

PROJECT # DEVAPP-23-0180
 H.E.B. PROSPER - STORE
 16.933 ACRES
 FRONTIER RETAIL CENTER, BLOCK A | LOT 6
 AN ADDITION TO THE TOWN OF PROSPER
 COLLIN COUNTY, TEXAS
 SEPTEMBER, 2023

H.E.B. LP OWNER
 643 S. MAIN (210) 938-8000
 SAN ANTONIO, TEXAS 75002

CONTACT: JOHN ROSE

CLAYMOORE ENGINEERING ENGINEER
 1903 CENTRAL DRIVE, SUITE #406 (817) 281-0572
 BEDFORD, TEXAS 76021

CONTACT: DREW DONOSKY

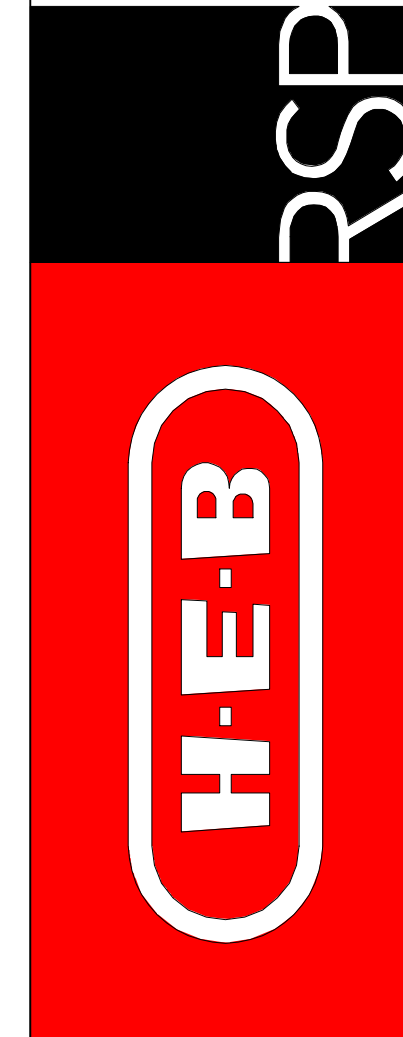
- TOWN OF PROSPER GENERAL NOTES**
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 - WIREWORK SHALL HAVE A MINIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
 - ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

TOWN APPROVAL

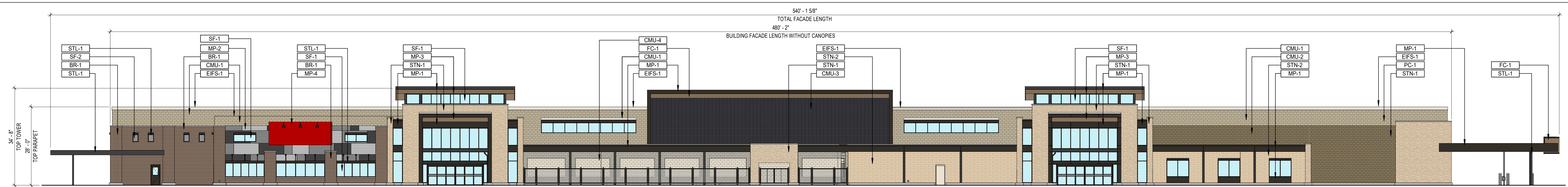
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Revision	Description	Date

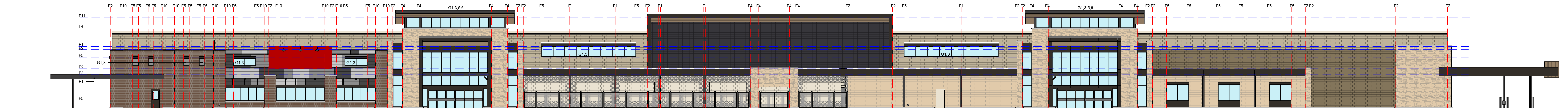
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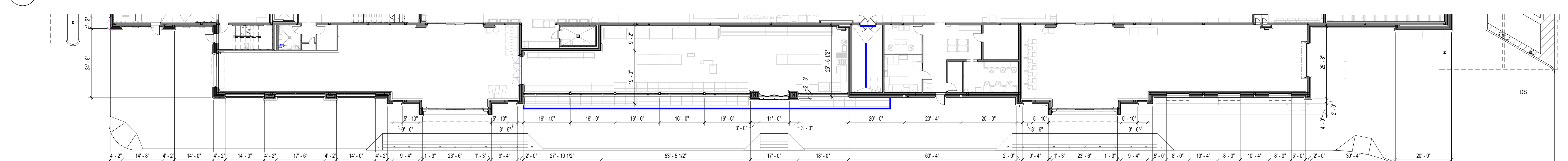
ARCHITECTURAL SITE PLAN
 H-E-B PROSPER | CORP # 809
 75220 Frontier Pkwy | Prosper, Texas 75078
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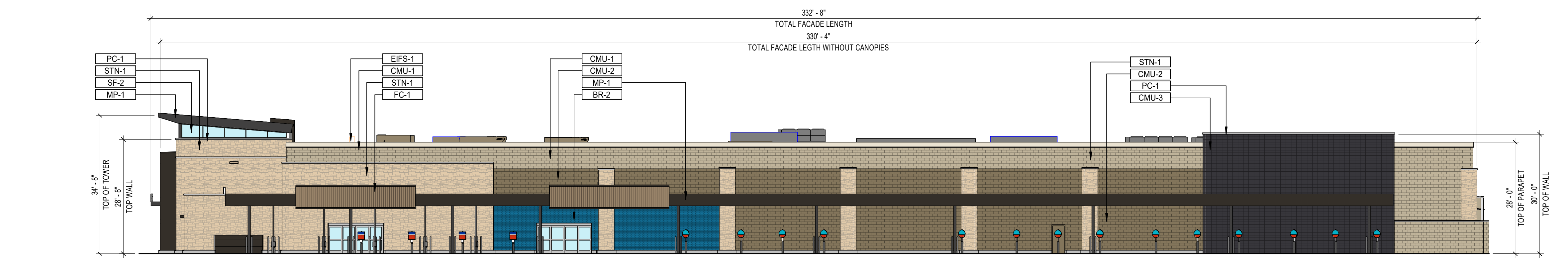
1 OVERALL EXTERIOR NORTH ELEVATION - FRONT
1/16" = 1'-0"



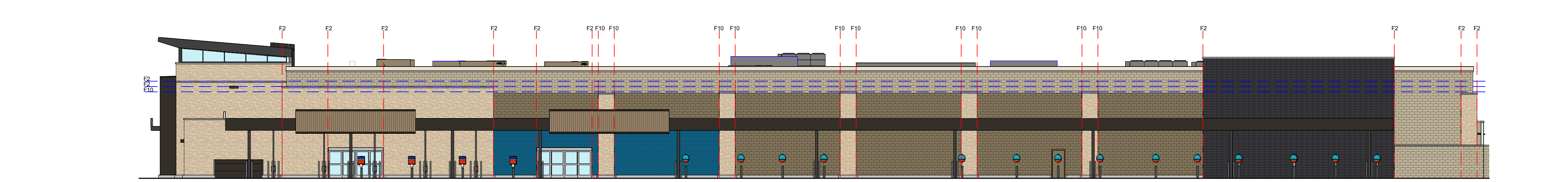
2 OVERALL EXTERIOR NORTH ELEVATION - FRONT ARTICULATION
1/16" = 1'-0"



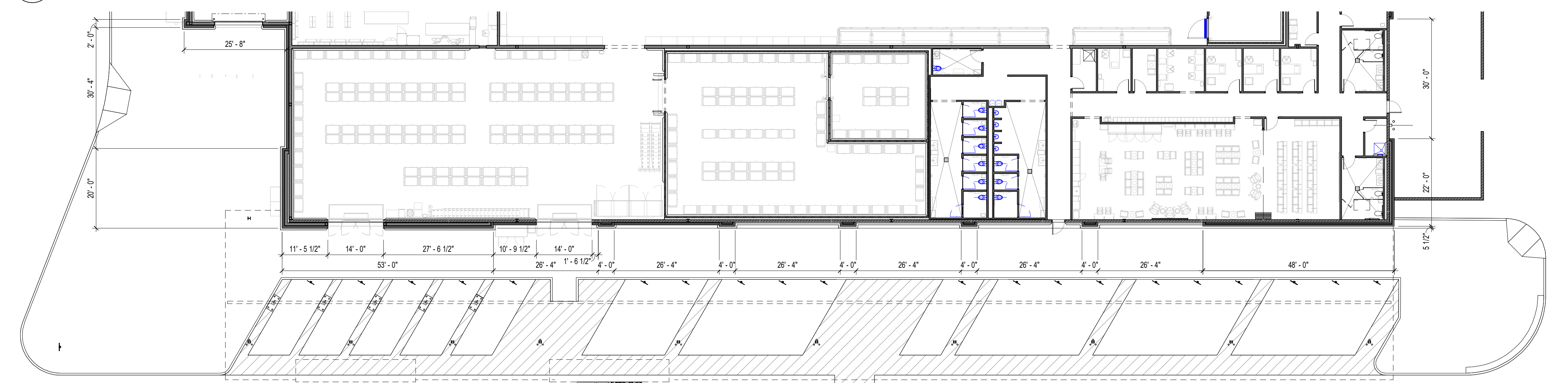
3 NORTH ELEVATION - FRONT FOOTPRINT
1/16" = 1'-0"



4 OVERALL EXTERIOR WEST ELEVATION - SIDE
1/16" = 1'-0"



5 OVERALL EXTERIOR WEST ELEVATION - SIDE ARTICULATION
1/16" = 1'-0"

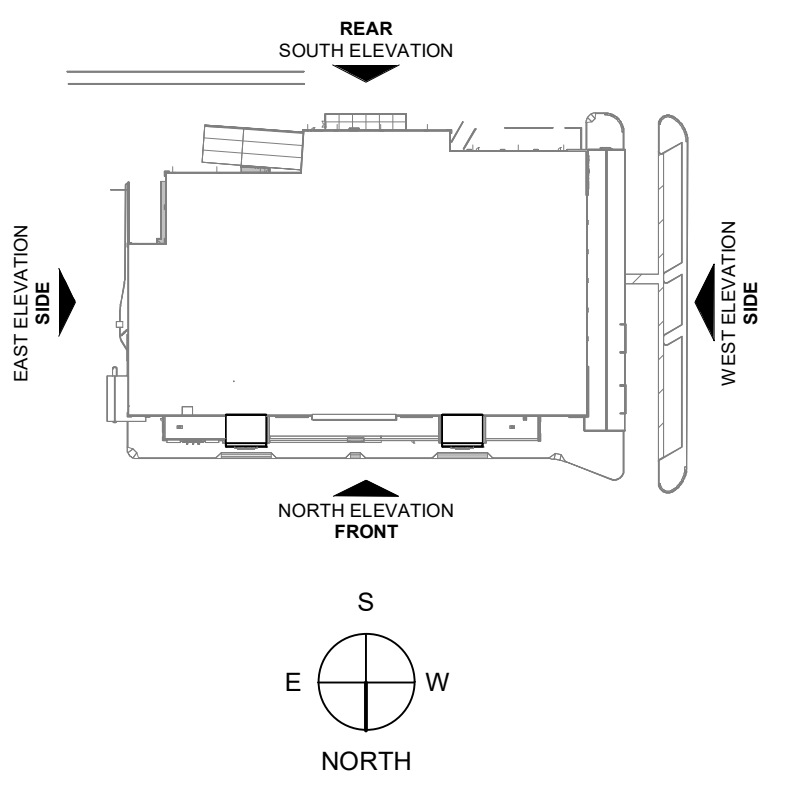
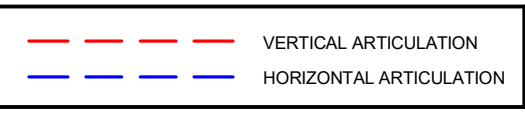


6 WEST ELEVATION - SIDE FOOTPRINT
1/16" = 1'-0"

TOWN OF PROSPER ARCHITECTURAL ARTICULATION

- ALL BUILDINGS SHALL BE DESIGNED TO INCORPORATE A FORM OF ARCHITECTURAL ARTICULATION EVERY 30 FEET, BOTH HORIZONTALLY ALONG EACH WALLS LENGTH AND VERTICALLY ALONG EACH WALLS HEIGHT. ACCEPTABLE ARTICULATION MAY INCLUDE THE FOLLOWING:
- 1. CANOPIES, AWNINGS, OR PORCHES;
 - 2. RECESSES/PROJECTIONS;
 - 3. ARCHES;
 - 4. BAY WINDOWS, INCLUDING A MINIMUM SILL HEIGHT OF 30 INCHES;
 - 5. ARCHITECTURAL DETAILS (SUCH AS TILE WORK AND MOLDINGS) INTEGRATED INTO THE BUILDING FACADE;
 - 6. ARTICULATED CORNICE LINE;
 - 7. ARTICULATED ENTRANCES OR ENTRY WALLS THAT INCORPORATE LANDSCAPE AND SITTING AREAS;
 - 8. OFFSETS, REVEALS OR PROJECTING RIB USED TO EXPRESS ARCHITECTURAL OR STRUCTURAL BAYS; OR
 - 9. VARIED ROOF HEIGHTS.
- ALL BUILDINGS SHALL BE DESIGNED TO INCORPORATE A FORM OF WINDOW ARTICULATION. ACCEPTABLE ARTICULATION MAY INCLUDE THE FOLLOWING:
- 1. DETAILED PATTERNED MULLIONS;
 - 2. GLASS DEPTH FROM WALL MIN. EIGHT INCHES;
 - 3. PROJECTED WINDOW MULLIONS;
 - 4. WATER TABLE IN LEU OF FLOOR TO CEILING GLASS;
 - 5. ARTICULATED LEVELS (E. SOLIDER COURSE IN BRICK OR MATERIAL CHANGE EIFS OR CAST STONE WITH MIN. 1/2" PROJECTION);
 - 6. ARTICULATED SILL (E. SOLIDER COURSE IN BRICK OR MATERIAL CHANGE EIFS OR CAST STONE WITH MIN. 1/2" PROJECTION);
 - 7. CAST STONE SURROUND ON ENTIRE WINDOW.

ARTICULATION LEGEND



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H.E.B. PROSPER - STORE
 16,933 ACRES
 FRONTIER RETAIL CENTER, BLOCK A LOT 6
 AN ADDITION TO THE TOWN OF PROSPER
 COLLIN COUNTY, TEXAS
 SEPTEMBER, 2023

EXTERIOR FINISH LEGEND

CODE	MATERIAL	COLOR (BASIS OF DESIGN)
MASONRY		
BR-1	FACE BRICK - MODULAR SIZE, RUNNING BOND	FALL CREEK (ACME BRICK)
BR-2	GLAZED BRICK - MODULAR SIZE, RUNNING BOND	EQUAL MIX OF GLACIER BLUE, TRITON & KEY WEST (BEIJER BRICK)
CMU-1	BURNISHED ARCHITECTURAL CMU	AUSTIN LIMESTONE (AUSTIN BLOCK)
CMU-2	BURNISHED ARCHITECTURAL CMU	MOCHA (AUSTIN BLOCK)
CMU-3	BURNISHED ARCHITECTURAL CMU	FRODO (TEXAS BUILDING PRODUCTS)
STN-1	NATURAL LIMESTONE - RANDOM ASHLAR	BLACKGOLD (BLACKGOLD BRICK CO.)
STN-2	NATURAL LIMESTONE - HONED	EQUAL MIX OF BLACKGOLD CREAM & BLACKGOLD WHITE (BLACKGOLD BRICK CO.)
METAL		
MP-1	ACM PANELS	DARK BRONZE
MP-2	CORRUGATED METAL "S" PANELS	TORNADO - PPG 1009-2 SOLITARY STATE - PPG 1009-3 GREY STONE - PPG 1009-4
FC-1	PANELIZED FIBER CEMENT CLADDING SYSTEM	VINTAGEWOOD - CLEAR (NICHHA)
STL-1	PAINTED EXPOSED STRUCTURAL STEEL	BLACK MAGIC - PPG 1001-7
EIFS		
EIFS-1	EXTERIOR INSULATION FINISHING SYSTEM	PAINTED PT-1
PAINT		
PT-1	PAINT	LIGHT BEIGE PPG1086-2 (BRANDED PEARS)
PT-2	PAINT	CUSTOM BY BEHR CURBSIDE BLUE
PT-3	PAINT	HEB RED
MISC		
SF-1	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH, GLAZING: CRYSTAL GRAY-CLEAR - 9% VLT (GUARDIAN)
SF-2	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH, GLAZING: CRYSTAL GRAY-CLEAR - 9% VLT (GUARDIAN)
PC-1	PRE-CAST STONE CAPS	STANDARD GRAY

NORTH ELEVATION - 14,708 SF

GLASS & DOORS = 2,095 SF, STL-1 & MP-1 (TRM) = 2,113 SF				NET SQUARE FOOTAGE = 10,500 SF		
MASONRY MATERIALS	CODE	SF	PERCENTAGE	TOTAL PERCENTAGE		
STONE	STN-1 + STN-2	2,745	26.1%	9,460 SF 90.1%		
STONE CAP	FC-1	96	0.9%			
MASONRY	CMU-1	3,980	29.8%			
MASONRY	CMU-2	1,037	9.8%			
MASONRY	CMU-3	1,402	13.5%			
MASONRY	BR-1	1,090	10.4%			
SECONDARY MATERIALS	CODE	SF	PERCENTAGE	TOTAL PERCENTAGE		
EIFS	EIFS	292	2.8%	1,040 SF 9.9%		
FIBER CEMENT	FC-1	398	2.9%			
METAL PANELS	MP-2	440	4.2%			
TOTAL		10,500	100%	100%		

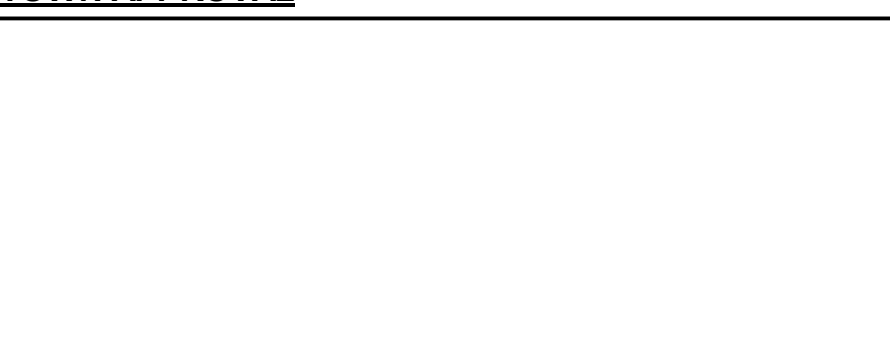
WEST ELEVATION - 9,516 SF

GLASS & DOORS = 365 SF, STL-1 & MP-1 (TRM) = 961 SF				NET SQUARE FOOTAGE = 8,190 SF		
MASONRY MATERIALS	CODE	SF	PERCENTAGE	TOTAL PERCENTAGE		
STONE	STN-1	1,939	23.7%	7,882 SF 92.6%		
STONE CAP	FC-1	61	0.8%			
MASONRY	CMU-1	1,598	19.5%			
MASONRY	CMU-2	2,182	26.6%			
MASONRY	CMU-3	1,297	15.8%			
MASONRY	BR-2	505	6.2%			
SECONDARY MATERIALS	CODE	SF	PERCENTAGE	TOTAL PERCENTAGE		
EIFS	EIFS	247	3.0%	608 SF 7.4%		
FIBER CEMENT	FC-1	361	4.4%			
TOTAL		8,190	100%	100%		

TOWN OF PROSPER GENERAL NOTES

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TOWN APPROVAL



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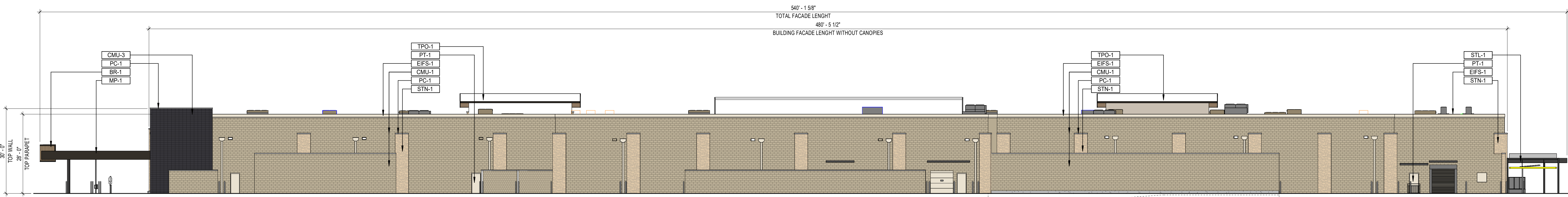
Date	Description	Revision

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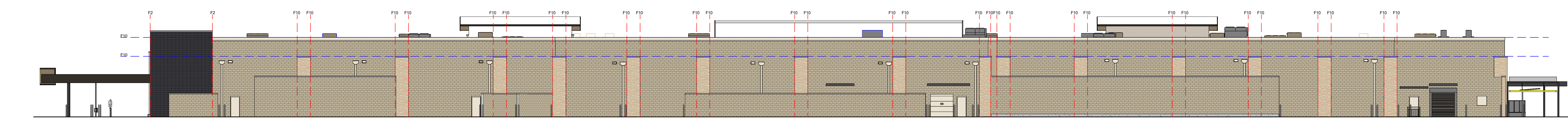
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 CONSULT: PROJECT NO.: 3443.000.00
 DATE: 12.18.2023
 SHEET NO.: 02

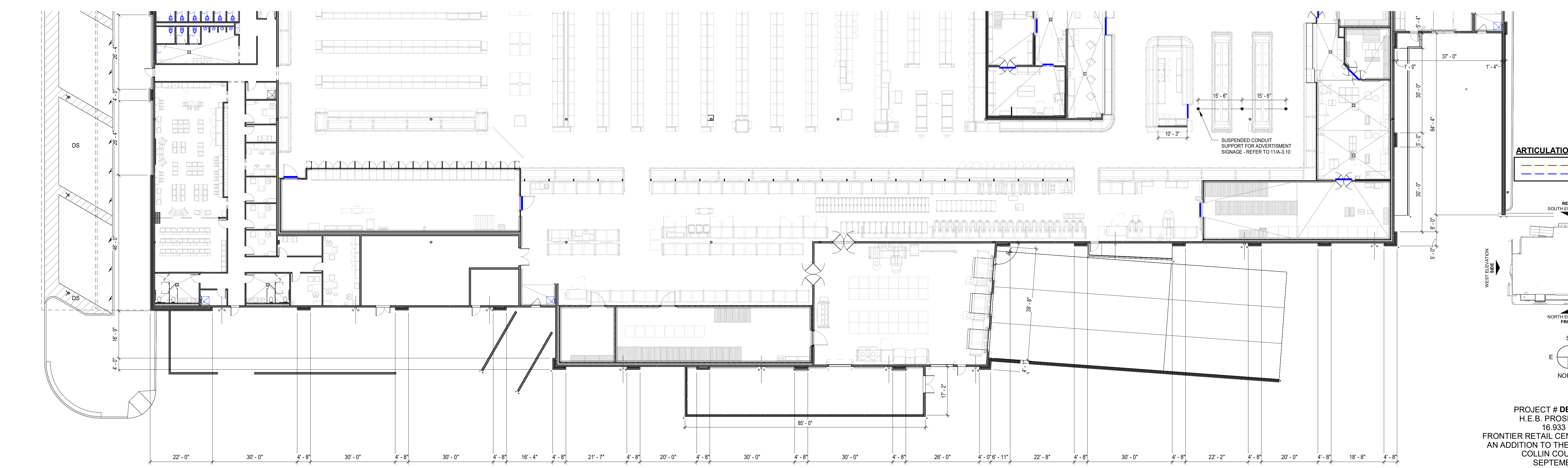
FACADE PLAN
 H-E-B PROSPER | CORP # 809
 75220 Frontier Pkwy | Prosper, Texas 75078



1 OVERALL EXTERIOR SOUTH ELEVATION - REAR
 1/16" = 1'-0"
 NOTE: MECHANICAL UNITS ARE SCREENED BY BUILDING PARAPET. REFERENCE SITE LINE STUDY VIEWS.



2 OVERALL EXTERIOR SOUTH ELEVATION - REAR ARTICULATION
 1/16" = 1'-0"



3 SOUTH ELEVATION - REAR FOOTPRINT
 1/16" = 1'-0"

TOWN OF PROSPER ARCHITECTURAL ARTICULATION

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- CANOPIES, AWNINGS, OR PORTICOES
- RECESSED PROJECTIONS
- ARCADIES
- ANCHORS
- PROJECTING WINDOWS, INCLUDING A MINIMUM SHILL HEIGHT OF 30 INCHES
- ARCHITECTURAL DETAILS (SUCH AS TILE WORK AND MOLDS) INTEGRATED INTO THE BUILDING FACADE
- ARTICULATED FINISHES OR LEVELS OR BASES
- ARTICULATED CORNICE LINE
- INTEGRATED PLANTERS OR WIND WALLS THAT INCORPORATE LANDSCAPE AND SITTING AREAS
- OFFSETS, REVEALS OR PROJECTING RISERS USED TO EXPRESS ARCHITECTURAL OR STRUCTURAL BAYS, OR 1" WAVED ROOF HEIGHTS

ALL BUILDINGS SHALL BE DESIGNED TO INCORPORATE A FORM OF WINDOW ARTICULATION. ACCEPTABLE ARTICULATION MAY INCLUDE THE FOLLOWING:

- DETAILED PATTERNED MULLIONS
- GLASS DEPTH FROM WALL MIN. EIGHT INCHES
- PROJECTING AWNINGS/SHERRIDES
- WATER TABLE IN LIEU OF FLOOR TO CEILING GLASS
- ARTICULATED SILL (I.E. SOLDIER COURSE IN BRICK OR MATERIAL CHANGE EPS OR CAST STONE WITH MIN. 1/2" PROJECTION)
- ARTICULATED SILL (I.E. SOLDIER COURSE IN BRICK OR MATERIAL CHANGE EPS OR CAST STONE WITH MIN. 1/2" PROJECTION)
- CAST STONE SURROUNDS ON ENTIRE WINDOW

SOUTH ELEVATION - 13,600 SF

GLASS & DOORS = 375 SF, MP-1 (TRIM) = 115 SF		NET SQUARE FOOTAGE = 13,110 SF			
MASONRY MATERIALS	CODE	SF	PERCENTAGE	TOTAL PERCENTAGE	
STONE	STN-1	1,522 SF	11.6%		
STONE CAP	PC-1	26 SF	0.2%		12,560 SF
MASONRY	CMU-1	10,292 SF	78.5%		95.3%
MASONRY	CMU-3	690 SF	5.0%		
SECONDARY MATERIALS		CODE	SF	PERCENTAGE	TOTAL PERCENTAGE
EPS	EFS	610	4.7%		610 SF
TOTAL		13,110	100%		100%

EXTERIOR FINISH LEGEND

CODE	MATERIAL	COLOR (BASIS OF DESIGN)
MASONRY		
BR-1	FACE BRICK - MODULAR SIZE, RUNNING BOND	FALL CREEK (ACME BRICK)
BR-2	GLAZED BRICK - MODULAR SIZE, RUNNING BOND	EQUAL MIX OF GLACIER BLUE, TRITON & KEY WEST (BELGEN BRICK)
CMU-1	BURNISHED ARCHITECTURAL CMU	AUSTIN LIMESTONE (AUSTIN BLOCK)
CMU-2	BURNISHED ARCHITECTURAL CMU	MOCHA (AUSTIN BLOCK)
CMU-3	BURNISHED ARCHITECTURAL CMU	FRIO (TEXAS BUILDING PRODUCTS)
STN-1	NATURAL LIMESTONE - RANDOM ASHLAR	BLACKSON GOLD (BLACKSON BRICK CO.)
STN-2	NATURAL LIMESTONE - HONED	EQUAL MIX OF BLACKSON CREAM & BLACKSON WHITE (BLACKSON GOLD (BLACKSON BRICK CO.))
METAL		
MP-1	ACM PANELS	DARK BRONZE
MP-2	CORRUGATED METAL "30" PANELS	TORNADO - PPG 1099-2 SOLITARY STATE - PPG 1099-3 GREY STONE - PPG 1009-1
PC-1	PANIALIZED FIBER CEMENT CLADDING SYSTEM	VINTAGE WOOD - CEDAR (NCHHA)
STL-1	PAINTED EXPOSED STRUCTURAL STEEL	BLACK MAGIC - PPG 1001-7
EPS		
EFS-1	EXTERIOR INSULATION FINISHING SYSTEM	PAINTED PT-1
PAINT		
PT-1	PAINT	LIGHT BEIGE PPG 1086-2 (BRANDED PEARS)
PT-2	PAINT	CUSTOM BY BEHR CURBSIDE BLUE
PT-3	PAINT	HEB RED
MISC		
SF-1	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH GLAZING CRYSTAL GRAY CLEAR - 9% VLT (GUARDIAN)
SF-2	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH GLAZING CRYSTAL GRAY CLEAR - 9% VLT (GUARDIAN)
PC-1	PRE-CAST STONE CAPS	STANDARD GRAY

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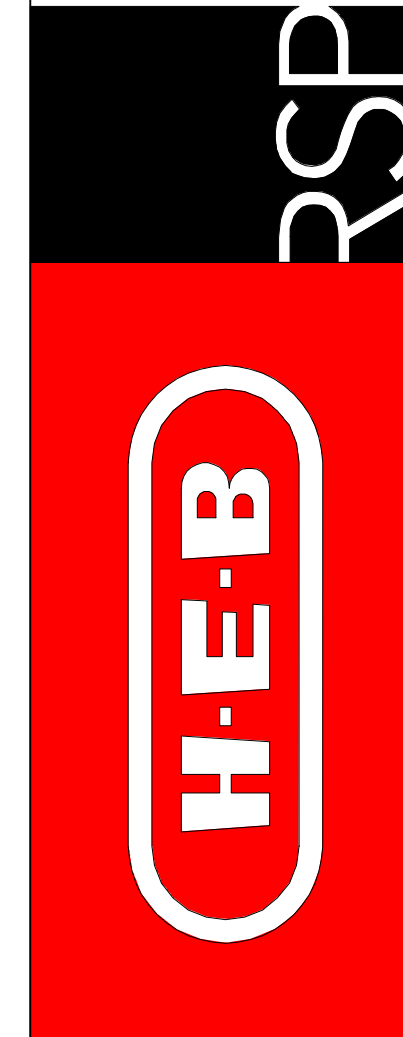
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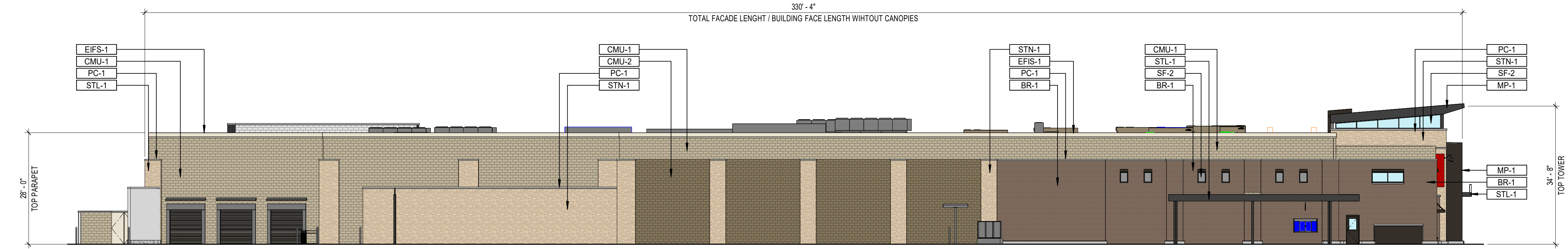


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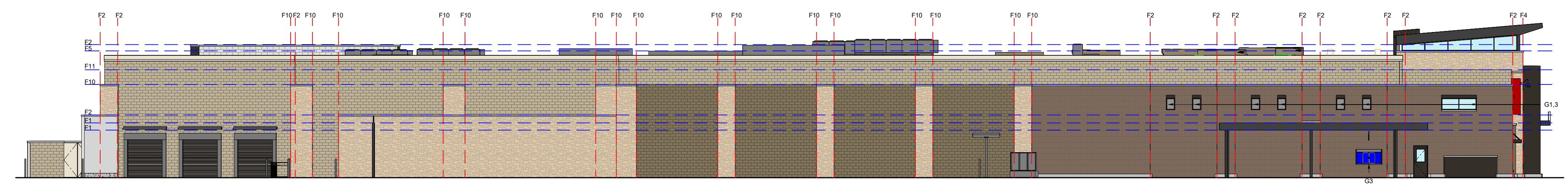
CONSULT: PROJ. NO. 2403.000.00
 DATE: 12-18-2023
 SHEET NO. 03

FACADE PLAN

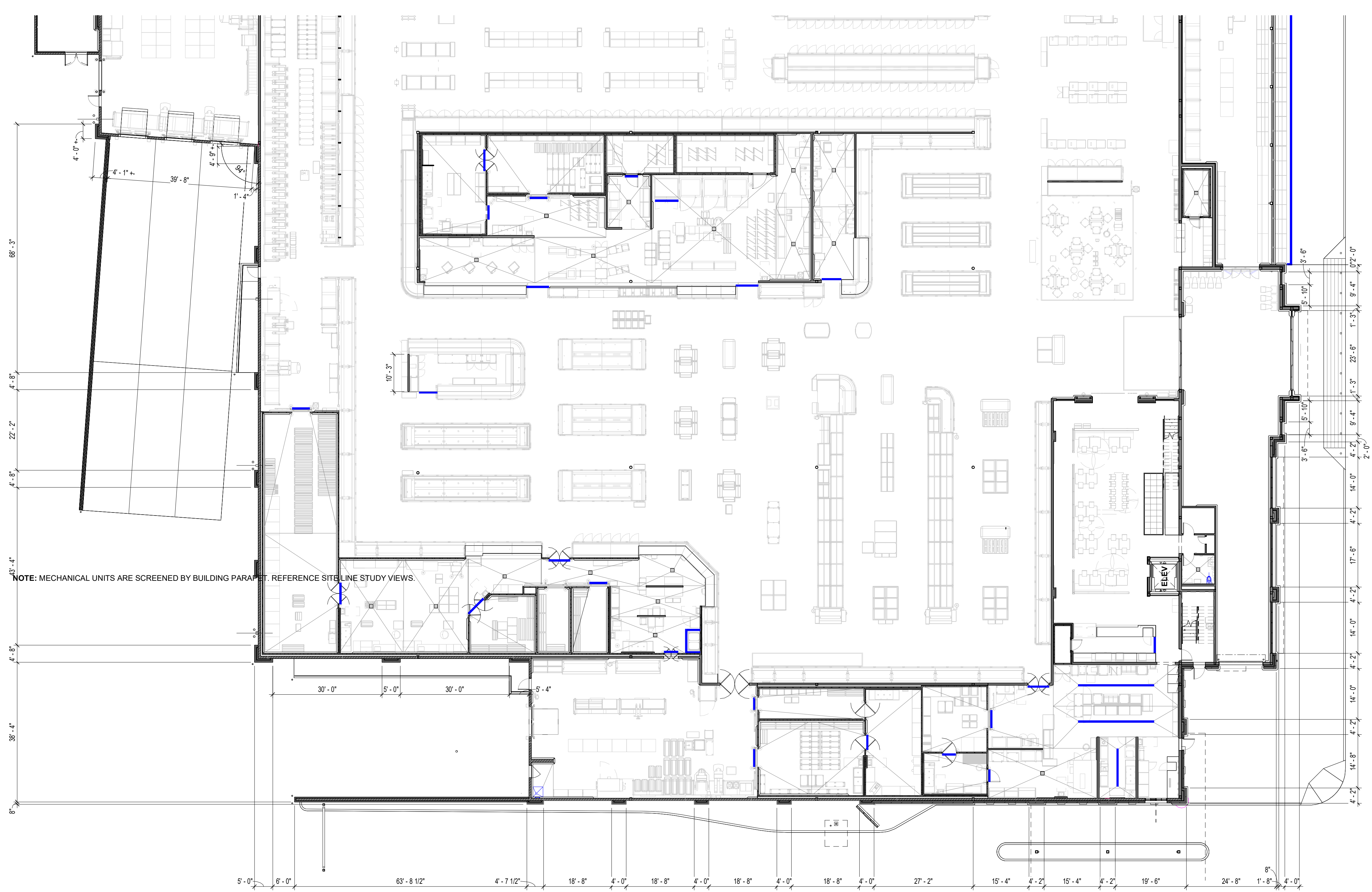
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 75220 Frontier Pkwy | Prosper, Texas 75078



1 OVERALL EXTERIOR EAST ELEVATION - SIDE
1/16" = 1'-0"



2 OVERALL EXTERIOR EAST ELEVATION - SIDE ARTICULATION
1/16" = 1'-0"



3 EAST ELEVATION - REAR FOOTPRINT
1/16" = 1'-0"

TOWN OF PROSPER ARCHITECTURAL ARTICULATION

ALL BUILDINGS SHALL BE DESIGNED TO INCORPORATE A FORM OF ARCHITECTURAL ARTICULATION EVERY 30 FEET, BOTH HORIZONTALLY ALONG EACH WALL'S LENGTH AND VERTICALLY ALONG EACH WALL'S HEIGHT. ACCEPTABLE ARTICULATION MAY INCLUDE THE FOLLOWING:

1. CANOPIES, AWNINGS, OR PORTICOES;
2. PROCESSIONS;
3. ARCADES;
4. ARCHES;
5. CORNICES AT WINDOWS, INCLUDING A MINIMUM SILL HEIGHT OF 30 INCHES;
6. ARCHITECTURAL DETAILS (SUCH AS TILE WORK AND MOLDINGS) INTEGRATED INTO THE BUILDING FACADE;
7. ARTICULATED GROUND FLOOR LEVELS OR BASES;
8. ARTICULATED CORNICE LINE;
9. INTEGRATED PLANTING OR WIND WALLS THAT INCORPORATE LANDSCAPE AND SITTING AREAS;
10. OFFSETS, REVEALS OR PROJECTING RIB USED TO EXPRESS ARCHITECTURAL OR STRUCTURAL BAYS; OR
11. VARYED ROOF HEIGHTS.

ALL BUILDINGS SHALL BE DESIGNED TO INCORPORATE A FORM OF WINDOW ARTICULATION. ACCEPTABLE ARTICULATION MAY INCLUDE THE FOLLOWING:

1. DETAILED PATTERNED MULLIONS
2. GLASS DEPTH FROM WALL MIN. EIGHT INCHES
3. PROJECTED AWNINGS AND CANOPIES
4. WATER TABLE IN LIEU OF FLOOR TO CEILING GLASS
5. ARTICULATED LEVELS (E. SOLIDER COURSE IN BRICK OR MATERIAL CHANGE EPS OR CAST STONE WITH MIN. 10' PROJECTION); E. SOLIDER COURSE IN BRICK OR MATERIAL CHANGE EPS OR CAST STONE WITH MIN. 10' PROJECTION);
6. ARTICULATED SILL (E. SOLIDER COURSE IN BRICK OR MATERIAL CHANGE EPS OR CAST STONE WITH MIN. 10' PROJECTION);
7. CAST STONE SURROUND ON ENTIRE WINDOW

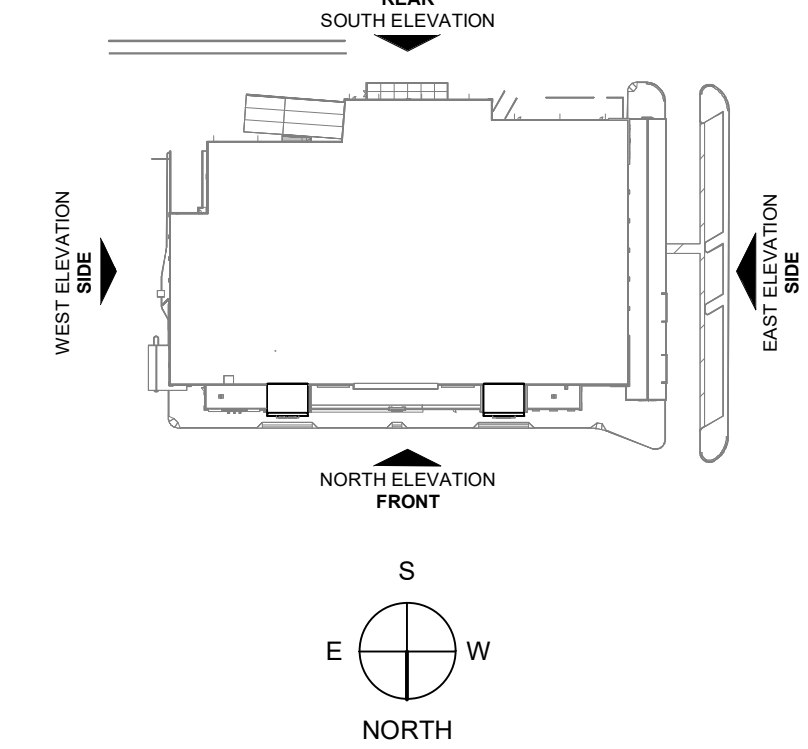
EXTERIOR FINISH LEGEND

CODE	MATERIAL	COLOR (BASIS OF DESIGN)
MASONRY		
BR-1	FACE BRICK - MODULAR SIZE, RUNNING BOND	FALL CREEK (ACME BRICK)
BR-2	GLAZED BRICK - MODULAR SIZE, RUNNING BOND	EQUAL MIX OF GLACIER BLUE, TRITON & KEY WEST (BELDEN BRICK)
CMU-1	BURNISHED ARCHITECTURAL CMU	AUSTIN LIMESTONE (AUSTIN BLOCK)
CMU-2	BURNISHED ARCHITECTURAL CMU	MODIA (AUSTIN BLOCK)
CMU-3	BURNISHED ARCHITECTURAL CMU	FRIO (TEXAS BUILDING PRODUCTS)
STN-1	NATURAL LIMESTONE - RANDOM MASHLAR	BLACKSON GOLD (BLACKSON BRICK CO.)
STN-2	NATURAL LIMESTONE - HONED	EQUAL MIX OF BLACKSON CREAM & BLACKSON WHITE (BLACKSON GOLD (BLACKSON BRICK CO.))
METAL		
MP-1	ACM PANELS	DARK BRONZE
MP-2	CORRUGATED METAL "S" PANELS	TORNADO - PPG 1009-2 SILVER STATE - PPG 1009-3 GREY STONE - PPG 1009-4
PC-1	PANELIZED FIBER CEMENT CLADDING SYSTEM	VINTAGEWOOD - CEDAR (NICHAN)
STL-1	PAINTED EXPOSED STRUCTURAL STEEL	BLACK MAGIC - PPG 1001-7
EFS		
EFS-1	EXTERIOR INSULATION FINISHING SYSTEM	PAINTED PT-1
PAINT		
PT-1	PAINT	LIGHT BEIGE PPG1086-2 (BRANDED PEARS)
PT-2	PAINT	CUSTOM (BY BEHR) CURBSIDE BLUE
PT-3	PAINT	HEB RED
MISC		
SF-1	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH, GLAZING: CRYSTAL GRAY CLEAR - 9% VLT (GUARDIAN)
SF-2	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH, GLAZING: CRYSTAL GRAY CLEAR - 9% VLT (GUARDIAN)
PC-1	PRE-CAST STONE CAPS	ALUMINUM

EAST ELEVATION - 9,404 SF

GLASS & DOORS = 439 SF, STL-1 & MP-1 (FRM) = 294 SF				NET SQUARE FOOTAGE = 8,992 SF	
MASONRY MATERIALS	CODE	SF	PERCENTAGE	TOTAL PERCENTAGE	
STONE	STN-1	1,739	20.0%		
STONE CAP	PC-1	86	1.0%		
MASONRY	CMU-1	2,799	32.2%	8,286 SF	
MASONRY	CMU-2	1,593	18.3%	98.4%	
MASONRY	BR-1	2,076	23.9%		
SECONDARY MATERIALS					
EFS	EFS	397	4.7%	397 SF	
TOTAL				8,692 100% 100%	

ARTICULATION LEGEND



PROJECT # DEVAPP-23-0180
H.E.B. PROSPER - STORE
16.933 ACRES
FRONTIER RETAIL CENTER, BLOCK A | LOT 6
AN ADDITION TO THE TOWN OF PROSPER
COLLIN COUNTY, TEXAS
SEPTEMBER, 2023

H.E.B. LP OWNER
643 S. MAIN (210) 936-8000
SAN ANTONIO, TEXAS 75002

CONTACT: JOHN ROSE

CLAYMOORE ENGINEERING ENGINEER
1903 CENTRAL DRIVE, SUITE #406 (817) 281-0572
BEDFORD, TEXAS 76021

CONTACT: DREW DONOSKY

TOWN OF PROSPER GENERAL NOTES

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6. ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

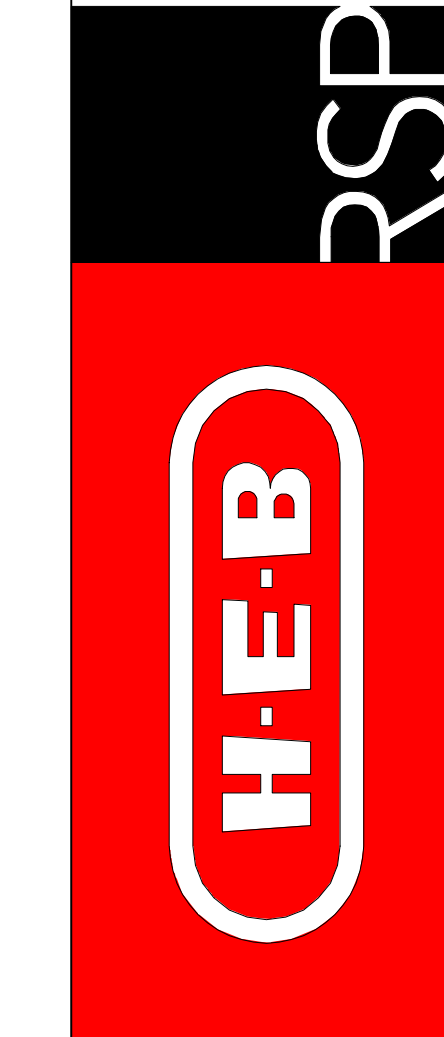
TOWN APPROVAL

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Date	Description	Revision

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Fort Worth, TX 76102
817.277.8585
www.rsparch.com



FACADE PLAN

H-E-B PROSPER | CORP # 809
75220 Frontier Pkwy | Prosper, Texas 75078

SCALE: AS INDICATED
CONSUL. PROJ. NO.: 3443.000.00
DATE: 12-18-2023
SHEET NO. 04

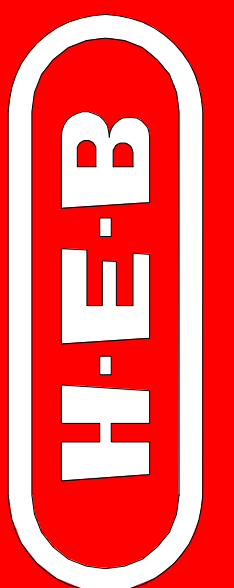
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Revision

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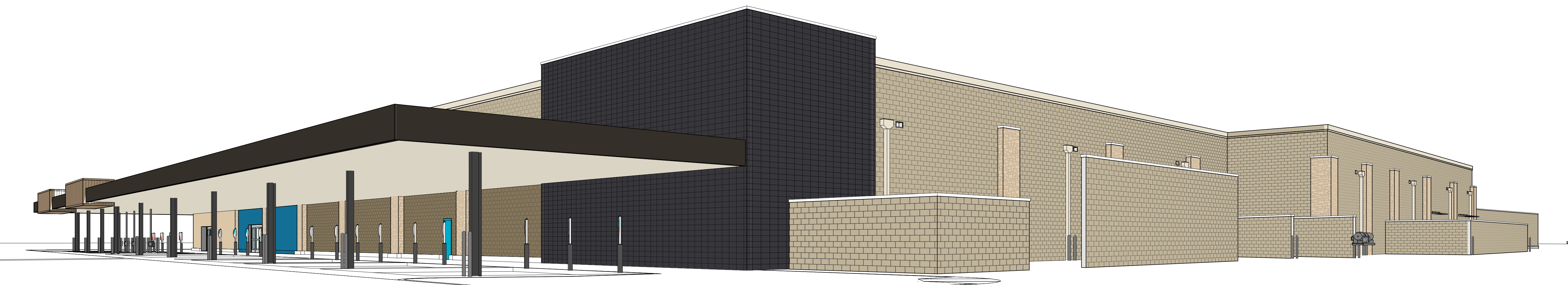
SITE LINE STUDY - PERSPECTIVES

H-E-B PROSPER | CORP # 809
75220 Frontier Pkwy | Prosper, Texas 75078

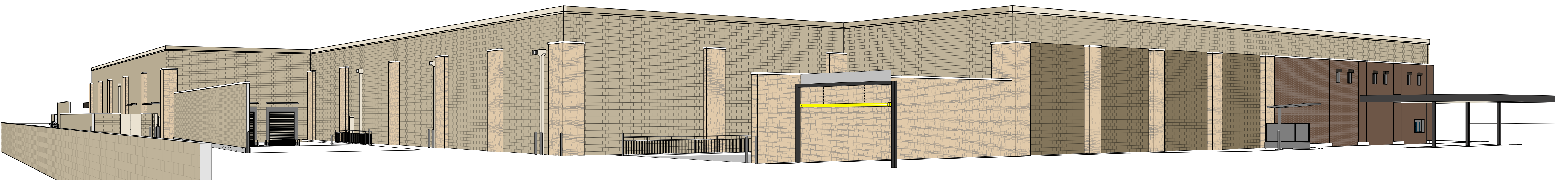
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6 PERSPECTIVE VIEW 5



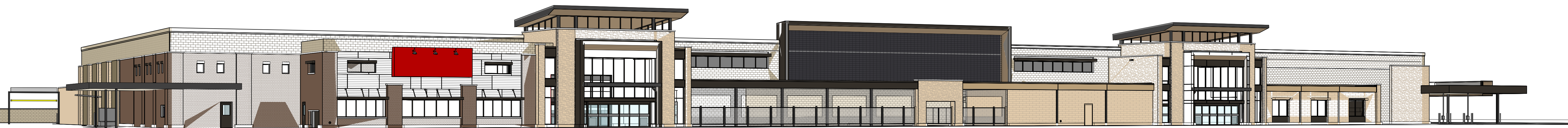
5 PERSPECTIVE VIEW 4



4 PERSPECTIVE VIEW 3

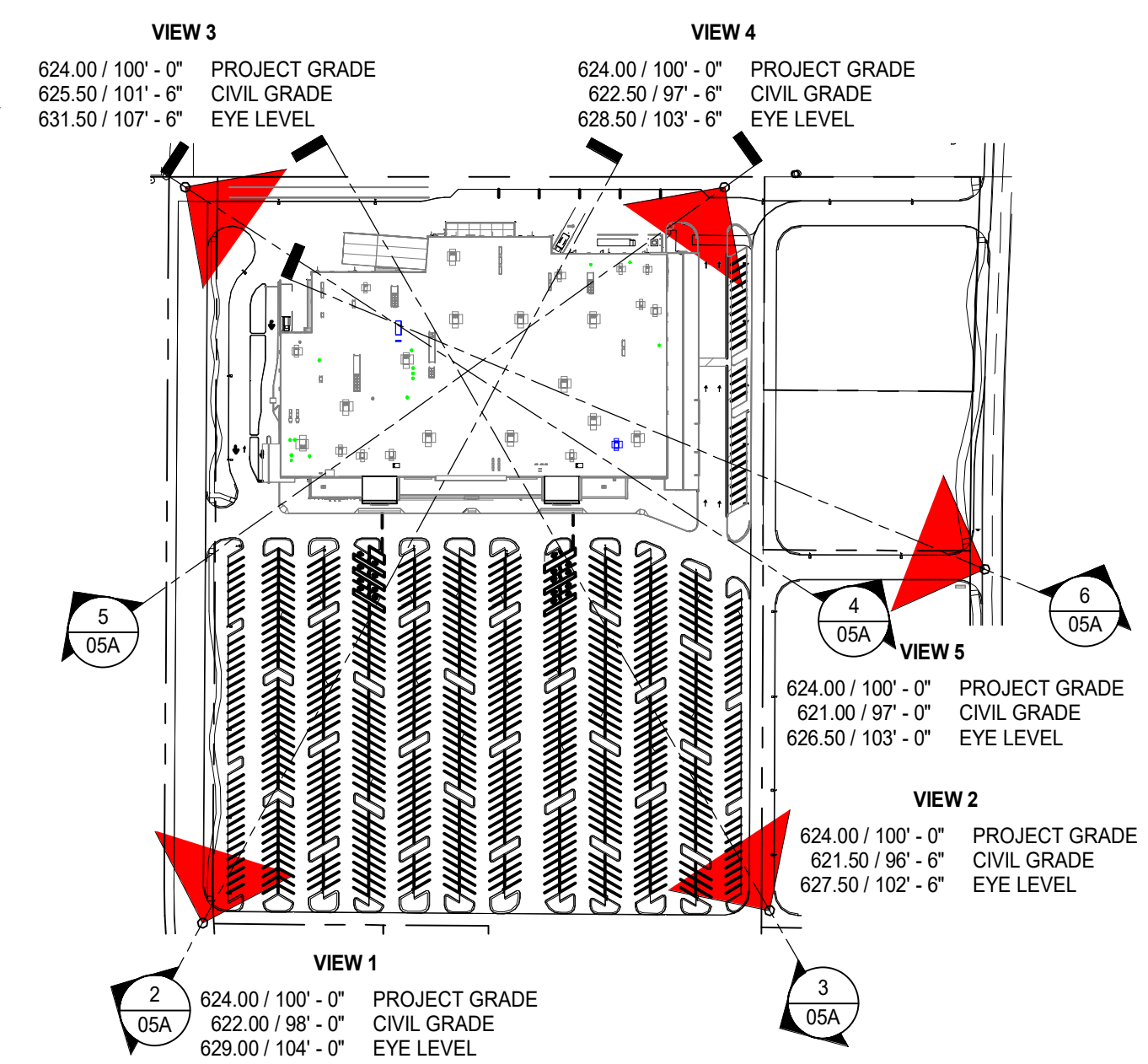


3 PERSPECTIVE VIEW 2



2 PERSPECTIVE VIEW 1

SITE LINE STUDY



1 SITE PLAN - SIGHT LINE STUDY
1" = 200'-0"

PROJECT # DEVAPP-23-0180
H.E.B. PROSPER - STORE
16.933 ACRES
FRONTIER RETAIL CENTER, BLOCK A | LOT 6
AN ADDITION TO THE TOWN OF PROSPER
COLLIN COUNTY, TEXAS
SEPTEMBER, 2023

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SAN ANTONIO, TEXAS 75002

CLAYMOORE ENGINEERING ENGINEER
1903 CENTRAL DRIVE, SUITE #406 (817) 281-0572
BEDFORD, TEXAS 76021

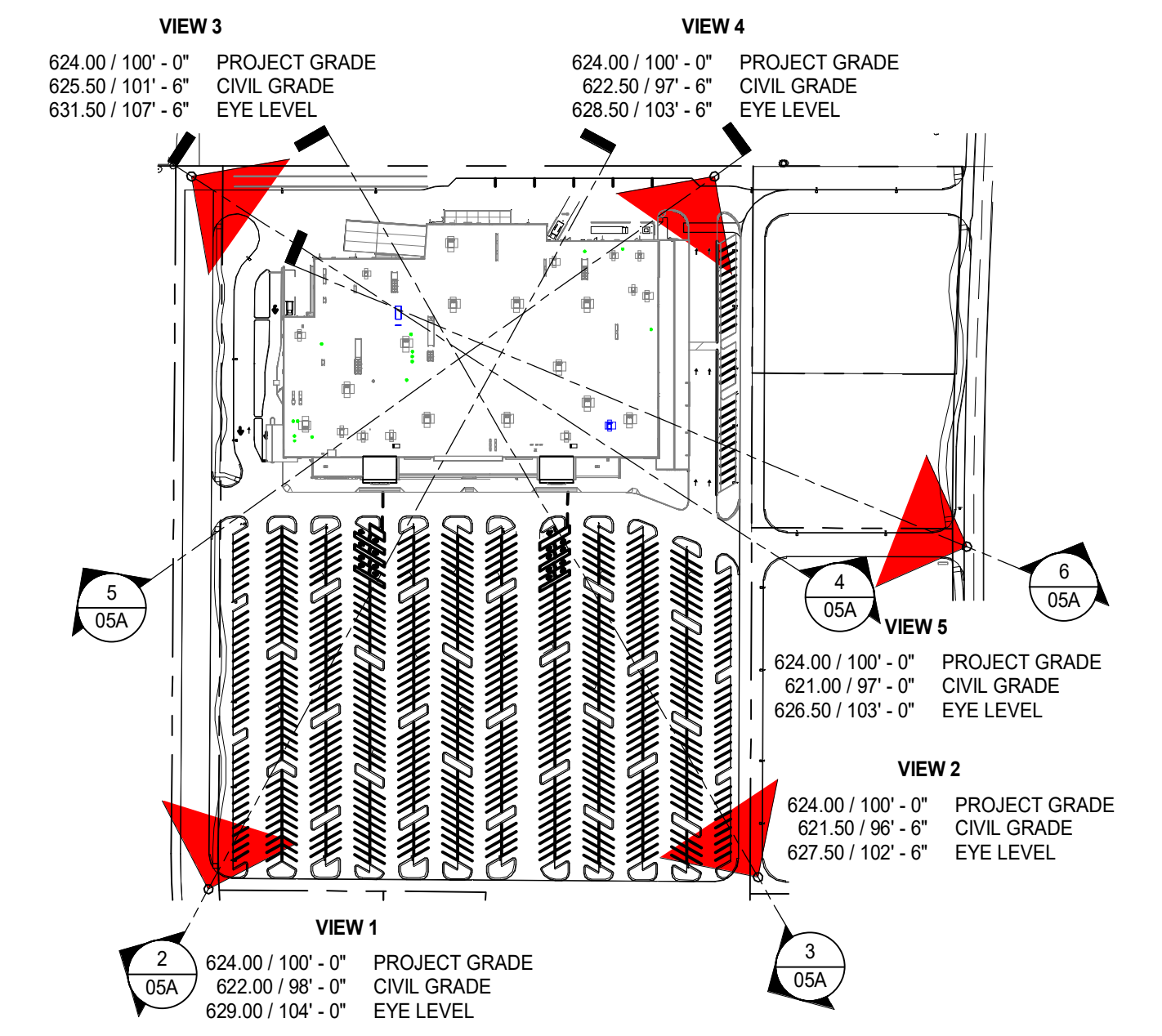
CONTACT: JOHN ROSE
CONTACT: DREW DONOSKY

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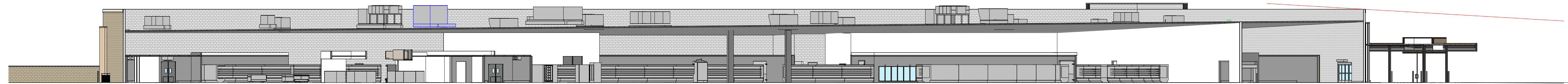
TOWN APPROVAL

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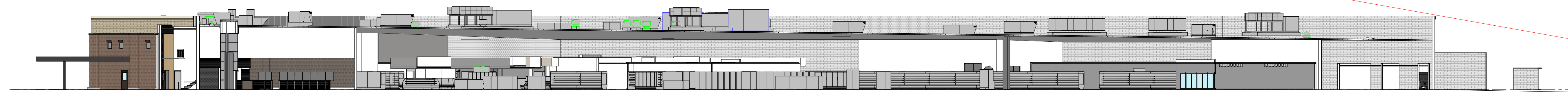
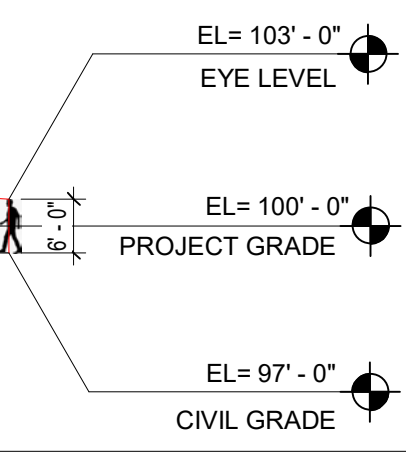
SITE LINE STUDY



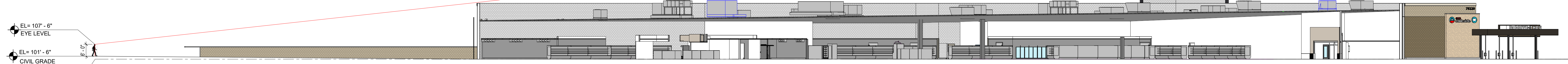
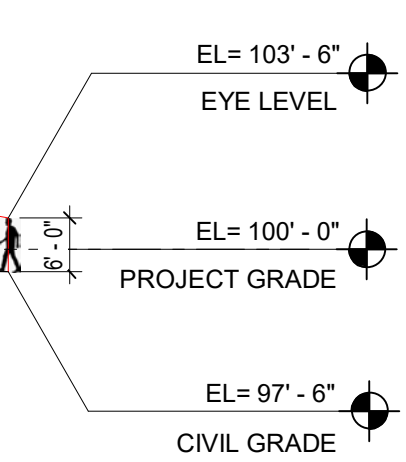
1 SITE PLAN - SIGHT LINE STUDY
 1" = 200'-0"



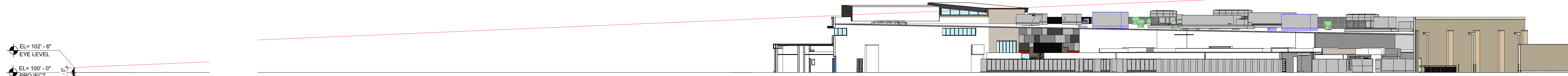
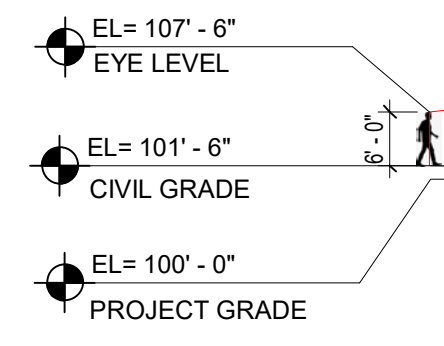
6 SITE LINE SECTION - VIEW 5
 3/8" = 1'-0"



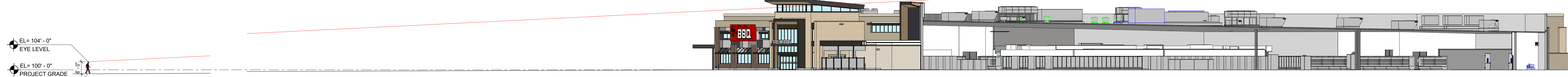
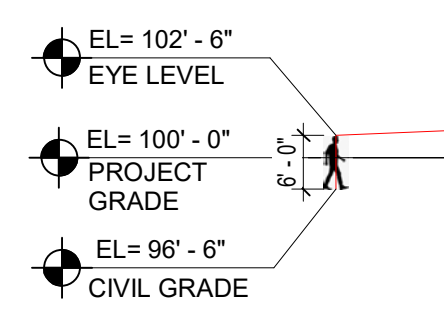
5 SITE LINE SECTION - VIEW 4
 3/8" = 1'-0"



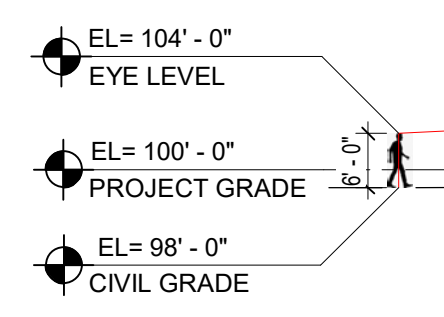
4 SITE LINE SECTION - VIEW 3
 3/8" = 1'-0"



3 SITE LINE SECTION - VIEW 2
 3/8" = 1'-0"



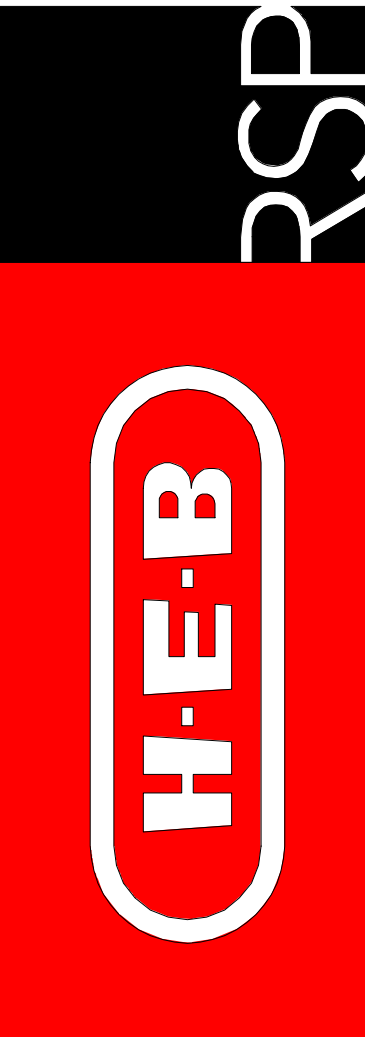
2 SITE LINE SECTION - VIEW 1
 3/8" = 1'-0"



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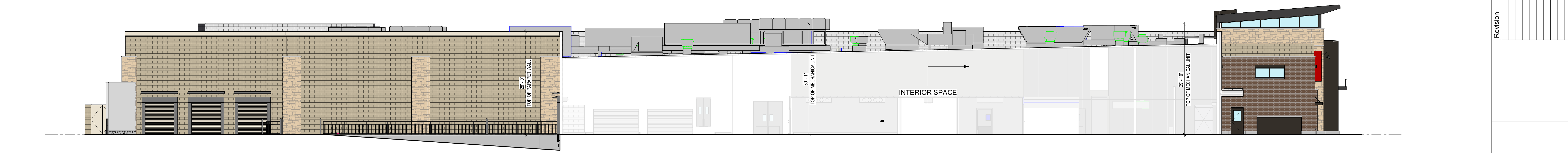


SITE LINE STUDY - SECTIONS
 H-E-B PROSPER | CORP # 609
 75220 Frontier Pkwy | Prosper, Texas 75078

SCALE: AS INDICATED	05A
CONSULT: 3443.000.00	
DATE: 12-18-2023	
SHEET NO.	



2 CROSS SECTION 01 - MECHANICAL UNITS HEIGHT
3/32" = 1'-0"



3 CROSS SECTION 02 - MECHANICAL UNITS HEIGHT
3/32" = 1'-0"

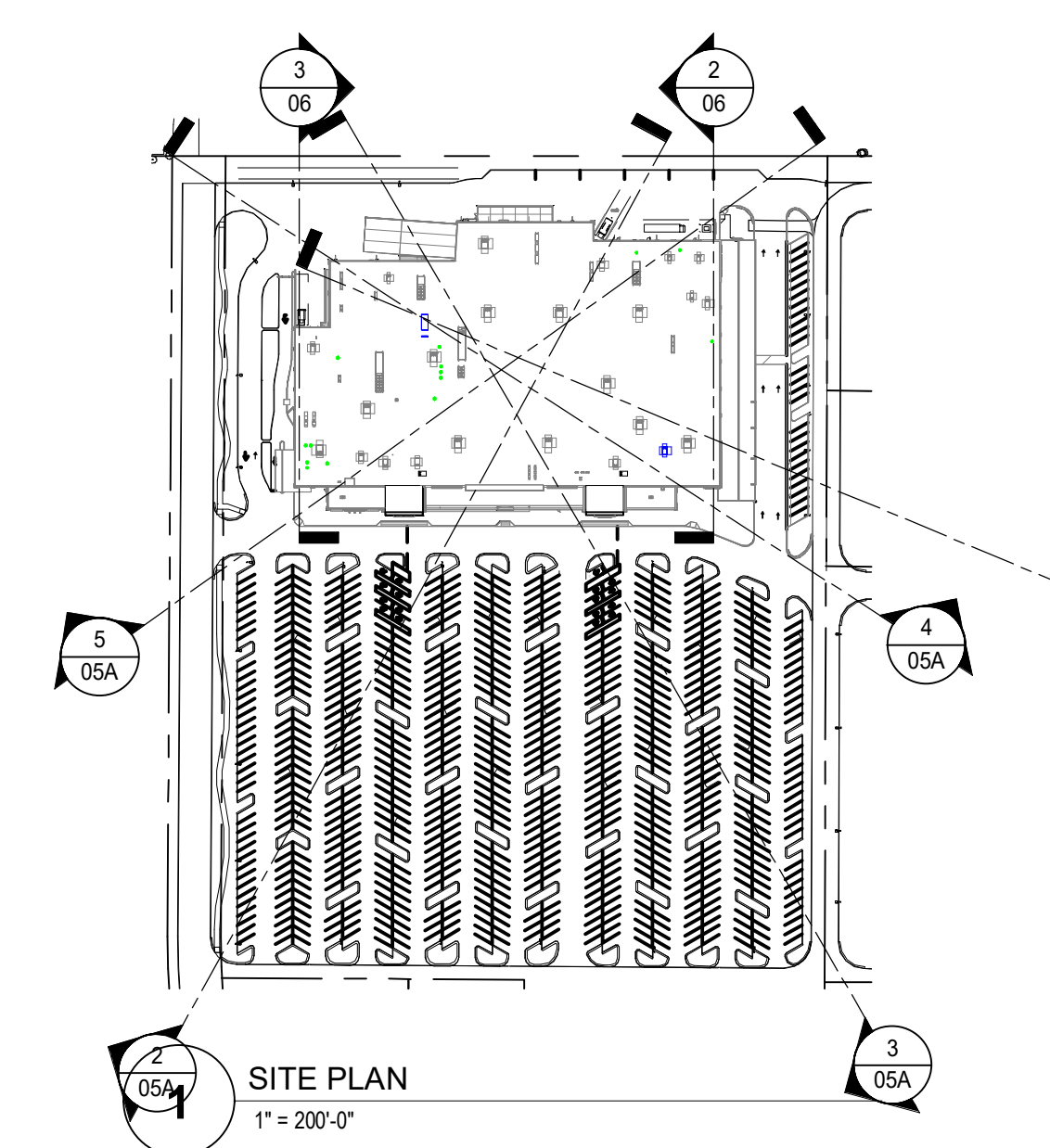
PROJECT # DEVAPP-23-0180
H.E.B. PROSPER - STORE
16.933 ACRES
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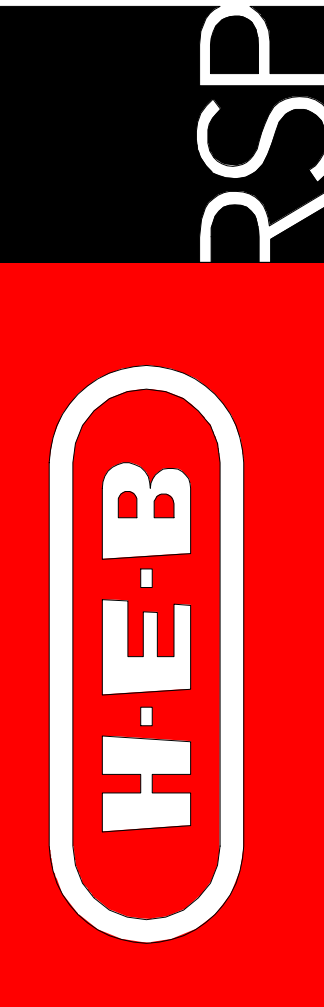
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TOWN APPROVAL
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CROSS SECTIONS

H-E-B PROSPER | CORP # 809
75220 Frontier Pkwy | Prosper, Texas 75078

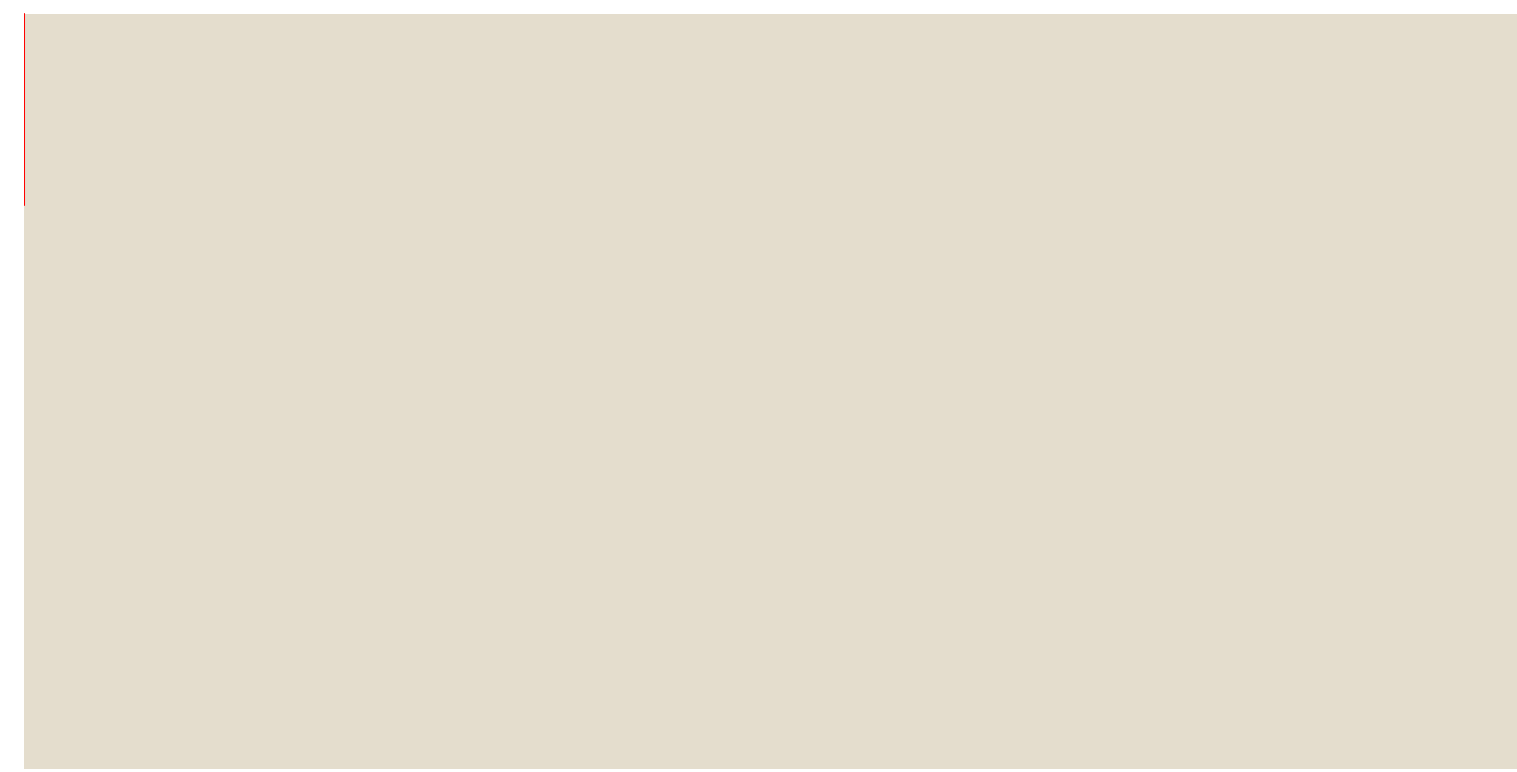
SCALE: AS INDICATED
 CONSULT: 3043.000.00
 DATE: 12.18.2023
 SHEET NO. 06



BR-1 | FACE BRICK



STN-2 | NATURAL LIMESTONE



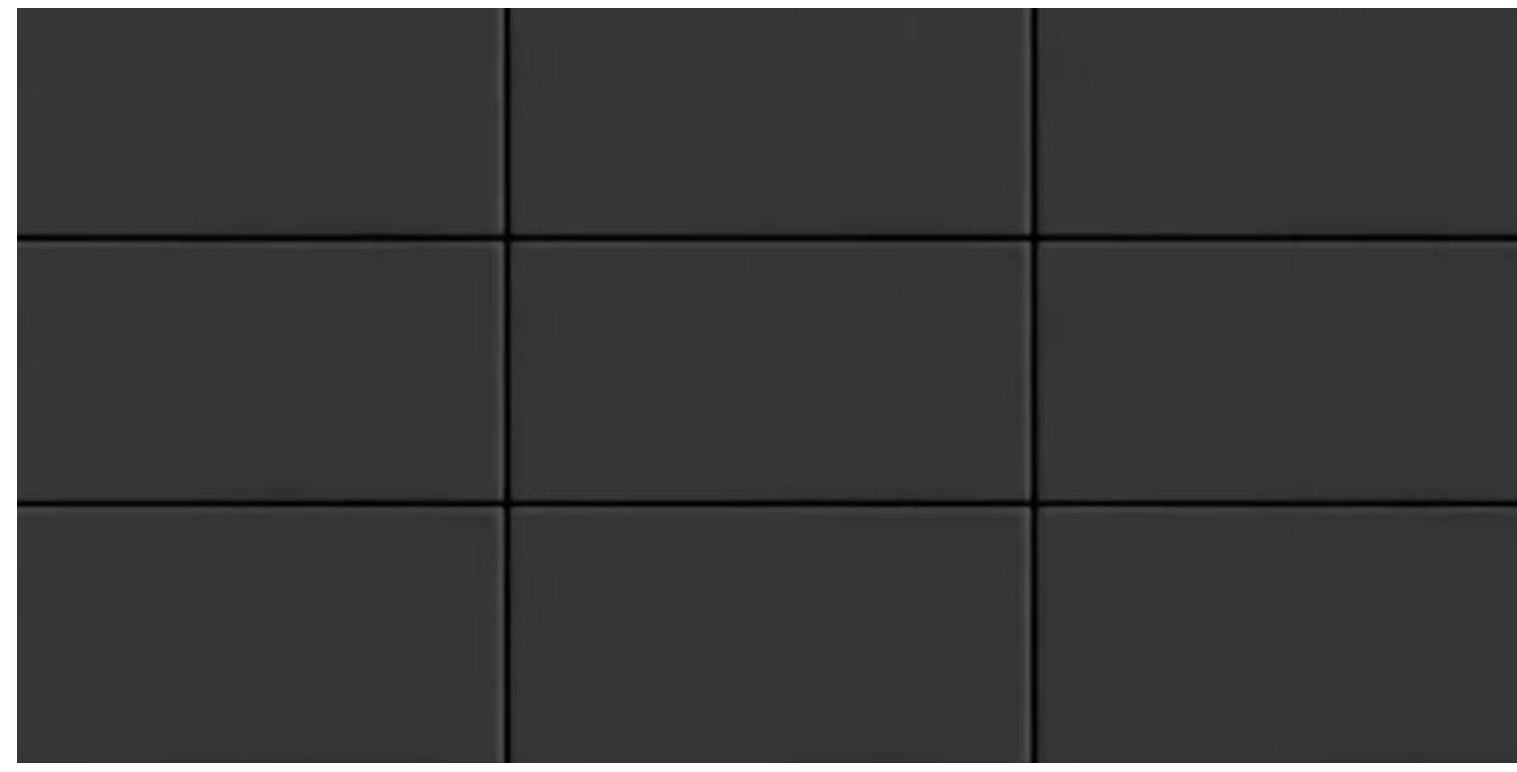
PT-1 | BRANDIED PEARS



SF-1 | CRYSTAL GRAY CLEAR



BR-2 | GLAZED BRICK



MP-1 | ACM PANELS



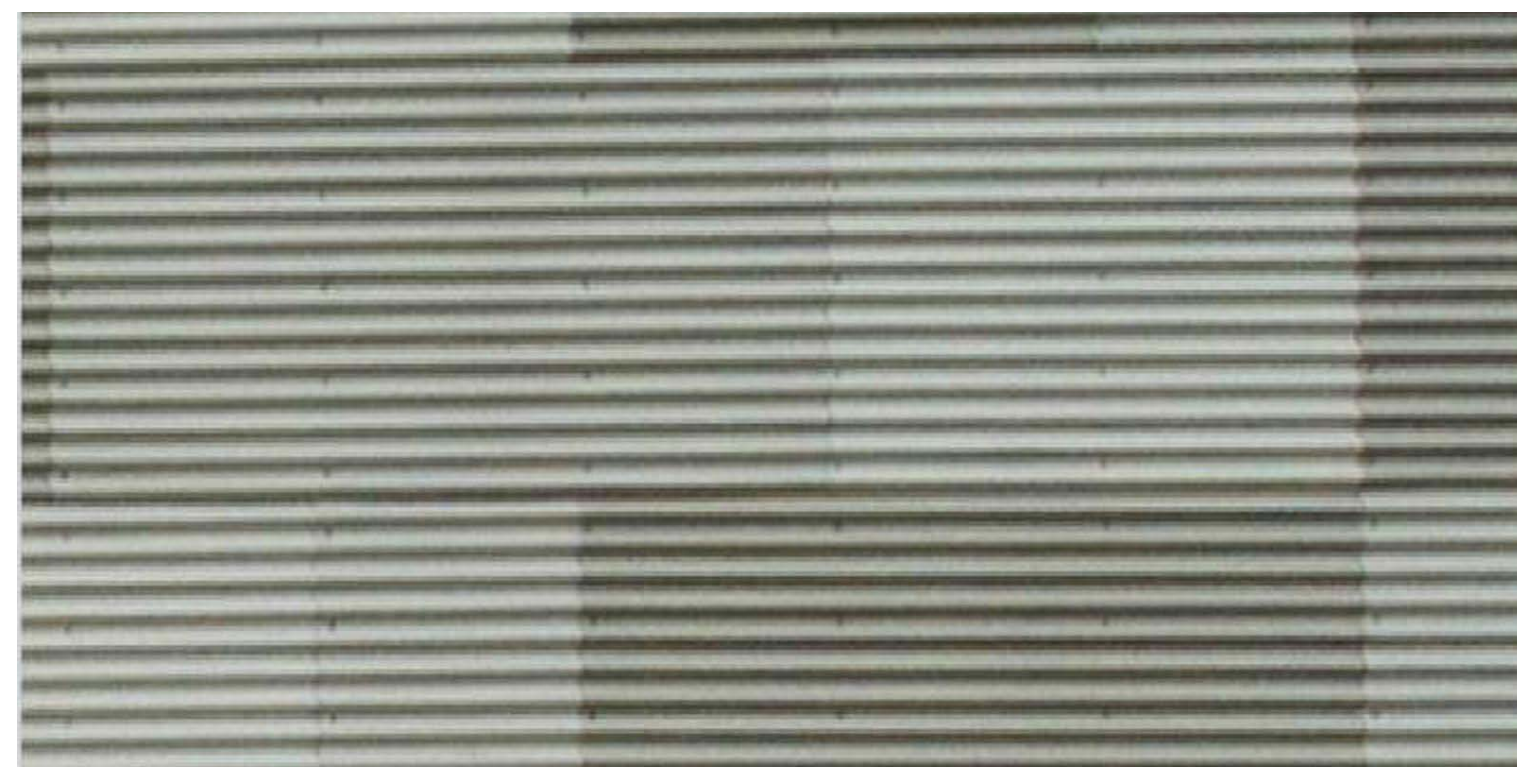
PT-2 | CUSTOM - CURBSIDE BLUE

Guardian SunGuard® - Insulating Glass Data

Product	Substrate Outboard - Inboard	Appearance	Visible Light			UV Transmittance %	Solar Heat Gain Coefficient	
			Transmittance %	Reflectance Out (%)	Color Rendering Index			
Coating #2 surface - except Neutral 78/65 on #3								
SNX 62/27	Low-iron - Low-iron	Ultra Clear	64	11	13	95.0	8	0.27
	Clear - Clear	Clear	62	11	12	93.0	6	0.27
	Green - Clear	Green	52	9	12	85.1	3	0.24
	CrystalGray - Clear	Light Gray	44	8	11	89.8	3	0.22
	Gray - Clear	Gray	31	6	11	90.7	3	0.18
SNX 51/23	CrystalBlue - Clear	Blue	40	7	11	88.8	4	0.21
	Low-iron - Low-iron	Neutral Blue	53	14	14	94.2	13	0.23
	Clear - Clear	Neutral Blue	51	14	14	93.9	10	0.23
	Green - Clear	Blue-Green	43	11	13	84.1	5	0.21
	CrystalGray - Clear	Light Gray	36	9	13	88.8	6	0.20
SNE 50/25	Gray - Clear	Gray	29	6	13	89.8	5	0.16
	CrystalBlue - Clear	Blue	39	8	13	87.7	7	0.19
	Low-iron - Low-iron	Blue-Silver	50	19	18	91.4	22	0.25
	Clear - Clear	Blue-Silver	48	19	18	88.9	17	0.25
	CrystalGray - Clear	Light Gray	34	12	17	86.0	9	0.21
	CrystalBlue - Clear	Light Blue	31	11	17	84.7	10	0.20



CMU-1 | BURNISHED ARCHITECTURAL CMU



MP-2 | CORRUGATED METAL "S" PANELS



PT-3 | HEB RED

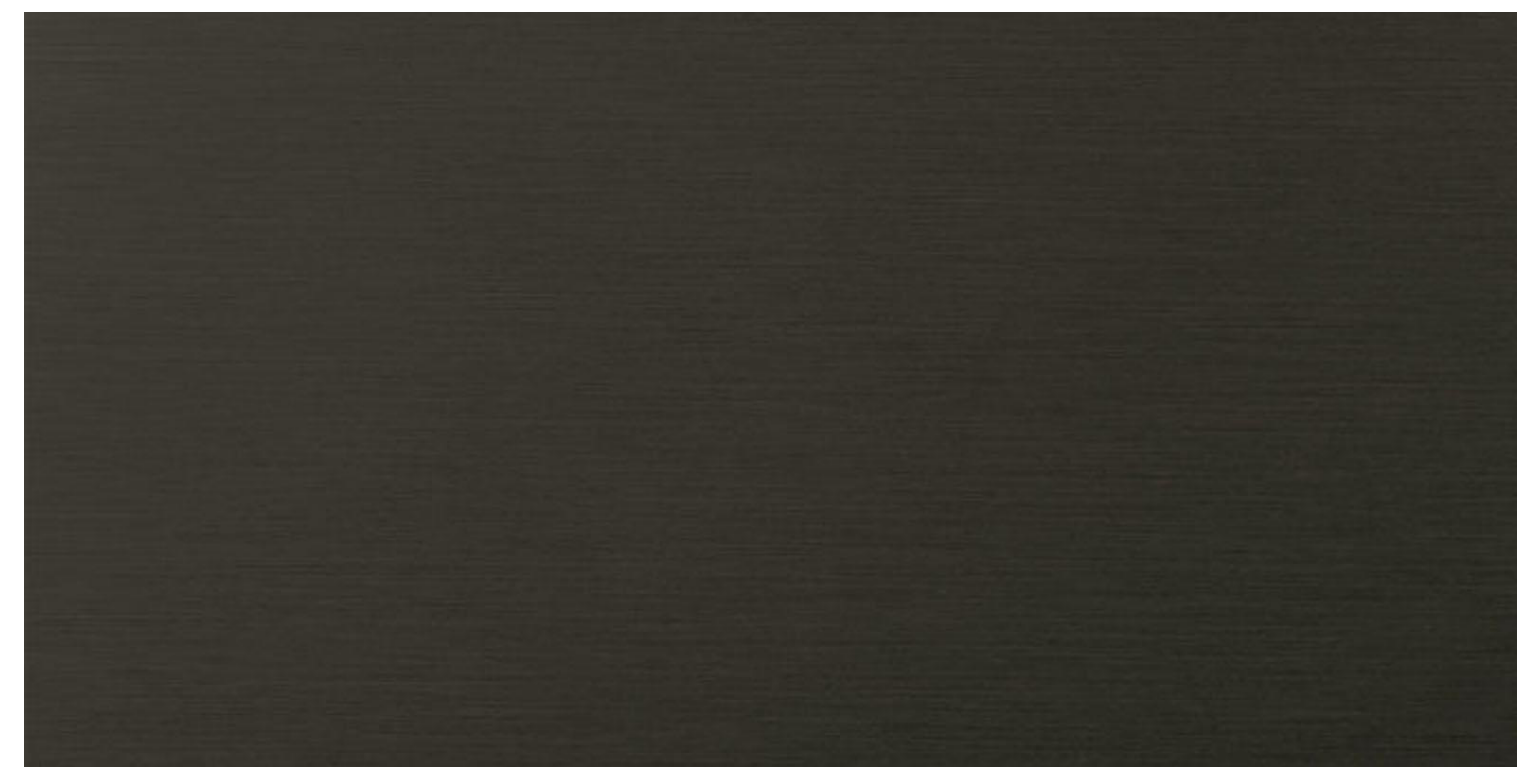
CODE	MATERIAL	COLOR (BASIS OF DESIGN)
MASONRY		
BR-1	FACE BRICK - MODULAR SIZE, RUNNING BOND	FALL CREEK (ACME BRICK)
BR-2	GLAZED BRICK - MODULAR SIZE, RUNNING BOND	EQUAL MIX OF GLACIER BLUE, TRITON & KEY WEST (BELDEN BRICK)
CMU-1	BURNISHED ARCHITECTURAL CMU	AUSTIN LIMESTONE (AUSTIN BLOCK)
CMU-2	BURNISHED ARCHITECTURAL CMU	MOONVA (AUSTIN BLOCK)
CMU-3	BURNISHED ARCHITECTURAL CMU	FIND (TEXAS BUILDING PRODUCTS)
STN-1	NATURAL LIMESTONE - RANDOM ASHLAR	BLACKSON GOLD (BLACKSON BRICK CO.)
STN-2	NATURAL LIMESTONE - HONED	EQUAL MIX OF BLACKSON CREAM & BLACKSON WHITE (BLACKSON GOLD (BLACKSON BRICK CO.)
METAL		
MP-1	ACM PANELS	DARK BRONZE
MP-2	CORRUGATED METAL "S" PANELS	TORNADO - PPG 1009-2 SOLARY STATE - PPG 1009-3 GREY STONE - PPG 1009-4
FC-1	PANELIZED FIBER CEMENT CLADDING SYSTEM	WYNADENWOOD - CEDAR INCH (H&W)
STL-1	PAINTED EXPOSED STRUCTURAL STEEL	BLACK MAGIC - PPG 1001-7
EFS		
EFS-1	EXTERIOR INSULATION FINISHING SYSTEM	PAINTED PT-1
PAINT		
PT-1	PANT	LIGHT BEIGE PPG1086-2 BRANDIED PEARS
PT-2	PANT	CUSTOM BY BEHR CURBSIDE BLUE
PT-3	PANT	HEB RED
MISC		
SF-1	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH, GLAZING: CRYSTAL GRAY-CLEAR - 9% VLT (GUARDIAN)
SF-2	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH, GLAZING: CRYSTAL GRAY-CLEAR - 9% VLT (GUARDIAN)
PC-1	PRE-CAST STONE CAPS	STANDARD GRAY



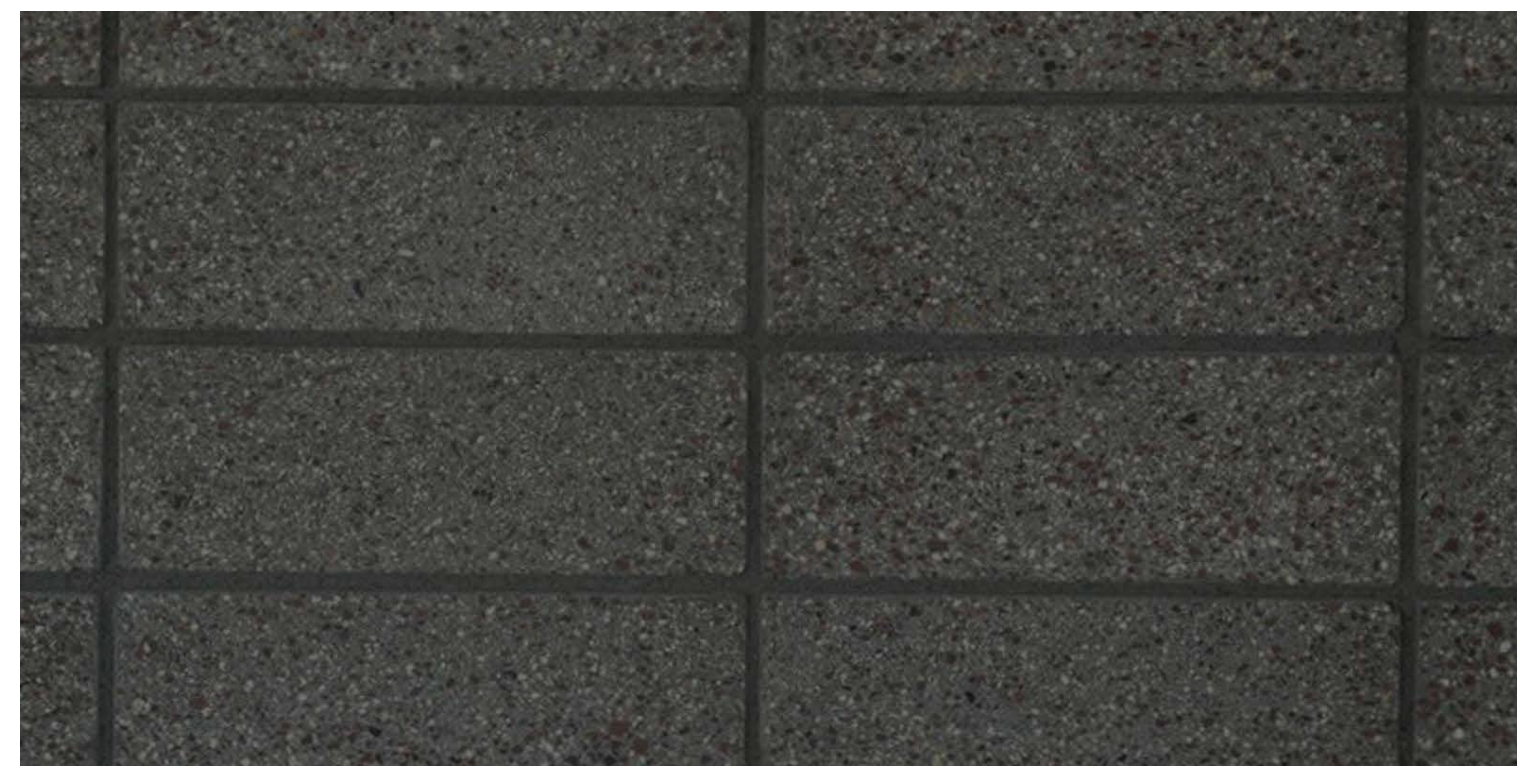
CMU-2 | BURNISHED ARCHITECTURAL CMU



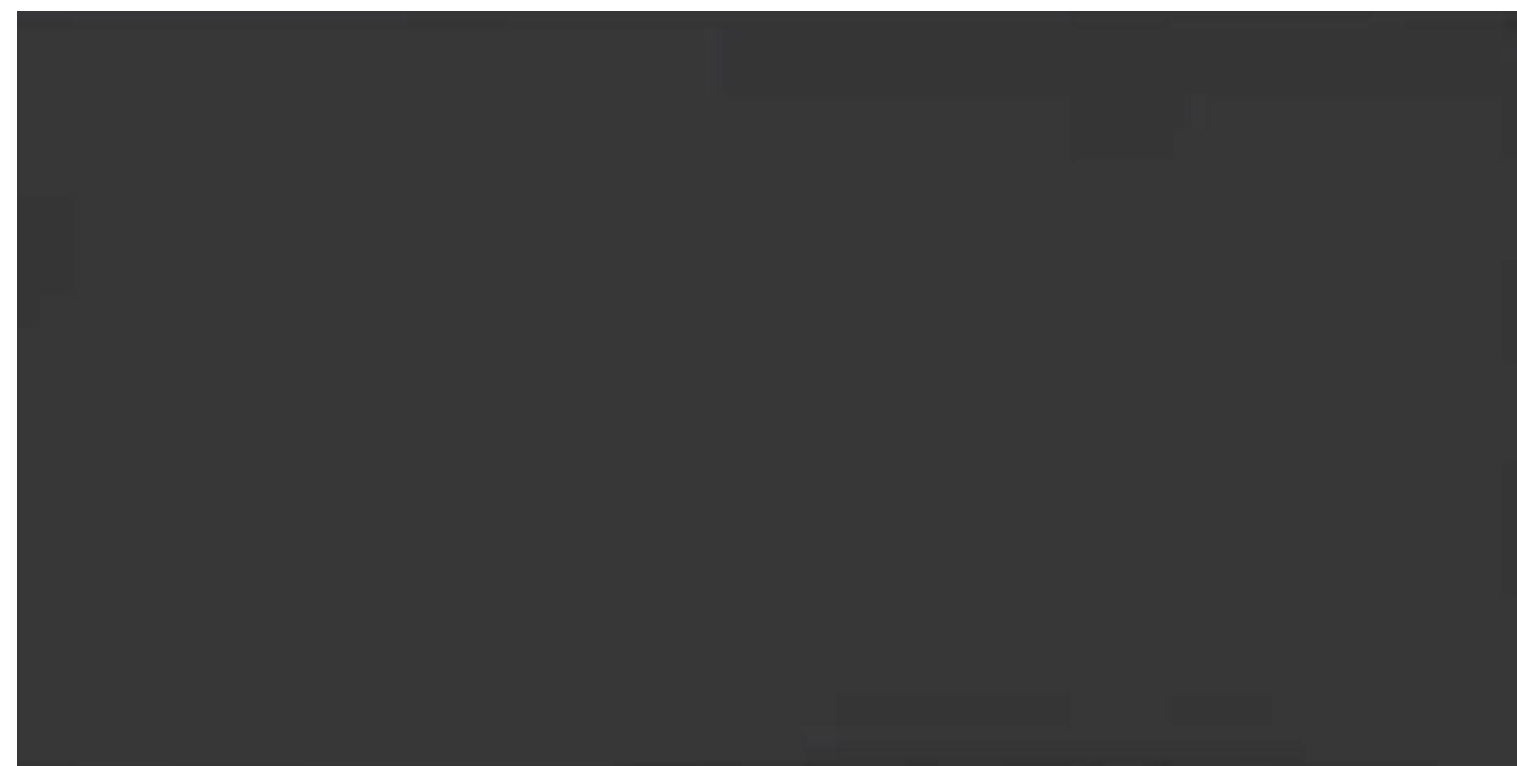
FC-1 | PANELIZED FIBER CEMENT BOARDS



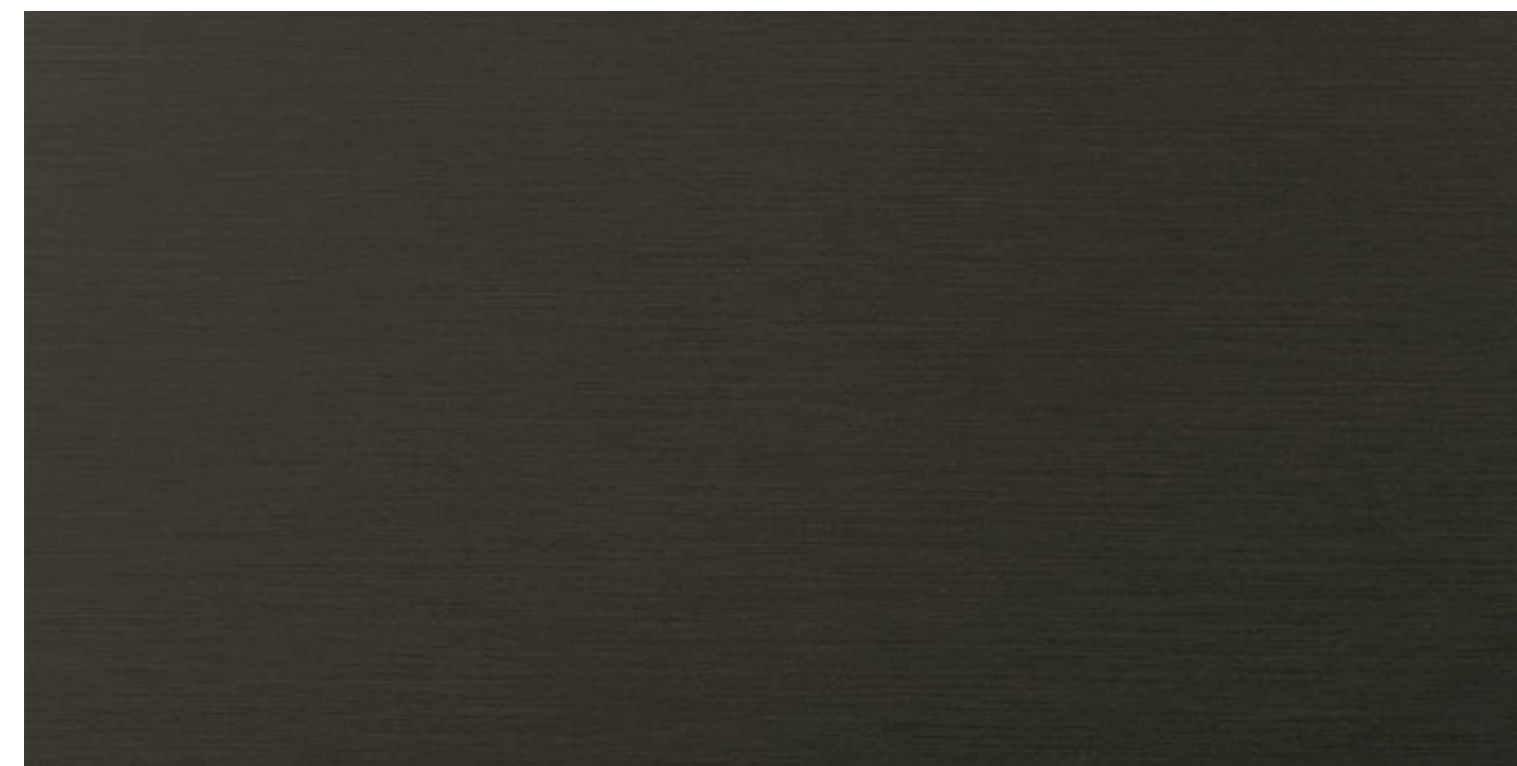
SF-1 | DARK BRONZE



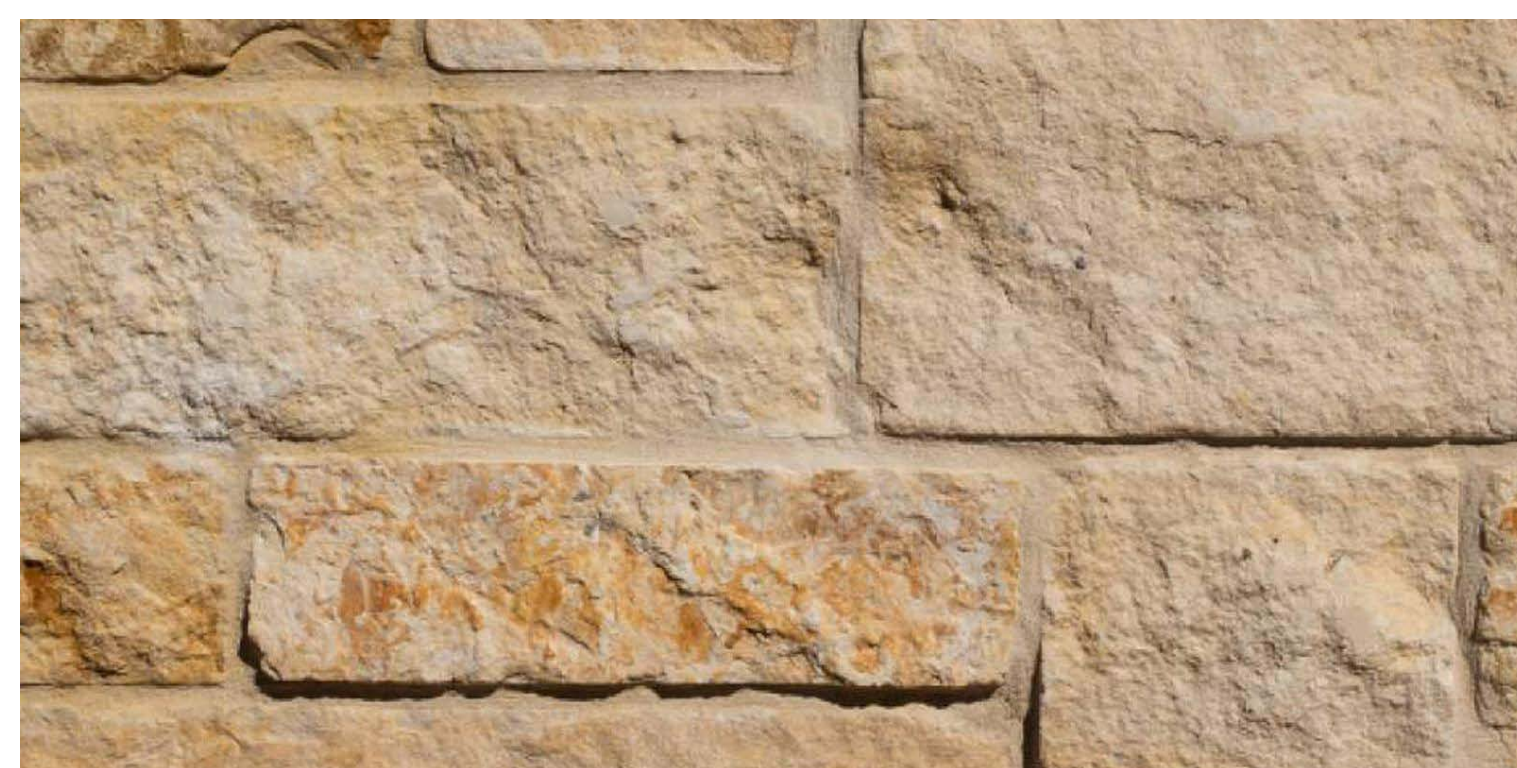
CMU-3 | BURNISHED ARCHITECTURAL CMU



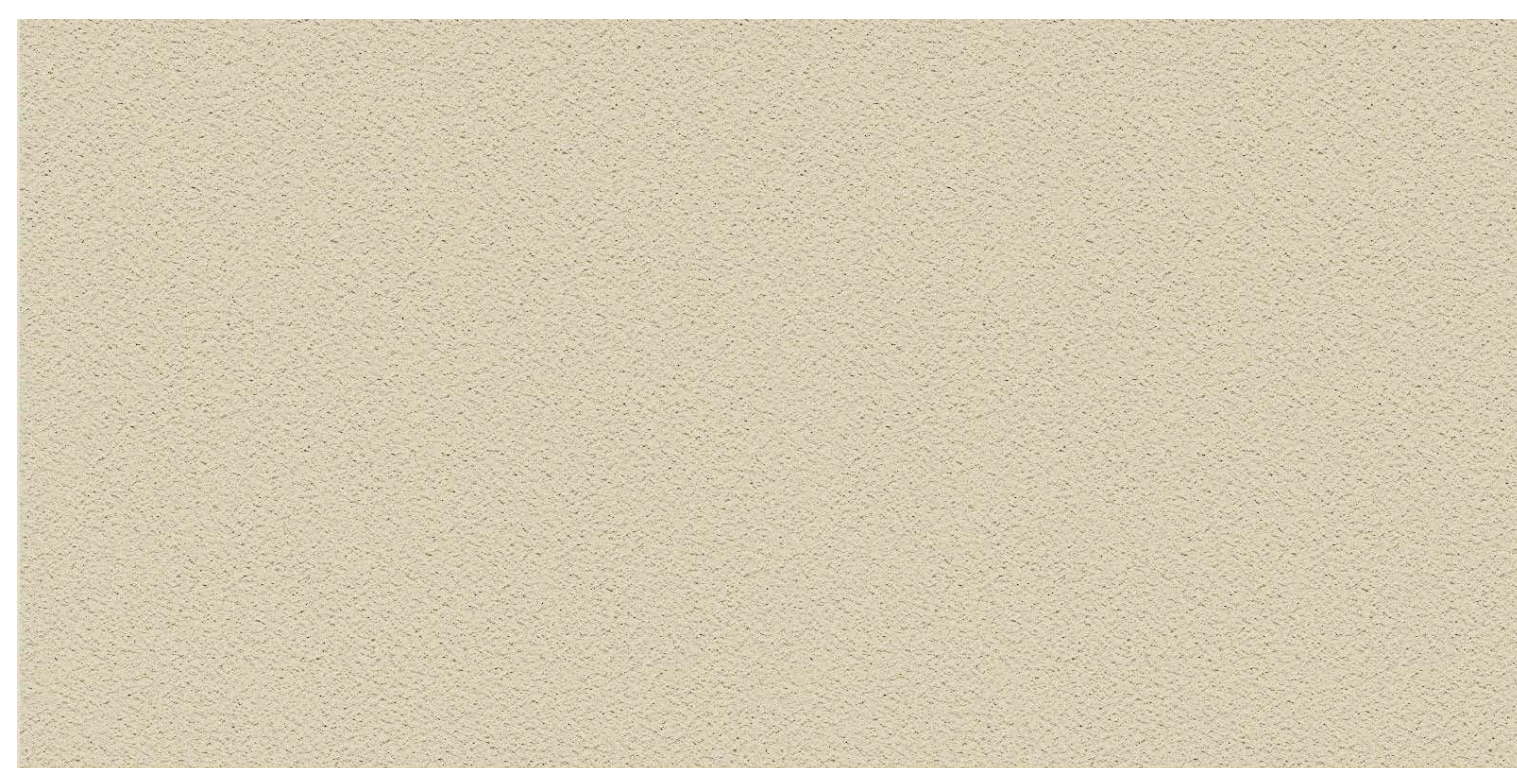
STL-1-1 | EXPOSED STRUCTURAL STEEL



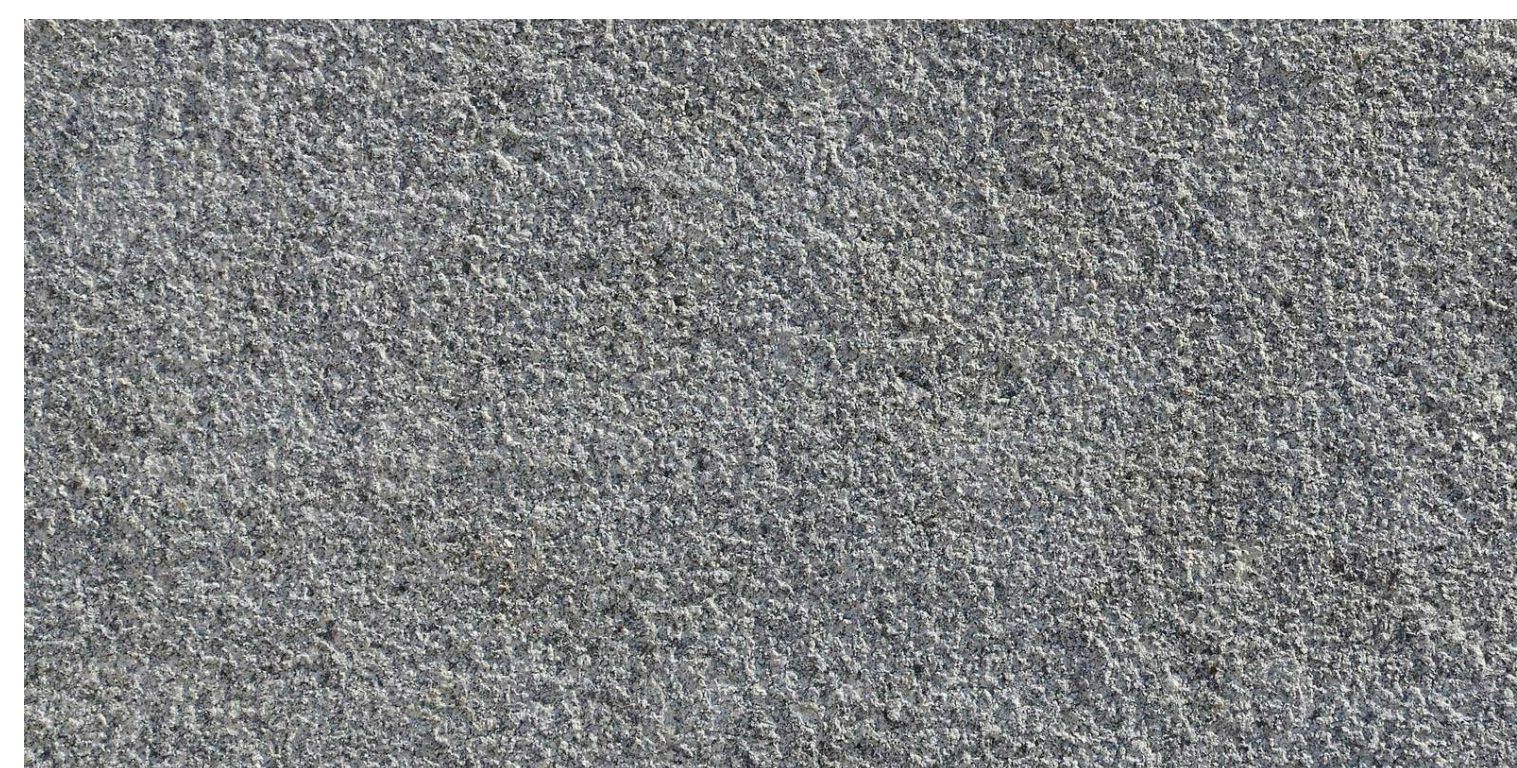
SF-2 | DARK BRONZE



STN-1 | NATURAL LIMESTONE



EIFS-1 | PAINTED PT-1



PC-1 | PRE-CAST STONE CAPS

PROJECT # DEVAPP-23-0180
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Date	Description	Revision

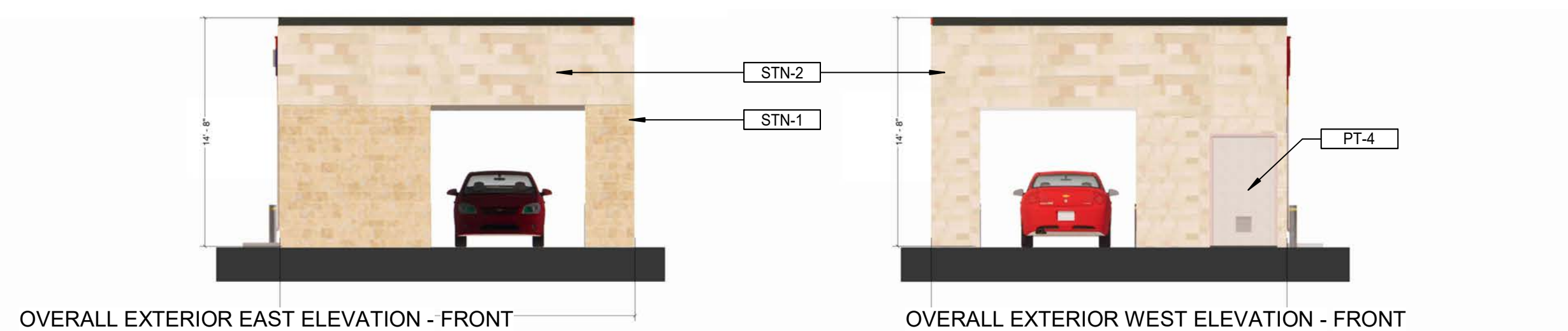
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600 W. 4th Street, Suite 100
Fort Worth, TX 76102
817.277.1859 fax
www.rsparchitect.com

H.E.B.

MATERIAL BOARD

H-E-B PROSPER | CORP # 809
75220 Frontier Pkwy | Prosper, Texas 75078

SCALE: AS INDICATED
CONSULT: 3043.000.00
DATE: 12-18-2023
SHEET NO. 07

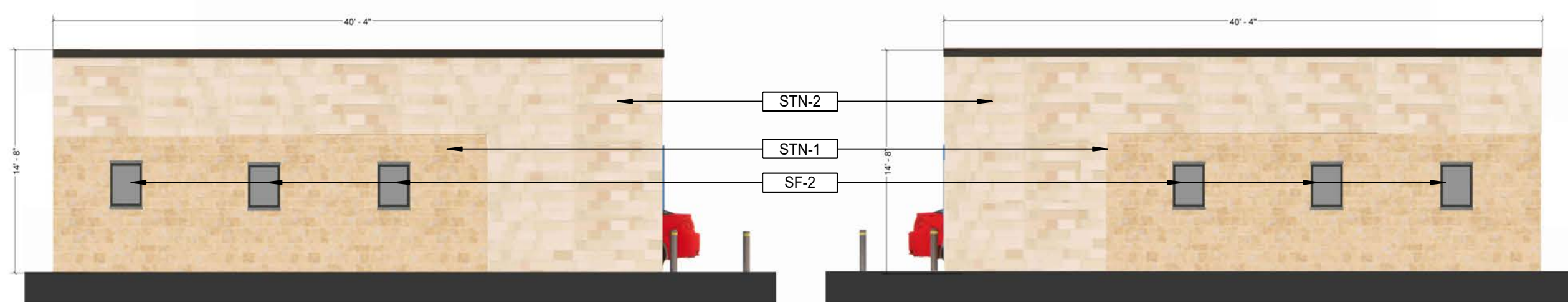


OVERALL EXTERIOR EAST ELEVATION - FRONT

OVERALL EXTERIOR WEST ELEVATION - FRONT

BACK ELEVATION EAST - 338 SF			
GLASS & DOORS = 84 SF		NET SQUARE FOOTAGE = 244 SF	
MATERIAL	CODE	SF	PERCENTAGE
STONE	STN-1 & 2	233	95.5%
METAL COPING	MC-1	11	4.5%
TOTAL		244	100%

FRONT ELEVATION WEST - 338 SF			
GLASS & DOORS = 126 SF		NET SQUARE FOOTAGE = 212 SF	
MATERIAL	CODE	SF	PERCENTAGE
STONE	STN-2	201	94.8%
METAL COPING	MC-1	11	5.2%
TOTAL		212	100%



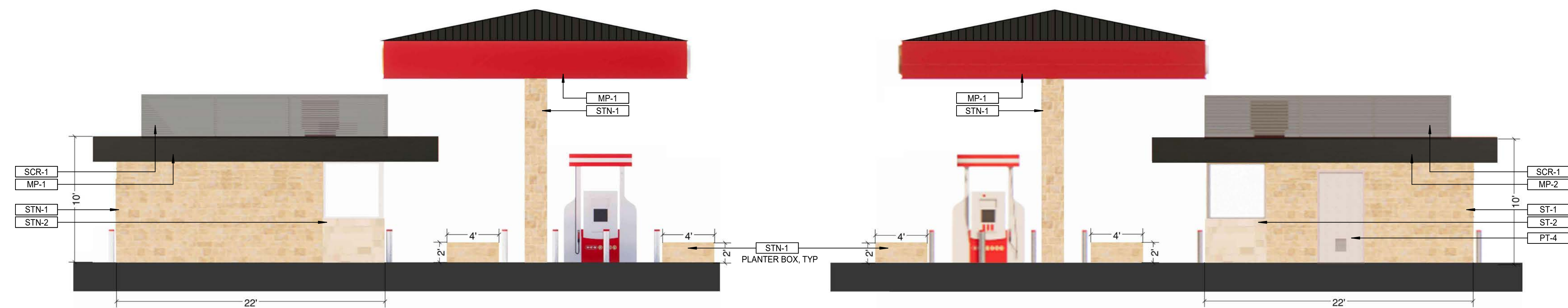
OVERALL EXTERIOR SOUTH ELEVATION - SIDE

OVERALL EXTERIOR NORTH ELEVATION - SIDE

SIDE ELEVATION SOUTH - 597 SF			
GLASS & DOORS = 16 SF		NET SQUARE FOOTAGE = 581 SF	
MATERIAL	CODE	SF	PERCENTAGE
STONE	STN-1 & 2	562	96.7%
METAL COPING	MC-1	19	3.3%
TOTAL		581	100%

SIDE ELEVATION NORTH - 597 SF			
GLASS & DOORS = 16 SF		NET SQUARE FOOTAGE = 581 SF	
MATERIAL	CODE	SF	PERCENTAGE
STONE	STN-1 & 2	562	96.7%
METAL COPING	MC-1	19	3.3%
TOTAL		581	100%

2 CAR WASH ELEVATIONS
3/16" = 1'-0"

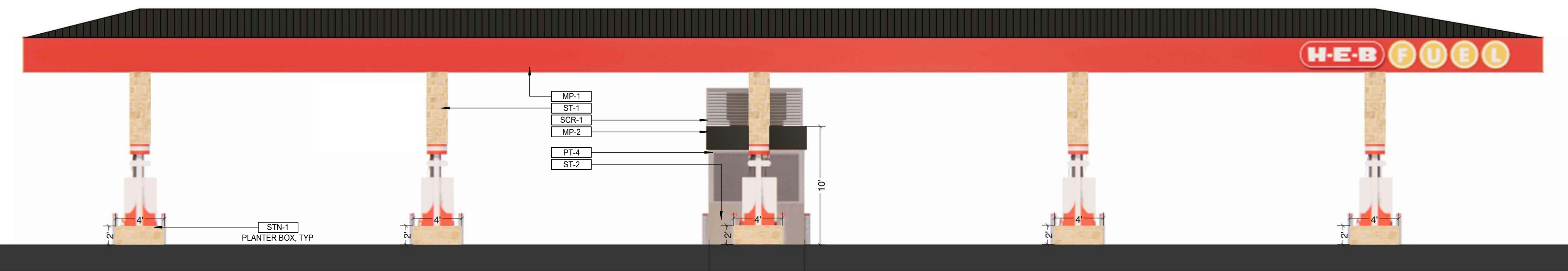


OVERALL EXTERIOR WEST ELEVATION - SIDE

OVERALL EXTERIOR EAST ELEVATION - SIDE

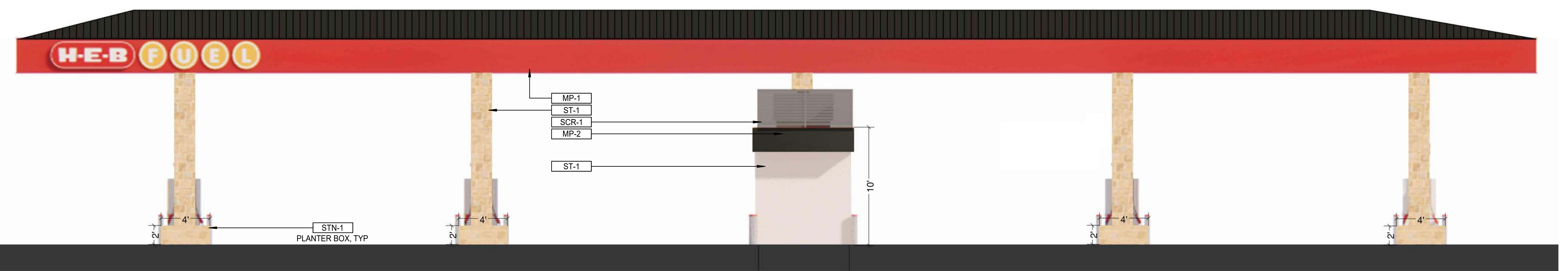
KIOSK SIDE ELEVATION WEST - 223 SF			
GLASS & DOORS & MP-2 (Trim) = 74 SF		NET SQUARE FOOTAGE = 149 SF	
MATERIAL	CODE	SF	PERCENTAGE
STONE	STN-1 & 2	149	100%
TOTAL		149	100%

KIOSK SIDE ELEVATION EAST - 223 SF			
GLASS & DOORS & MP-2 (Trim) = 99 SF		NET SQUARE FOOTAGE = 124 SF	
MATERIAL	CODE	SF	PERCENTAGE
STONE	STN-1 & 2	124	100%
TOTAL		124	100%



OVERALL EXTERIOR NORTH ELEVATION - FRONT

KIOSK FRONT ELEVATION NORTH - 87 SF			
GLASS & DOORS & MP-2 (Trim) = 56 SF		NET SQUARE FOOTAGE = 31 SF	
MATERIAL	CODE	SF	PERCENTAGE
STONE	STN-2	31	100%
TOTAL		31	100%



OVERALL EXTERIOR SOUTH ELEVATION - REAR

KIOSK REAR ELEVATION SOUTH - 87 SF			
GLASS & DOORS & MP-2 (Trim) = 17 SF		NET SQUARE FOOTAGE = 70 SF	
MATERIAL	CODE	SF	PERCENTAGE
STONE	STN-1	70	100%
TOTAL		70	100%

EXTERIOR FINISH LEGEND		
CODE	MATERIAL	MATERIAL
MASONRY		
STN-1	STONE	NATURAL LIMESTONE
STN-2	STONE	NATURAL LIMESTONE
METAL		
MP-1	PREFINISH METAL	LANE ACM HEB TX RED
MP-2	PREFINISH METAL	DARK BRONZE
MC-1	METAL COPING	DARK BRONZE
PAINT		
PT-4	PAINT	PPG SOUTHERN BREEZE 1007-2
MISC		
SCR-1	METAL SCREENING	SH 7002 DOWNY
PC-1	PRE-CAST STONE CAPS	STANDARD GRAY
SF-2	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH, GLAZING, CRYSTAL GRAY-CLEAR - 0% VLT (GUARDIAN)

PROJECT # DEVAPP-23-0180
H.E.B. PROSPER - STORE
16.933 ACRES
FRONTIER RETAIL CENTER, BLOCK A | LOT 6
AN ADDITION TO THE TOWN OF PROSPER
COLLIN COUNTY, TEXAS
SEPTEMBER, 2023

H.E.B. LP OWNER
643 S. MAIN (210) 938-8000
SAN ANTONIO, TEXAS 75002

CLAYMOORE ENGINEERING ENGINEER
1903 CENTRAL DRIVE, SUITE #406 (817) 281-0572
BEDFORD, TEXAS 76021

CONTACT: DREW DONOSKY

- TOWN OF PROSPER GENERAL NOTES**
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOF TOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE PAINTED TO MATCH THE BUILDING.
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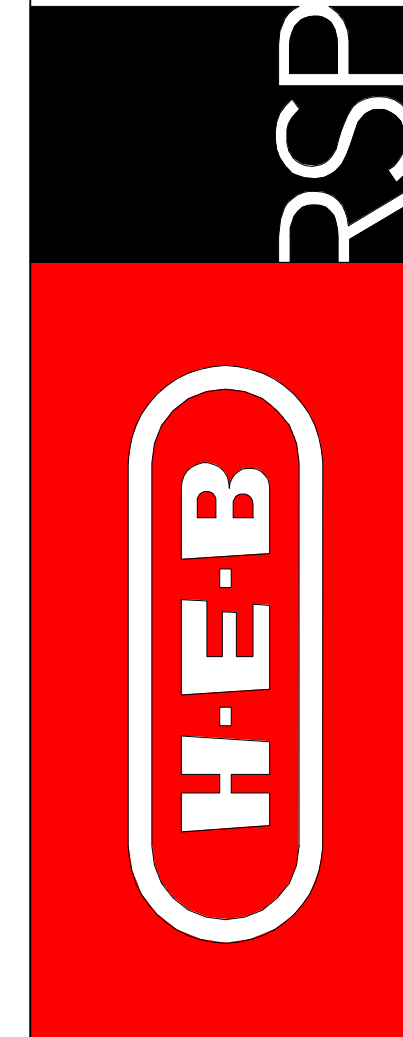
TOWN APPROVAL

1 FUEL STATION ELEVATIONS
3/16" = 1'-0"

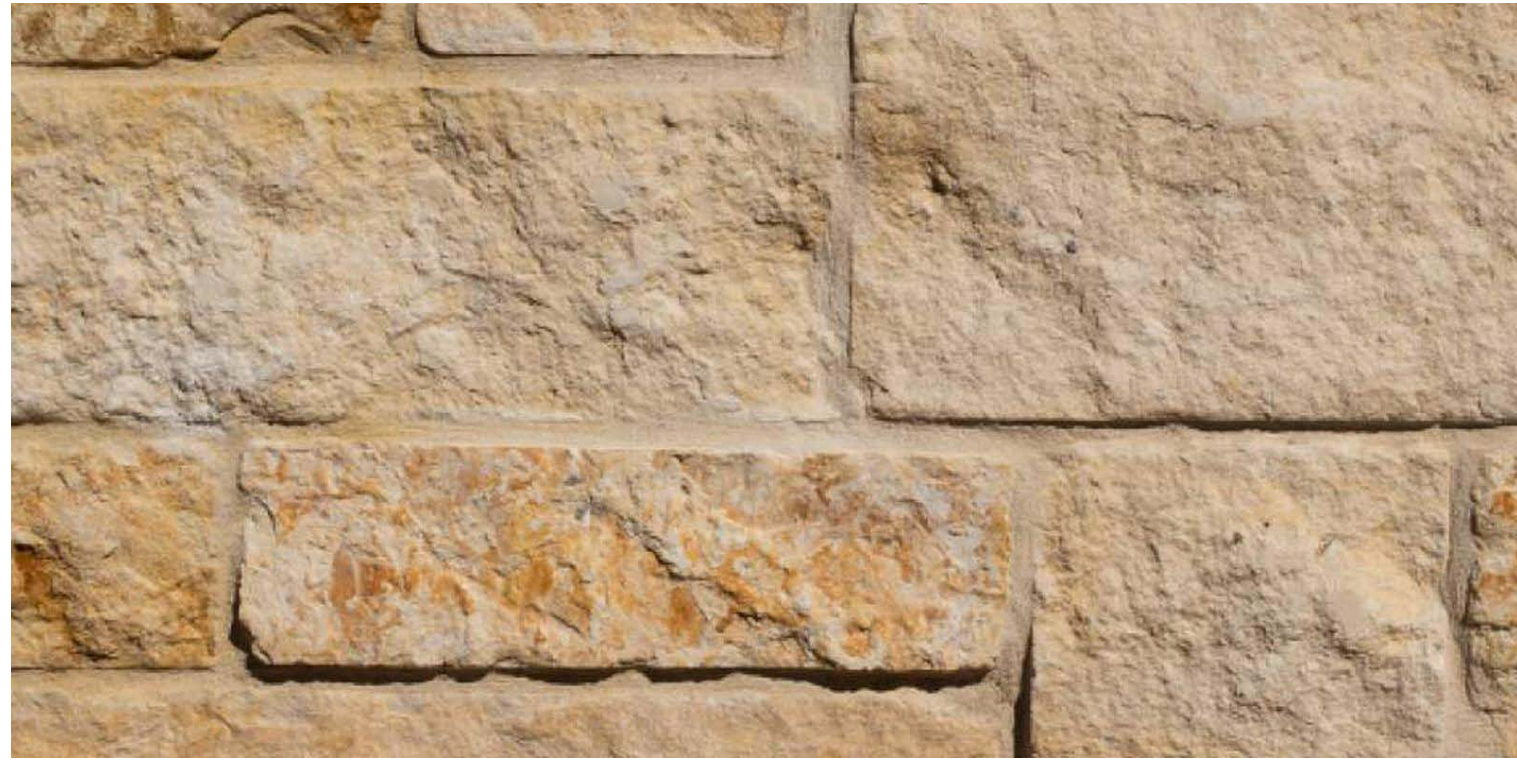
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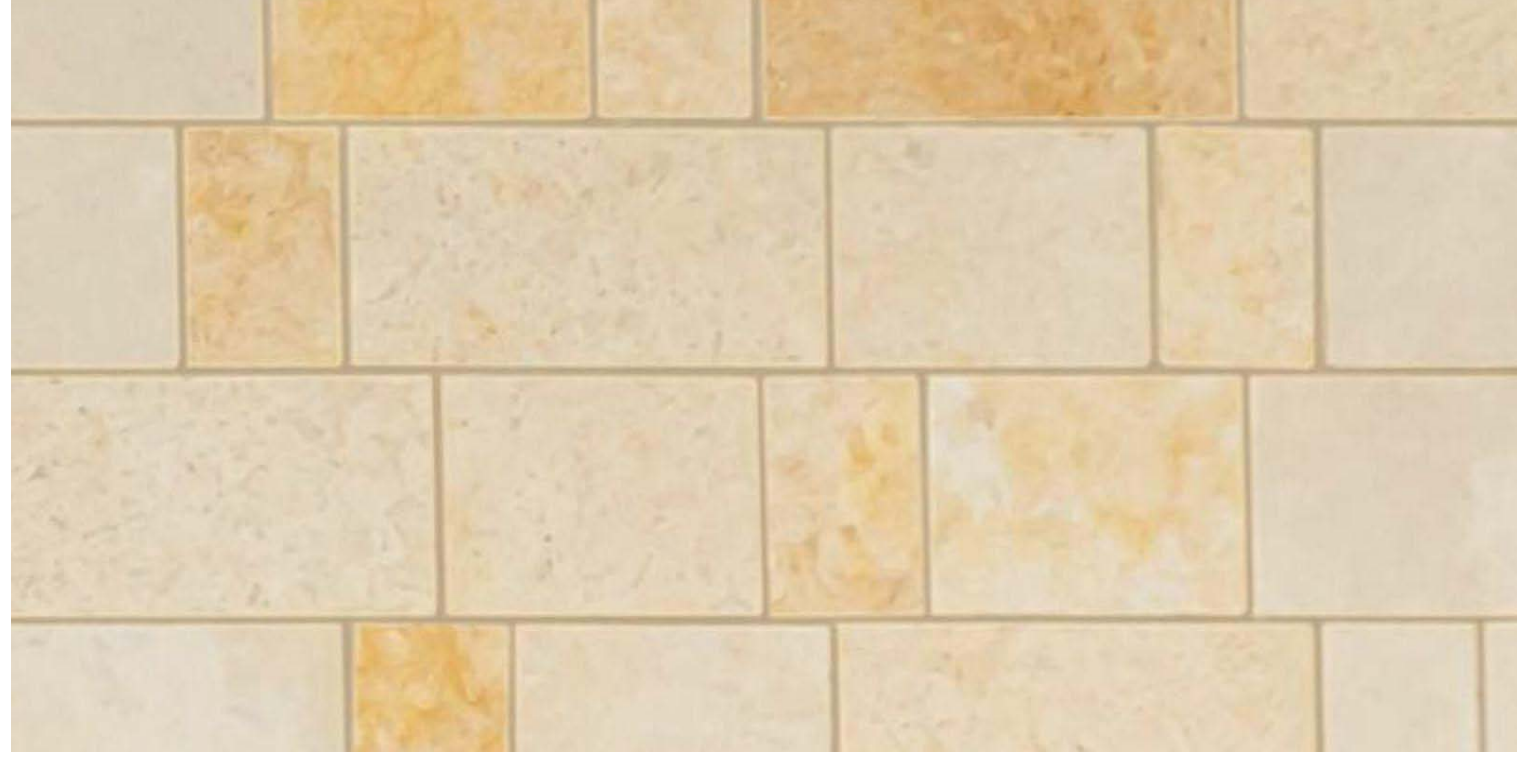
FUEL STATION FACADE PLAN
H-E-B PROSPER | CORP # 809
75220 Frontier Pkwy | Prosper, Texas 75078



STN-1 | NATURAL LIMESTONE



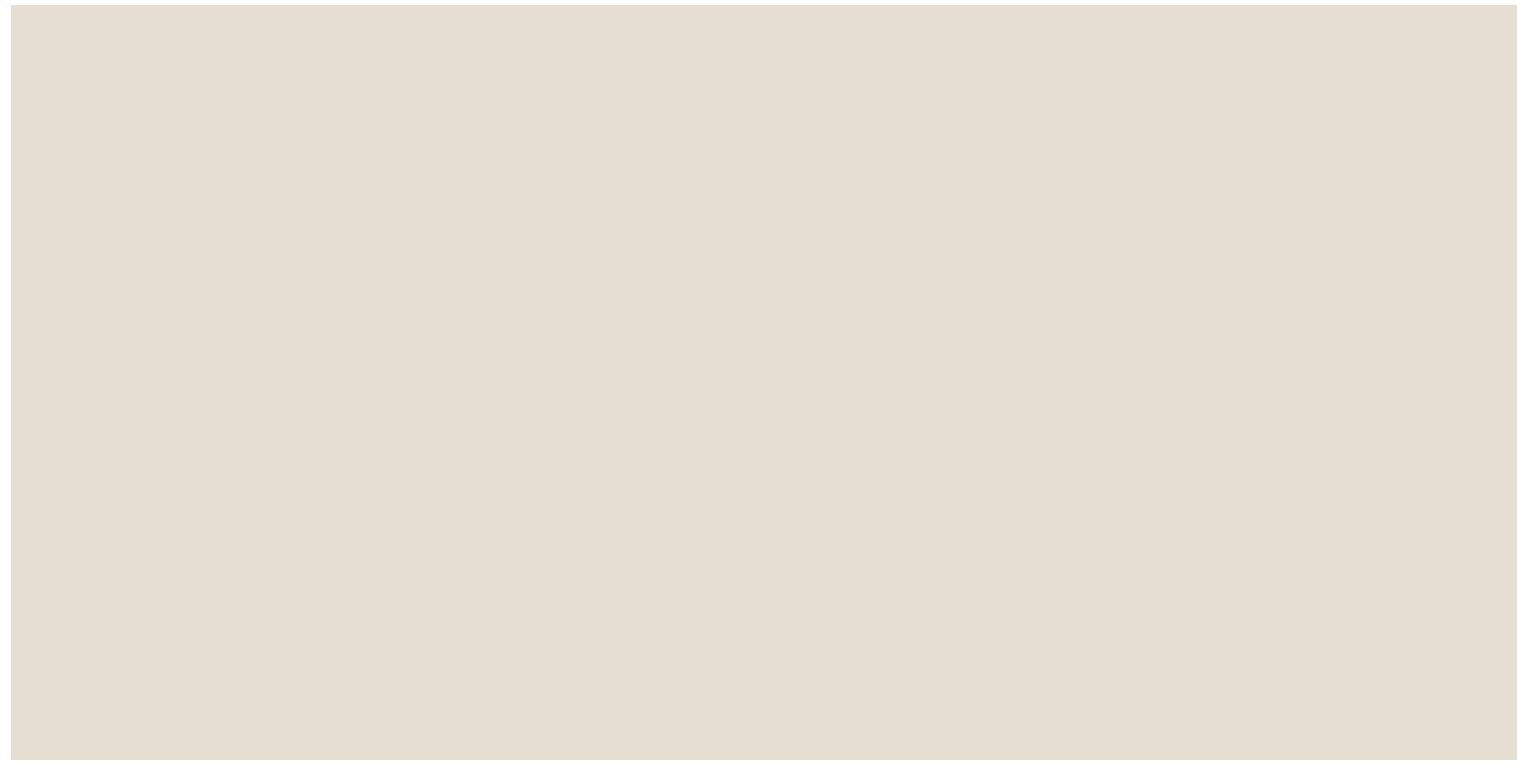
MP-1 | LANE ACM HEB TX RED



STN-2 | NATURAL LIMESTONE



MP-2 | DARK BRONZE



PT-4 | PPG SOUTHERN BREEZE 1097-2



MC-1 | DARK BRONZE



SCR-1 | DARK BRONZE



SF-2 | DARK BRONZE



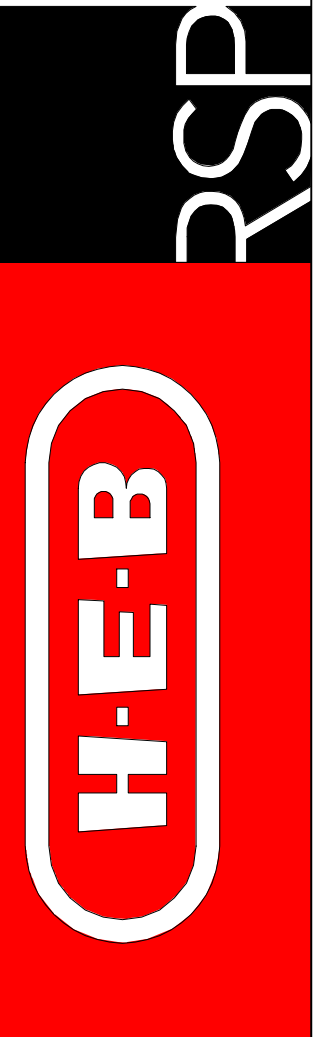
PC-1 | PRE-CAST STONE CAPS

EXTERIOR FINISH LEGEND		
CODE	MATERIAL	MATERIAL
MASONRY		
STN-1	STONE	NATURAL LIMESTONE
STN-2	STONE	NATURAL LIMESTONE
METAL		
MP-1	PREFINISH METAL	LANE ACM HEB TX RED
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MC-1	METAL COPING	DARK BRONZE
PAINT		
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SF-2	ALUMINUM STOREFRONT SYSTEM	DARK BRONZE ALUMINUM FINISH GLAZING CRYSTAL GRAY-CLEAR - 9% VLT (GUARDIAN)

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 CONTACT: JOHN ROSE

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TOWN APPROVAL

FUEL STATION AND CAR WASH MATERIAL BOARD
H-E-B PROSPER | CORP # 809
 75220 Frontier Pkwy | Prosper, Texas 75078

SCALE: AS INDICATED
 CONSERV.
 PROJ. NO. 3443.002.00
 DATE: 12.18.2023
 SHEET NO. **09**