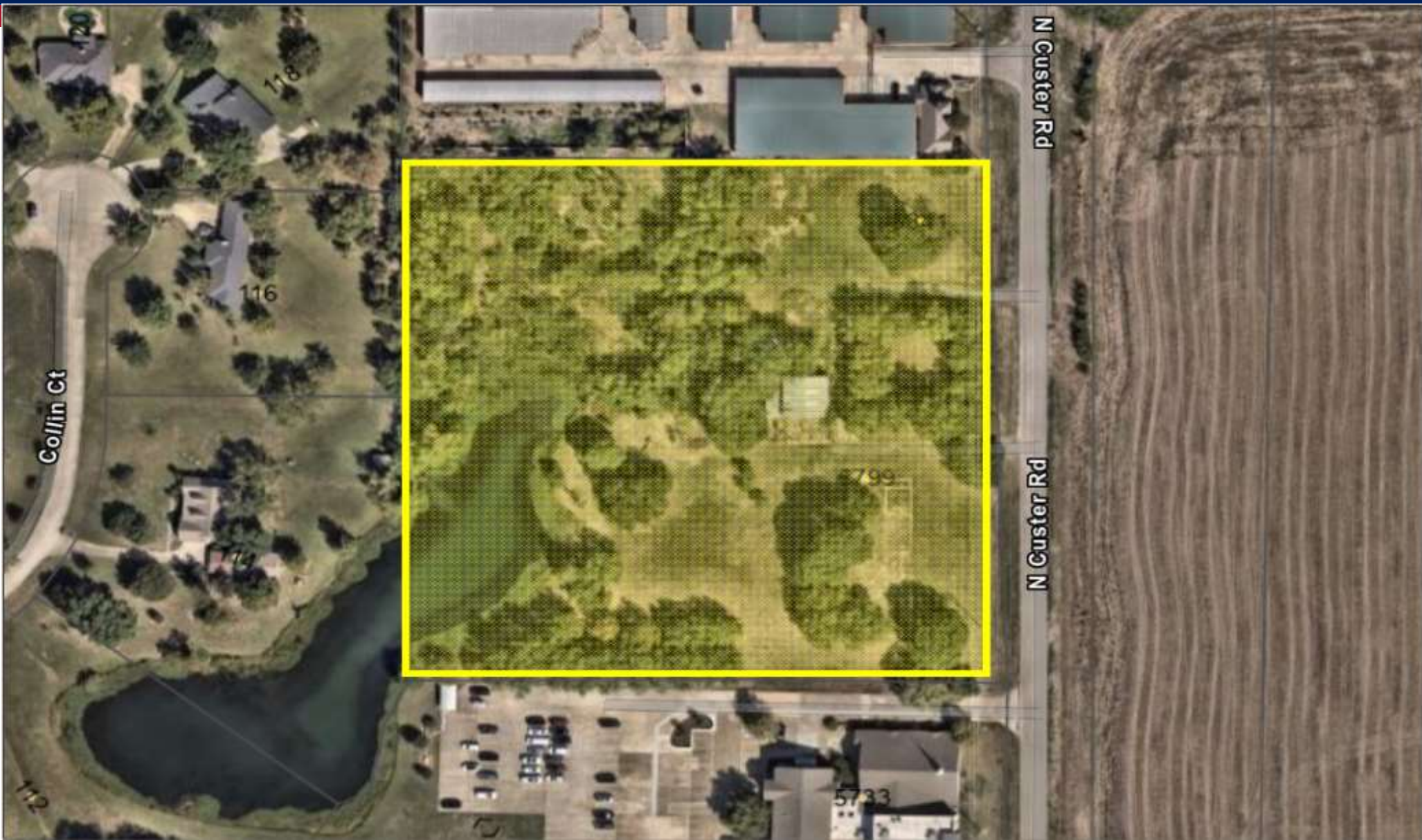


Agenda Item

Conduct a Public Hearing and consider and act upon a request to rezone 5.7± acres on George Horn Survey, Abstract 412, Tract 2 from Agricultural to Planned Development-Retail, located on the west side of Custer Road and 470 ± feet south of Frontier Parkway. (ZONE-24-0017)



Proposal

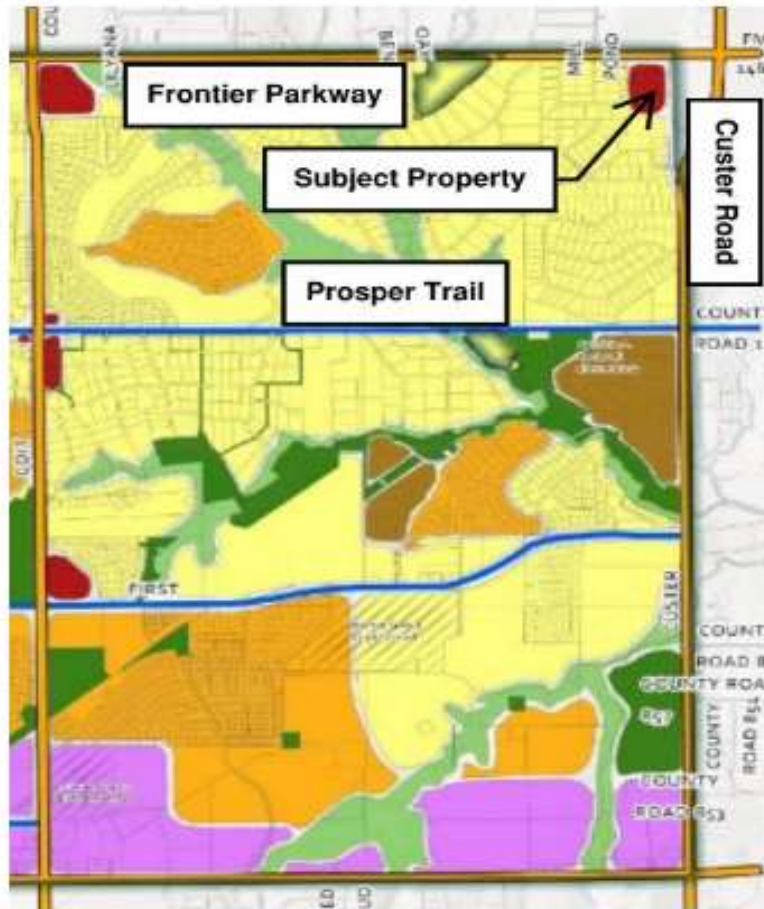
Purpose:

- Construct a retail building on northern tract.
- Construct a private school with barn, green house, music room, and playground on southern tract.

History:

- Requested Specific Use Permit for this project in downtown area.
 - Relocated to address previous concerns regarding location of initial request.

Future Land Use Exhibit



- Low Density Residential
- Medium Density Residential
- High Density Residential
- Retail & Neighborhood Services
- Business Park
- Old Town District
- Town Center
- Dallas North Tollway District
- US Highway 380 District
- Parks
- Floodplain
- School District Properties
- Town Limits
- ETJ
- Dallas North Tollway, Dedicated Truck Route
- 6 Lane Divided
- 4 Lane Divided
- Commercial Collector
- 3 Lane Undivided Couplet
- Access Roads
- Old Town Roads

Future Land Use Plan

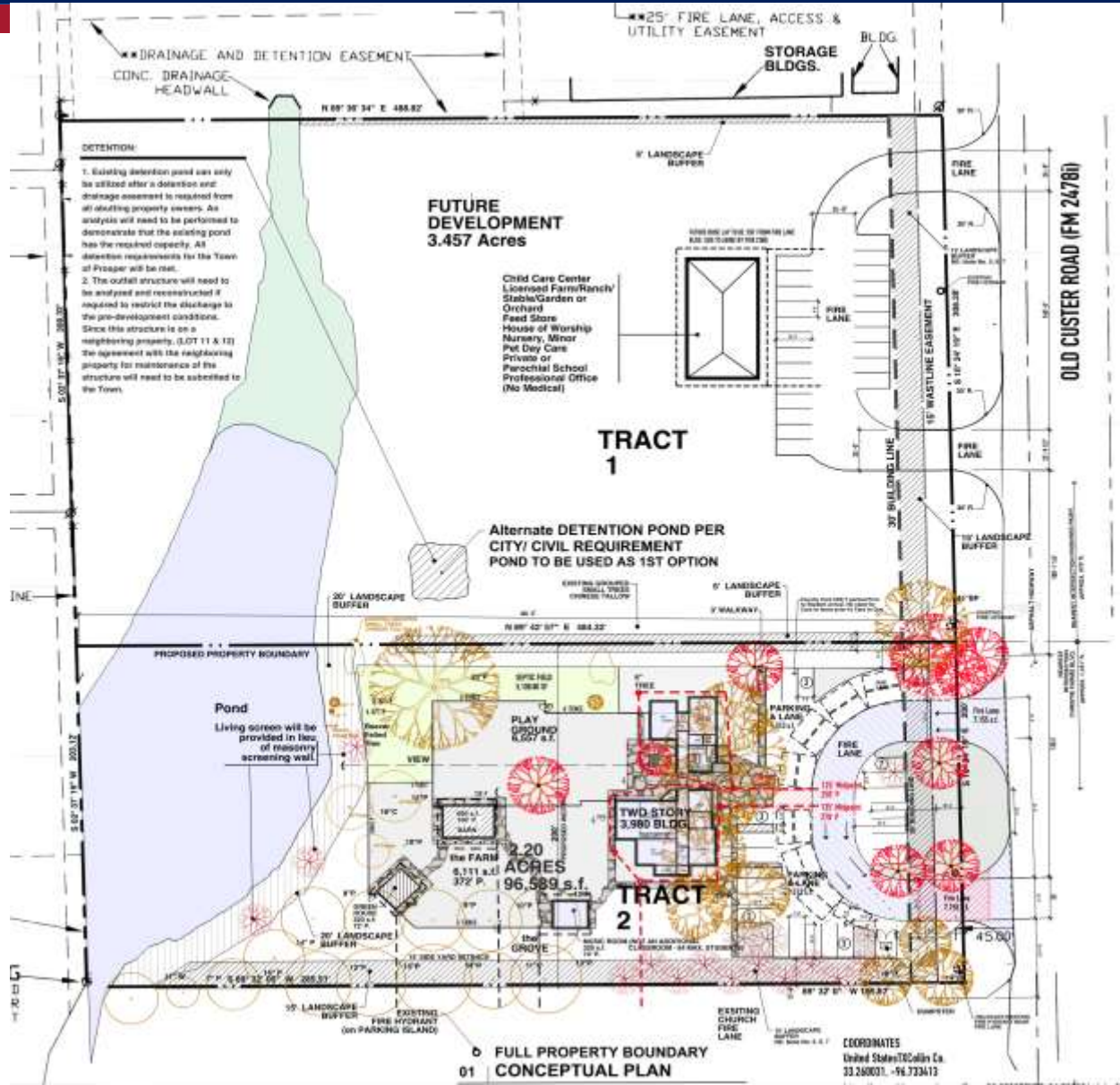
Retail & Neighborhood Services:

- Recommends retail establishments that provide merchandise for retail sales, banks, neighborhood offices, and small medical offices.



Surrounding Area

	Zoning	Current Land Use	Future Land Use Plan
Subject Property	Agricultural	Vacant	Retail & Neighborhood Services
North	Agricultural	Self-Storage Facility	Retail & Neighborhood Services
East	City of McKinney	Vacant	N/A
South	Agricultural	House of Worship	Low Density Residential
West	Single Family-Estate	Residential	Low Density Residential



District Regulations

	Proposed District Regulations (Development Standards)
Size of Yards	<p>Front: 30'</p> <p>Side: 15' 30' (One-Story Adj. to Residential) 60' (Two-Story Adj. to Residential)</p> <p>Rear: 15' 30' (One-Story Adj. to Residential) 60' (Two-Story Adj. to Residential)</p>
Size of Lots	<p>Minimum Area: 10,000 SF</p> <p>Minimum Lot Width: 100'</p> <p>Minimum Lot Depth: 100'</p>
Maximum Height	<p>Stories: Two Stories or 40'</p>
Maximum Lot Coverage	<p>Lot Coverage: 40 Percent</p>

Uses

By Right:

- Childcare Center, Licensed
- Farm/Ranch/Stable/Garden or Orchard
- Feed Store
- House of Worship
- Nursery, Minor
- Pet Day Care
- Private or Parochial School (Tract 2 Only)
- Professional Office (No Medical)

Landscaping (Northern Tract)

	Required Landscaping (Commercial Requirements)	Proposed Landscaping (Development Standards)
Northern Boundary	<p>Buffer: 5' Landscape Area</p> <p>Plantings: One ornamental tree and shrub, five-gallon minimum, every 15 linear feet.</p>	<p>Buffer: 5' Landscape Area</p> <p>Plantings: One ornamental tree and shrub, five-gallon minimum, every 15 linear feet.</p>
Eastern Boundary	<p>Buffer: 15' Landscape Area</p> <p>Plantings: One large tree, three-inch caliper minimum, every 30 linear feet. Fifteen (15) shrubs, five-gallon minimum, every 30 linear feet.</p>	<p>Buffer: 15' Landscape Area</p> <p>Plantings: One large tree, three-inch caliper minimum, every 30 linear feet. Fifteen (15) shrubs, five-gallon minimum, every 30 linear feet.</p>
Southern Boundary	<p>Buffer: 5' Landscape Area</p> <p>Plantings: One ornamental tree and shrub, five-gallon minimum, every 15 linear feet.</p>	<p>Buffer: 5' Landscape Area</p> <p>Plantings: One ornamental tree and shrub, five-gallon minimum, every 15 linear feet.</p>
Western Boundary	<p>Buffer: 15' Landscape Area</p> <p>Plantings: One large tree, three-inch caliper minimum, every 30 linear feet.</p>	<p>Buffer: 20' Landscape Area</p> <p>Plantings: One large tree, three-inch caliper minimum, every 30 linear feet.</p>

Landscaping (Southern Tract)

	Required Landscaping (Zoning Ordinance)	Proposed Landscaping (Development Standards)
Northern Boundary	<p>Buffer: 5' Landscape Area</p> <p>Plantings: One ornamental tree and shrub, five-gallon minimum, every 15 linear feet.</p>	<p>Buffer: 5' Landscape Area</p> <p>Plantings: One ornamental tree and shrub, five-gallon minimum, every 15 linear feet.</p>
Eastern Boundary	<p>Buffer: 15' Landscape Area</p> <p>Plantings: One large tree, three-inch caliper minimum, every 30 linear feet. Fifteen (15) shrubs, five-gallon minimum, every 30 linear feet.</p>	<p>Buffer: 15' Landscape Area</p> <p>Plantings: One large tree, three-inch caliper minimum, every 30 linear feet. Fifteen (15) shrubs, five-gallon minimum, every 30 linear feet.</p>
Southern Boundary	<p>Buffer: 15' Landscape Area</p> <p>Plantings: One large tree, three-inch caliper minimum, every 30 linear feet.</p>	<p>Buffer: 15' Landscape Area</p> <p>Plantings: Double row of evergreen trees, six-foot minimum, with offsetting centers.</p>
Western Boundary	<p>Buffer: 15' Landscape Area</p> <p>Plantings: One large tree, three-inch caliper minimum, every 30 linear feet.</p>	<p>Buffer: 20' Landscape Area</p> <p>Plantings: Double row of evergreen trees, six-foot minimum, with offsetting centers.</p>

Screening (Northern Tract)

	Proposed Screening (Development Standards)
Northern Boundary	None
Eastern Boundary	None
Southern Boundary	None
Western Boundary	6' Masonry Wall

Screening (Southern Tract)

	Required Screening (Zoning Ordinance)	Proposed Screening (Development Standards)
Northern Boundary	None	None
Eastern Boundary	None	None
Southern Boundary	6' Masonry Wall	Living Screen
Western Boundary	6' Masonry Wall	Living Screen

Building Materials

Northern Tract:

- Clay Fired Brick
- Granite
- Marble
- Stone (Natural, Precast, or Manufactured)

Southern Tract:

- Hardi Board Siding w/ Batten and Trim



PERSPECTIVE ENTRY WEST VIEW - FROM PARKING

- Height from entry grade to upper roof ridge 26'-9"
- 2 Stories w/ Mezzanine



PERSPECTIVE SOUTH WEST VIEW - FROM STREET APPROACH

MATERIALS

- All Elevations - 100% Hardi Board w/ Battens & Trim all painted white, over Existing Stucco, Except for Windows. With addition Metal Shutters and
- Composition Roof
- Low E Windows w/ Attached Divided Lites - Painted White
- Trex Decking - Grey
- Steel Shutters - Painted
- Concrete Road & Parking



PERSPECTIVE NORTH VIEW - FROM SCHOOL



PERSPECTIVE DUMPSTER ENCLOSURE



PERSPECTIVE EAST VIEW - FROM BARN

Drainage

Retention:

- Retention, serving both tracts, is to be located on the northern tract if drainage and detention easements cannot be acquired from adjacent property owners.

Traffic Management

Traffic Impact Analysis:

- Adherence to traffic management plan that has been reviewed and approved by the Town's Engineering Department.

Noticing

Notices:

- Friday, November 8th

Citizen Response:

- Two Letters of Opposition (Exceeded 20% Opposition)
 - Three-Fourths Vote Required

Recommendation

P&Z Recommendation:

- Approved 6-1 (Commissioner Hamilton in Opposition)
 - Commissioner Hamilton noted that he was in favor of the project; however, his opposition was due to the motion including a requirement of a living screen on the western property line.

Staff Recommendation:

- Approval