

EXHIBIT A-1: WRITTEN METES AND BOUNDS – ZONE-24-0021

BEING A TRACT OF LAND LOCATED IN THE COLLIN COUNTY SCHOOL LAND SURVEY, SECTION NO. 12, ABSTRACT NO. 147, COLLIN COUNTY, TEXAS, BEING ALL OF LOTS 1 AND 2, BLOCK A, FRONTIER RETAIL CENTER REVISED, AN ADDITION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS, ACCORDING TO THE PLAT, RECORDED IN VOLUME 2024, PAGE 145, PLAT RECORDS, COLLIN COUNTY, TEXAS (P.R.T.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH A CAP STAMPED "EAGLE SURVEYING" IN THE EAST RIGHT-OF-WAY LINE OF NORTH DALLAS PARKWAY (A VARIABLE WIDTH RIGHT-OF-WAY), SAID IRON ROD BEING THE SOUTHWEST CORNER OF SAID LOT 1 AND THE NORTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO TREJAX, LP, RECORDED IN INSTRUMENT NUMBER 20121206001558000, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (O.P.R.C.C.T.);

THENCE ALONG THE EAST RIGHT-OF-WAY LINE OF SAID NORTH DALLAS PARKWAY AND THE WEST LINES OF SAID LOTS 1 AND 2 AS FOLLOWS:

- 1) N 01°32'44" E, A DISTANCE OF 211.14 FEET TO A POINT;
- 2) NORTHERLY, AT A AN ARC LENGTH OF 54.23 FEET PASSING A 1/2" IRON ROD FOUND WITH A CAP STAMPED "EAGLE SURVEYING", BEING THE NORTHWEST CORNER OF SAID LOT 1 AND THE SOUTHWEST CORNER OF SAID LOT 2, CONTINUING IN ALL A TOTAL ARC LENGTH OF 229.67 FEET ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5744.58 FEET, A DELTA ANGLE OF 02°17'26", AND A CHORD BEARING OF N 00°24'01" E, 229.65 FEET TO A POINT;
- 3) N 00°44'43" W, AT A DISTANCE OF 21.67 FEET PASSING A 1/2" IRON ROD FOUND WITH A CAP STAMPED "EAGLE SURVEYING", AND CONTINUING IN ALL A TOTAL DISTANCE OF 27.09 FEET TO A POINT, BEING THE NORTHWEST CORNER OF SAID LOT 2 AND THE SOUTHWEST CORNER OF LOT 7, BLOCK A OF SAID FRONTIER RETAIL CENTER REVISED;

THENCE N 89°39'12" E, DEPARTING THE EAST RIGHT-OF-WAY LINE OF SAID NORTH DALLAS PARKWAY, ALONG THE NORTH LINE OF SAID LOT 2 AND THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 256.28 FEET TO A POINT IN THE WEST LINE OF LOT 6, BLOCK A OF SAID FRONTIER RETAIL CENTER REVISED, SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 2 AND THE SOUTHEAST CORNER OF SAID LOT 7;

THENCE S 00°29'31" E, ALONG THE WEST LINE OF SAID LOT 6 AND THE EAST LINES OF SAID LOTS 1 AND 2, A DISTANCE OF 466.14 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "EAGLE SURVEYING" IN THE NORTH LINE OF SAID TREJAX TRACT, SAID IRON ROD BEING THE SOUTHEAST CORNER OF SAID LOT 1 AND THE SOUTHWEST CORNER OF SAID LOT 6;

THENCE S 89°18'34" W, ALONG THE SOUTH LINE OF SAID LOT 1 AND THE NORTH LINE OF SAID TREJAX TRACT, A DISTANCE OF 267.24 FEET TO THE PLACE OF BEGINNING AND CONTAINING 2.787 ACRES (121,386 SQUARE FEET) OF LAND, MORE OR LESS.



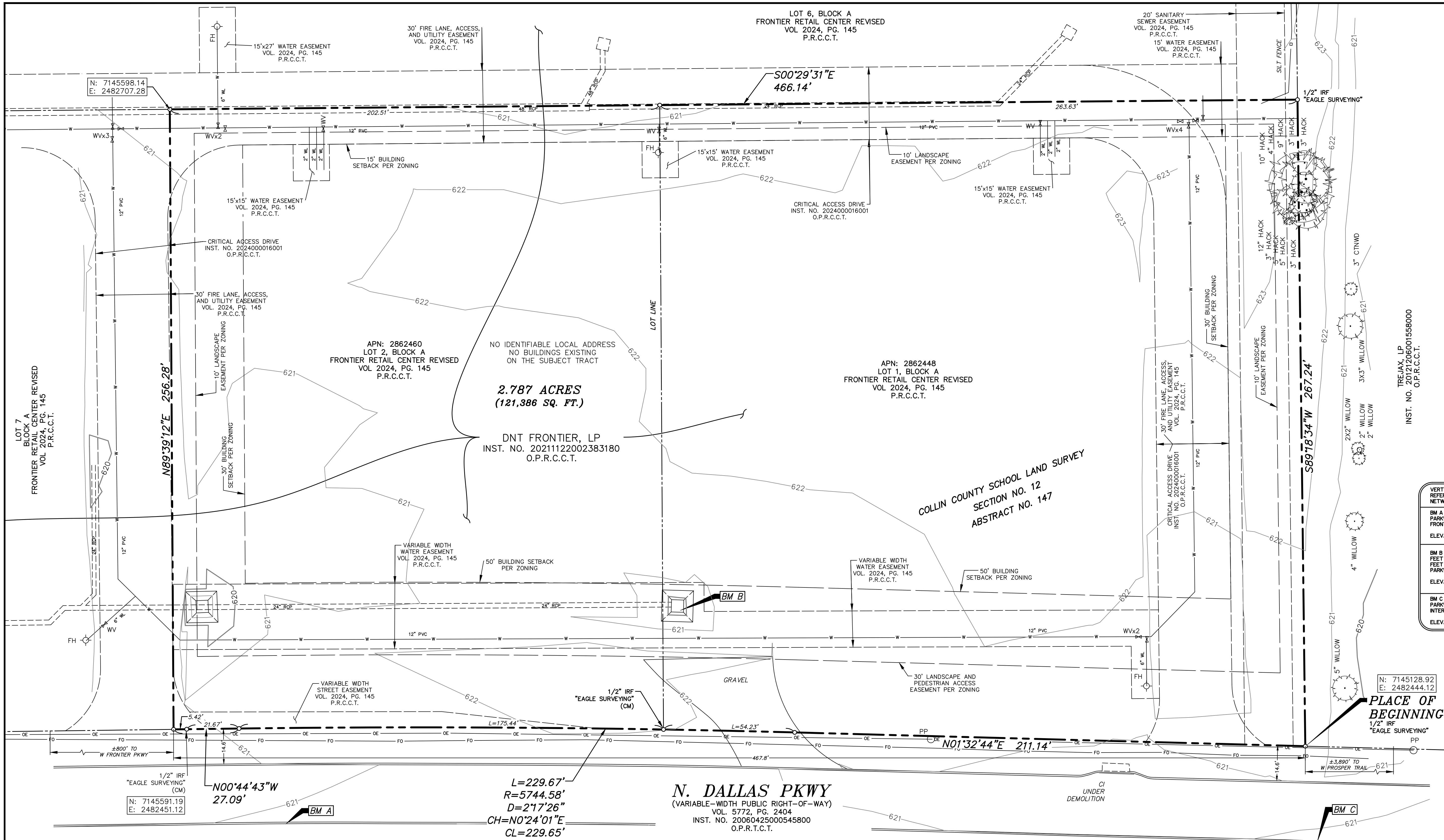
WIA SURVEYOR PREPARING THIS EXHIBIT:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

LOTS 1 & 2, BLOCK A, FRONTIER RETAIL CENTER REVISED
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

DRAWN BY: ALS
APPROVED: ALS

SHEET NO. 1 OF 1

REV.



LEGEND

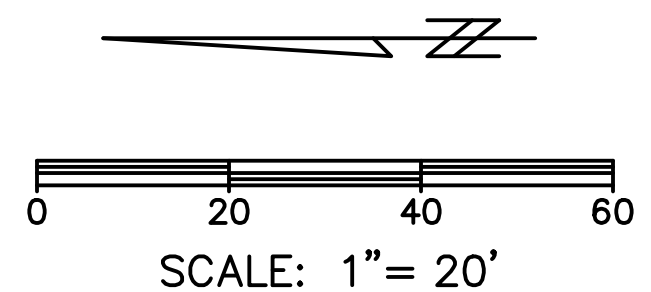
BOL	BOLLARD
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CM	CONCRETE MONUMENT
EB	ELECTRIC BOX
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EVLT	ELECTRIC VAULT
FH	FIRE HYDRANT
FO	FIBER OPTIC VAULT
GM	GAS METER
GTS	GAS TEST STATION
GUY	GUY WIRE
IRF	CONCRETE HEADWALL
ICV	IRRIGATION CONTROL VALVE
IR	IRON ROD FOUND
LP	LIGHT POLE
PP	POWER POLE
PPC	POWER POLE W/CONDUIT
PPPT	POWER POLE W/LIGHT POLE
RCP	REINFORCED CONCRETE PIPE
RPZ	REVERSE FLOW PROTECTION
RS	REINFORCED CONCRETE BOX
SDMH	STORM DRAIN MANHOLE
SN	STORM DRAIN
SNT	UNDERGROUND TELEPHONE SIGN
SNG	GAS PIPELINE MARKER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
TPD	TELEPHONE PEDESTAL
TBX	TELEPHONE BOX
TSB	TRAFFIC SIGNAL BOX
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER PAD
TSALT	TRAFFIC SIGNAL VAULT
W	WATER METER
WMH	WATER MANHOLE
WV	WATER VALVE
WVLT	WATER VAULT
OE	OVERHEAD ELECTRIC LINE
UE	UNDERGROUND ELECTRIC LINE
WL	WATER LINE
WS	SANITARY SEWER LINE
FO	FIBER OPTIC LINE
U	UNDERGROUND GAS
UFG	UNDERGROUND FIBER OPTIC
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS COLLIN COUNTY TEXAS
D.R.C.C.T.	DEED RECORDS COLLIN COUNTY TEXAS
HACK	HACKBERRY
CTNWD	COTTONWOOD
565.97 TO 565.47 G	TOP OF CURB SPOT SHOT
X	GUTTER SPOT SHOT
CONCRETE PAVEMENT	

VERTICAL DATUM NOTE:
REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAVD) 88 UTILIZING THE RTK NETWORK ADMINSTRATED BY ALLTERRA SYSTEMS INC.

BM A - AN "X" CUT IN THE WEST CONCRETE CURBLINE OF NORTHBOND NORTH DALLAS PARKWAY ±900 FT. SOUTH OF THE INTERSECTION OF NORTH DALLAS PARKWAY AND FRONTIER PARKWAY
ELEVATION = 621.42 FT.

BM B - AN "X" CUT IN THE SOUTHWEST CORNER OF A CONCRETE STORM INLET ±65 FEET EAST OF THE EAST CURBLINE OF NORTHBOND NORTH DALLAS PARKWAY, ±1050 FEET SOUTH OF THE INTERSECTION OF NORTH DALLAS PARKWAY AND FRONTIER PARKWAY
ELEVATION = 620.48 FT.

BM C - AN "X" CUT IN THE WEST CONCRETE CURBLINE OF NORTHBOND NORTH DALLAS PARKWAY, ±55 FEET WEST OF A POWER POLE AND ±1275 FEET SOUTH OF THE INTERSECTION OF NORTH DALLAS PARKWAY AND FRONTIER PARKWAY
ELEVATION = 621.39 FT.



FIELD NOTES

BEING A TRACT OF LAND LOCATED IN THE COLLIN COUNTY SCHOOL LAND SURVEY, SECTION NO. 12, ABSTRACT NO. 147, COLLIN COUNTY, TEXAS, BEING ALL OF LOTS 1 AND 2, BLOCK A, FRONTIER RETAIL CENTER REVISED, AN ADDITION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS, ACCORDING TO THE PLAT, RECORDED IN VOLUME 2024, PAGE 145, PLAT RECORDS, COLLIN COUNTY, TEXAS (P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

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- 2) NORTHERLY, ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 5744.58 FEET, AT AN ARC LENGTH OF 54.23 FEET PASSING A 1/2" IRON ROD FOUND WITH A CAP STAMPED "EAGLE SURVEYING", BEING THE NORTHWEST CORNER OF SAID LOT 1 AND THE SOUTHWEST CORNER OF SAID LOT 2, CONTINUING IN ALL A TOTAL ARC LENGTH OF 229.67 FEET; A DELTA ANGLE OF 02°17'26", AND A CHORD BEARING OF N 00°24'01" E, 229.65 FEET TO A POINT;
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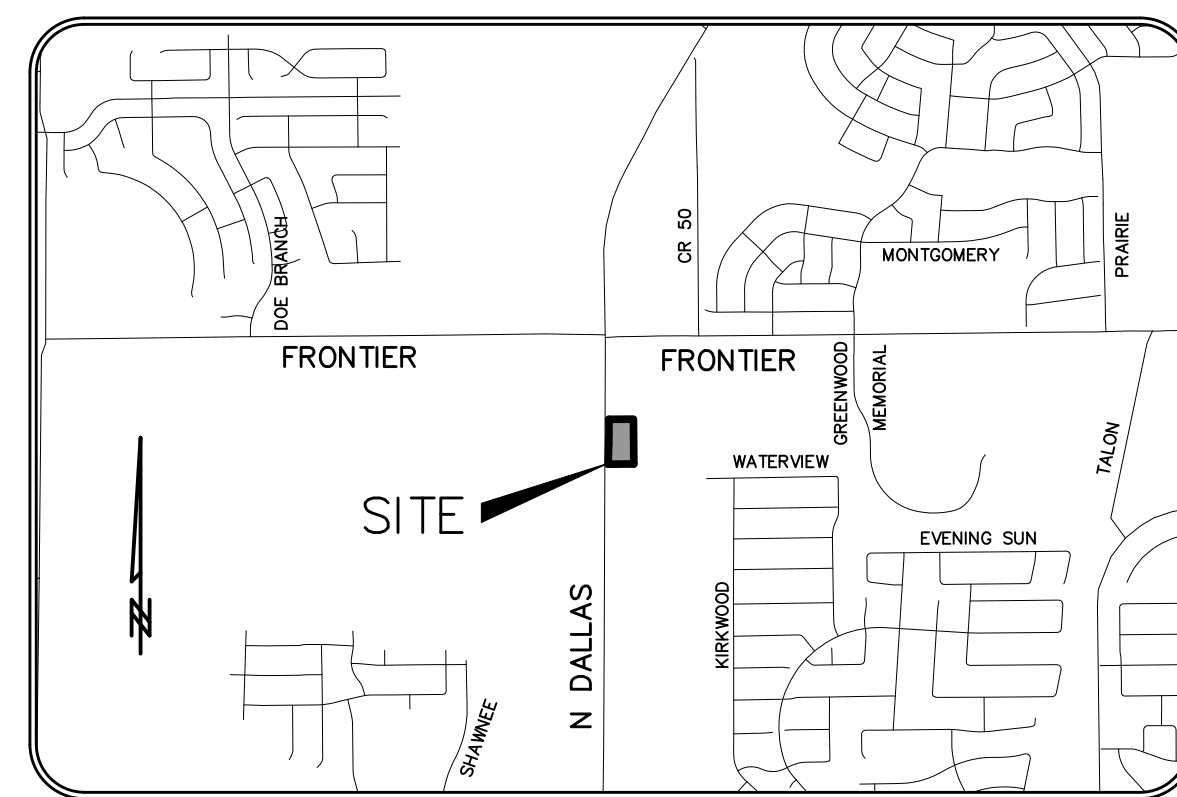
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NOTES

1. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD OF 1983, AS DERIVED BY FIELD OBSERVATIONS UTILIZING THE RTK NETWORK ADMINSTRATED BY ALLTERRA SYSTEMS, INC.
2. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.

N. DALLAS PKWY
(VARIABLE-WIDTH PUBLIC RIGHT-OF-WAY)
VOL. 5772, PG. 2404
INST. NO. 20060425000545800
O.P.R.T.C.T.



VICINITY MAP
NOT TO SCALE

**EXHIBIT "A-2": BOUNDARY
EXHIBIT FOR PROPERTY
ZONE-24-0021
FRONTIER RETAIL CENTER
REVISED
BLOCK A, LOTS 1 AND 2**

AN ADDITION TO THE TOWN OF PROSPER,
COLLIN COUNTY, TEXAS
2.787 GROSS ACRES OF
LAND LOCATED IN THE
COLLIN COUNTY SCHOOL LAND SURVEY,
SECTION NO. 12, ABSTRACT NO. 147
TOWN OF PROSPER, COLLIN COUNTY, TEXAS
Date of Preparation: October 30, 2024

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

SITE DATA	
ZONING	PD-69 (BASE ZONE "R")
PROPOSED USE	QUICK SERVICE RESTAURANT W/ DRIVE-THRU
LOT AREA	2.787 ACRES (121,386 SQ. FT.)
PROPOSED BUILDING AREA	5,385 SQ. FT.
PROPOSED PATIO AREA	437 SQ. FT.
BUILDING HEIGHT	24'-10" (1 STORY)
LOT COVERAGE	4.4%
FLOOR AREA RATIO	0.044:1
MINIMUM REQUIRED PARKING	57
MINIMUM HANDICAP PARKING	3
PROVIDED PARKING	STANDARD 69 HANDICAP-ACCESSIBLE 4 TOTAL 73
LANDSCAPE REQUIRED	1,020 SQ. FT.
LANDSCAPE PROVIDED	6,427 SQ. FT.
IMPERVIOUS SURFACE	77,523 SQ. FT. (63.86%)
OPEN SPACE REQUIRED	8,497 SQ. FT. (7%)
OPEN SPACE PROVIDED	8,823 SQ. FT. (7.9%)

TOWN OF PROSPER SITE PLAN GENERAL NOTES	
1.	ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
2.	LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
3.	ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
4.	HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
5.	ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
6.	IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE, HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
7.	THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
8.	OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS*, AND DETENTION POND.

- NOTES
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
 - DIMENSIONS IN DUMPSTER INDICATE INTERIOR DIMENSIONS OF ENCLOSURE.
 - ALL RADI ARE 2' UNLESS OTHERWISE NOTED.
 - ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.
 - EXISTING TOPOGRAPHY SHOWN DEPICTS ANTICIPATED CONDITIONS OF SITE PER FRONTIER RETAIL CENTER MASS GRADING PLANS PREPARED BY CLAYMOORE ENGINEERING, SEALED 11/28/2023.
 - NO 100-YEAR FLOODPLAIN EXISTS ON THE SITE

- LEGEND
- BFR PROPOSED BARRIER FREE RAMP
 - PROPOSED GATE VALVE
 - PROPOSED REDUCER
 - PROPOSED WATER METER
 - PROPOSED FIRE HYDRANT
 - PROPOSED SANITARY SEWER CLEANOUT
 - PROPOSED GRATE INLET
 - PROPOSED CURB INLET
 - EX. DROP INLET TO REMAIN
 - 9'X20' VEHICLE STACKING SPACE
 - LANDSCAPE AREA

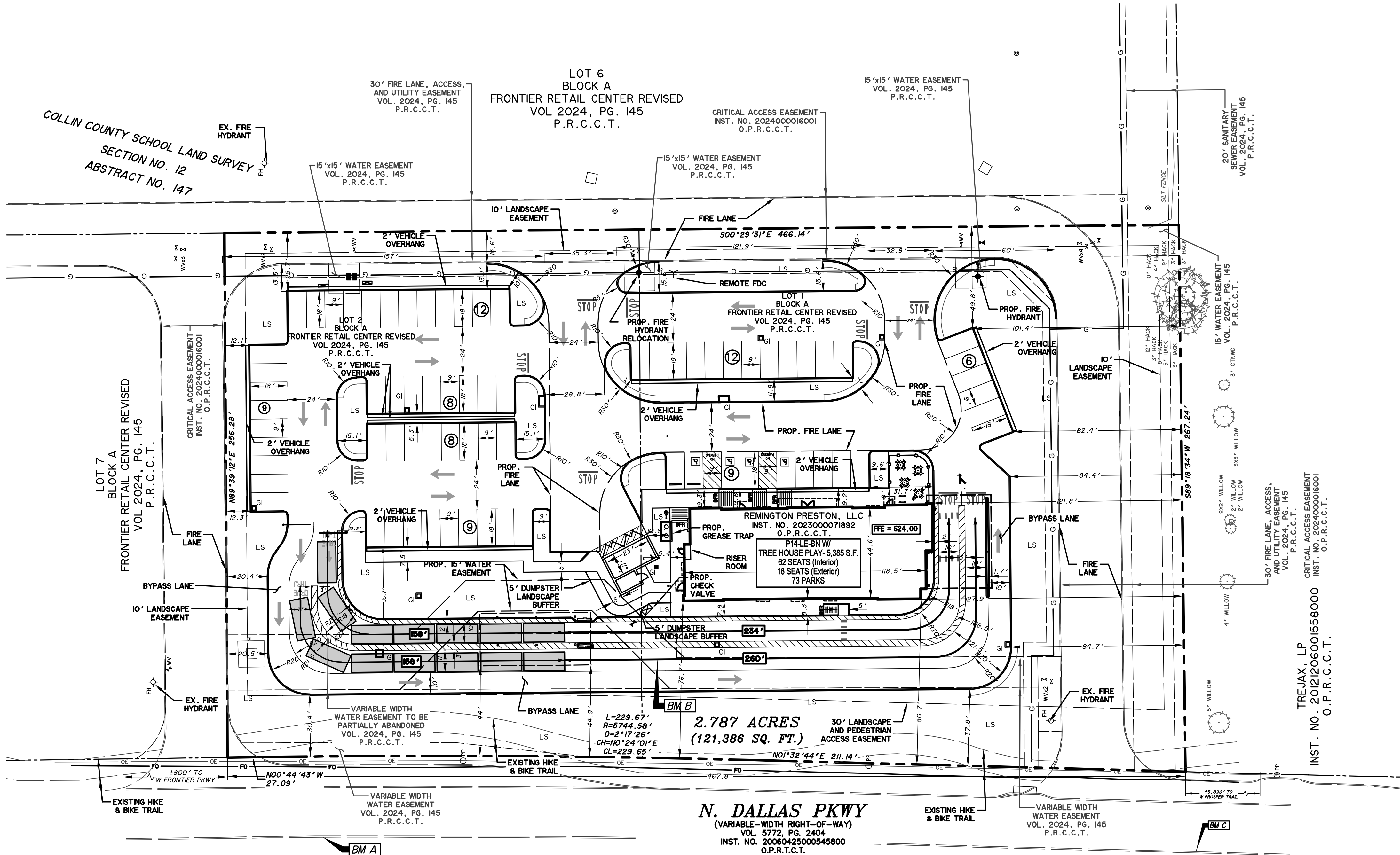
VERTICAL DATUM NOTE:
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ELEVATION = 621.42 FT.

BM B - AN "X" CUT IN THE SOUTHWEST CORNER OF A CONCRETE STORM INLET #65 FEET EAST OF THE EAST CURBLINE OF NORTHBOUND NORTH DALLAS PARKWAY, #1050 FEET SOUTH OF THE INTERSECTION OF NORTH DALLAS PARKWAY AND FRONTIER PARKWAY
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BM C - AN "X" CUT IN THE WEST CONCRETE CURBLINE OF NORTHBOUND NORTH DALLAS PARKWAY, #55 FEET NORTHWEST OF A POWER POLE AND #1275 FEET SOUTH OF THE INTERSECTION OF NORTH DALLAS PARKWAY AND FRONTIER PARKWAY
ELEVATION = 621.38 FT.

EXHIBIT B: SITE PLAN
ZONE-24-0021
SITE PLAN FOR:
FRONTIER RETAIL CENTER
REVISED
BLOCK A, LOTS 1 AND 2,
AN ADDITION TO THE TOWN OF PROSPER,
COLLIN COUNTY, TEXAS
2.787 GROSS ACRES OF
LAND LOCATED IN THE
COLLIN COUNTY SCHOOL LAND SURVEY,
SECTION NO. 12, ABSTRACT NO. 147
TOWN OF PROSPER, COLLIN COUNTY, TEXAS
Date of Preparation: August 22, 2024
PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006
5151 HEADQUARTERS DR., SUITE 115 PLANO, TEXAS 75024
Texas Firm Registration No. F-2776 www.WierAssociates.com (817)-467-7700

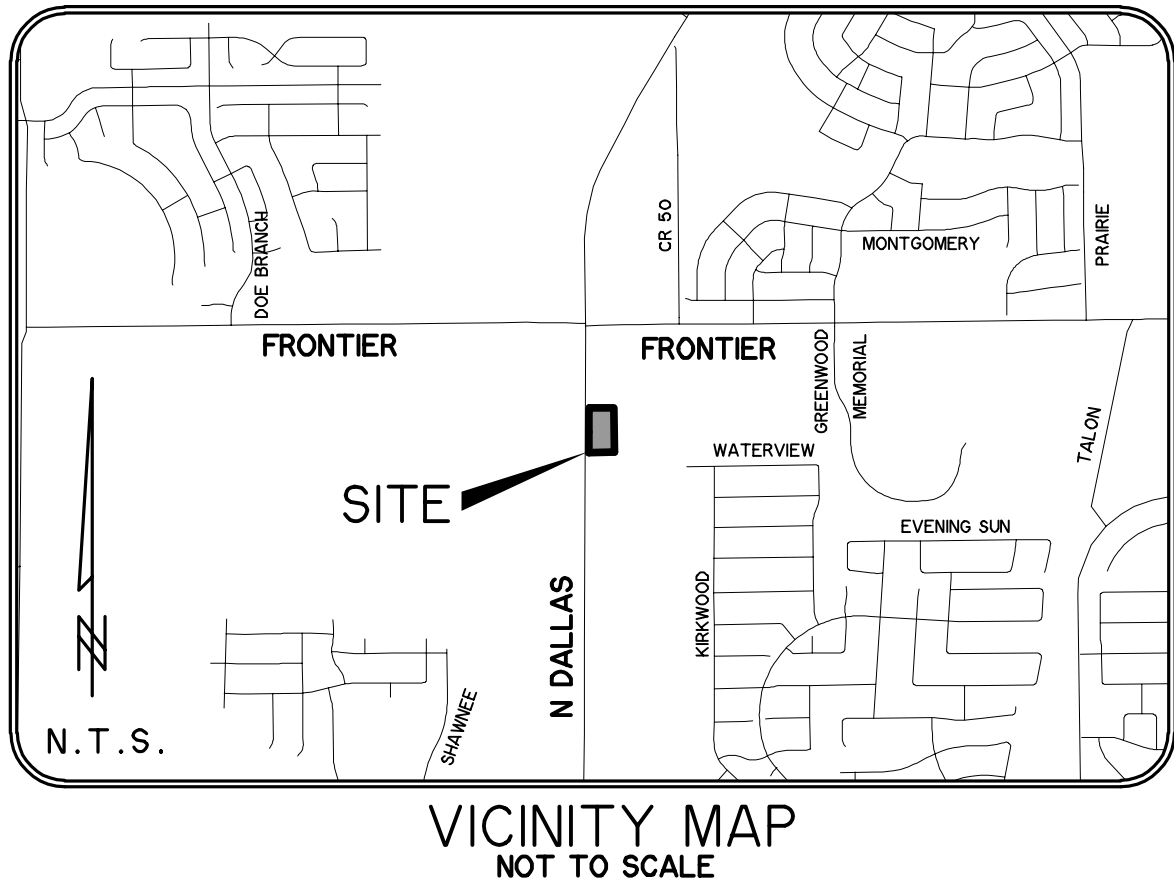


* LEGEND *	
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DI	DROP INLET
EB	ELECTRIC BOX
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WVLT	WATER VALVE
OE	OVERHEAD ELECTRIC LINE
UE	UNDERGROUND ELECTRIC LINE
WL	WATER LINE
SL	SANITARY SEWER LINE
FO	FIBER OPTIC LINE
UG	UNDERGROUND GAS
UGF	UNDERGROUND FIBER OPTIC
OPR	OFFICIAL PUBLIC RECORDS
PLAT	PLAT RECORDS
COLL	COLLIN COUNTY TEXAS
765.97 TC	TOP OF CURB SPOT SHOT
765.47 G	GUTTER SPOT SHOT
X	TOPOGRAPHIC SPOT SHOT

DEVELOPER
CHICK-FLA, INC.
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
CONTACT: GETRA SANDERS
EMAIL: Getra.Sanders@cfcorp.com
PH: (404) 765-8000

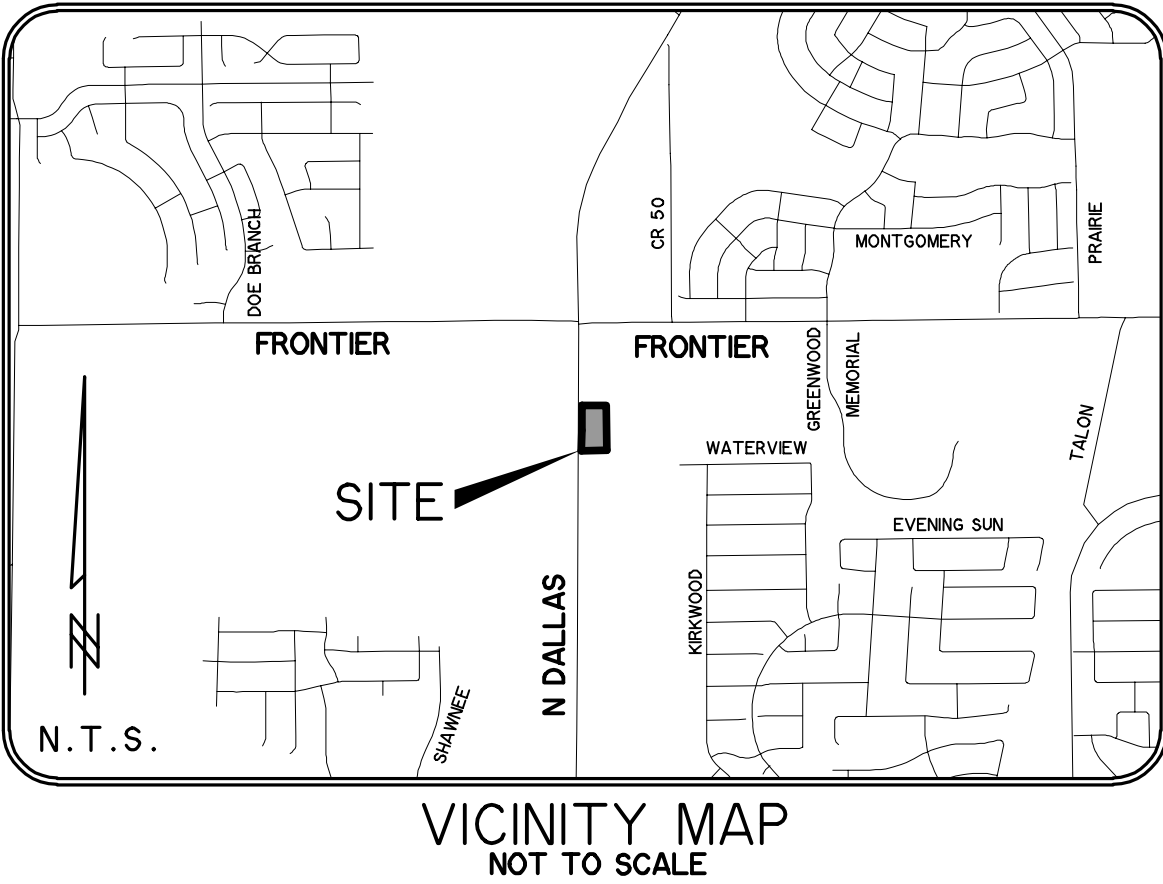
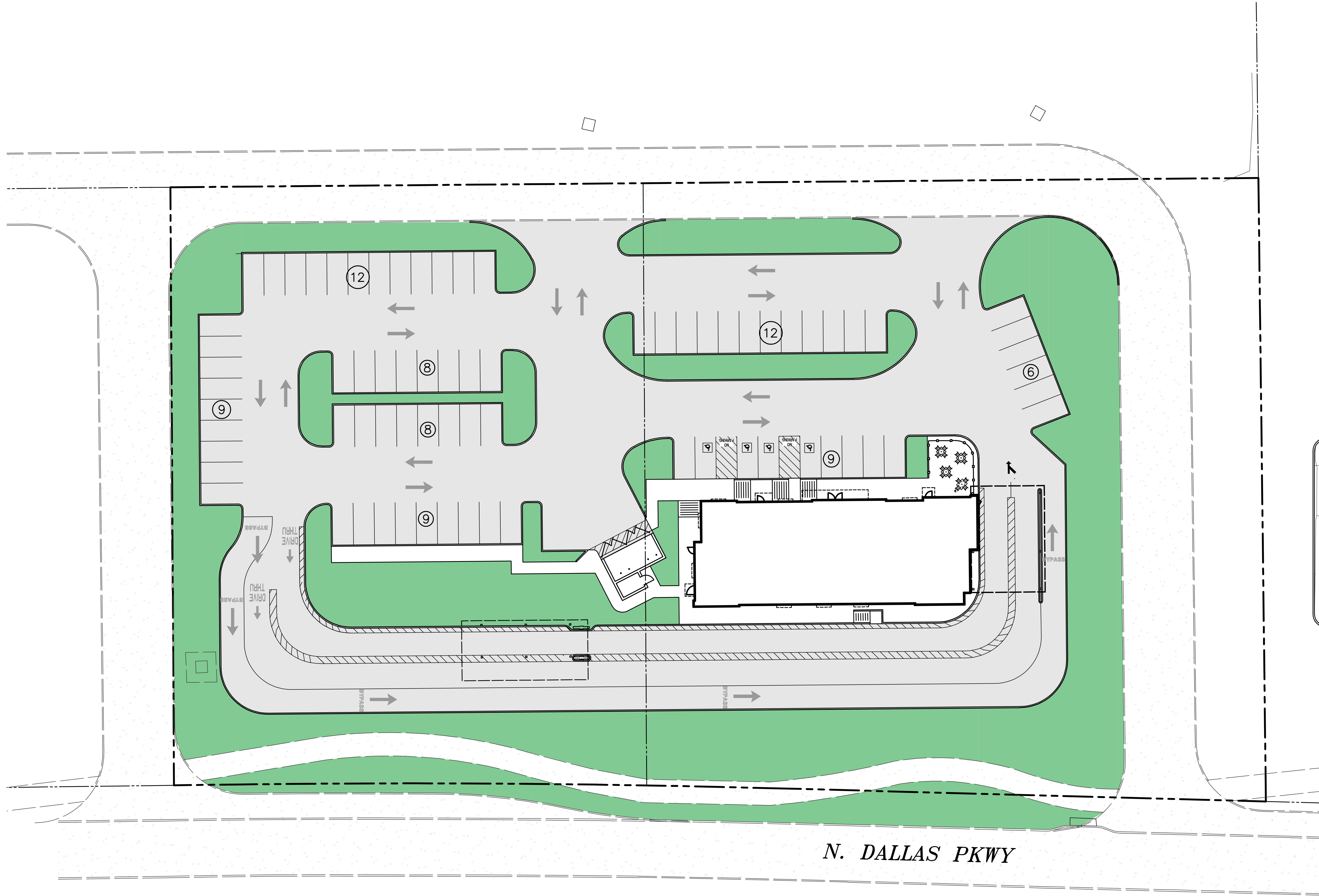
OWNER
DNT FRONTIER, LP
4215 W. LOVERS LN, SUITE 250
DALLAS, TEXAS 75209
CONTACT: DAVID FOGEL
EMAIL: DAVID@DSCAPITAL.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: PRIYA ACHARYA, P.E.
EMAIL: PriyaA@WierAssociates.com
PH: (817) 467-7700
FAX: (817) 467-7713



CONCEPTUAL PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.
Prepared By/Or Under
Direct Supervision Of
Priya Acharya, PE
Texas Registration
No. 110146 On
Date Shown Below.

PRINTED: 2/27/2025 STB FILE: WIER-PAVING.STB LAST SAVED: 2/27/2025 7:50 AM SAVED BY: PRIYAA FILE: SIMPLIFIED SUP-SITE-PLAN-24021.DWG



**EXHIBIT B: SITE PLAN
ZONE-24-0021
SITE PLAN FOR:
FRONTIER RETAIL CENTER
REVISED
BLOCK A, LOTS 1 AND 2,**

CONCEPTUAL PLANS
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LANDSCAPE REQUIREMENTS

A PERIMETER LANDSCAPE

- REQUIRED**
1. Large tree shall be planted every 30 LF of roadway frontage
North Dallas Pkwy: 419 LF (less 48 LF drive)/ 30 = 14 trees
 2. Minimum of 15 shrubs with a minimum size of 5 Gal. shall be planted for each 30 LF of roadway frontage
North Dallas Pkwy: (419 LF (less 48 LF drive)/ 30) x 15 = 210 shrubs
 3. Small tree and 5 Gal. shrub shall be planted every 15 LF of property line
Perimeter A: 241 LF (less 15 LF drive)/15 = 16 trees
Perimeter B: 466 LF (less 30(3) LF drive)/15 = 16 trees
Perimeter C: 267 LF/15 = 18 trees
 4. All uses containing a drive-through shall provide a ten-foot-wide landscape area along the perimeter of the property.
 5. Ten-foot-wide landscape area shall contain a minimum three-inch caliper evergreen trees planted 15 LF O.C. with minimum 5-gallon shrubs planted 3 LF O.C.
drive-through lane: 363 LF / 15 = 24 evergreen trees
363 LF / 3 = 121 evergreen shrubs























- PROVIDED**
1. (6) Cedar Elm, (8) HR Live Oak = 14 trees
 2. (71) Dwarf Burford Holly, (108) Dwarf Maiden Grass, (13) Glossy Abelia, (8) Oakleaf Hydrangea, (32) Goldmound Spirea = 232 shrubs
 3. Perimeter A: (4) Redbud, (2) Crape Myrtle, (5) Waxmyrtle, (5) Mexican Buckeye = 16 trees
(21) Burford Holly = 21 shrubs
Perimeter B: (13) Waxmyrtle, (4) Crape Myrtle, (6) Redbud = 25 trees
(26) Spirea, (58) Burford Holly = 84 shrubs
Perimeter C: (3) Waxmyrtle, (8) Redbud, (10) Mexican Buckeye = 21 trees
(56) Red Yucca, (29) Spirea = 85 shrubs
 4. A ten-foot-wide landscape area is provided.
 5. (6) Highrise Live Oak, (6) Cedar Elm, (7) Little Gem Magnolia = evergreen trees
(123) Dwarf Burford Holly = 123 evergreen shrubs

B INTERIOR PARKING

- REQUIRED**
1. 15 SF of landscaping for each parking space shall be provided within the paved boundaries of the parking lot area.
68 parking spaces x 15 = 1,020 SF of interior landscape
 2. Landscape islands shall be located at the terminus of all parking rows, and shall contain at least 1 large tree.
 3. No more than 15 parking spaces permitted in a continuous row without being interrupted by a landscape island.
 4. Landscape islands shall be a minimum of 160 SF and not less than 9' wide and a length equal to the abutting space.
 5. There shall be at least 1 large tree within 150 LF of every parking space.
 6. 1 tree per 10 parking spaces = 7 parking lot trees
 7. Minimum 5' wide landscape island shall be constructed around the outer edge of the drive-thru lanes extending from the point of entry to exit. The landscape island shall contain 3" cal. evergreen trees planted 15' O.C. with a minimum five gallon shrubs planted 3' O.C.
** Ornamental trees may be used in place of a portion of shrubs to create a mixture of species and types of vegetation. If the landscape island is located on the perimeter of the property, perimeter landscaping requirements may be applied towards this requirement.

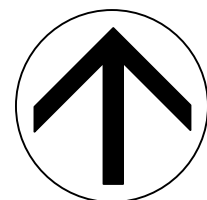
- PROVIDED**
1. 6,427 SF of interior landscape provided
 2. Large tree is in each terminal island.
 3. Less than 15 parking spaces are between landscape islands.
 4. Not all landscape islands are 160 SF and 9' wide.
 5. There is a large tree within 150 LF of every parking space.
 6. (7) Shumard Oak = 7 parking lot trees
 7. Landscape is proposed with street trees and 36" evergreen hedge.

PLANT SCHEDULE

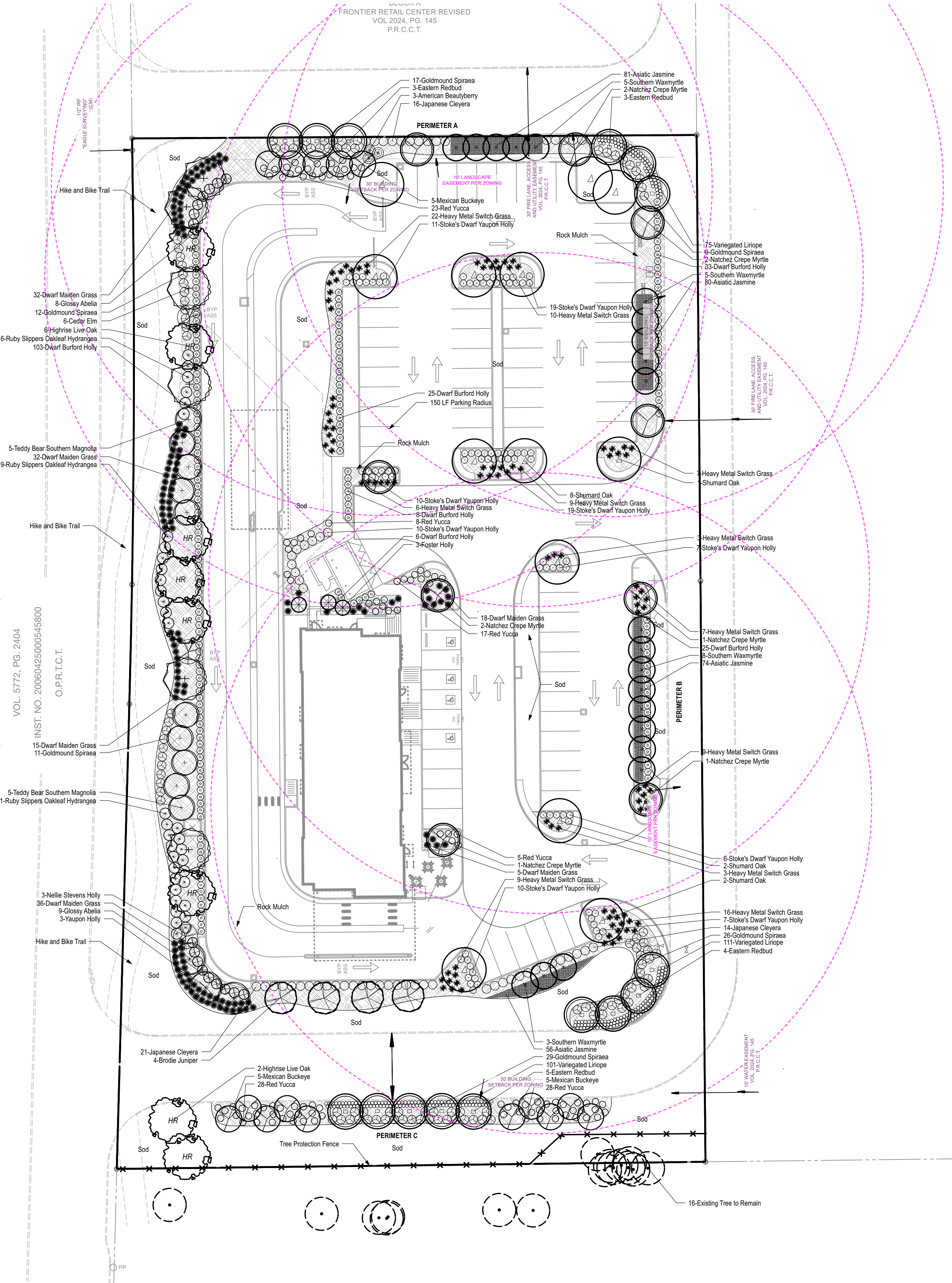
Symbol	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
	15	Cercis canadensis	Eastern Redbud	3" Cal.; 10' Hgt.	B & B
	3	Ilex x attenuata 'Fosteri'	Foster Holly	3" Cal.; 8' Hgt.	
	3	Ilex x Nellie R Stevens	Nellie Stevens Holly	10'-12' Hgt., 4'-5' Spr.	Full, low branched
	4	Juniperus virginiana 'Brodie'	Brodie Juniper	3" Cal.	
	9	Lagerstroemia indica 'Natchez'	Natchez Crepe Myrtle	3" Cal.	Standard
	10	Magnolia grandiflora 'Teddy Bear'	Teddy Bear Southern Magnolia	10'-12' Hgt.	Full to ground
	13	Quercus shumardii	Shumard Oak	3" Cal.; 12' Hgt.	B & B; single straight leader
	8	Quercus virginiana 'QVTIA' P.P.# 11219	Highrise(R) Live Oak	6" Cal.; 16'Hgt.	B & B
	6	Ulmus crassifolia	Cedar Elm	4" Cal.; 14' Hgt.	B & B
	15	Ungnadia speciosa	Mexican Buckeye	3" Cal.	B & B; multi-trunk
Shrubs					
	17	Abelia x grandiflora	Glossy Abelia	5 Gal	
	3	Callicarpa americana	American Beautyberry	5 Gal.	
	51	Cleyera japonica	Japanese Cleyera	7 Gal.	
	109	Hesperaloe parviflora	Red Yucca	5 Gal.	
	36	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	5 Gal.	
	200	Ilex cornuta 'Dwarf Burford Holly'	Dwarf Burford Holly	6' Hgt.	48" O.C.
	99	Ilex vomitoria 'Stokes Dwarf'	Stoke's Dwarf Yaupon Holly	3 Gal.	
	138	Miscanthus sinensis 'Yakushima'	Dwarf Maiden Grass	5 Gal.	
	101	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	5 Gal.	
	104	Spiraea japonica 'Goldmound'	Goldmound Spiraea	5 Gal.	
Groundcovers					
	287	Liriope muscari 'Variegata'	Variegated Liriope	1 Gal.	Plant 18" OC
	291	Trachelospermum asiaticum	Asiatic Jasmine	1 Gal.	
Other					
	17,071	Rock Mulch	Rock Mulch	SF.	See general landscape notes & mulch Specifications

NORTH DALLAS PARKWAY
(VARIABLE-WIDTH RIGHT-OF-WAY)

VOL. 5772, PG. 2404
INST. NO. 20060425000545800
O.P.R. T.C.T.



0 30 60 FT



Town of Prosper landscape general notes

- Standard language and/or notations, as follows:
 - Plant material shall be measured and sized according to the latest edition of the American Standard for Nursery Stock (ANSI Z60.1)
 - All plant substitutions are subject to Town approval and must be specified on the approved landscape plan.
 - Ground covers used in lieu of turf grass must provide complete coverage within one (1) year of planting and maintain adequate coverage as approved by the Town.
 - Trees must be planted four (4) feet or greater from curbs, sidewalks, utility lines, screening walls, and all structures. Single-trunk trees shall have a single, straight leader, and all trees shall be full, with balanced canopy. Major damage to trunk(s), or branches, will be cause for denial.
 - All root flares shall be set at three (3) to four (4) inches above surrounding grade
 - The tree pit shall be backfilled with native topsoil free of rock and other debris
 - Burlap, twine, and wire baskets shall be severed and removed from the top of the root ball.
 - A 3-4" layer of mulch shall be provided around the base of the planted tree. The mulch shall be pulled back 1-2" from the trunk of the tree.
 - No person(s) or entity may use improper or malicious maintenance or pruning techniques including, but not limited to; topping or other non symmetrical trimming of trees, damage from a backhoe, or use of fire or poison
 - Follow the American Standard for Nursery Stock (ANSI Z60.1) guidelines on pruning and maintenance.
 - Topsoil shall be a minimum of eight (8) inches in depth in planting areas. Soil shall be free of stones, roots, and clods and any other foreign material that is not beneficial for plant growth.
 - All plant beds shall be top-dressed with a minimum of three (3) inches of mulch.
 - Trees overhanging walks and parking shall have a minimum clear branch height of seven (7) feet. Trees overhanging public street pavement drive aisles and fire lanes shall have a minimum clear branch height of fourteen (14) feet.
 - A visibility triangle must be provided at all intersections, where shrubs are not to exceed thirty (30) inches in height, and trees shall have a minimum clear trunk height of nine (9) feet.
 - Trees planted on a slope shall have the tree well at the average grade of the uphill slope.
- All areas of less than three (3) feet in width shall be grass, groundcover, or some type of Decorative river rock, pavers, or concrete.
- The owner, tenant, and/or their agents, if any, shall be jointly and severally responsible for the maintenance, establishment, and permanence of plant material. All landscaping shall be maintained in a neat and orderly at all times including, but not limited to, mowing, edging, pruning, fertilizing, watering, de-weeding, and trash removal.
- Plant material that is damaged, destroyed, or removed shall be replaced with Plants meeting minimum specifications per landscape plan. All turf/ground cover areas are to be established prior to receipt of Certificate of Occupancy, unless otherwise approved by the Town.
- An automatic irrigation system shall be provided to irrigate all landscape areas into streets, sidewalks, or alleys.
- No planting areas shall exceed 3:1 slope (3 ft Horizontal to 1 ft Vertical).
- Earthen berms shall not include construction debris.
- All walkways shall meet ADA and TAS requirements.
- Landscape installation must comply with approved landscape plans, and as-built plans submitted to Parks and Recreation, prior to final acceptance by the Town and/or obtaining a Certificate of Occupancy.
- Final inspection and approval of screening walls, irrigation, and landscape is subject to all public utilities, including but not limited to manholes, valves, water meters, cleanouts, and other appurtenances being accessible, adjusted to grade, and to the Town of Prosper Public Works Department standards.
- IMPORTANT: MINIMUM STANDARDS FOR PLANTS, AS SET FORTH IN THE ZONING ORDINANCE AND APPROVED LANDSCAPE PLANS ARE TAKEN SERIOUSLY BY THE TOWN AND PARKS AND RECREATION. INSTALLING INTERIOR PLANTS WITHOUT WRITTEN APPROVAL FROM A PARKS REPRESENTATIVE MAY RESULT IN REJECTION OF SOME OR ALL PLANTS, THEREBY DELAYING RECEIPT OF A CERTIFICATE OF OCCUPANCY. ARCHITECTS AND LANDSCAPE CONTRACTORS ARE STRONGLY ENCOURAGED TO NOTIFY THE PARKS DEPARTMENT TO DISCUSS POSSIBLE DEFICIENCIES PRIOR TO INSTALLATION.
- Call Parks and Recreation at (972) 569-1160 at least forty-eight (48) hours prior to the following inspections:
 - Proposed trail alignment
 - Berm construction & grading
 - Escrow release
 - Final inspection



EXHIBIT C: LANDSCAPE PLAN
ZONE-24-0021
SITE PLAN FOR:

FRONTIER RETAIL CENTER
REVISED
BLOCK A, LOTS 1 AND 2,

AN ADDITION TO THE TOWN OF PROSPER,
COLLIN COUNTY, TEXAS
2.787 GROSS ACRES OF
LAND LOCATED IN THE
COLLIN COUNTY SCHOOL LAND SURVEY,
SECTION NO. 12, ABSTRACT NO. 147
TOWN OF PROSPER, COLLIN COUNTY, TEXAS
Date of Preparation: August 22, 2024

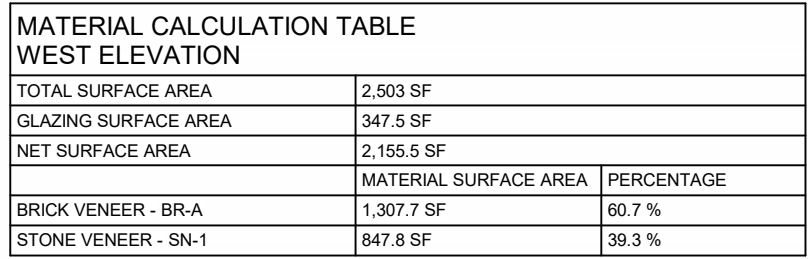


LANDSCAPE RENDERING

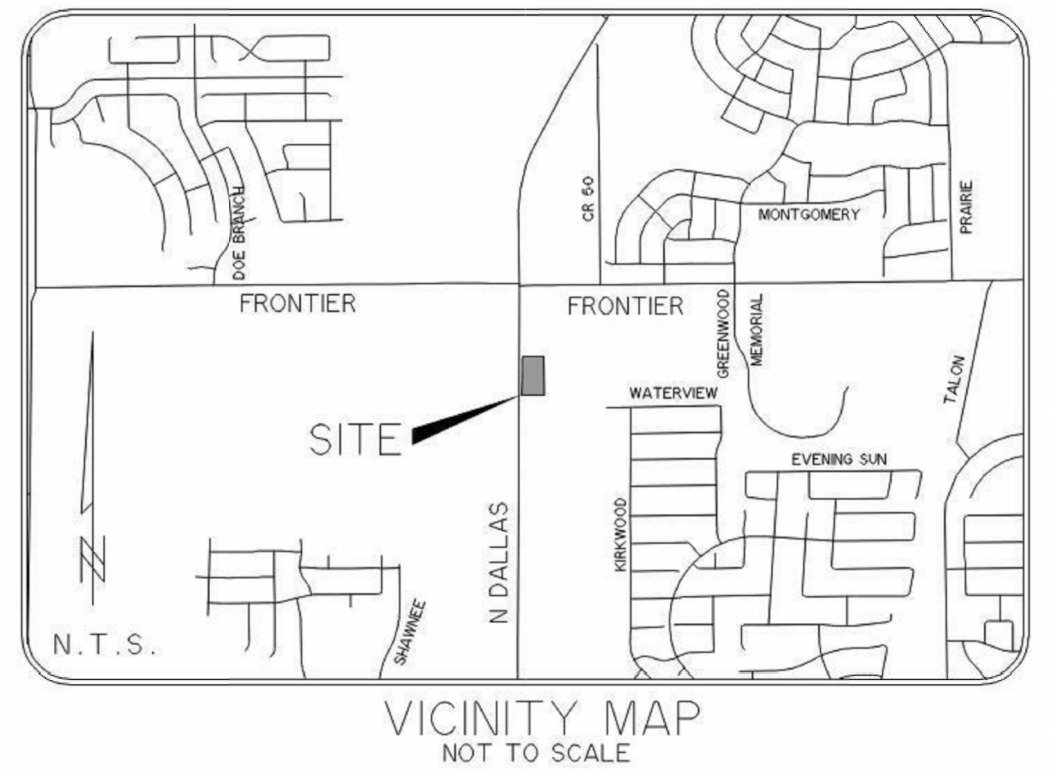
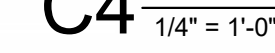
Town of Prosper
ZONE-24-0021
North Dallas Pkwy & Frontier Pkwy
Planning & Zoning Commission



Exhibit C: Landscape Plan



D4 $\frac{1}{4}'' = 1'-0''$



AN ADDITION TO THE TOWN OF PROSPER,
COLLIN COUNTY, TEXAS
2.787 GROSS ACRES OF
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COLLIN COUNTY SCHOOL LAND SURVEY,
SECTION NO. 12, ABSTRACT NO. 147
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

FINISH SCHEDULE - EXTERIOR							
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE	
A	BR-A CP-1	BRICK VENEER (PRIMARY) CANOPY METAL FASCIA	HEBRON BRICK	MODULAR DURA COAT	DC19ST-2703	SLATE GRAY DARK BRONZE	MORTAR: ARGOS CHARCOAL OIL RUBBED BRONZE METALLIC TEXTURE PVD
	CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
	EC-1	PARAPET WALL COPING	DIURLOAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
	PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE: FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
	PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW Bronzetone	DARK BRONZE	FINISH: SEMI-GLOSS
	SN-1	LIMESTONE VENEER	BLACKSON BRICK CO.			BLACKSON GOLD	MORTAR: ARGOS IVORY BUFF
	SN-2	STONE TRIM	BLACKSON BRICK CO.			BLACKSON CREAM	MORTAR: ARGOS IVORY BUFF
	ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATT)	

THIS CONCEPTUAL ELEVATION IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTION DIVISION

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOF TOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL MEET THE SPECIFICATIONS OF THE ZONING ORDINANCE

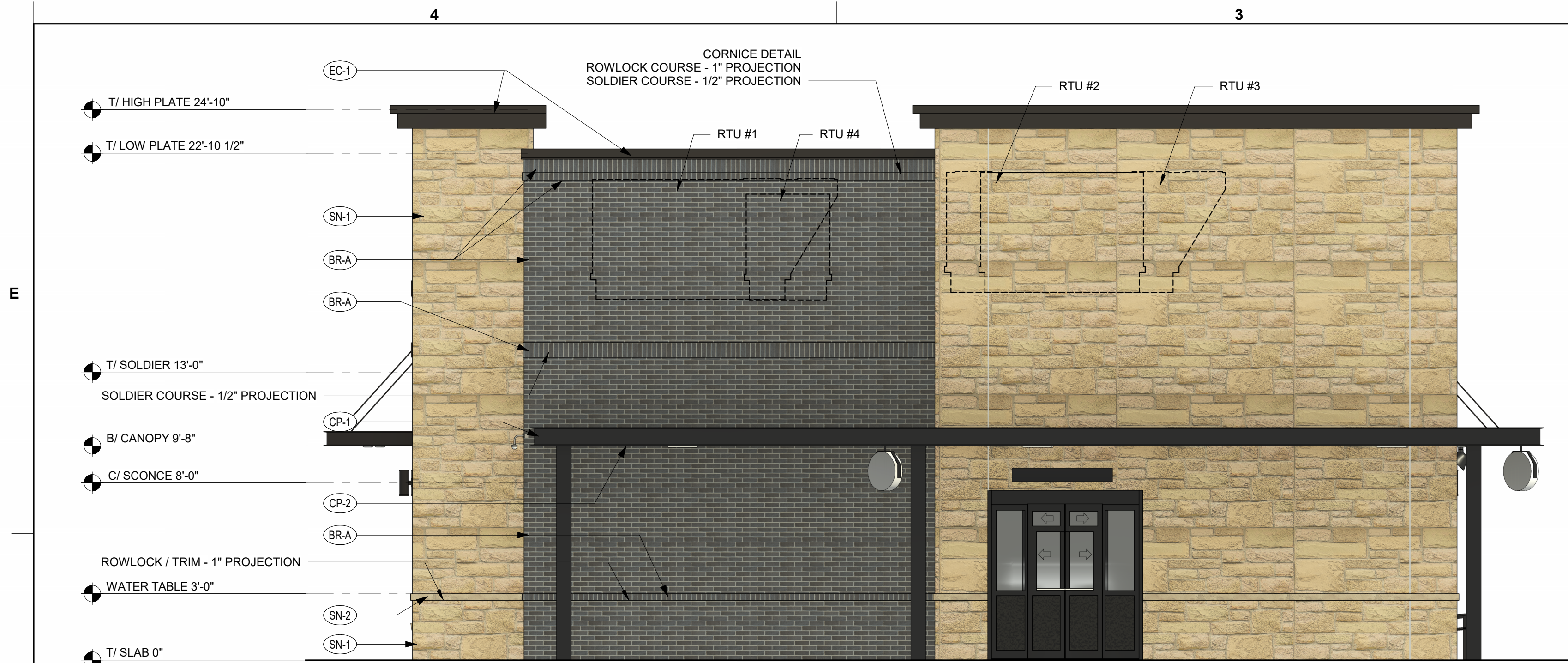
WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING

ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DIVISION

WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT

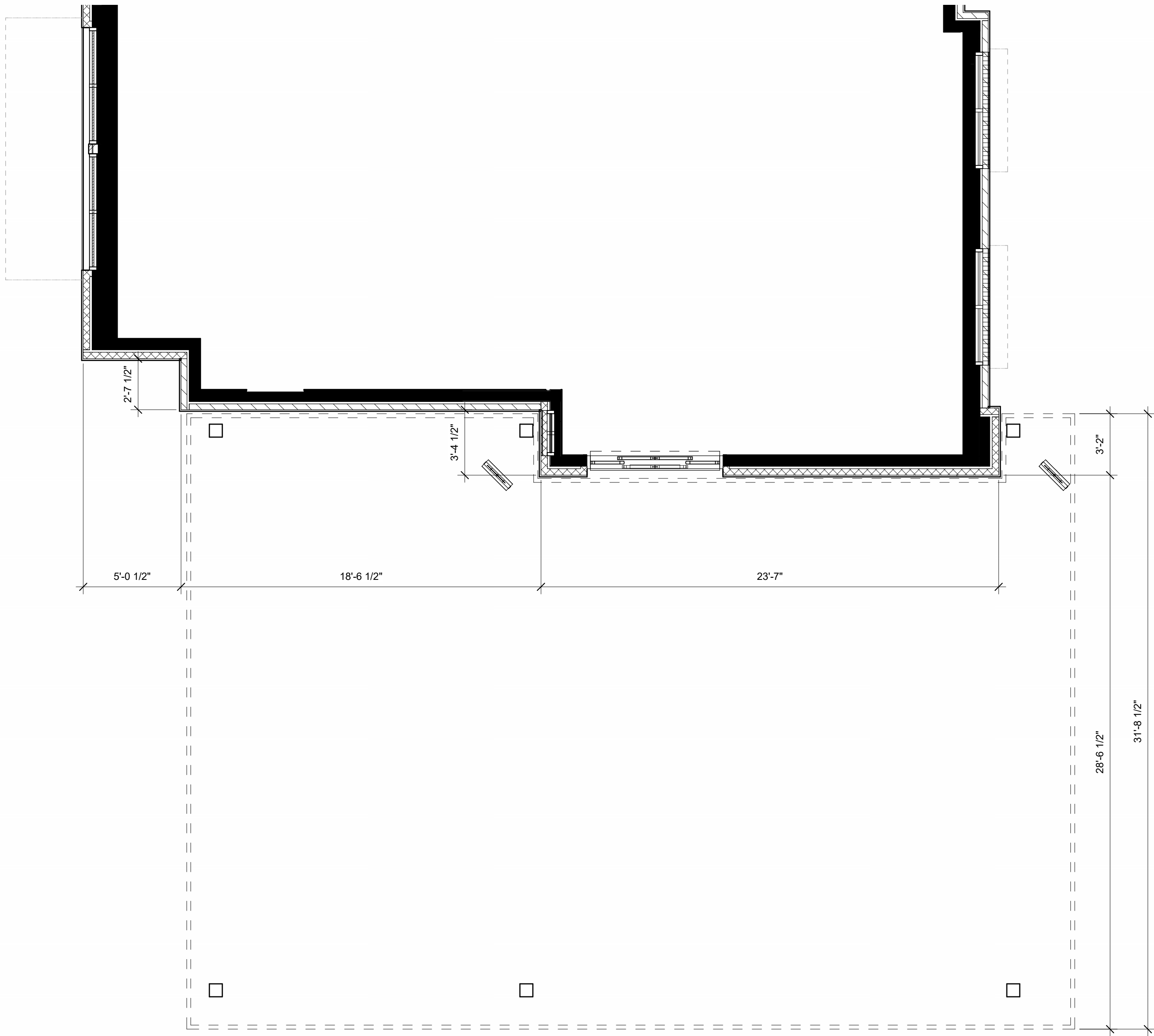
FACADE PLAN KEYNOTES	
A1	ARTICULATED SILL W/ 1" PROJECTION
A2	PROJECTED AWNING / SUNSHADE

11/7/2024 2:41:00 PM Autodesk Docs\\TX_05898_DNT & W Frontier Pkwy_2024.7_FSR05898_DNT & W Frontier Pkwy_ARC.rvt 10-LE-05898-A-305-FACADE PLAN



D4 SOUTH ELEVATION
1/4" = 1'-0"

MATERIAL CALCULATION TABLE SOUTH ELEVATION			
TOTAL SURFACE AREA	975.4 SF		
GLAZING SURFACE AREA	53.7 SF		
NET SURFACE AREA	921.7 SF		
BRICK VENEER - BR-A	370.5 SF	40.2 %	
STONE VENEER - SN-1	551.2 SF	59.8 %	



B4 SOUTH ARTICULATION PLAN
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR							
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE	
A	BR-A	BRICK VENEER (PRIMARY)	HEBRON BRICK	MODULAR		SLATE GRAY	MORTAR: ARGOS CHARCOAL
	CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
	CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
	EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
	PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROCKWOOD	REFUSE ENCLOSURE: FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
	PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW Bronzetone	DARK BRONZE	FINISH: SEMI-GLOSS
	SN-1	LIMESTONE VENEER	BLACKSON BRICK CO.			BLACKSON GOLD	MORTAR: ARGOS IVORY BUFF
	SN-2	STONE TRIM	BLACKSON BRICK CO.			BLACKSON CREAM	MORTAR: ARGOS IVORY BUFF
	ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATT)	

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- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DIVISION
- WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT

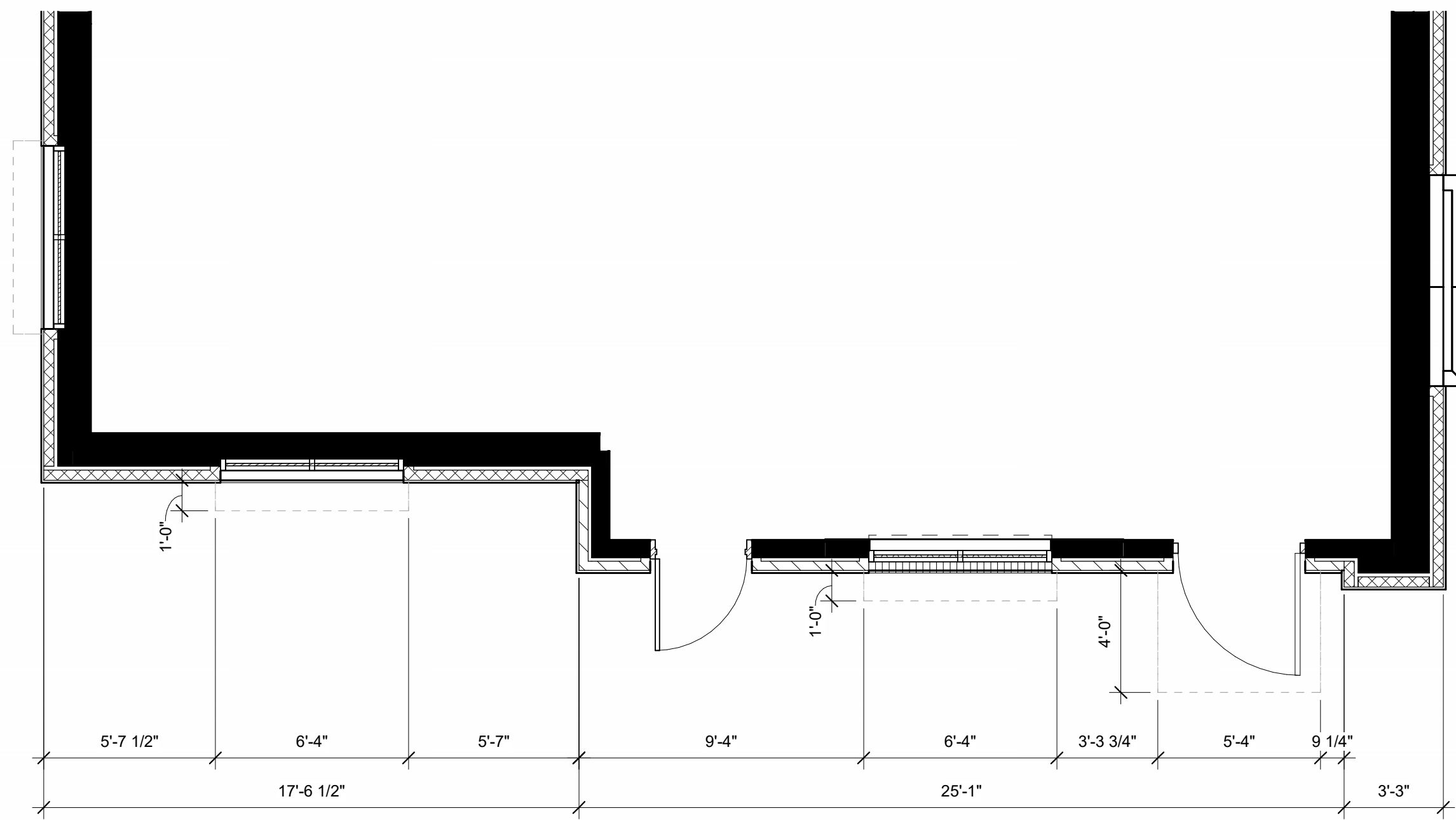
FACADE PLAN KEYNOTES

A1	ARTICULATED SILL W/ 1" PROJECTION
A2	PROJECTED AWNING / SUNSHADE



D2 NORTH ELEVATION
1/4" = 1'-0"

MATERIAL CALCULATION TABLE NORTH ELEVATION			
TOTAL SURFACE AREA	939 SF		
GLAZING SURFACE AREA	96 SF		
NET SURFACE AREA	844 SF		
BRICK VENEER - BR-A	390.5 SF	47.2 %	
STONE VENEER - SN-1	390.6 SF	46.3 %	
PAINTED METAL DOORS - PT-113	34.9 SF	6.5 %	



C2 NORTH ARTICULATION PLAN
1/4" = 1'-0"

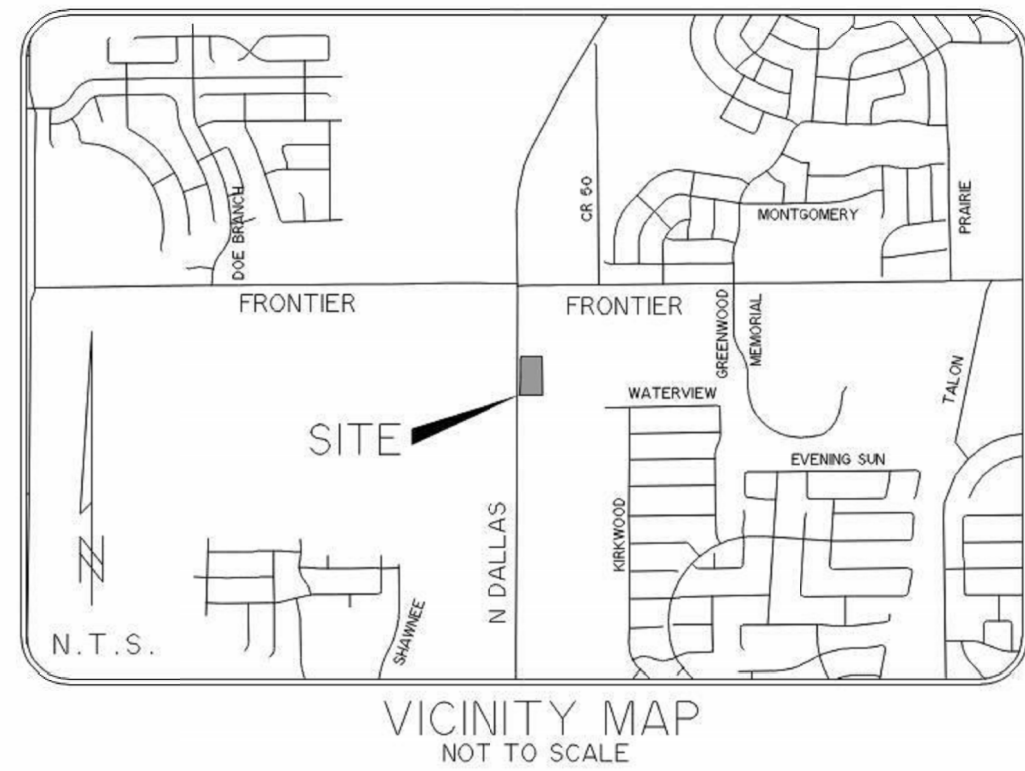
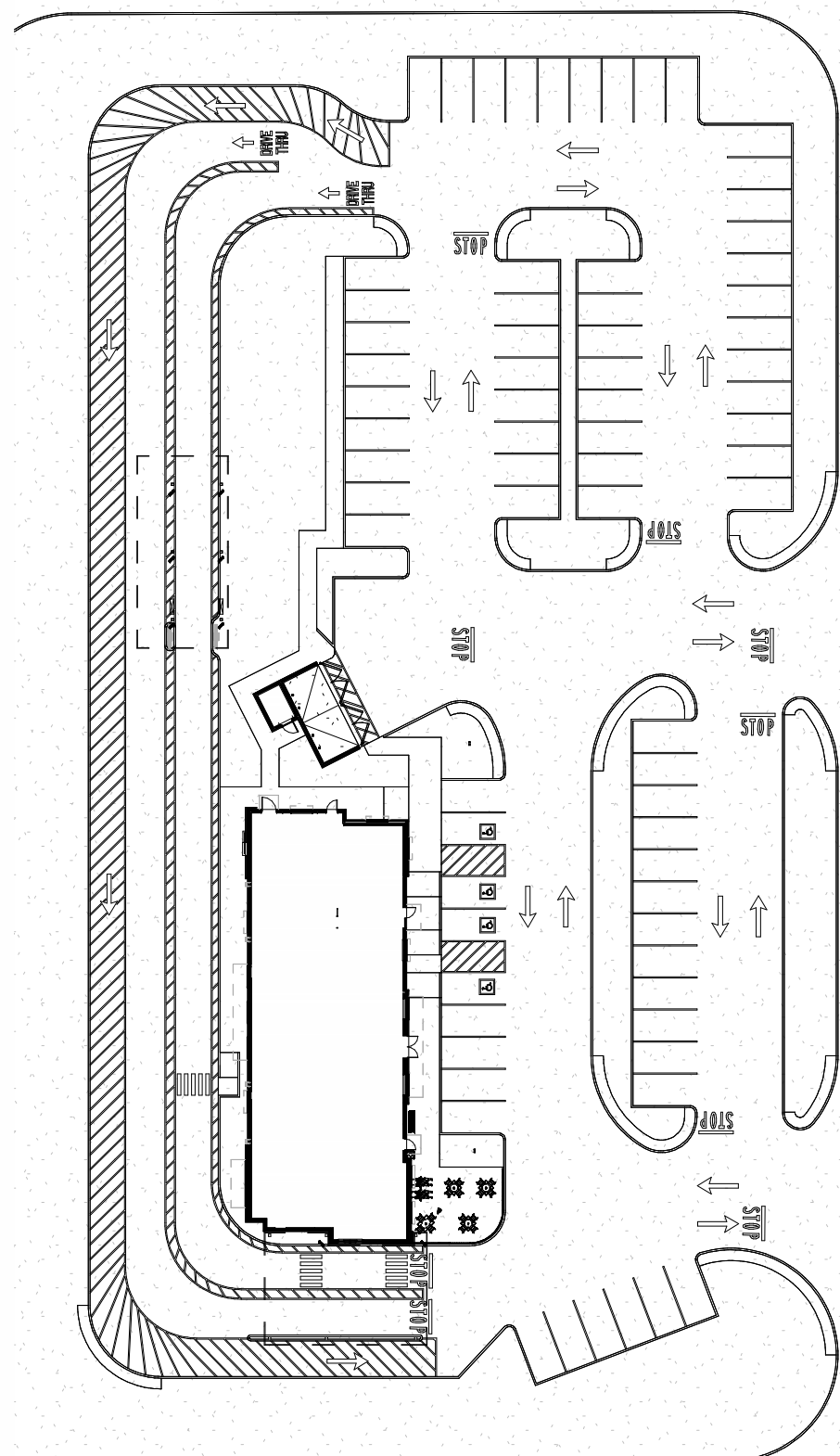


EXHIBIT D: FACADE PLAN

ZONE-24-0021

FRONTIER RETAIL CENTER
REVISED
BLOCK A, LOTS 1 AND 2

AN ADDITION TO THE TOWN OF PROSPER,
COLLIN COUNTY, TEXAS
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1/16/2025 1:07:38 PM Autodesk Docs\\TX_05898_DNT & W Frontier Pkwy_2024.7_FSR05898_DNT & W Frontier Pkwy_ARC.rvt 10-LE-05898-A-306-FACADE PLAN

E

D

C

B

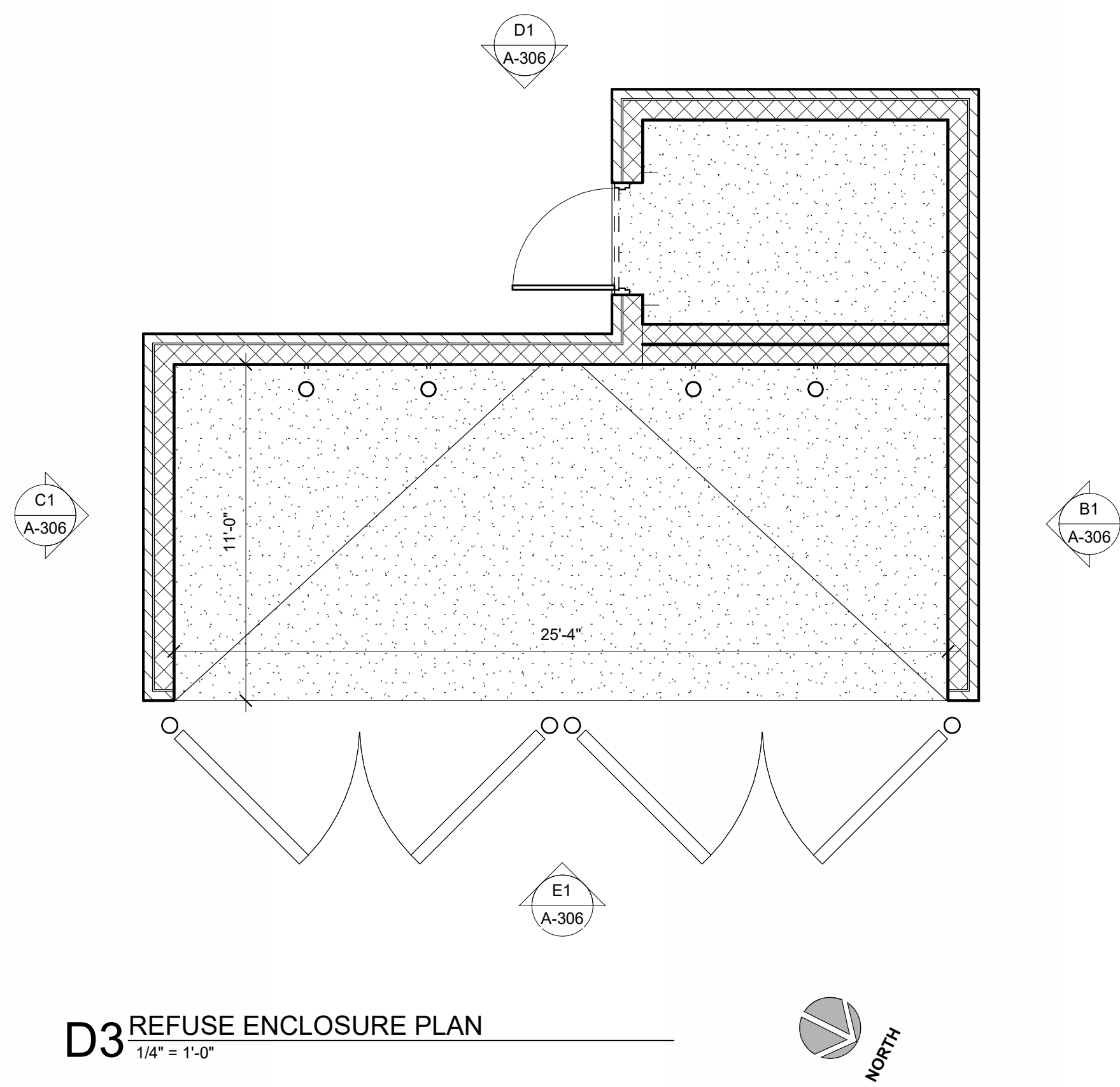
A

4

3

2

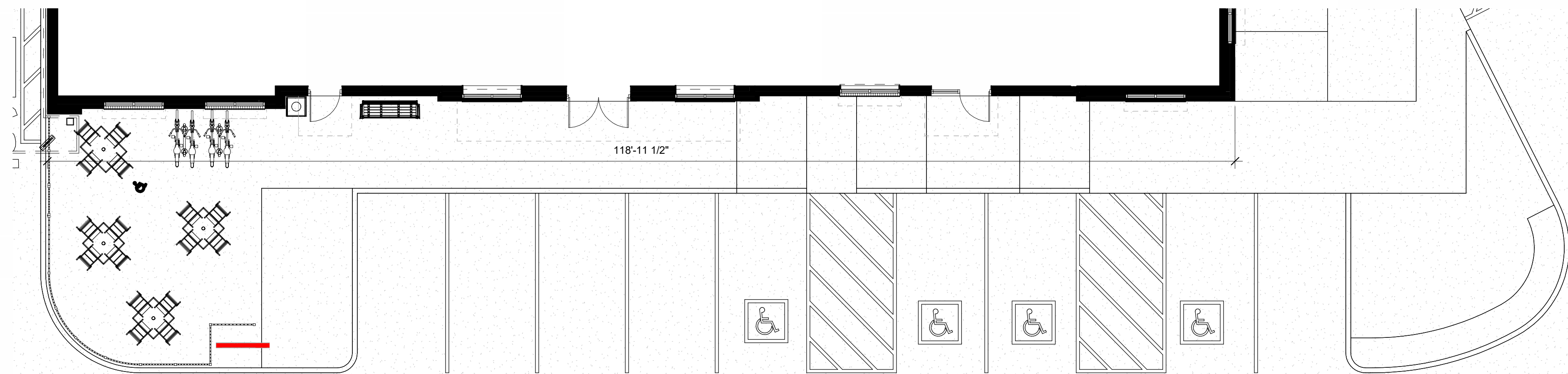
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D3 REFUSE ENCLOSURE PLAN
1/4" = 1'-0"



C4 ARTWORK - EAST ELEVATION
1/8" = 1'-0"

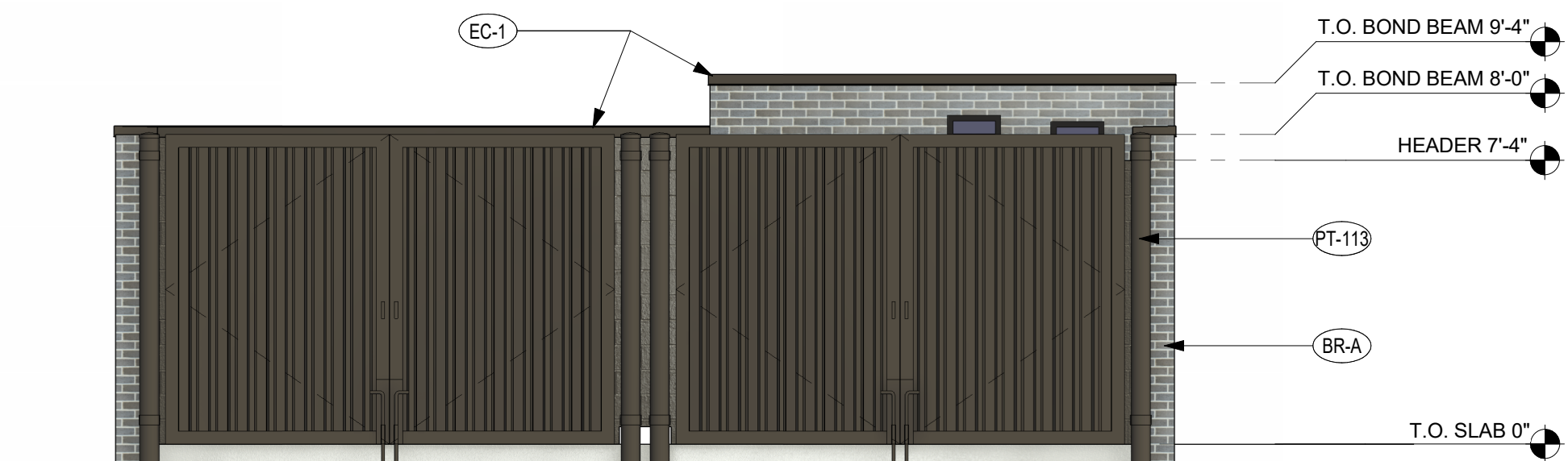


B4 ARTWORK PLAN
1/8" = 1'-0"

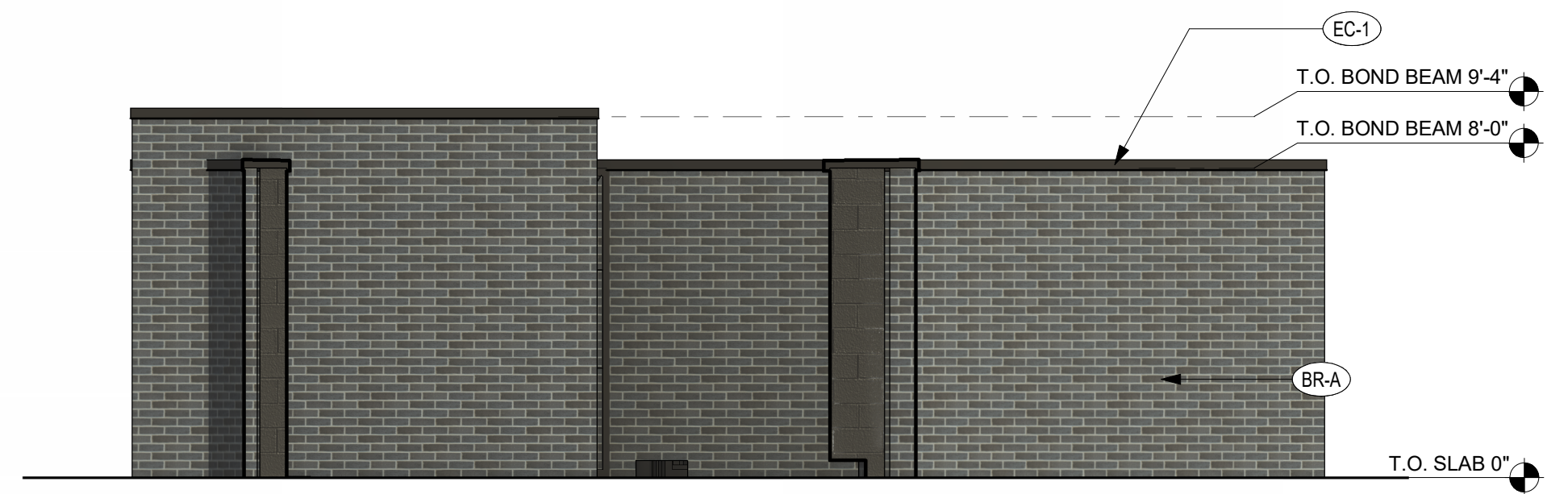
FINISH SCHEDULE - EXTERIOR

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CP-2	CANOPY METAL DECK	DUROLAST /			WHITE	
EC-1	PARAPET WALL COPING	EXCEPTIONAL METALS			MIDNIGHT BRONZE	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE: FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
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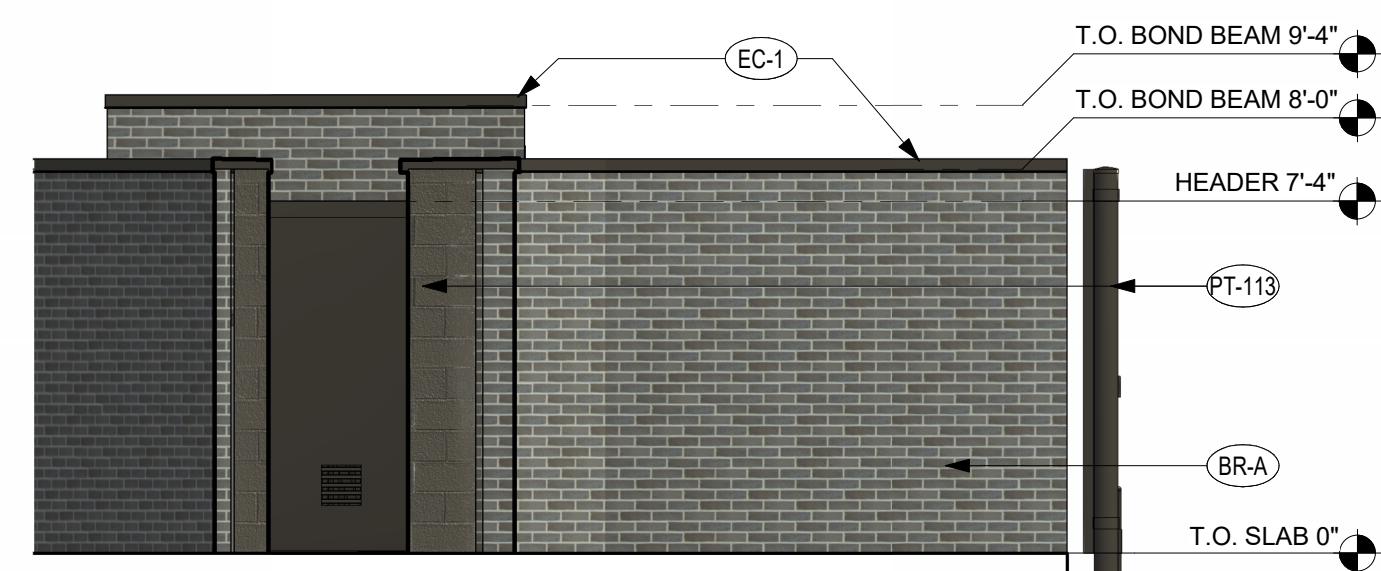
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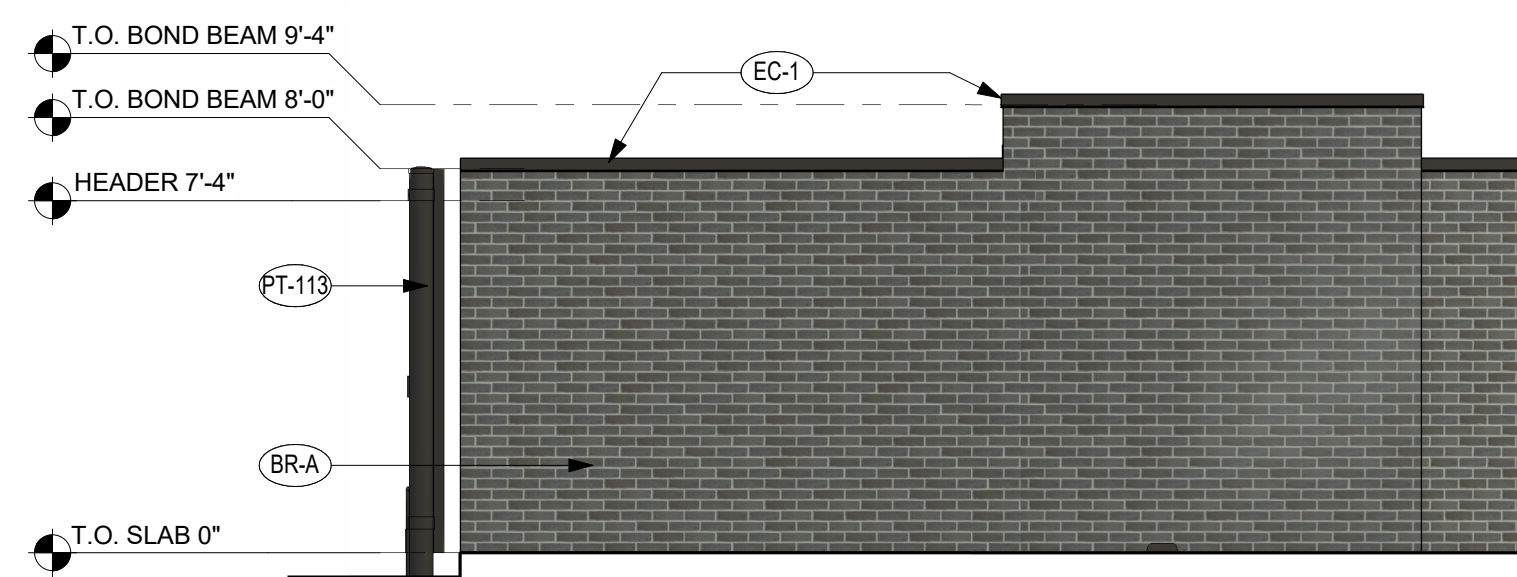
E1 REFUSE ENCLOSURE - EAST
1/4" = 1'-0"



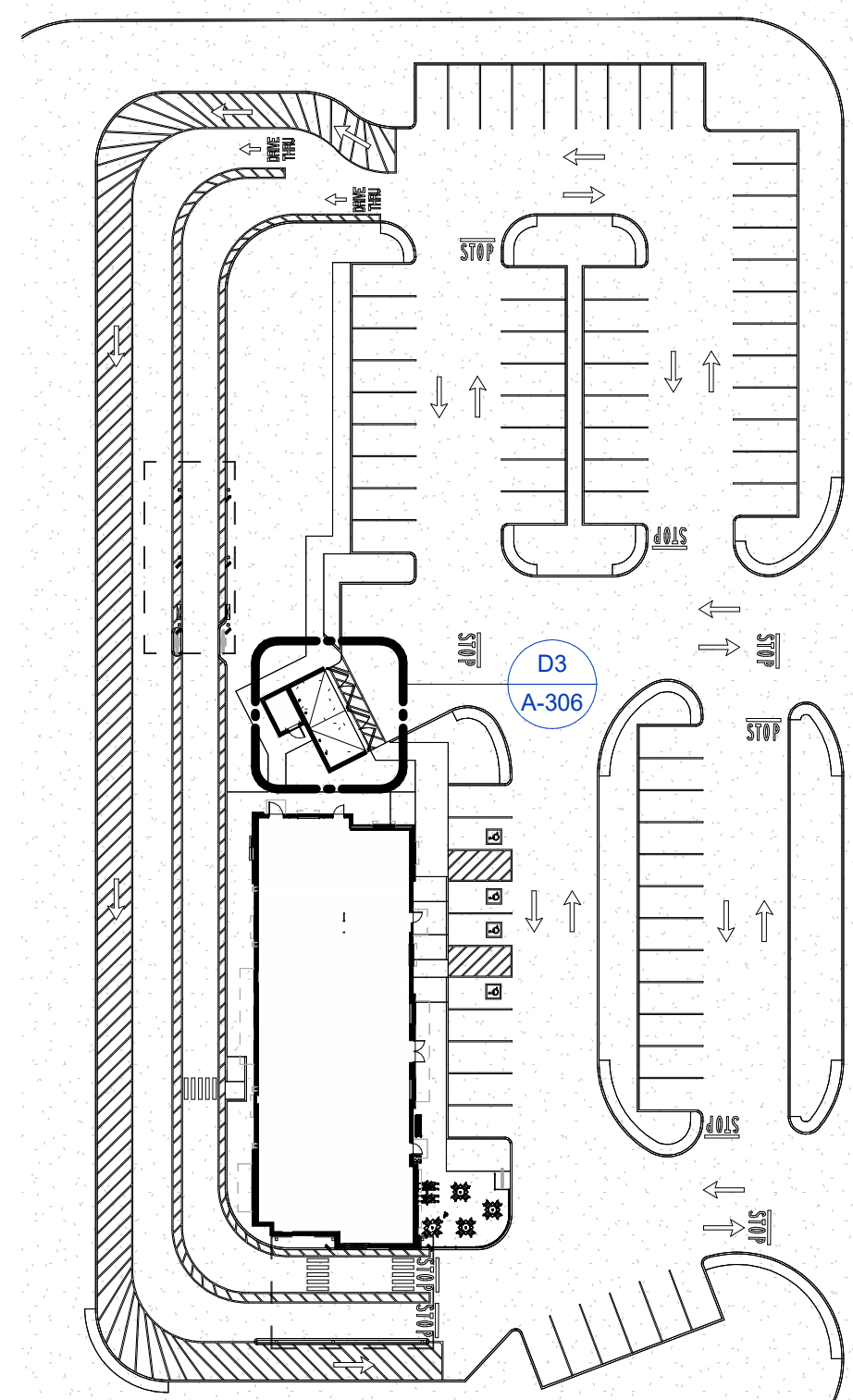
D1 REFUSE ENCLOSURE - WEST
1/4" = 1'-0"



C1 REFUSE ENCLOSURE - SOUTH
1/4" = 1'-0"



B1 REFUSE ENCLOSURE - NORTH
1/4" = 1'-0"



KEY MAP
1" = 50'-0"

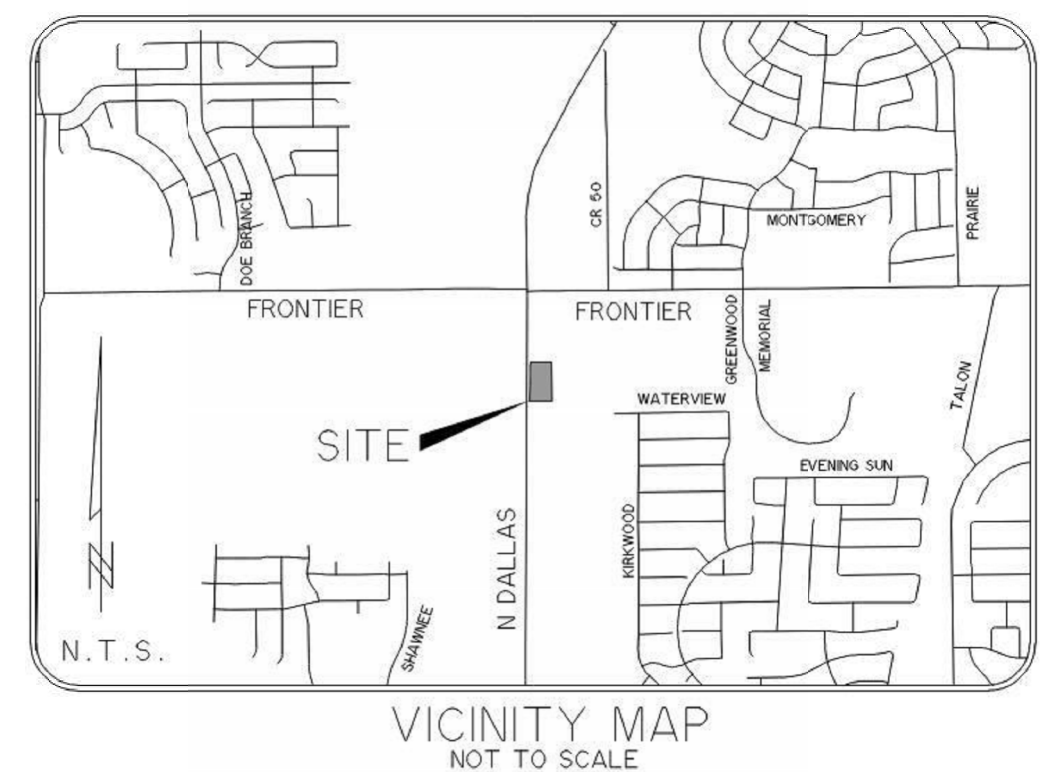


EXHIBIT D: FACADE PLAN

ZONE-24-0021

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