

ROCK CREEK CHURCH

2860 W First Street
Prosper, Texas. 75078

November 21, 2023

Re: Letter of Intent

Town of Prosper
250 W First Street
Prosper, Texas. 75078

To Whom It May Concern,

The Church of Celebration Metro, a.k.a. Rock Creek Church, owns 26 acres fronting W. First Street. Rock Creek Church uses its facility for religious worship with on-site parking and the wood framed structure towards the rear of the property solely as administrative offices.

The church conducts four worship services on the weekends. One on Saturday evening and three on Sunday mornings. During the week it serves as a place to meet for small group Bible study. The administration offices are open Monday through Friday during normal business hours.

Plans are underway to add a 1000-seat worship venue with additional parking. The current land parcels are zoned Agriculture and we are requesting a zoning change to a Planned Development using a base zoning of Office with the appropriate modifications.

If you have any questions regarding the Letter of Intent or the project you can contact Jim Riley with Brockett Davis Drake Inc. at (214) 535-4027.

Sincerely yours,



Jerry Brawner
Executive Director of Operations

jerry@rockcreektx.church
(469) 815-5253

Exhibit “C”
Development Standards

This tract shall develop under the regulation of the Office (O) District as outlined in the Town’s Zoning Ordinance as it exists or may be amended with the following conditions:

1.0 Permitted Uses

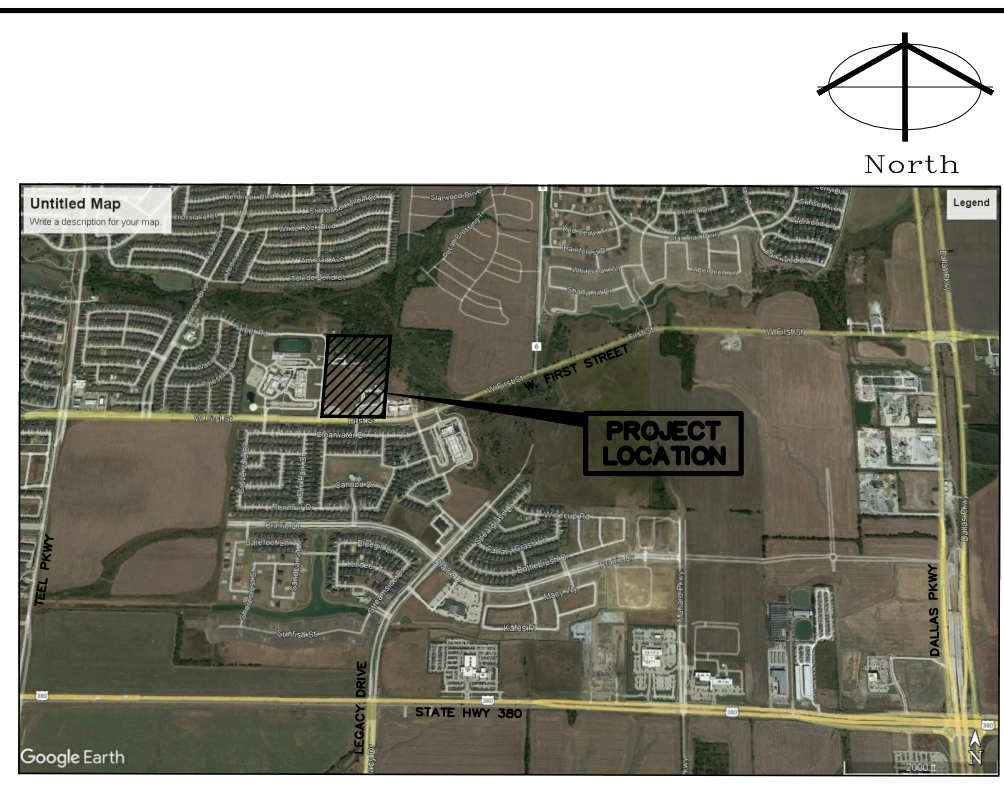
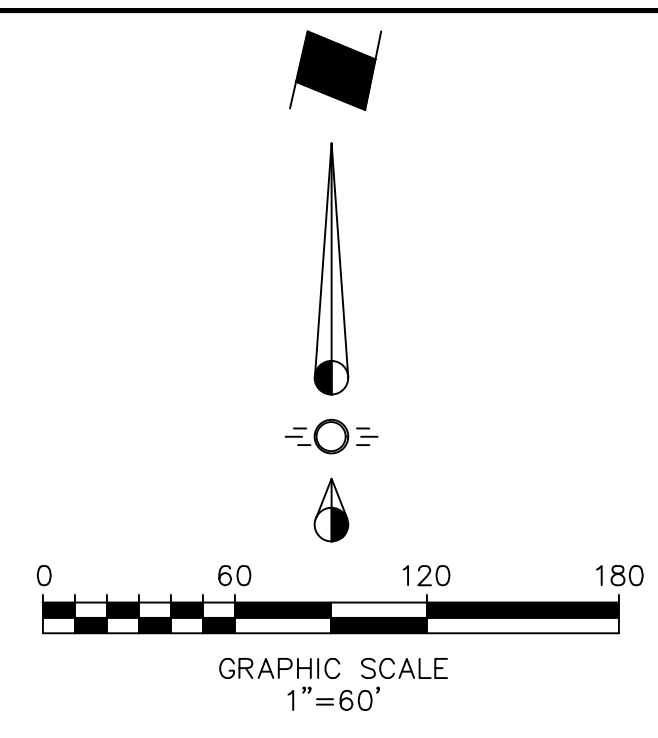
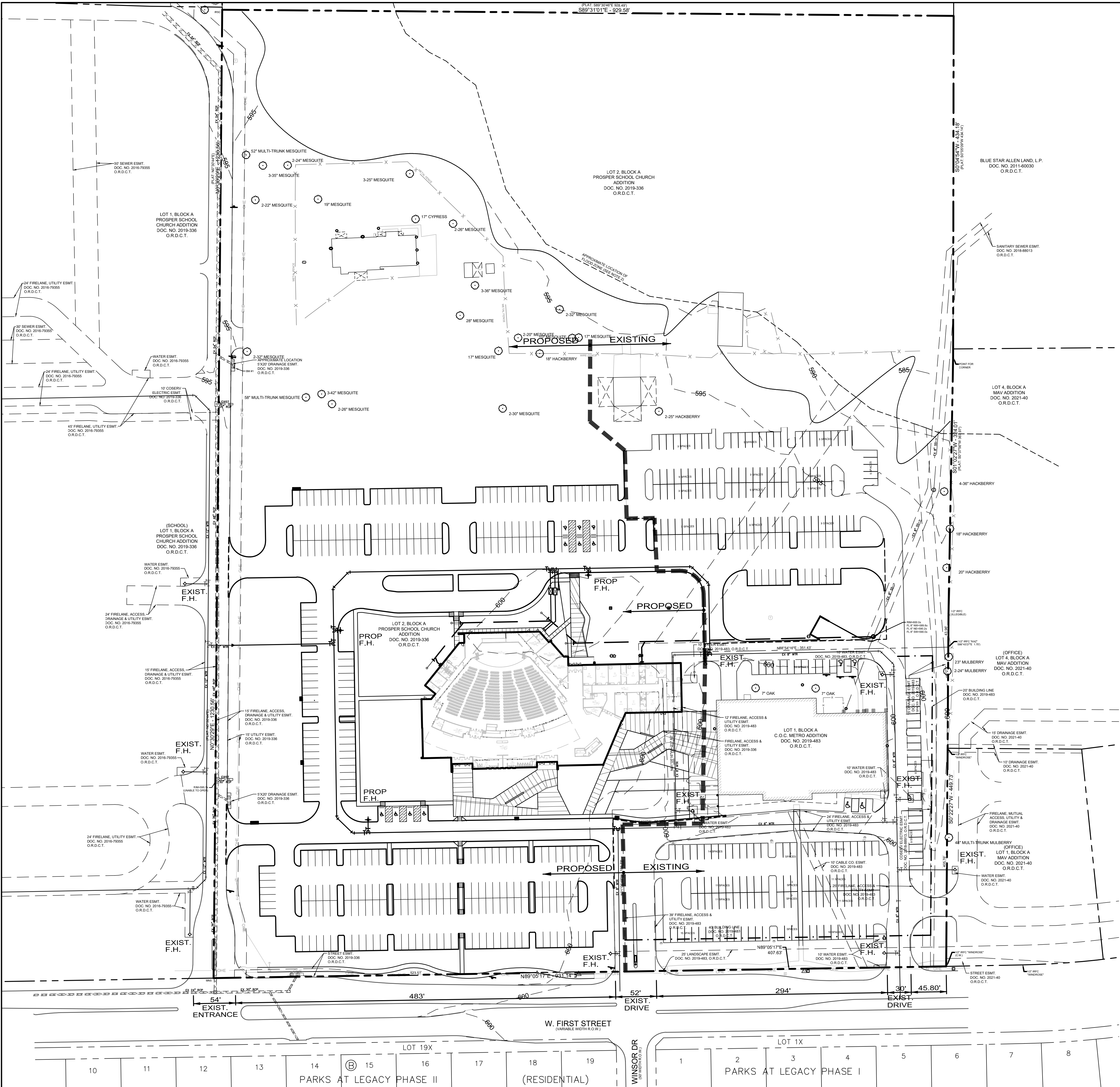
1.1 The permitted land uses within this Planned Development District are as follows:

- Childcare Center - **S**
- House of Worship
- Rectory
- School, Private or Parochial

2.0 Lot Coverage

2.1 The lot coverage requirements within this Planned Development District are as follows:

- Maximum of 50% lot coverage.

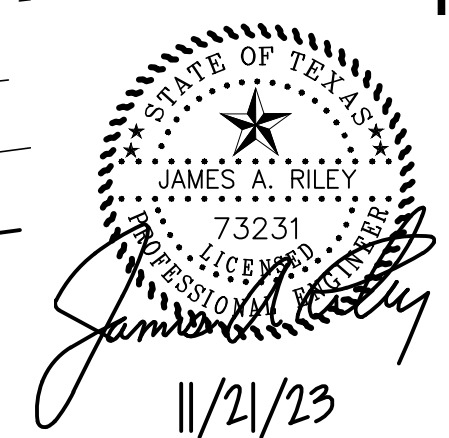


Location Map
NTS

SITE DATA TABLE	
EXISTING ZONING	AG
PROPOSED ZONING	PD
LOT AREA	26.056 Acres / 1,134,999 S.F.
TOTAL LOT COVERAGE	32% (PROPOSED)
LAND USE	CHURCH

- LEGEND**
- - - - - 590 - - - - - EXISTING CONTOUR
 - - - - - EXISTING BUILDING
 - - - - - PROPOSED BUILDING
 - o EXISTING FIRE HYDRANT
 - + PROPOSED FIRE HYDRANT
 - - - - - EXISTING CURB

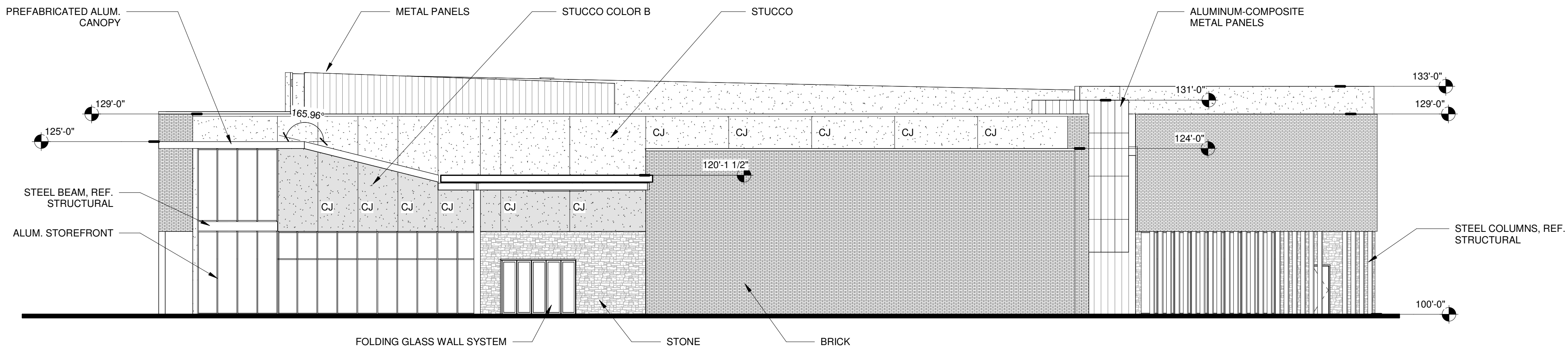
EXHIBIT "D"
CONCEPTUAL PLAN
PROSPER SCHOOL CHURCH ADDITION
LOT 2, BLOCK A
26.056 acres
1,134,928 square feet
situated in
TOWN OF PROSPER, DENTON COUNTY, TEXAS
L. HETHERLY SURVEY, ABSTRACT NO. 962



OWNER	OWNER'S REPRESENTATIVE	ARCHITECT	ENGINEER	SURVEYOR
ROCK CREEK CHURCH 2860 FISHTRAP ROAD PROSPER, TEXAS 75078 (469)815-5253	GOFF COMPANIES 2221 LAKESIDE BOULEVARD SUITE 700 RICHARDSON, TEXAS 75082 ddahausser@goffcompanies.com (214)716-5100	OXLEY ARCHITECTS ANDREW OXLEY ao@oxleyarchitects.com (817)380-8366	BROCKETTE DAVIS DRAKE, INC. 12377 MERIT DRIVE SUITE 1100 DALLAS, TEXAS 75251 (214)824-3647 JAMES RILEY, P.E. jriley@bddeng.com	VOTEX SURVEYING 10440 N. CENTRAL EXPRESSWAY SUITE 800 DALLAS, TEXAS 75231 (469)333-8831

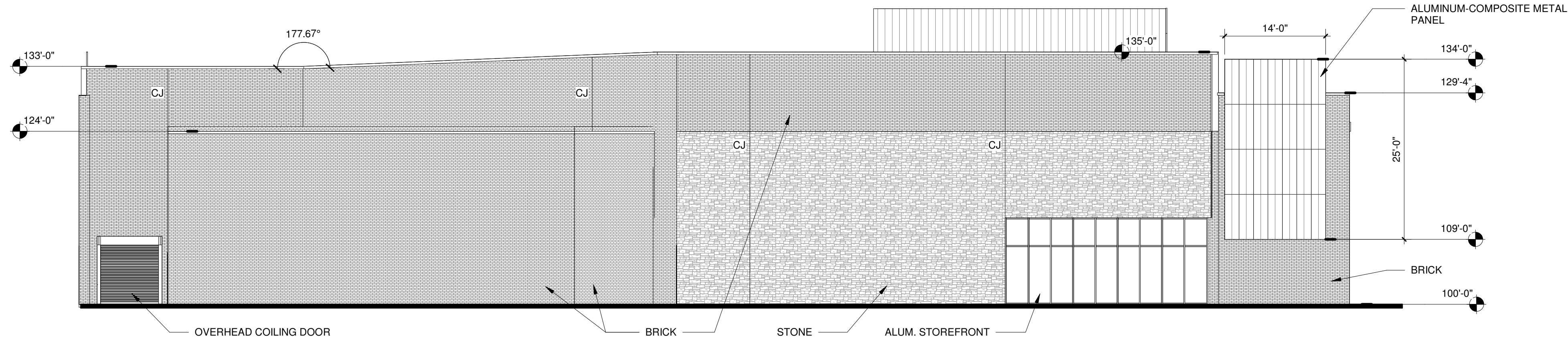
Z23-0030
EXHIBIT E
DEVELOPMENT STANDARDS
ROCK CREEK CHURCH
LOT 2, BLOCK A, PROSPER SCHOOL ADDITION

<u>Task</u>	<u>Date</u>
Start Construction	4/17/24
Site Work	4/17/24 – 8/12/24
Building	8/12/24 – 12/16/24
Finish Out	12/16/24 – 6/16/25
Certificate of Occupancy	6/16/25



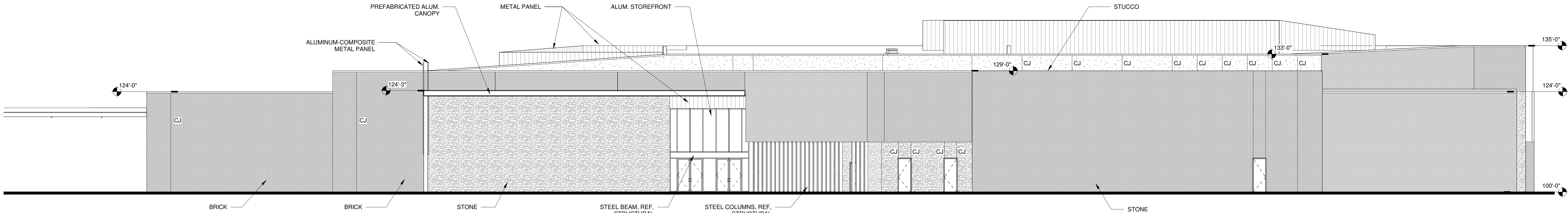
4 EXTERIOR ELEVATION - EAST

A310 3/32" = 1'-0"



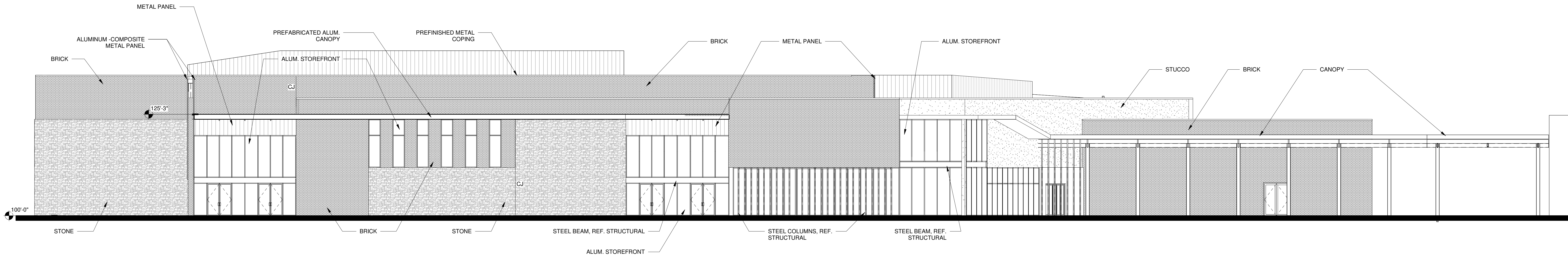
3 EXTERIOR ELEVATION - WEST

A310 3/32" = 1'-0"



2 EXTERIOR ELEVATION - NORTH

A310 3/32" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH

A310 3/32" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS			
SOUTH ELEVATION:		NORTH ELEVATION:	
STUCCO	85 SF (1%)	STUCCO	640 SF (7%)
STONE	2,050 SF (28%)	STONE	3,462 SF (37%)
BRICK	4,616 SF (63%)	BRICK	5,085 SF (55%)
METAL PANEL	571 SF (8%)	METAL PANEL	55 SF (1%)
TOTAL =	7,302 SF	TOTAL =	9,242 SF
WEST ELEVATION:		EAST ELEVATION:	
STUCCO	-	STUCCO	1,253 SF (31%)
STONE	1,440 SF (25%)	STONE	390 SF (9%)
BRICK	3,997 SF (69%)	BRICK	2,230 SF (57%)
METAL PANEL	350 SF (6%)	METAL PANEL	140 SF (3%)
TOTAL =	5,787 SF	TOTAL =	4,013 SF

O X L E Y

PO BOX 1258
FORT WORTH, TX 76101
817.380.8366
oxleyarchitects.com



Revision Schedule		
Rev. #	Revision Description	Revision Date

ZONE-23-0030

NOT TO BE USED FOR PERMITTING,
OR CONSTRUCTION

ANDREW OXLEY

THE ARCHITECT AND THE ARCHITECTS CONSULTANTS SHALL BE DEEMED THE AUTHOR AND OWNER OF
THEIR RESPECTIVE INSTRUMENTS OF SERVICE, INCLUDING THE DRAWINGS AND PROFESSIONAL SEALS, AND SHALL
RETAIN ALL COMMON LAW, STATUTORY AND OTHER INHERENT RIGHTS, INCLUDING COPYRIGHTS,
SUPERSEDING OR SUPERSEDED BY INSTRUMENTS OF SERVICE TO THE PROJECT. THE ARCHITECTS
CONSULTANTS OR FOR SIMILAR PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSIDERED
AS A REPRESENTATIVE OF THE ARCHITECTS OR AS A REPRESENTATIVE OF THE ARCHITECTS CONSULTANTS.
INSTRUMENTS OF SERVICE, INCLUDING DRAWINGS, SPECIFICATIONS AND DOCUMENTS IN
ELECTRONIC FORM, PROVIDED BY THE ARCHITECTS SHALL BE FOR USE ONLY WITH RESPECT TO THIS
PROJECT. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER WITHOUT THE PRIOR
WRITTEN PERMISSION OF THE ARCHITECTS. FULL USE OF THE INSTRUMENTS OF SERVICE WITHOUT
WRITTEN PERMISSION SHALL BE WITHOUT LIABILITY TO THE ARCHITECTS, PLLC AND ITS CONSULTANTS.

ROCK CREEK CHURCH

2860 W. FIRST STREET
PROSPER, TEXAS 75078

2023.008
NOVEMBER 20, 2023

EXTERIOR ELEVATIONS

A310