

**SURVEYOR'S NOTES:**

- Bearings and distances are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD 83)(US Foot) with a combined scale factor of 1.000152710.
- Elevations are referenced to The North American Vertical Datum of 1988 (NAVD88).
- This property lies within Zone "A" and Zone "X" (Unshaded), of the Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas, map no. 4808SC0120 J, with an effective date of June 2, 2009 via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.
- There was no observed evidence of any structures on the subject property at the time of survey.

**NOTE REGARDING UTILITIES**

Utility locations are per observed evidence only.

**LEGEND**

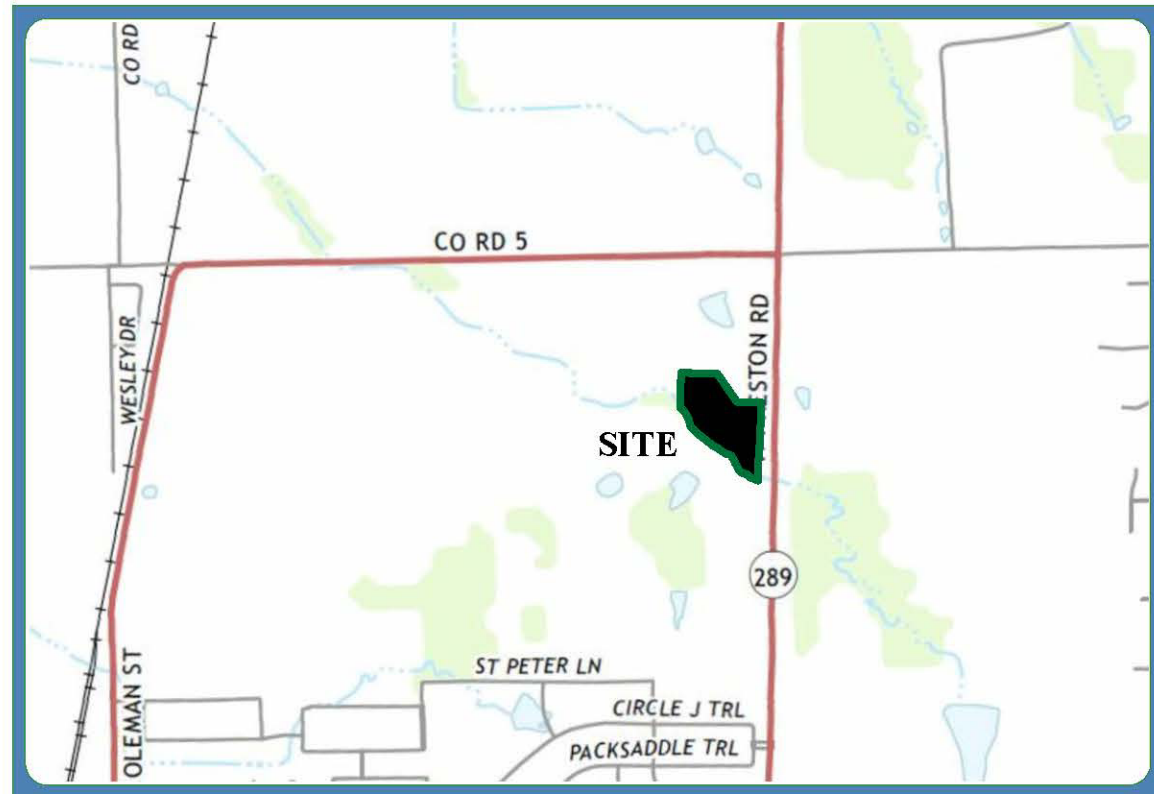
CATV ○ cable tv  
EM ○ electric meter  
— fence or guardrail  
FDC ○ fire dept. connection  
FH ○ fire hydrant  
GV gas valve  
BOL ○ bollard  
GI grate inlet  
GM gas meter  
— sign  
SM sanitary sewer manhole  
STM storm water manhole  
TM telephone manhole  
TFL tank fill lid  
TPED telephone pedestal  
— traffic signal pole  
UC utility clean out  
UCB utility cabinet  
UV utility vault  
UM utility markings  
UP utility pole  
US utility sign  
WS water shutoff  
WV water valve  
WM water manhole  
WMT water meter

tree  
shrub/decorative tree  
or tree with diameter < 4 in.  
contour lines

**LEGEND OF ABBREVIATIONS**

- D.R.C.C.T. DEED RECORDS, COLLIN COUNTY, TEXAS
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- P.R.C.C.T. PLAT RECORDS, COLLIN COUNTY, TEXAS
- ROW RIGHT OF WAY
- IRS 1/2 INCH CAPPED REBAR STAMPED "ASC" SET
- C.M. CONTROLLING MONUMENT

VICINITY MAP  
NOT TO SCALE



**SITE BENCHMARKS:**

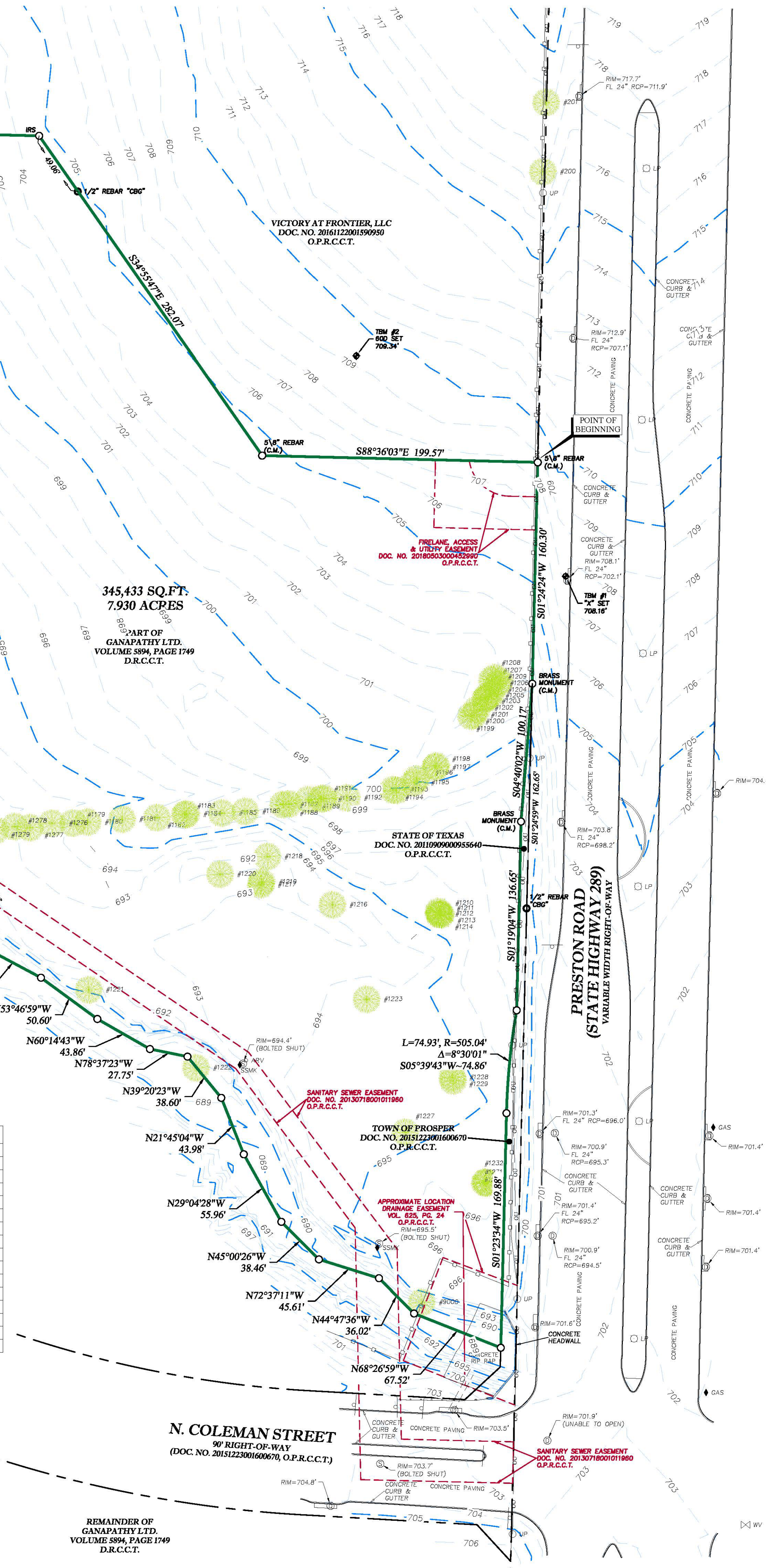
- An "X" set on a concrete storm sewer inlet within Preston Road (State Highway 289), approximately 20' east and 82' south of the Northeast corner of the subject property. Elevation=708.16'
- A 60D Nail set on natural ground within that tract of land described to Victory at Frontier, LLC by deed recorded in Document No. 20161122001590950, O.P.R.C.C.T., approximately 131' west and 77' north of its most easterly Southeast corner. Elevation=709.34'

Tag #	Description
#1254	12" ELM
#1233	15" ELM
#1235	12" ELM
#1234	7" ELM
#1237	7" ELM
#1236	18" ELM
#1218	8" ELM
#1255	8" ELM
#1256	11" ELM
#1257	9" HACK
#1259	7" HACK
#1260	6" ELM
#1262	10" HACK
#1261	7" HACK
#1263	6" CEDAR
#1263	9" HACK
#1262	7" LOCUST
#1261	13" ELM
#1260	14" ELM
#1248	9" ELM
#1247	17" HACK
#1249	10" ASH
#1246	12" ELM
#1245	8" ELM
#1244	14" WILLOW
#200	17" TREE
#201	8" TREE
#269	13" TREE
#270	9" TREE
#271	8" TREE

Tag #	Description
#1181	11" HACK
#1182	19" HACK
#1205	12" HACK
#1184	10" HACK
#1185	12" HACK
#1186	11" HACK
#1218	17" HACK
#1217	12" TREE
#1219	11" TREE
#1220	21" TREE
#1187	11" HACK
#1188	18" HACK
#1189	19" HACK
#1190	10" HACK
#1191	15" HACK
#1192	22" HACK
#1193	14" TREE
#1194	12" HACK
#1195	11" HACK
#1196	17" HACK
#1197	17" HACK
#1198	11" HACK
#1201	20" HACK
#1200	8" HACK
#1199	16" HACK
#1202	10" HACK
#1203	12" HACK
#1204	10" HACK
#1207	7" UNKN
#1208	9" HACK

Tag #	Description
#1209	12" UNKN
#1208	8" HACK
#1205	11" HACK
#1221	10" UNKN
#1222	12" TREE
#1227	16" ELM
#1230	14" TREE
#1231	10" UNKN
#1232	12" UNKN
#9000	12" BOIS DARC
#1228	7" TREE
#1229	11" TREE
#1223	23" TREE
#1214	13" BOIS DARC
#1213	9" TREE
#1212	7" BOIS DARC
#1211	13" BOIS DARC
#1210	9" BOIS DARC
#1195	23" BOIS DARC
#1276	8" HACK
#1277	15" HACK
#1278	6" HACK
#1279	6" HACK
#1280	20" HACK
#1265	9" HACK
#1266	8" HACK
#1267	7" HACK
#1268	6" HACK
#1269	7" HACK

Tag #	Description
#272	6" TREE
#273	13" TREE
#274	20" TREE
#275	10" TREE
#277	12" TREE
#278	8" TREE
#279	11" TREE
#280	11" TREE
#281	11" TREE
#282	9" TREE
#283	10" TREE
#284	8" TREE
#1179	24" HACK
#1180	11" HACK



**PROPERTY DESCRIPTION:**

Being a 7.930 acre tract of land situated in the Spencer Rice Survey, Abstract No. 787, in the Town of Prosper, Collin County, Texas, being a part of that same tract of land described to Ganapathy, Ltd. by deed recorded in Volume 5894, Page 1749, of the Deed Records of Collin County, Texas (D.R.C.C.T.), and being more particularly described by metes and bounds as follows (Bearings and distances are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD 83)(US Foot) with a combined scale factor of 1.000152710):

BEGINNING at a 5/8 inch rebar found for the Southeast corner of a tract of land described to Victory at Frontier, LLC by deed recorded in Document No. 20161122001590950, of the Official Public Records of Collin County, Texas, same being the Northeast corner of said Ganapathy, Ltd. tract, and lying on the West right-of-way line of Preston Road (State Highway 289) (variable width right-of-way);

THENCE South 01 Degrees 24 Minutes 24 Seconds West, with the West right-of-way line of said Preston Road, a distance of 160.30 feet to a Brass Monument found for the North corner of a tract of land described to the State of Texas by deed recorded in Document No. 2011090900955640, O.P.R.C.C.T.;

THENCE South 04 Degrees 40 Minutes 02 Seconds West, continuing with the West right-of-way line of said Preston Road, and with the West line of said State of Texas tract, a distance of 100.17 feet to a Brass Monument found for corner;

THENCE South 01 Degrees 19 Minutes 04 Seconds West, continuing with the West right-of-way line of said Preston Road, and with the West line of said State of Texas tract, a distance of 136.65 feet to a point for corner on the Northwest line of a tract of land described to the Town of Prosper, Texas by deed recorded in Document No. 20151223001600670, O.P.R.C.C.T., and being the beginning of a non-tangent curve to the left, having a central angle of 8 Degrees 30 Minutes 01 Seconds, a radius of 505.04 feet, and a chord bearing and distance of South 05 Degrees 39 Minutes 43 Seconds West, 74.86 feet;

THENCE, in a southerly direction, with the West line of said Town of Prosper tract, continuing with the West right-of-way line of said Preston Road, and along said non-tangent curve to the left, an arc length of 74.93 feet to a point for corner;

THENCE South 01 Degrees 23 Minutes 34 Seconds West, continuing with the West line of said Town of Prosper tract and the West right-of-way line of said Preston Road, a distance of 169.88 feet to a point for the Southeast corner of the herein described tract, said point lying near the center of a concrete drainage rip rap;

THENCE, departing the West right-of-way line of said Preston Road, and the West line of said Town of Prosper tract, over, across, and through said Ganapathy, Ltd. tract, along a creek, the following courses and distances:

- North 68 Degrees 26 Minutes 59 Seconds West, a distance of 67.52 feet to a point for corner;
- North 44 Degrees 47 Minutes 36 Seconds West, a distance of 36.02 feet to a point for corner;
- North 72 Degrees 37 Minutes 11 Seconds West, a distance of 45.61 feet to a point for corner;
- North 45 Degrees 00 Minutes 26 Seconds West, a distance of 38.46 feet to a point for corner;
- North 29 Degrees 04 Minutes 28 Seconds West, a distance of 55.96 feet to a point for corner;
- North 21 Degrees 45 Minutes 04 Seconds West, a distance of 43.98 feet to a point for corner;
- North 39 Degrees 20 Minutes 23 Seconds West, a distance of 38.60 feet to a point for corner;
- North 78 Degrees 37 Minutes 23 Seconds West, a distance of 27.75 feet to a point for corner;
- North 60 Degrees 14 Minutes 43 Seconds West, a distance of 43.86 feet to a point for corner;
- North 53 Degrees 46 Minutes 59 Seconds West, a distance of 50.60 feet to a point for corner;
- North 61 Degrees 53 Minutes 52 Seconds West, a distance of 46.24 feet to a point for corner;
- North 51 Degrees 21 Minutes 56 Seconds West, a distance of 52.18 feet to a point for corner;
- North 51 Degrees 36 Minutes 52 Seconds West, a distance of 83.26 feet to a point for corner;
- North 48 Degrees 22 Minutes 22 Seconds West, a distance of 65.47 feet to a point for corner;
- North 39 Degrees 13 Minutes 51 Seconds West, a distance of 41.96 feet to a point for corner;
- North 15 Degrees 56 Minutes 22 Seconds West, a distance of 61.19 feet to a point for corner;
- North 28 Degrees 54 Minutes 13 Seconds West, a distance of 57.30 feet to a point for corner;

THENCE North 44 Degrees 07 Minutes 47 Seconds West, continuing through said Ganapathy, Ltd. tract, a distance of 56.24 feet to a point in a creek for corner, said point being the westernmost Southeast corner of said Victory at Frontier, LLC tract, same being the Northwest corner of the herein described tract;

THENCE North 01 Degrees 21 Minutes 08 Seconds East, with the westernmost East line of said Victory at Frontier, LLC tract, a distance of 284.91 feet to a 5/8 inch rebar found for the easternmost Northwest corner of said Ganapathy, Ltd. tract, same being an interior "ell" corner of said Victory at Frontier, LLC tract;

THENCE South 88 Degrees 38 Minutes 52 Seconds East, with a South line of said Victory at Frontier, LLC tract, a distance of 298.00 feet to a 1/2 inch rebar with a cap stamped "ASC" set for corner;

THENCE South 34 Degrees 54 Minutes 47 Seconds East, with the easternmost Southwest line of said Victory at Frontier, LLC tract, passing a 1/2 inch rebar with a cap stamped "CBG" found at a distance of 49.06 feet and continuing for a total distance of 282.07 feet to a 5/8 inch rebar found for the easternmost Southwest corner of said Victory at Frontier, LLC tract;

THENCE South 88 Degrees 36 Minutes 03 Seconds East, with the easternmost South line of said Victory at Frontier, LLC tract, a distance of 199.57 feet to the POINT OF BEGINNING and containing 345,433 square feet or 7.930 acres of land, more or less.

**TITLE COMMITMENT NOTES**

This survey was prepared without the benefit of a commitment for title insurance. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property that are not shown on this survey.

## BOUNDARY TOPOGRAPHIC SURVEY

7.793 ACRES  
Spencer Rice Survey, Abstract No. 787,  
Town of Prosper, Collin County, Texas

DRAWN: E.R. CHECKED: T.M. DATE: 05/14/2018 JOB NO.: C1706220

**WINDROSE**  
LAND SURVEYING | PLATTING

220 Elm Street, Suite 200 | Lewisville, TX 75057 | 214.217.2544  
FIRM REGISTRATION NO. 10194331 | WINDROSESERVICES.COM

**ARTHUR**  
LAND SURVEYING

220 Elm St., #200 - Lewisville, TX 75057  
Ph. 214.217.2544 - T/F/R/S 1.0063800  
arthur@windrose.com Established 1986

**K3**  
kirkman  
ENGINEERING

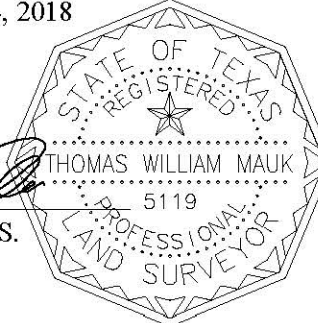
4821 Merlot Avenue, Suite 210  
Grapevine, Texas 76051  
Phone: 817-488-4960

**SURVEYOR'S CERTIFICATE**

This is to certify that I, Thomas W. Mauk, a Registered Professional Land Surveyor of the State of Texas, have prepared this map from an actual survey on the ground, and that this map correctly represents that survey made by me or under my direction and supervision. This survey meets the minimum requirements for a Category 1A, Condition II Land Title Survey. Fieldwork was completed on May 11, 2018.

Date of Plat/Map: May 14, 2018

Thomas W. Mauk, R.P.L.S.  
No. 5119







Kirkman Engineering  
5200 State Highway 121  
Colleyville, TX 76034  
PH 817.488.4960

**RE: Victory at Frontier South**

The proposed project is anticipated to provide for the orderly development the platted 7.793-acre tract at the Northwest corner of Preston Road and N Coleman Street. As part of this submittal, we are submitting a Concept PD for the Overall tract.

A mixture of uses is anticipated on this tract with potential Offices, Retail, Restaurant, and Restaurant with a drive thru. These uses are depicted on the Concept Plan. The natural buffer of the existing creek and flood play will provide sufficient barrier between this development and the residential zoned property to the south. The natural grade of this property is such that the buildings will be lower than the existing Preston Road elevation. The PD request an addition to the maximum building height to three stories and 60' tall. This plan is representative of what we feel is reasonable for the site, however, is not meant to establish a final site plan, it is intended to depict conceptual layouts only. Some of the uses shown on the concept plan may require a Specific Use Permit as described in the development standards.

The property is currently zoned Office (O). The proposal is to establish a PD to address the overall project continuity as well as provide for several deviations from the City Standards within the Office (O) district, and to allow uses that will be consistent with the overall development.

Kind Regards,

*Patrick Filson*

Patrick Filson, P.E.



## **EXHIBIT C DEVELOPMENT STANDARDS**

Conformance with the Town's Zoning Ordinance and Subdivision Ordinance: Except as otherwise set forth in these development standards, the regulation of the Town's Zoning Ordinance as it exists or may be amended, and the Subdivision Ordinance, as it exists or may be amended shall apply.

1. Except as noted below, the tract shall develop in accordance with the Office (O) Districts, as it exists or may be amended.
  - a. Conceptual Site Plan: The tract shall continue to be used in general accordance with the attached concept plan, set forth in Exhibit D.
  - b. Building elevations: The tract shall continue to be used in general accordance with the attached façade plans, set forth in Exhibit F.
  - c. Landscape Plan: The tract shall continue to be used in general accordance with the attached landscape plan, set forth in Exhibit G
2. Uses. All the permitted uses in the office (O) District shall be allowed with the same provisions and restrictions, including uses permitted by a Specific Use Permit (SUP) and Conditional Use Permit (C), except as noted below:
  - a. Uses Permitted by Right
    - Restaurant with Drive-Through on Lot 2 within a multi-tenant building.
    - Retail Stores and Shops
    - Gymnastics/Dance Studio
    - Restaurant
    - Veterinarian Clinic and/or Kennel, Indoor
    - Office/Showroom
3. Size of Yards:
  - a. Minimum Front yard: 30 Feet
  - b. Minimum Side Yard:
    - Ten Feet Adjacent to any residential district.
    - No Side yard adjacent to any nonresidential district.
  - c. Minimum Rear Yard.
    - Ten Feet Adjacent to any residential district.
    - No Side yard adjacent to any nonresidential district.
  - d. Maximum Height: Four Stories, no greater than 60 feet above the primary entry level. (Height calculations do not include partially below grade levels)
  - e. Maximum Floor Area: No Maximum Floor Area.



4. Architectural Regulations:

- a. All buildings on Lots 1, 2, 3, and 4 shall be consistent architecturally with the elevations provided within this PD.
  - Masonry 60%
  - Architectural Panel 20%
  - Awnings 10%
  - Stucco 10%
- b. All mechanical equipment shall be screened from public view. Rooftop mounted equipment shall be screened by a parapet wall or screening wall.
- c. Windows shall have a maximum exterior visible reflectivity of ten (10) percent.





A detailed street map of the Project Site area in San Jose, California. The map shows a grid of streets with the 'PROJECT SITE' highlighted in a white rectangle. The site is located between W. Frontier Pkwy and E. Frontier Pkwy, and between N. Central St and N. Lawrence St. To the north of the site are streets including Allbright Rd, Standiford Pl, and Saratov Dr. To the east are streets including Santa Fe Ln, Tomstone Dr, Remington Rd, Chisholm Trl, and Winchester Dr. To the south are streets including Columbia Ln, Purdie Ln, and McLean Dr. To the west are streets including Westing Av, N. Central St, and N. Lawrence St. The map also shows several other streets such as Montezuma Way, Hamilton Way, and San Jose Blvd. A small black area is shown to the east of the project site, between N. Lawrence St and N. Central St. A scale bar at the bottom indicates distances in feet (0, 100, 200).

PRELIMINARY  
FOR REVIEW ONLY  
THESE DOCUMENTS ARE FOR  
DESIGN REVIEW ONLY AND  
NOT INTENDED FOR THE PURPOSES  
OF CONSTRUCTION, BIDDING  
OR PERMIT. THEY WERE PREPARED  
BY, OR UNDER THE SUPERVISION OF:  
  
JOHN D. GARDNER  
P.E.# 138295  
DATE: August 10, 2022

**VICTORY | GROUP**  
Victory Real Estate Group

6125 LUTHER LANE SUITE 583  
DALLAS, TX 75225-6202  
214-934-2566

VICTORY AT  
FRONTIER - SOUTH  
LOTS 1 - 4  
TOWN OF PROSPER  
COLLIN COUNTY, TEXAS

REV:	DATE:	DESCRIPTION:
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The logo for Kirkman Engineering, featuring a stylized 'KE' in a grey box above the text 'kirkman' and 'ENGINEERING' in a bold, sans-serif font.

JOB NUMBER: VIC21021

ISSUE DATE: 6/28/2022

# CONCEPT PLAN

SHEET:

# C3.0

FULL PATH: K:\Jobs\South\Drawings\CONCEPT\03 - Production\C3.0 SITE PLAN\_UPDATED

FILENAME: C3.0 SITE PLAN\_UPDATED.dwg





**EXHIBIT E  
DEVELOPMENT SCHEDULE**

The development schedule critical path is through the Flood Plain reclamation and FEMA permitting process and assumes the PD Zoning Process will be complete by the 3<sup>rd</sup> Quarter 2022

1. FEMA Flood Plain – Permitting and Reclamation 1<sup>st</sup> Quarter of 2023
2. PSP, Site Plan and Building Permits for the infrastructure to serve each lot 3<sup>rd</sup> Quarter of 2023
3. Building Permits for Building on Lots 1, 2, and 3. Complete 4<sup>th</sup> Quarter of 2023
4. The remaining lots will developed as demand dictates.

Kind Regards,

*Patrick Filson*

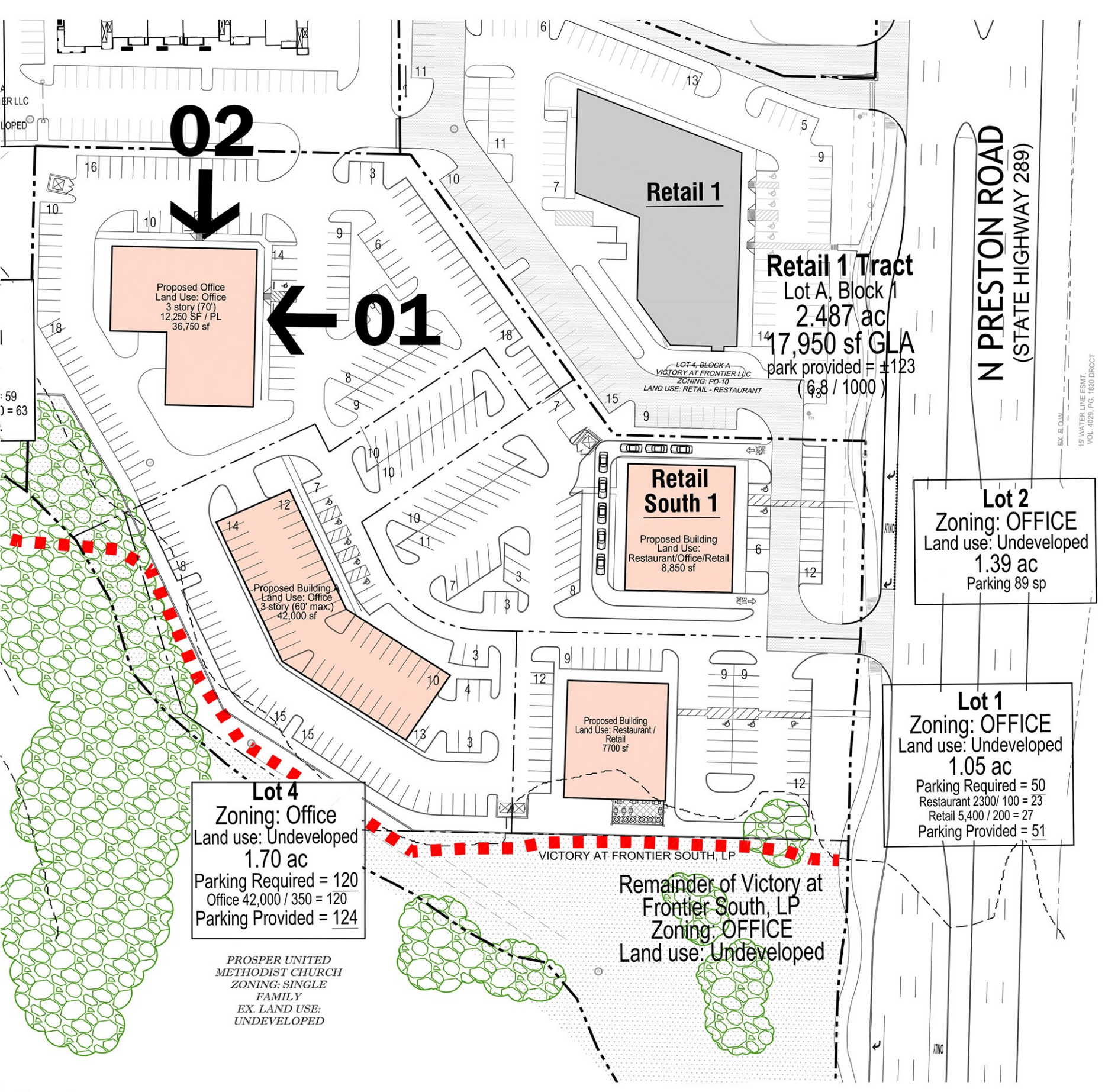
Patrick Filson, P.E.



EAST		
TOTAL FACADE:	7465 SF	
DOORS/GLAZING:	2980 SF	
NET FACADE:	4485 SF	100%
MASONRY (STONE):	1072 SF	24%
MASONRY (BRICK):	591 SF	13%
MASONRY (THIN SET):	1260 SF	28%
TOTAL MASONRY:	65%	
STUCCO:	538 SF	12%
PANELS:	391 SF	9%
METAL AWNING:	633 SF	14%

NORTH		
TOTAL FACADE:	6201 SF	
DOORS/GLAZING:	2523 SF	
NET FACADE:	3678 SF	100%
MASONRY (STONE):	1268 SF	35%
MASONRY (BRICK):	262 SF	7%
MASONRY (THIN SET):	900 SF	24%
TOTAL MASONRY:	66%	
STUCCO:	495 SF	14%
PANELS:	154 SF	4%
METAL AWNING:	599 SF	16%

north  
↑  
Key Plan



01 east elevation

02 north elevation

**FACADE NOTES**

This Façade Plan is for conceptual purposes only. All building plans require review and approval from the Building Inspections Division.

All mechanical equipment shall be screened from public view. Rooftop mounted equipment shall be screened by a parapet wall or screening wall. Screening walls shall be the specifications of the Zoning Ordinance.

When permitted, exposed utility boxes and conduits shall be painted to match the building.

All signage areas and locations are subject to approval by the Building Inspections Division.

Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

Any deviation from the approved Façade Plan will require re-approval by the Town of Prosper.

SITE PLAN	
CASE NO.	
VICTORY AT FRONTIER	
ACRES	
PART OF LOT 3, BLOCK A	
VICTORY AT FRONTIER, LLC	
(VOL. 2018, PAGE 699)	
P.R.R.C.T.	
TOWN OF PROSPER, COLLIN, TEXAS	
PREPARATION DATE: 09/27/2021	
OWNER/APPLICANT	LANDSCAPE ARCHITECT
VICTORY AT FRONTIER, LLC	LONDON LANDSCAPES
6125 LUTHER LANE STE 583	P.O. BOX 28
DALLAS, TX 75225-6202	COLLINSVILLE, TX 76233
PH: 214-934-2568	PH: 817-864-1957
CONTACT: BOBBY MENDOZA	CONTACT: AMY LONDON, RLA
ENGINEER	SURVEYOR
KIRKMAN ENGINEERING, LLC	BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121	5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034	COLLEYVILLE, TX 76034
PH: 817-489-4060	PH: 817-864-1957
CONTACT: PATRICK FILSON, PE	CONTACT: JACK BARTON, RPLS



LOT 3 OFFICE

VICTORY at FRONTIER  
Prosper, Texas

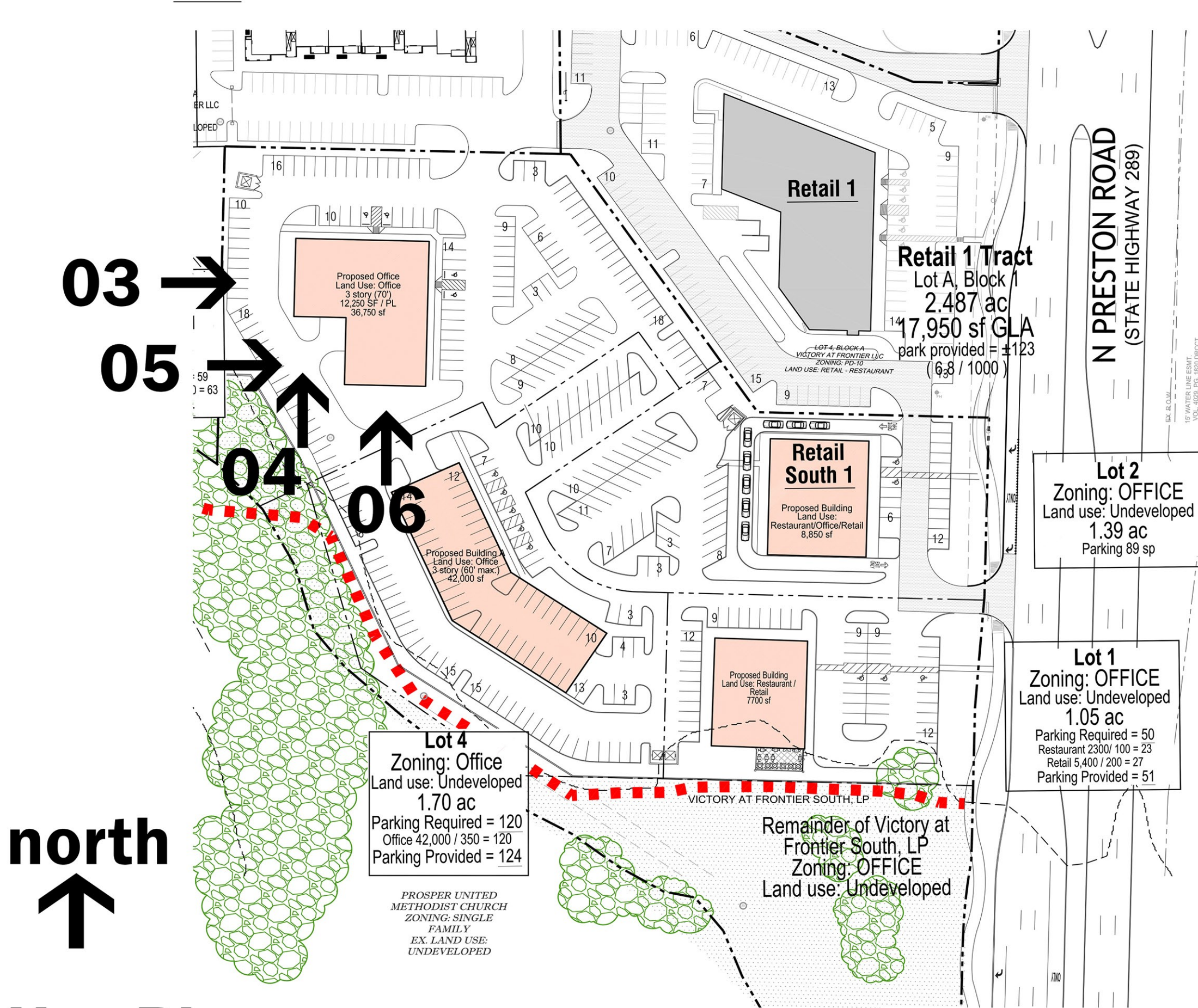
20023-01 tws 07/05/22  
UPDATE 09/21/22





05 west elevation

06 south elevation



Key Plan



03 west elevation

04 south elevation

WEST 05		
TOTAL FAÇADE:	3772 SF	
DOORS/GLAZING:	736 SF	
NET FAÇADE:	3036 SF	100%
MASONRY (STONE):	784 SF	26%
MASONRY (BRICK):	1431 SF	47%
MASONRY (THIN SET):	114 SF	4%
TOTAL MASONRY:	77%	
TEXTURE/PAINT TILT WALL:	397 SF	13%
STUCCO:	254 SF	8%
METAL AWNING:	56 SF	2%

SOUTH 06		
TOTAL FAÇADE:	3423 SF	
DOORS/GLAZING:	714 SF	
NET FAÇADE:	2709 SF	100%
MASONRY (STONE):	910 SF	34%
MASONRY (BRICK):	705 SF	26%
TOTAL MASONRY:	60%	
TEXTURE/PAINT TILT WALL:	1023 SF	38%
STUCCO:	34 SF	1%
PANELS:	0 SF	0%
METAL AWNING:	37 SF	1%

WEST 03		
TOTAL FAÇADE:	3423 SF	
DOORS/GLAZING:	714 SF	
NET FAÇADE:	2709 SF	100%
MASONRY (STONE):	910 SF	34%
MASONRY (BRICK):	705 SF	26%
TOTAL MASONRY:	60%	
TEXTURE/PAINT TILT WALL:	1023 SF	38%
STUCCO:	34 SF	1%
PANELS:	0 SF	0%
METAL AWNING:	37 SF	1%

SOUTH 04		
TOTAL FAÇADE:	2526 SF	
DOORS/GLAZING:	214 SF	
NET FAÇADE:	2312 SF	100%
MASONRY (STONE):	924 SF	40%
MASONRY (BRICK):	437 SF	20%
TOTAL MASONRY:	60%	
TEXTURE/PAINT TILT WALL:	808 SF	35%
STUCCO:	83 SF	3%
PANELS:	0 SF	0%
METAL AWNING:	60 SF	2%

**FAÇADE NOTES**

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All mechanical equipment shall be screened from public view. Rooftop mounted equipment shall be screened by a parapet wall or screening wall. Screening walls shall be the specifications of the Zoning Ordinance.

When permitted, exposed utility boxes and conduits shall be painted to match the building.

All signage areas and locations are subject to approval by the Building Inspections Division.

Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

Any deviation from the approved Façade Plan will require re-approval by the Town of Prosper.

SITE PLAN	
CASE NO.	
VICTORY AT FRONTIER	
ACRES	
PART OF LOT 3, BLOCK A	
VICTORY AT FRONTIER, LLC	
(VOL. 2016, PAGE 699)	
P.R.R.C.T.	
TOWN OF PROSPER, COLLIN, TEXAS	
PREPARATION DATE: 09/27/2021	
<b>OWNER/APPLICANT</b>	<b>LANDSCAPE ARCHITECT</b>
VICTORY AT FRONTIER, LLC	LONDON LANDSCAPES
6125 LUTHER LANE STE 583	P.O. BOX 28
DALLAS, TX 75225-6202	COLLINSVILLE, TX 76233
PH: 214-934-2566	CONTACT: AMY LONDON, RLA
CONTACT: BOBBY MENDOZA	
<b>ENGINEER</b>	<b>SURVEYOR</b>
KIRKMAN ENGINEERING, LLC	BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121	5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034	COLLEYVILLE, TX 76034
PH: 817-488-4960	PH: 817-964-1957
CONTACT: PATRICK FILSON, PE	CONTACT: JACK BARTON, RPLS



20023-01 tws 06/30/22  
UPDATE 09/21/22

LOT 3 OFFICE

VICTORY at FRONTIER  
Prosper, Texas



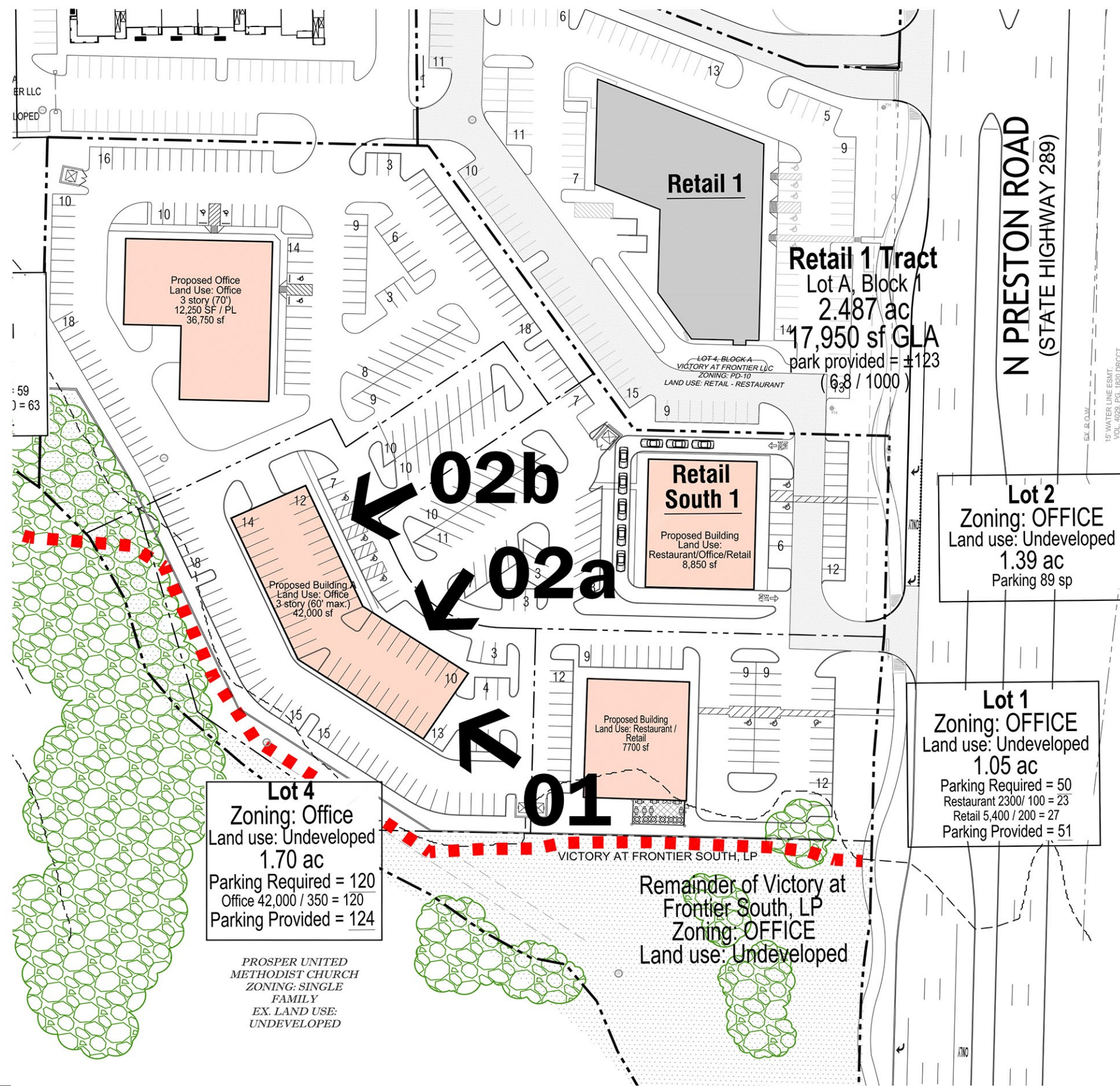


01 southeast elevation

SOUTHEAST			
TOTAL FACADE:	3,846 SF		
DOOR/GLAZING:	674 SF		
NET FACADE:	3,172 SF	100%	
MASONRY (STONE):	890 SF	28 %	
MASONRY (BRICK):	1428 SF	45 %	
TOTAL MASONRY:		73 %	
TEXTURE/PAINT:	476 SF	15 %	
BATTEN:	25 SF	1 %	
METAL AWNING:	33 SF	1 %	
STUCCO:	320 SF	10 %	

02a NORTHEAST			
TOTAL FACADE:	3,216 SF		
DOOR/GLAZING:	1,220 SF		
NET FACADE:	1,996 SF	100%	
MASONRY (STONE):	856 SF	43%	
MASONRY (THIN SET):	595 SF	28%	
TOTAL MASONRY:		71%	
PANEL:	220 SF	11%	
TEXTURE/PAINT:	55 SF	3%	
BATTEN:	35 SF	2%	
METAL AWNING:	70 SF	4%	
STUCCO:	165 SF	9%	

north  
↑  
Key Plan



02a northeast elevation

02b northeast elevation

02b NORTHEAST			
TOTAL FACADE:	7,348 SF		
DOOR/GLAZING:	3,002 SF		
NET FACADE:	4,345 SF	100 %	
MASONRY (STONE):	1,448 SF	33 %	
MASONRY (BRICK):	231 SF	6 %	
MASONRY (THIN SET):	907 SF	21 %	
TOTAL MASONRY:		60 %	
PANEL:	415 SF	10 %	
TEXTURE/PAINT:	874 SF	20 %	
BATTEN:	60 SF	1 %	
METAL AWNING:	375 SF	9 %	
STUCCO:	450 SF	10 %	

**FACADE NOTES**

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When permitted, exposed utility boxes and conduits shall be painted to match the building.

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Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

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**SITE PLAN**  
CASE NO.  
VICTORY AT FRONTIER TRACT D  
1.198 ACRES  
PART OF LOT 3, BLOCK A  
VICTORY AT FRONTIER, LLC  
(VOL. 2018, PAGE 699)  
P.R.R.C.T.  
TOWN OF PROSPER, COLLIN, TEXAS  
PREPARATION DATE: 09/27/2021

**OWNER/APPLICANT**  
VICTORY AT FRONTIER, LLC  
6125 LUTHER LANE STE 583  
DALLAS, TX 75225-6202  
PH: 214-934-2566  
CONTACT: BOBBY MENDOZA

**LANDSCAPE ARCHITECT**  
LONDON LANDSCAPES  
P.O. BOX 28  
COLLINSVILLE, TX 76233  
CONTACT: AMY LONDON, RLA

**ENGINEER**  
KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
PH: 817-488-4960  
CONTACT: PATRICK FILSON, PE

**SURVEYOR**  
BARTON CHAPA SURVEYING  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
PH: 817-864-1957  
CONTACT: JACK BARTON, RPLS



LOT 4 OFFICE

VICTORY at FRONTIER  
Prosper, Texas



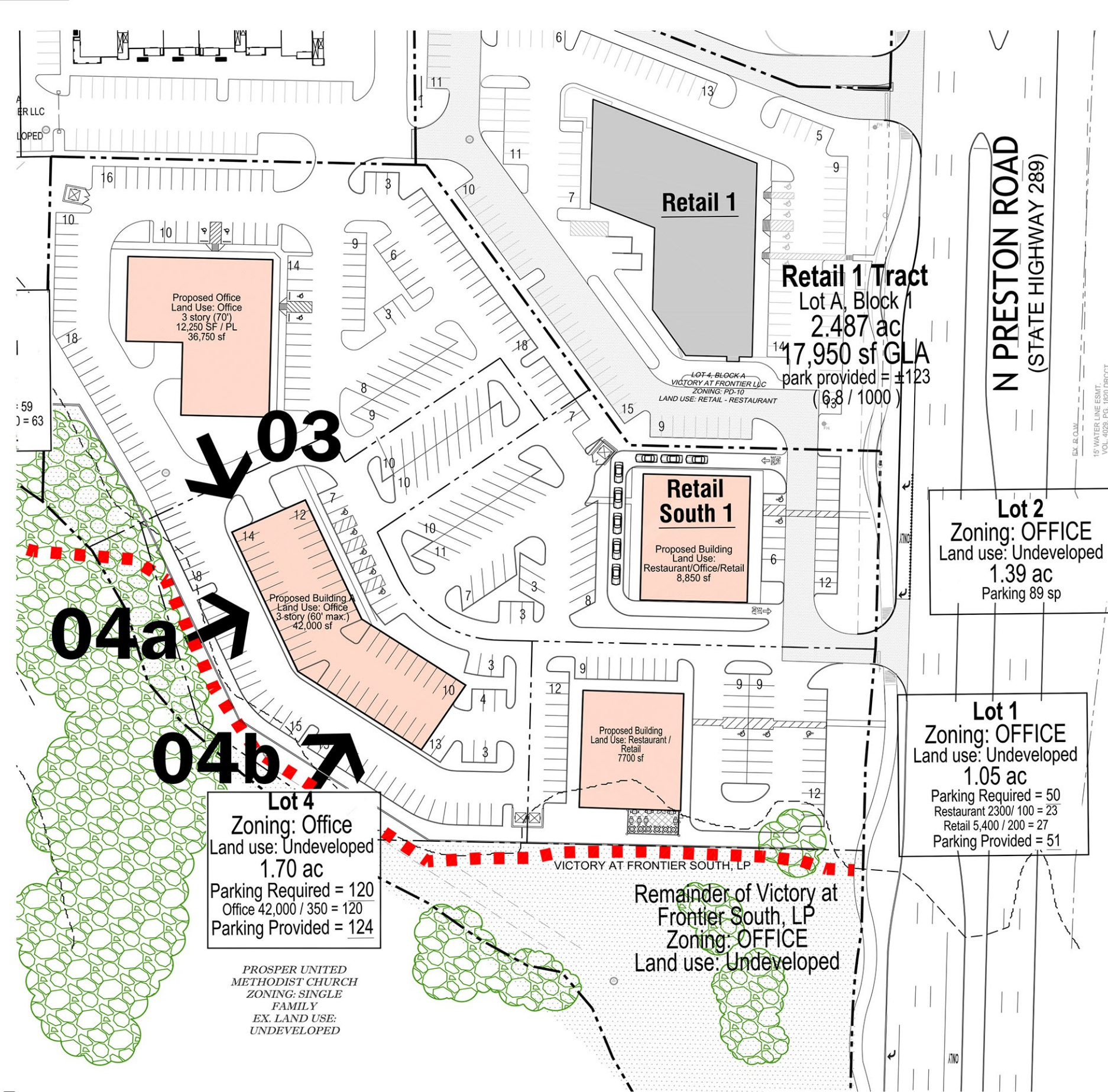


03 northwest

03 NORTHWEST			
TOTAL FACADE:	3,853 SF		
DOOR/GLAZING:	722 SF		
NET FACADE:	2,131 SF	100 %	
MASONRY (STONE):	600 SF	28 %	
MASONRY (BRICK):	725 SF	35 %	
MASONRY (THIN SET):	341 SF	17 %	
TOTAL MASONRY:		80 %	
TEXTURE/PAINT:	400 SF	18 %	
BATTEN:	10 SF		
METAL AWNING:	55 SF	2 %	

04a SOUTHWEST			
TOTAL FACADE:	7,326 SF		
DOOR/GLAZING:	1,227 SF		
NET FACADE:	6,099 SF	100%	
MASONRY (STONE):	1,910 SF	31 %	
MASONRY (BRICK):	2,100 SF	34 %	
MASONRY (THIN SET):	610 SF	10 %	
TOTAL MASONRY:		75 %	
PANEL:			
TEXTURE/PAINT:	1,391 SF	23%	
BATTEN:	24 SF	0.5 %	
METAL AWNING:	64 SF	1.5 %	

north  
↑  
Key Plan



04a southwest elevation

04b southwest elevation

04b SOUTHWEST			
TOTAL FACADE:	6,782 SF		
DOOR/GLAZING:	1,120 SF		
NET FACADE:	5,662 SF	100%	
MASONRY (STONE):	1,810 SF	32 %	
MASONRY (BRICK):	2,000 SF	35 %	
MASONRY (THIN SET):	610 SF	11 %	
TOTAL MASONRY:		78 %	
PANEL:			
TEXTURE/PAINT:	1,154 SF	20%	
BATTEN:	24 SF	0.5 %	
METAL AWNING:	64 SF	1.5 %	

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**SITE PLAN**  
CASE NO. 1-188 ACRES  
VICTORY AT FRONTIER TRACT D  
PART OF LOT 3, BLOCK A  
VICTORY AT FRONTIER, LLC  
(VOL. 2018, PAGE 699)  
P.R.C.T.  
TOWN OF PROSPER, COLLIN, TEXAS  
PREPARATION DATE: 09/27/2021

**OWNER/APPLICANT**  
VICTORY AT FRONTIER, LLC  
6125 LUTHER LANE STE 583  
DALLAS, TX 75225-6202  
PH: 214-534-2566  
CONTACT: BOBBY MENDOZA

**LANDSCAPE ARCHITECT**  
LONDON LANDSCAPES  
P.O. BOX 28  
COLLINSVILLE, TX 76233  
CONTACT: AMY LONDON, RLA

**ENGINEER**  
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CONTACT: PATRICK FILSON, PE

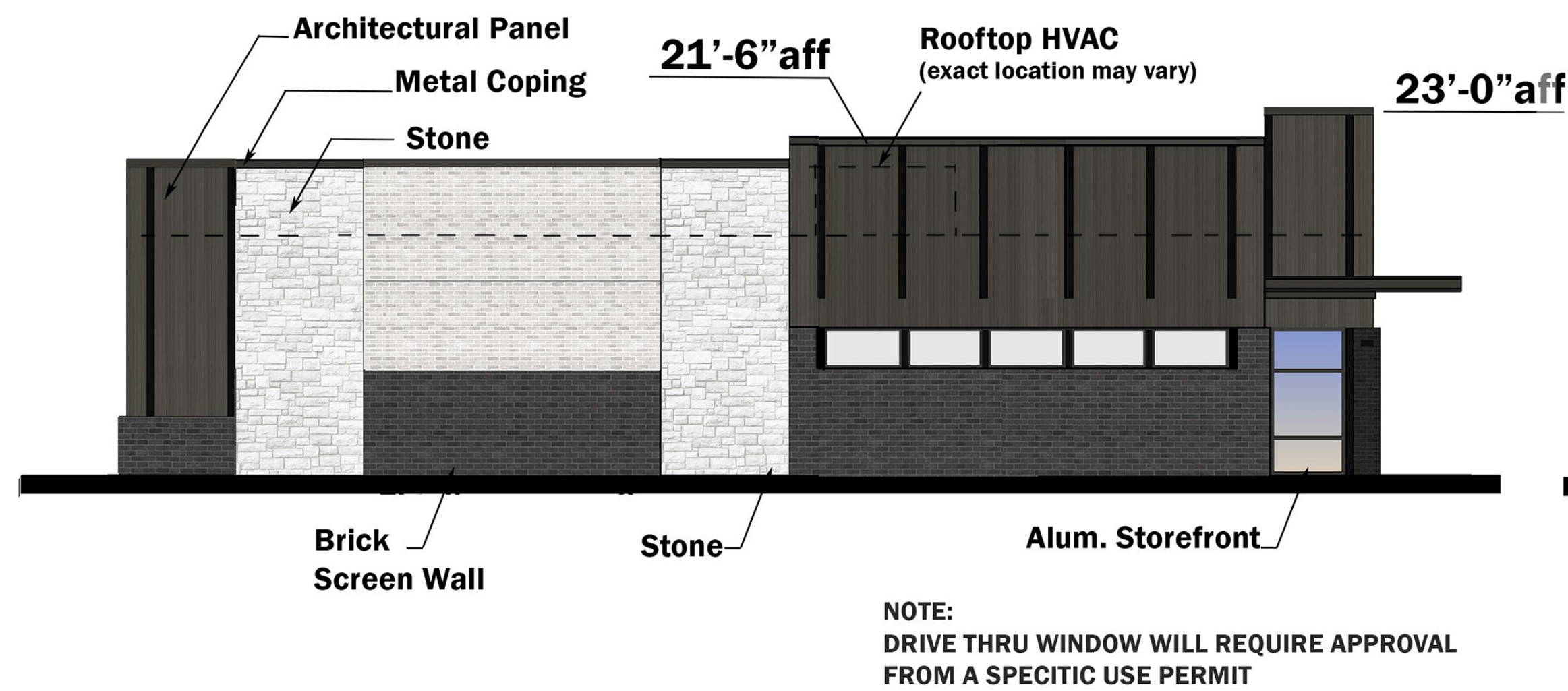
**SURVEYOR**  
BARTON CHAPA SURVEYING  
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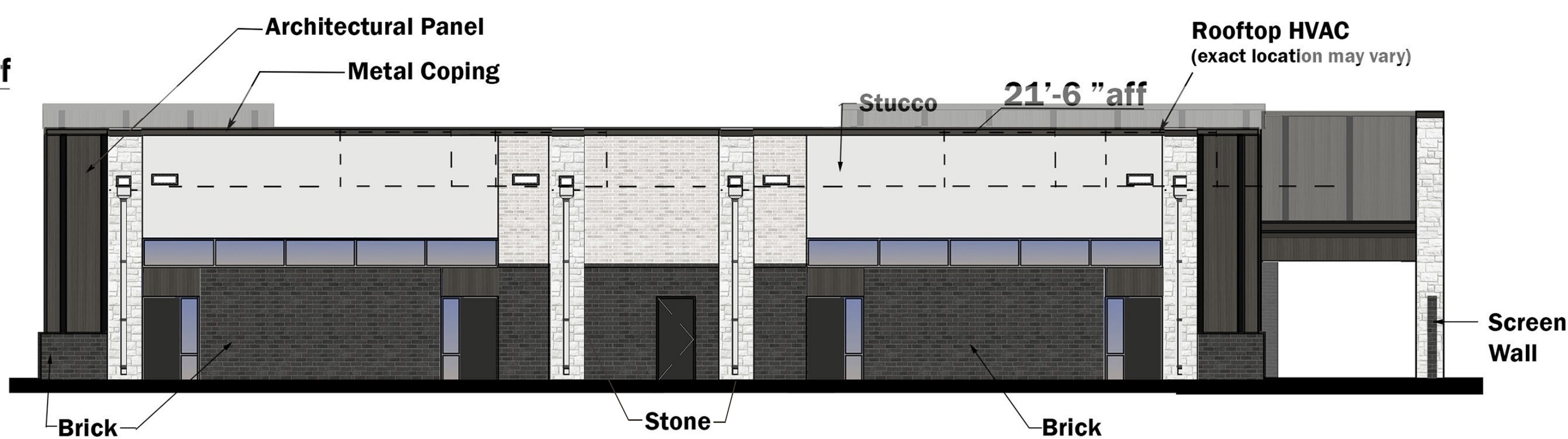
LOT 4 OFFICE

VICTORY at FRONTIER  
Prosper, Texas

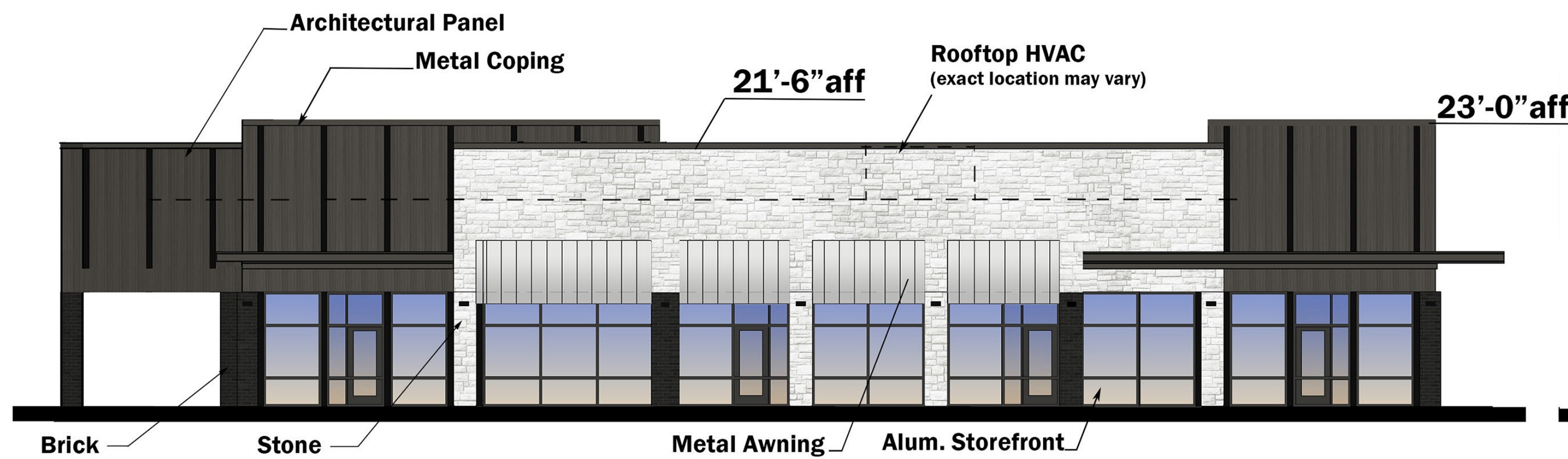




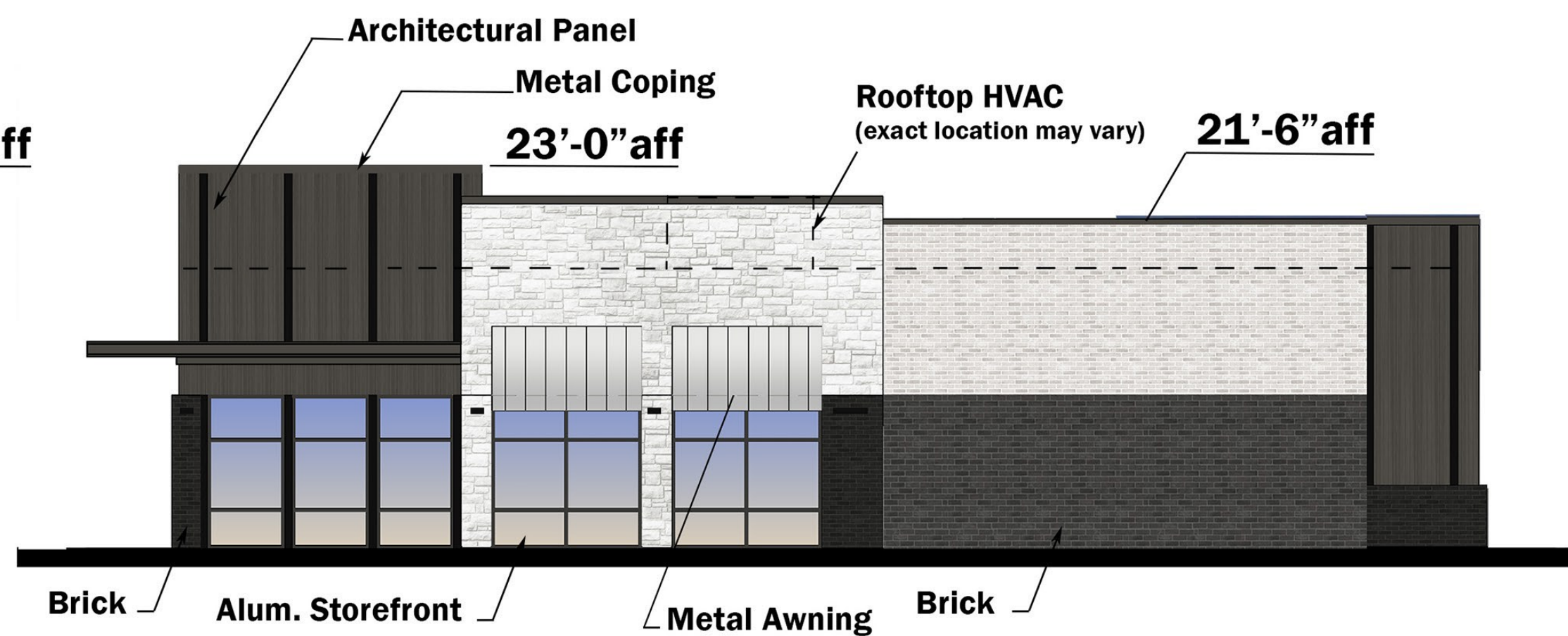
south elevation



west elevation



east elevation



north elevation

FACADE NOTES

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SOUTH	
TOTAL FACADE:	1,934 SF
DOORS/GLAZING:	144 SF
NET FACADE:	1,790 SF 100%
MASONRY (STONE):	354 SF 20%
MASONRY (BRICK):	741 SF 41%
TOTAL MASONRY:	61%
PANELS :	671 SF 38%
METAL AWNING:	24 SF 1%

WEST	
TOTAL FACADE:	2,236 SF
DOORS/GLAZING:	313 SF
NET FACADE:	1,923 SF 100%
MASONRY (BRICK):	813 SF 42%
MASONRY (STONE):	350 SF 18%
TOTAL MASONRY:	60%
PANELS :	272 SF 15%
METAL AWNING:	48 SF 2%
STUCCO:	440 SF 23%

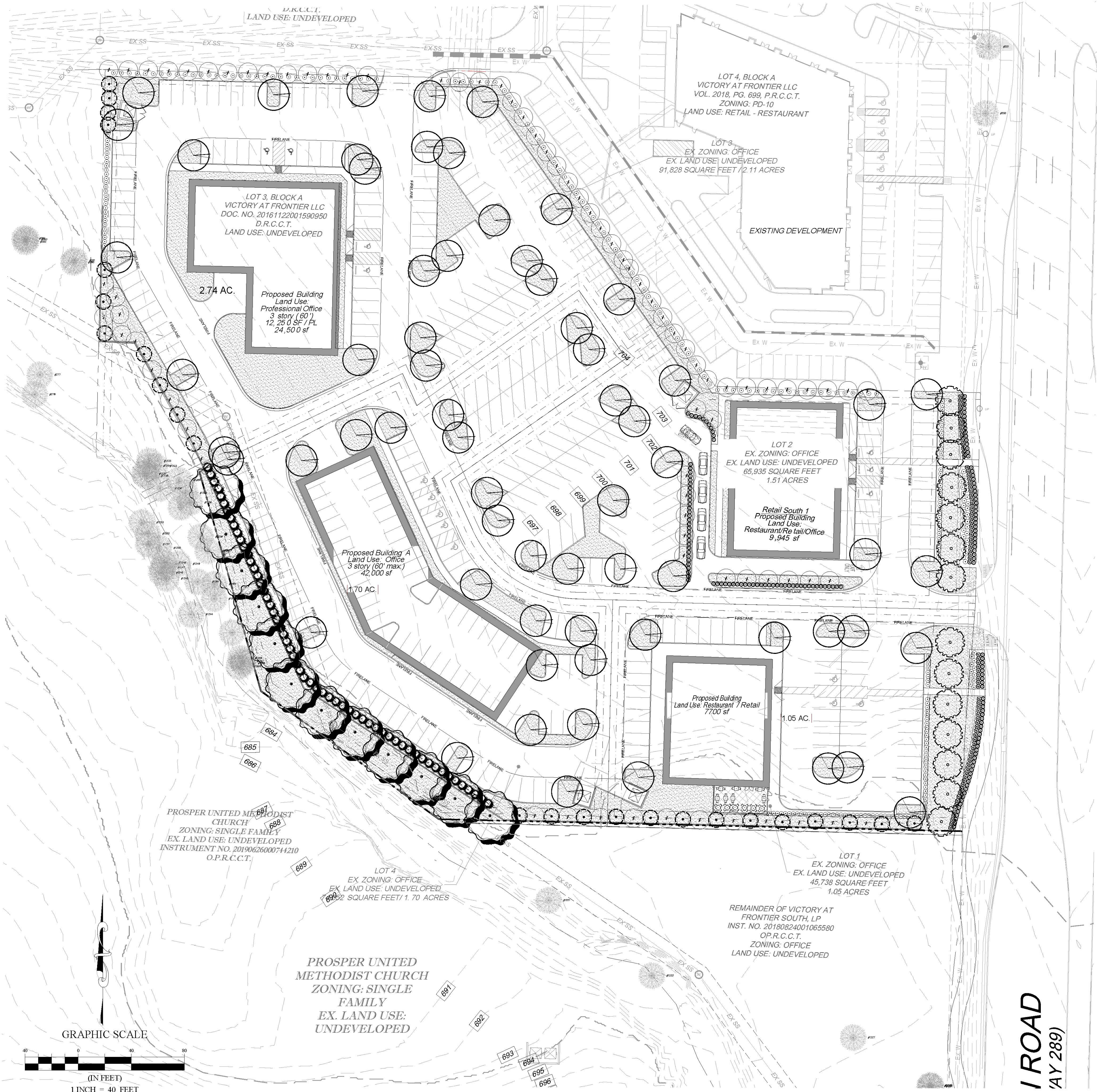
EAST	
TOTAL FACADE:	2,750 SF
DOORS/GLAZING:	841 SF
NET FACADE:	1,909 SF 100%
MASONRY (STONE):	620 SF 33%
MASONRY (BRICK):	238 SF 12%
TOTAL MASONRY:	45%
PANELS :	731 SF 38%
METAL AWNING:	320 SF 17%

NORTH	
TOTAL FACADE:	1,938 SF
DOORS/GLAZING:	357 SF
NET FACADE:	1,680 SF 100%
MASONRY (STONE):	398 SF 24%
MASONRY (BRICK):	861 SF 51%
TOTAL MASONRY:	75%
PANELS :	300 SF 18%
METAL AWNING:	121 SF 7%

TOTAL FACADE:	8,858 SF
TOTAL DOORS/GLAZING:	1,655 SF
NET FACADE:	7,302 SF 100%
TOTAL MASONRY:	4,375 SF 60%
TOTAL ARCHITECTURAL PANELS :	1,974 SF 27%
TOTAL AWNING:	513 SF 7%
TOTAL STUCCO :	440 SF 6%







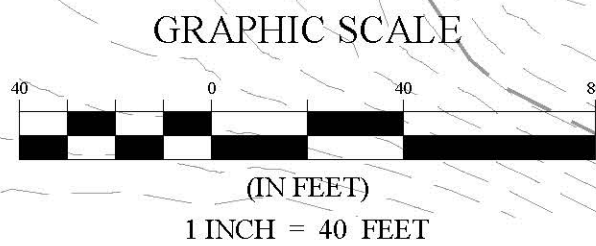
**KEY**

TREES				
	66	UL	Ulmus crassifolia	Cedar Elm
	12	QV	Quercus virginiana	Live Oak
	14	QT	Quercus texana	Texas Red Oak
	82	CH	Chilopsis linearis	Desert Willow
	24	CL	Ilex opaca	Foster Holly
SHRUBS				
	58	ILE	Ilex 'Nellie R. Stevens'	Nellie R. Stevens Holly
	283	VIB	Viburnum v. davidii 'White'	Viburnum
	83	NER	Abelia x grandiflora	Glossy Abelia
	164	NDL	Nandina domestica 'Lemon Lime'	Lemon Lime Nandina
GROUND COVER				
	DG		Decomposed Granite	
	SOD		Common Bermuda Grass	Bermuda Grass

**LANDSCAPE CALCULATIONS**

- A MINIMUM 10% OF PLATTED AREA TO BE LANDSCAPED**
- REQUIRED LANDSCAPE AREA:  
27,592 SF
  - PROVIDED LANDSCAPE AREA:  
56,757 SF
- 30' LANDSCAPE BUFFER ALONG PRESTON ROAD MEASURED FROM THE PROPERTY LINE**
- REQUIRED: 1 CANOPY TREE FOR EVERY 30 LINEAR FEET  
397.1 LF / 30 = 14 TREES
  - PROVIDED: 14 TREES
  - REQUIRED: A MINIMUM OF 15 SHRUBS WITH A MINIMUM SIZE OF FIVE (5) GALLONS EACH WILL BE PLANTED IN THE LANDSCAPE AREA FOR EVERY 30 LINEAR FEET OF FRONTAGE  
397.1 LF / 30 = 14 X 15 SHRUBS = 210 SHRUBS
  - PROVIDED: 279 SHRUBS
- 5' LANDSCAPE BUFFER AROUND THE PERIMETERS OF THE PROPERTY**
- REQUIRED: ONE SMALL TREE AND ONE FIVE-GALLON SHRUB SHALL BE PLANTED EVERY 15 LINEAR FEET.  
SOUTH: 360 LF / 15 = 23 TREES AND 23 SHRUBS  
WEST: 332 LF / 15 = 22 TREES AND 22 SHRUBS  
NORTH: 769.35 LF / 15 = 52 TREES AND 52 SHRUBS
  - PROVIDED:  
SOUTH: 27 TREES AND 39 SHRUBS  
WEST: 22 TREES AND 32 SHRUBS  
NORTH: 45 TREES AND 99 SHRUBS
  - BORDERING CHURCH PROPERTY:  
REQUIRED: 347 LF / 11 EVERGREEN TREE/ 30' = 12 TREES  
1 NELLIE R STEVENS EVERY 6' = 58 SHRUBS
  - PROVIDED: 12 TREES AND 58 SHRUBS
- INTERIOR PARKING LANDSCAPING (ALL REQUIRED AND PROVIDED)**
- REQUIRED: 15 SQ. FT. OF LANDSCAPING FOR EACH PARKING SPACE SHALL BE PROVIDED WITHIN THE PAVED BOUNDARIES OF THE PARKING LOT AREA.
  - PROVIDED: YES
  - REQUIRED: LANDSCAPE ISLAND (160 SF & NO LESS THAN 9' WIDE AND AN EQUAL LENGTH TO THE ABUTTING PARKING SPACE) AT THE END OF EVERY PARKING ROW WITH A CANOPY TREE
  - PROVIDED: YES
  - REQUIRED: EVERY 15 PARKING SPACES MUST BE INTERRUPTED BY A LANDSCAPE ISLAND
  - PROVIDED: YES
  - REQUIRED: A CANOPY TREE WITHIN 150 FEET OF EVERY PARKING SPACE
  - PROVIDED: YES
- DRIVE THRU LANDSCAPING**
- REQUIRED: 1 TREE PER 15 LF AND SHRUBS 3' O.C.
  - PROVIDED: 1 TREE 15 LF AND SHRUBS 3' O.C.

**I ROAD**  
AY 289



REV. DATE: DESCRIPTION: