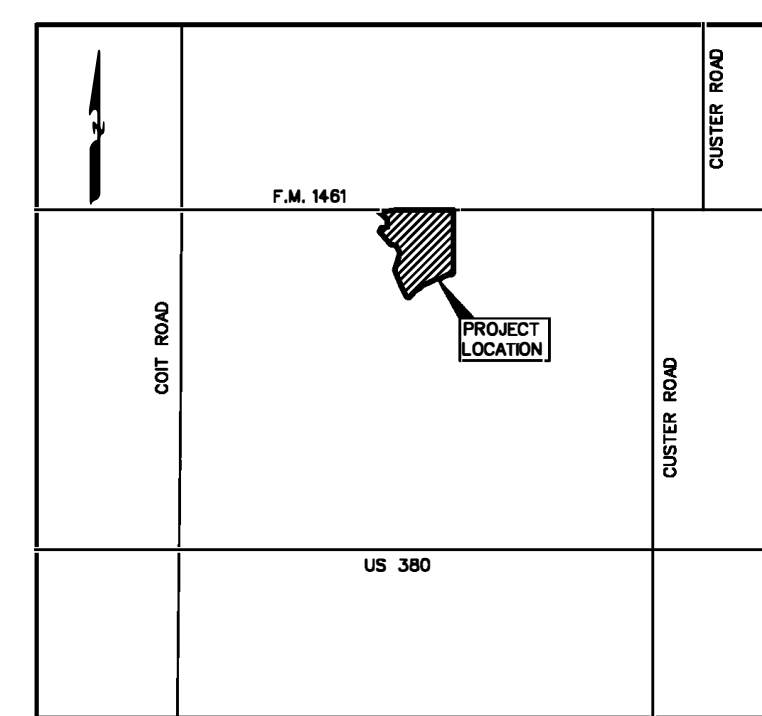


Exhibit B – Statement of Intent and Purpose

Purpose

Twin Creeks Prosper, LLC is submitting an application for a PD Amendment regarding the location of the screen wall at its location at 1120 E. Frontier Parkway, Prosper, TX 75078.

Justification

The screen wall was located on the TXDOT ROW instead of on private property on the southern edge of the Landscape Buffer. The screen wall is ~1,500’ long and is ~85% complete. In meetings with the Town of Prosper it was indicated that it may be possible to get a PD Amendment that would allow the screen wall to remain in place.

The Town of Prosper, in its ordinance, desires to create landscape buffers in front of screen walls to enhance visual appeal and reduce road noise for residents. Twin Creeks Prosper, LLC, believes that despite the incorrect location of the screen wall, that the goals for both visual appeal and noise reduction can be achieved by placing landscaping to cover the masonry portion of the wall and provide a berm with additional landscaping behind the wall within the landscape buffer.

The table below lists distances from currently existing screen walls or private fences to the existing road edge along FM 1461 between Preston Rd and N. Custer Rd (column a). In front of Twin Creeks, the expanded road edge will extend 50’ beyond the current road edge (column b) according to existing TXDOT plans (see Exhibit D). The distance from the expanded road edge to the screen wall in front of Twin Creeks will be 20’-30’ (column c). The distances shown for other developments are indicative and assume the same 50’ expansion from the existing road edge to the new road edge.

Subdivisions Between Preston and Custer on FM 1461	Distance from Existing Roadway Edge To				Distance from New Road Edge to Wall/Fence c
	Existing Wall/Fence a	New Road Edge*			
		b	=	c	
Frontier Estates	91'	-	50'	=	41'
Highland Meadows	60'	-	50'	=	10'
Gentle Creek Estates	93'	-	50'	=	43'
Amberwood Farms	58'	-	50'	=	08'
Twin Creeks Ranch East	70'	-	50'	=	20'
Twin Creeks Ranch West	80'	-	50'	=	30'

*From Corwin Engineering using TXDOT information (see Exhibit D)

Twin Creeks Prosper, LLC believes concerns regarding visual uniformity between Preston Road and N. Custer Road on FM 1461 post expansion are mitigated by the following:

- After the TXDOT expansion it seems there will be significant variability in setbacks to screen walls and private fences along FM 1461 between Preston Road and N. Custer Road.

- Twin Creeks Ranch is not contiguous on the road frontage of FM 1461 with any existing developments.
- Leaving Twin Creeks Prosper's screen wall in its existing location, with the proposed landscaping plan, will not create unpleasing visual or functional differences.

Site Plan Request

- The acreage of the subject property is 39.593 acres.
- The location of the property is: tract of land situated in the W.T. Horn Survey, Abstract No. 379, and the W.T. Horn Survey, Abstract No. 419, being all of a 39.593-acre tract, as described in Doc. No. 20200427000603670, in the Deed Records of Collin County, Texas. The plat in Exhibit A-1 and Metes and Bounds in Exhibit A-2.

ZONE-24-0011

Exhibit "C"

Development Standards

This tract shall develop under the regulations of Ordinance No. 12-35 (Planned Development-59) as it exists or may be amended with the following amendments:

1.0 Landscaping

1.1 The landscaping requirements within this Planned Development District are represented in Exhibit D and as follows:

- The required landscape buffer is permitted to be behind the screening wall adjacent to Frontier Parkway.
- Landscaping will be provided along the masonry portion of the screening wall facing Frontier Parkway.
- A berm with additional landscaping will be provided behind the screening wall.

2.0 Maintenance

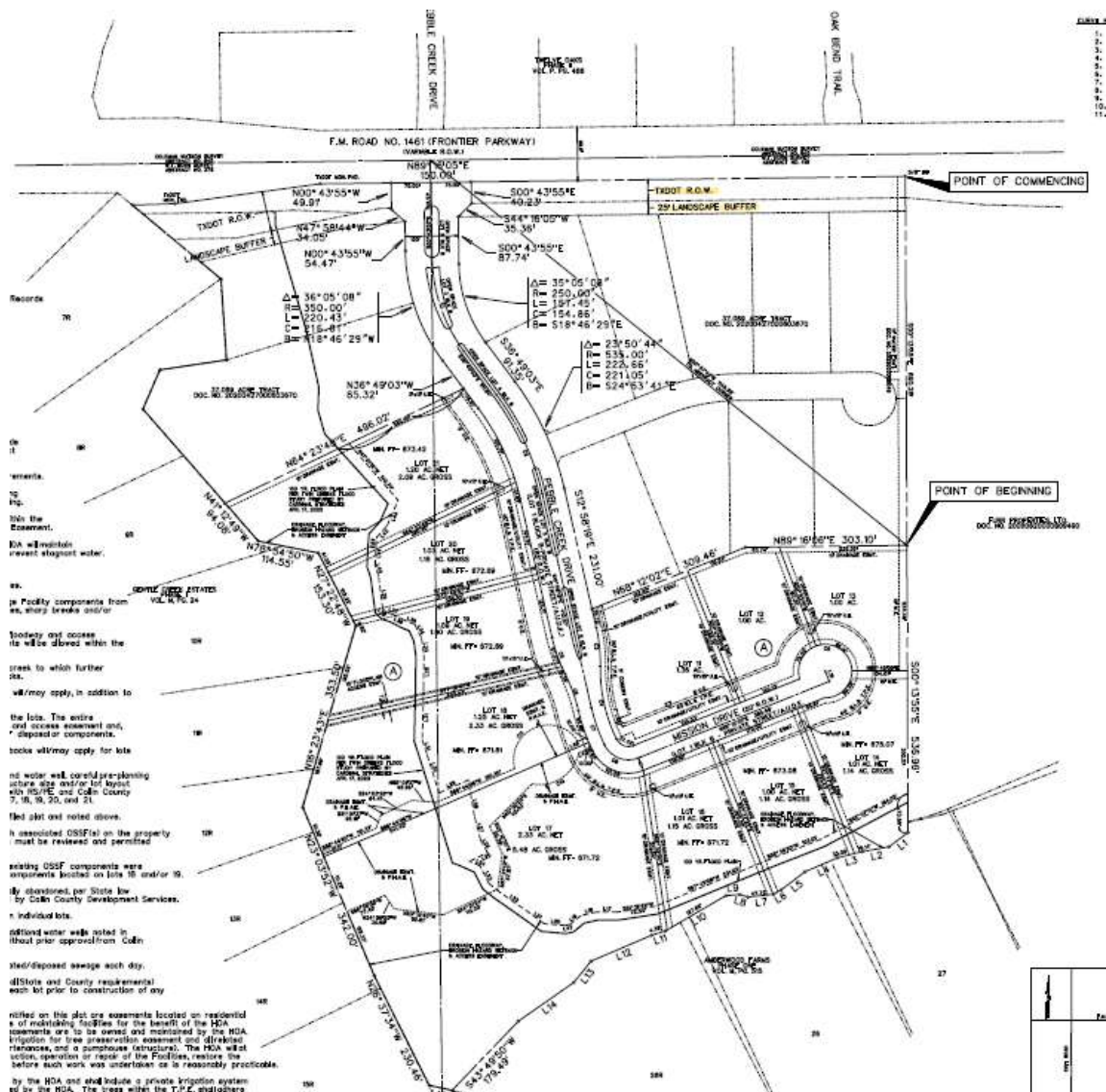
2.1 The maintenance standards within this Planned Development District are as follows:

- The Homeowner's Association for the subdivision will be responsible for the maintenance of the landscaping and screening wall.

Exhibit D – Conceptual Plan

Twin Creeks Prosper, LLC submits the following conceptual plan in support of its PD Amendment Application.

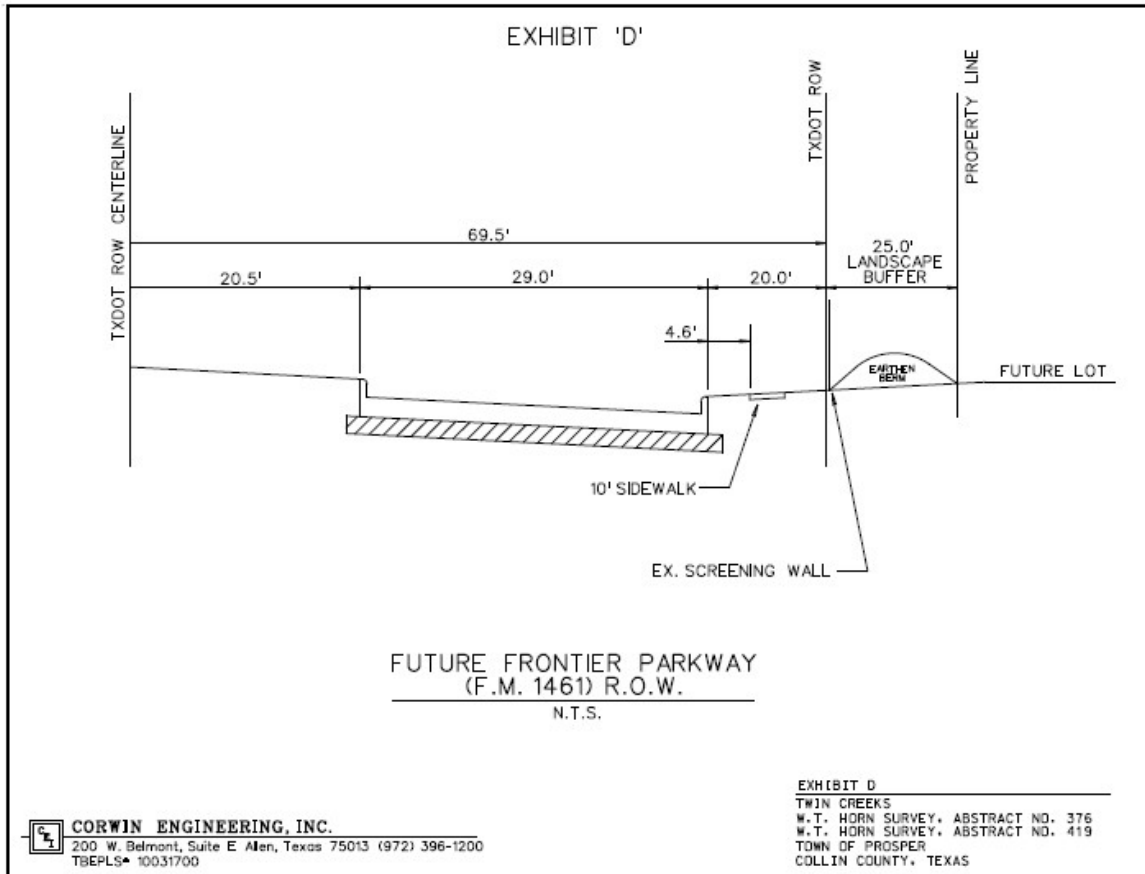
The screen wall is currently placed just outside the TXDOT ROW. Twin Creeks Prosper, LLC proposes leaving the screen wall in its current location with a landscaped hedge within the TXDOT ROW which will be installed and maintained by Twin Creeks Ranch Residential Community, Inc (HOA). A section of the plat with the TXDOT ROW and the Landscape Buffer highlighted as well as a proposed cross section of the current road, TXDOT ROW, location of the screen wall, and landscape buffer is shown below.



TXDOT has indicated a willingness to work with the Town of Prosper to allow for landscaping immediately in front of the screen wall withing the ROW. Twin Creeks Prosper will provide funds in escrow to underwrite the cost of placing the landscaping and will be responsible for upkeep.

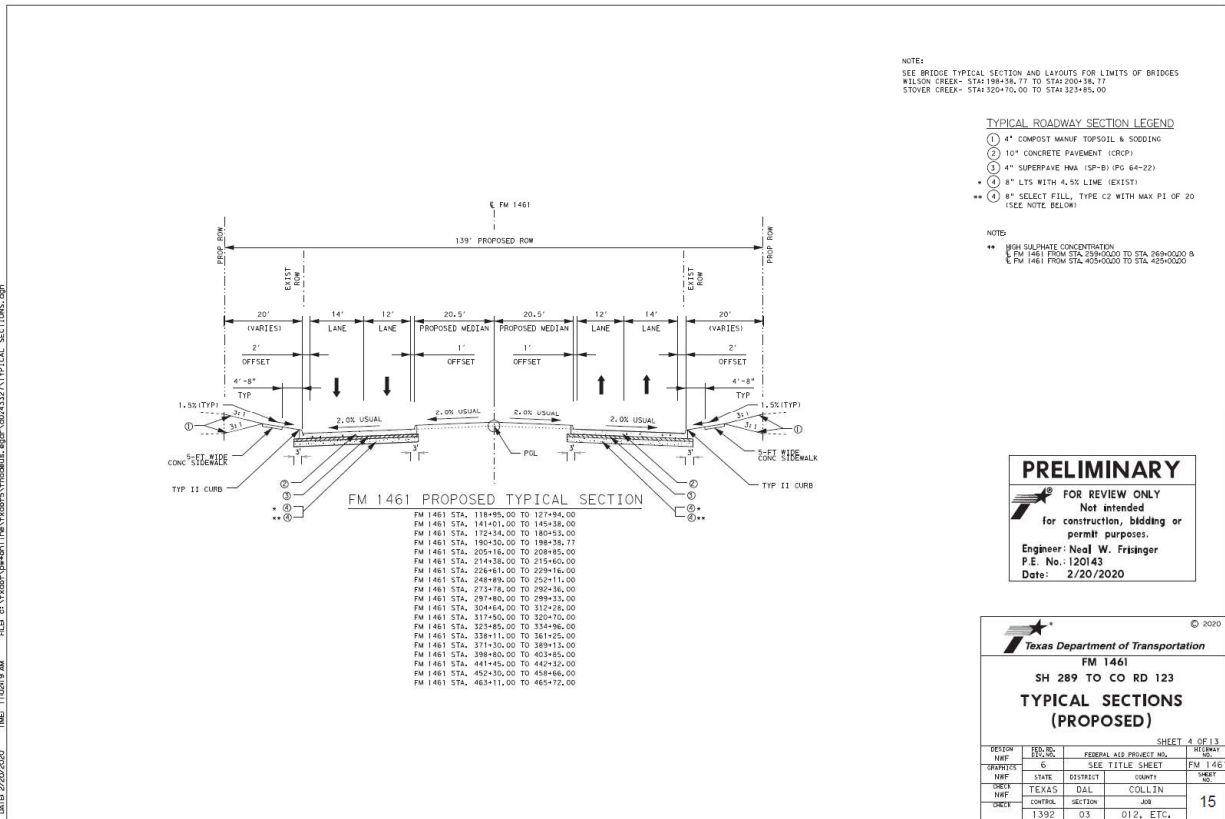
The area between the screen wall and the berm in the Landscape Buffer will drain via weep holes already existing in the screen wall.

The berm will be maintained by the HOA and the HOA will have access.

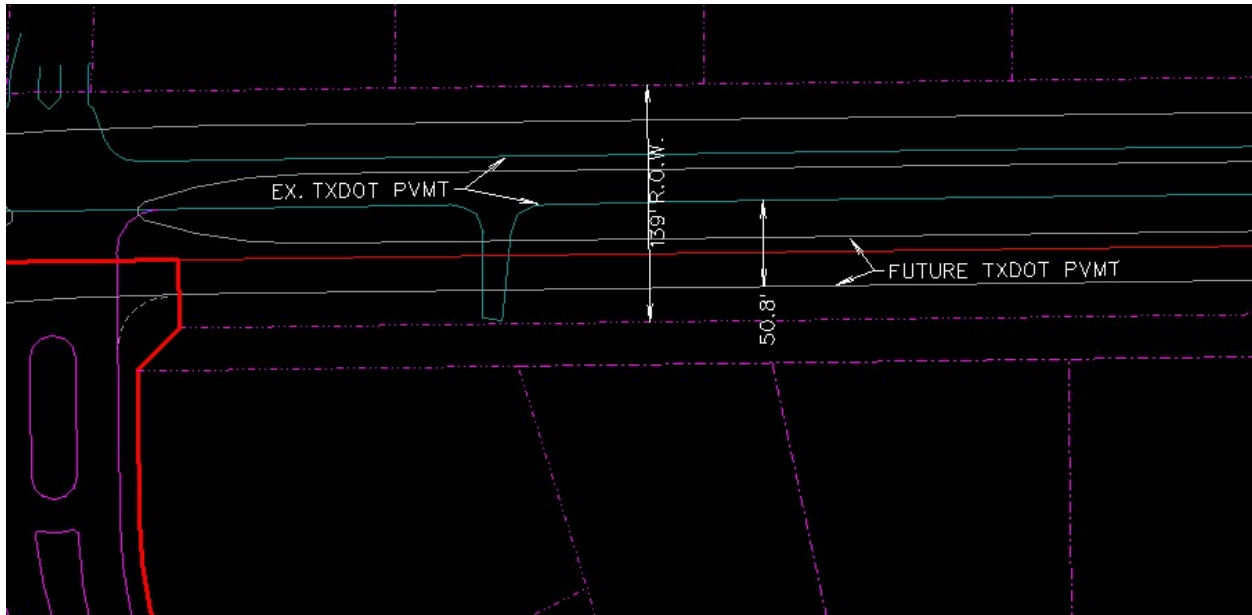


Above is the cross section from the TXDOT plans for the section of the expanded roadway in front of Twin Creeks.

Full TXDOT crosssection.



Below is a screenshot from the TXDOT plans for the future roadway in front of Twin Creeks showing the distance from the existing roadway edge to the future roadway edge.



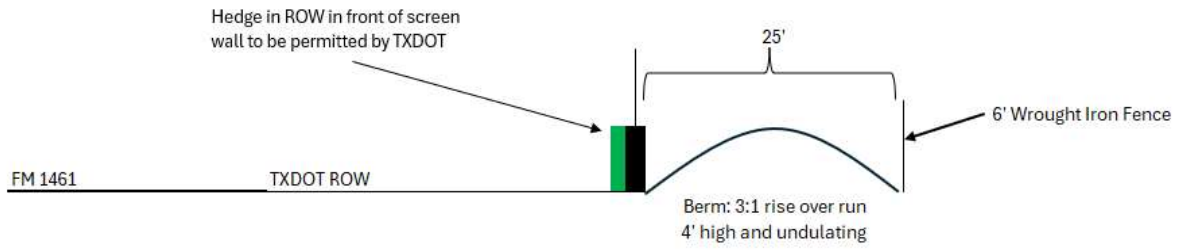


Exhibit E – Development Schedule

Assuming the PD Amendment is approved, and the screen wall remains in its current location, the following Development Schedule is contemplated.

3 Months Post Approval

Twin Creeks Prosper, LLC will complete the screen wall (construction of the screen wall was halted due to concern over the location).

Widening of FM 1461 Complete – Apply for and Secure TXDOT Landscaping Permit

When the widening of FM 1461 is complete, Twin Creeks Ranch Residential Community, Inc (HOA), will work with the Town of Prosper to apply for and secure a permit from TXDOT to enable the placement of the landscape hedge in front of the screen wall within the TXDOT ROW. The timing of the permit application will be dependent on the completion of FM 1461.

Widening of FM 1461 Complete – Installation of Permitted Landscaping

Permits issued by TXDOT require that work begin within 6 months of the permit issue date, with no requirement date for completion. Once the widening of FM 1461 is complete, and a permit secured, Twin Creeks Ranch Residential Community, Inc. (HOA), will install the landscaping within two months of the permit issue date.

Exhibit F – Elevations

Below are two renderings of what the finished result will be. One is an elevation, and the other is a bird's eye view showing the landscape buffer behind the wall with berm and landscaping to help with noise reduction.





Exhibit G – Landscape Plan

Below are two renderings of what the finished result will be. One is an elevation, and the other is a bird's eye view showing the landscape buffer behind the wall with berm and landscaping to help with noise reduction.



