

SITE PLAN NOTES:

ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
- LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
- ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
- TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
- SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
- SIDEWALKS OF NOT LESS THAN SIX (6') FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5') FEET IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
- SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
- THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.

NOTES:

- ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB WHERE APPLICABLE. ALL DIMENSIONS SHOWN AT PI CURB POINTS ARE AT THE INTERSECTION OF THE FACE OF CURB.
- DRIVE 'C' CONNECTING TO FISHSTRAP ROAD WILL BE EGRESS ONLY IF IT IS OPEN TO THE PUBLIC TO ASSIST WITH TRAFFIC FLOW.

SITE DATA

EXISTING ZONING:	PD 14
PROPOSED USE:	ELEMENTARY SCHOOL
GROSS LOT AREA:	11.523 ACRES (501,933 SF)
NET LOT AREA:	10.84 ACRES (472,073 SF)
BUILDING AREA:	94,744 SF
HEIGHT:	35' - ONE STORY
LOT COVERAGE RATIO:	20.1%
FLOOR AREA RATIO:	20.1%
TOTAL IMPERVIOUS AREA:	273,608 SF (6.28 AC)
REQUIRED PARKING: (1.5 SPACES PER CLASSROOM) 46 CLASSROOMS X 1.5 SPACES	69 SPACES
TOTAL PROVIDED PARKING: REQUIRED HANDICAP SPACES: STANDARD SPACES: (9'X20') HANDICAP SPACES:	150 SPACES 6 SPACES 142 SPACES 8 SPACES
OPEN SPACE REQUIRED (%): OPEN SPACE PROVIDED (%):	10% (47,207 SF) 42% (198,465 SF)

DATE PREPARED:
MAY 2024

OWNER/APPLICANT:

PROSPER I.S.D.
605 E. SEVENTH STREET
PROSPER, TEXAS 75078
PHONE: 469.219.2000

ARCHITECT:

HUCKABEE, INC.
801 CHERRY STREET, STE 500
FORT WORTH, TX 76102
972.292.7670
CONTACT: JOSH C. BROWN, AIA

PREPARED BY:

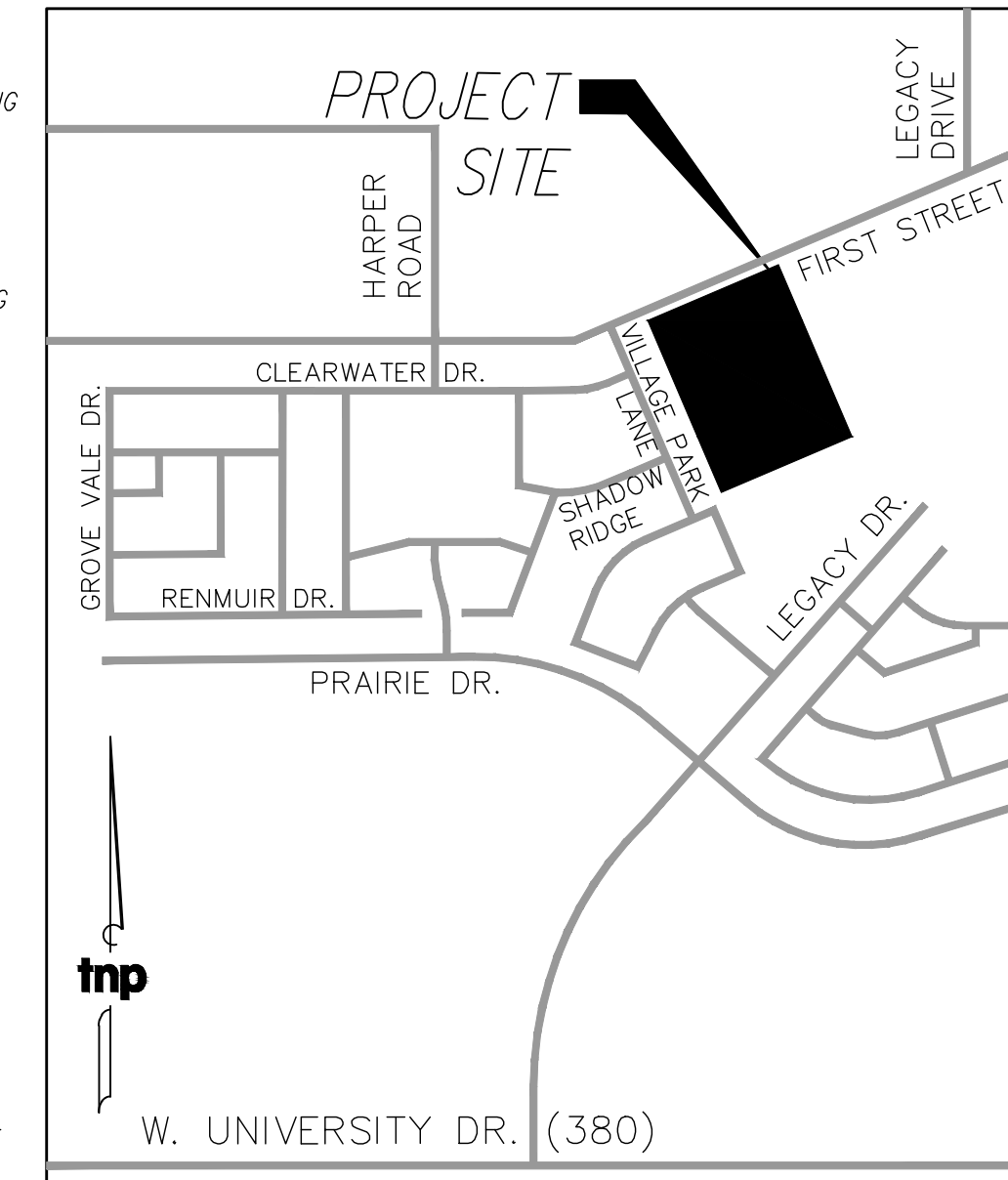
TEAGUE NALL & PERKINS, INC.
825 WATTERS CREEK BLVD., STE. M300
ALLEN, TEXAS 75013
214.461.9867
CONTACT: CHRIS SCHMITT, P.E.

WATER METER TABLE

LOCATION	TYPE	SIZE	NUMBER
BUILDING	DOM	4"	1
LANDSCAPE	IRRIGATION	2"	2

PROSPER CENTER
BLOCK A, LOT 8R
L. NETHERLY SURVEY, ABSTRACT NO. 962

SITE PLAN
STUBER ELEMENTARY SCHOOL #11
TOWN CASE #DEVAPP-24-0073
DATE PREPARED: MAY 2024



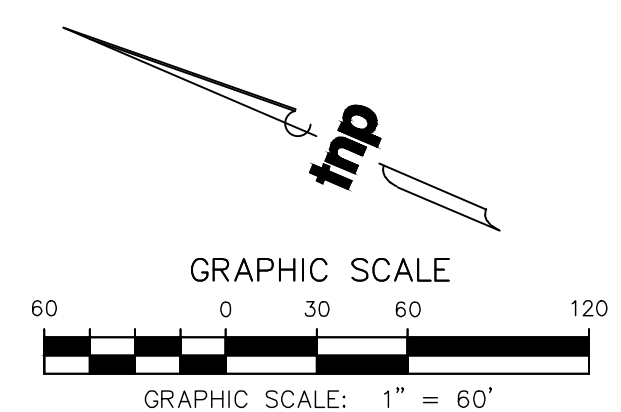
LOCATION MAP NOT TO SCALE

FEMA NOTE:

BASED ON THE FEMA FLOOD MAP SERVICE CENTER, THE MAJORITY OF THE SUBJECT TRACT OF LAND SHOWN HEREON LIES WITHIN ZONE "X" UNSHADED, DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN" A PORTION OF THE SUBJECT TRACT OF LAND SHOWN LIES WITHIN ZONE "A" WITH A 1% ANNUAL CHANCE FLOOD WITH NO ESTABLISHED BASE FLOOD ELEVATION. AS IDENTIFIED BY THE CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NO. 48121C0430G, EFFECTIVE DATE OF APRIL 18, 2011, FOR DENTON COUNTY, TEXAS AND INCORPORATED AREAS.

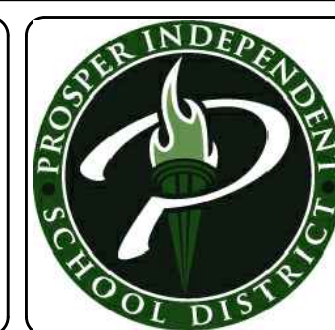
LEGEND

	PROPOSED 24' FIRE LANE, UTILITY EASEMENT
	PROPOSED OFFSITE PAVEMENT IMPROVEMENTS
	PROPOSED FLATWORK
	PROPOSED ROW DEDICATION
	EXISTING STORM DRAIN LINE
	EXISTING SAN SEWER MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER STRUCTURE
	PARKING COUNT



no.	revision	by	date
1	PARKING REVISION	TNP	8/31/2018

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TBPE: F-230; TBPIS: 10011600, 10011601, 10194381



Prosper
Independent
School
District

scale
when bar is
1 inch long
horiz
1" = 60'
vert
N/A
MAY 2024



Prosper, Texas	tnp project HUC18033
Improvements for Stuber Elementary School #11	sheet C2.03
OVERALL SITE PLAN	