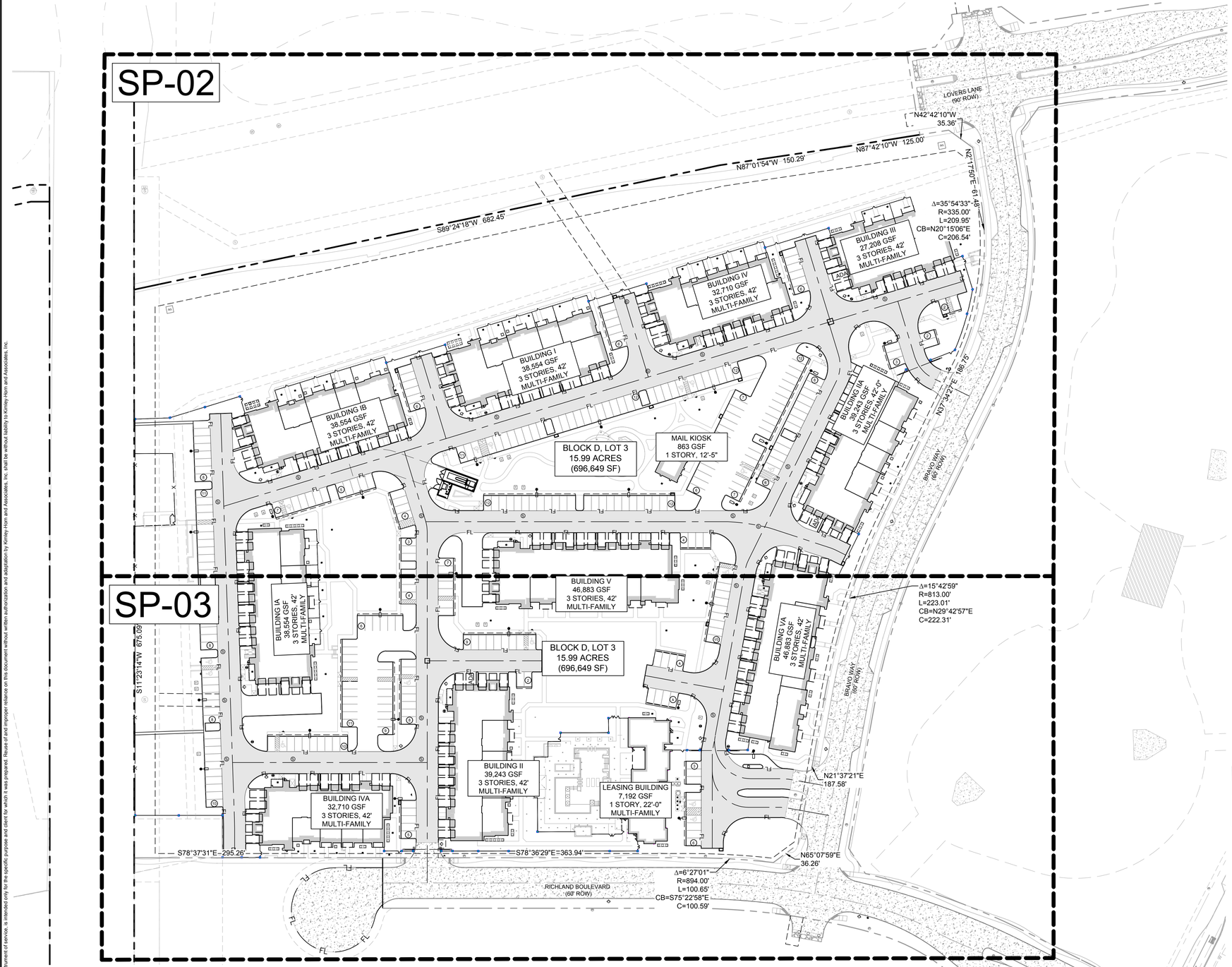

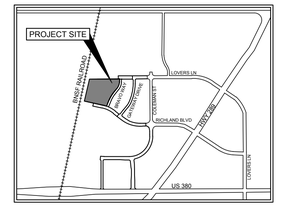

VICINITY MAP
N.T.S.

N
W
E
S
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GRAPHIC SCALE 60'

FIRE PROTECTION NOTES:
1. 150' HOSE LAY REQUIREMENT HAS BEEN CONCEDED FOR THE FOLLOWING:
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 1.2. BUILDING #9
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3. THE PROPERTY SHALL HAVE THREE ACCESS-CONTROLLED VEHICLE GATES AS SHOWN ON THIS DRAWING
4. BUILDINGS SHALL BE PROTECTED WITH SPRINKLER SUPPRESSION AND STANDPIPE SYSTEMS COMPLIANT WITH
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LEGEND

FL / FL	PROPOSED FIRE LANE
	PROPOSED INFRASTRUCTURE PAVEMENT
	PROPOSED BUILDING
	PROPSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
(X)	NUMBER OF PARKING SPACES
WM	WATER METER (AND VAULT)
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
S	SANITARY SEWER MANHOLE
T	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
TYP	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
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MH	MANHOLE
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SITE DATA SUMMARY TABLE

ZONING/PROPOSED USE	PD-67 MULTI-FAMILY
LOT AREA/ SQ. FT. AND AC	696,649 SF; 15.99 AC
BUILDING AREA (gross square footage)	389,436 GSF
BUILDING HEIGHT (number of stories)	42' (3-STORY)
LOT COVERAGE	20.00%
FLOOR AREA RATIO (for non-residential zoning)	.56:1
TOTAL PARKING REQUIRED 162 - 1 BDRM x 1.5 SPACES 94 - 2 BDRM x 2.0 SPACES	431 SPACES
TOTAL PARKING PROVIDED STANDARD = 298 INDIVIDUAL GARAGE = 146 TANDEM = 145	589 SPACES
TOTAL HANDICAP REQUIRED	14 SPACES
TOTAL HANDICAP PROVIDED	14 SPACES
INTERIOR LANDSCAPING REQUIRED	12,100 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	12,100 SQ. FT.
IMPERVIOUS SURFACE	624,485 SQ. FT.
USABLE OPEN SPACE REQUIRED	208,994 SQ. FT. (30%)
USABLE OPEN SPACE PROVIDED	208,994 SQ. FT. (30%)

*PARALLEL SPACES ALONG STREET B NOT INCLUDED IN PARKING COUNT

NOTES

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SITE PLAN
GATES OF PROSPER – PHASE 2 MF
BLOCK D, LOT 3
DEVAPP–23–0210

Being 15.99 Acres Out Of The
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Abstract No. 147
BEN RENSION SURVEY Abstract No. 755
Town of Prosper, Collin County, Texas
Submitted: DECEMBER 4, 2023

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260 East Davis Street Suite 100
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Contact: Rachel Korus, P.E.
Phone: (469)-301-2594

No.	REVISIONS	DATE	BY

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260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
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WWW.KIMLEY-HORN.COM TX F-928

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Kimley»Horn
Engineer RACHEL A. KORUS
P.E. No. 132468 Date 01/16/2024

KHA PROJECT 064508525
DATE 12/19/2023
SCALE AS SHOWN
DESIGNED BY RAK
DRAWN BY KEM
CHECKED BY RAK

GATES OF PROSPER MULTIFAMILY PHASE 2
PROSPER, TEXAS

SITE PLAN

SHEET NUMBER
SP-01

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IMAGES
XREFS
PLOT STYLE BY
PLOTTED BY
DWG NAME
DWG SAVED
Town of Prosper Logo
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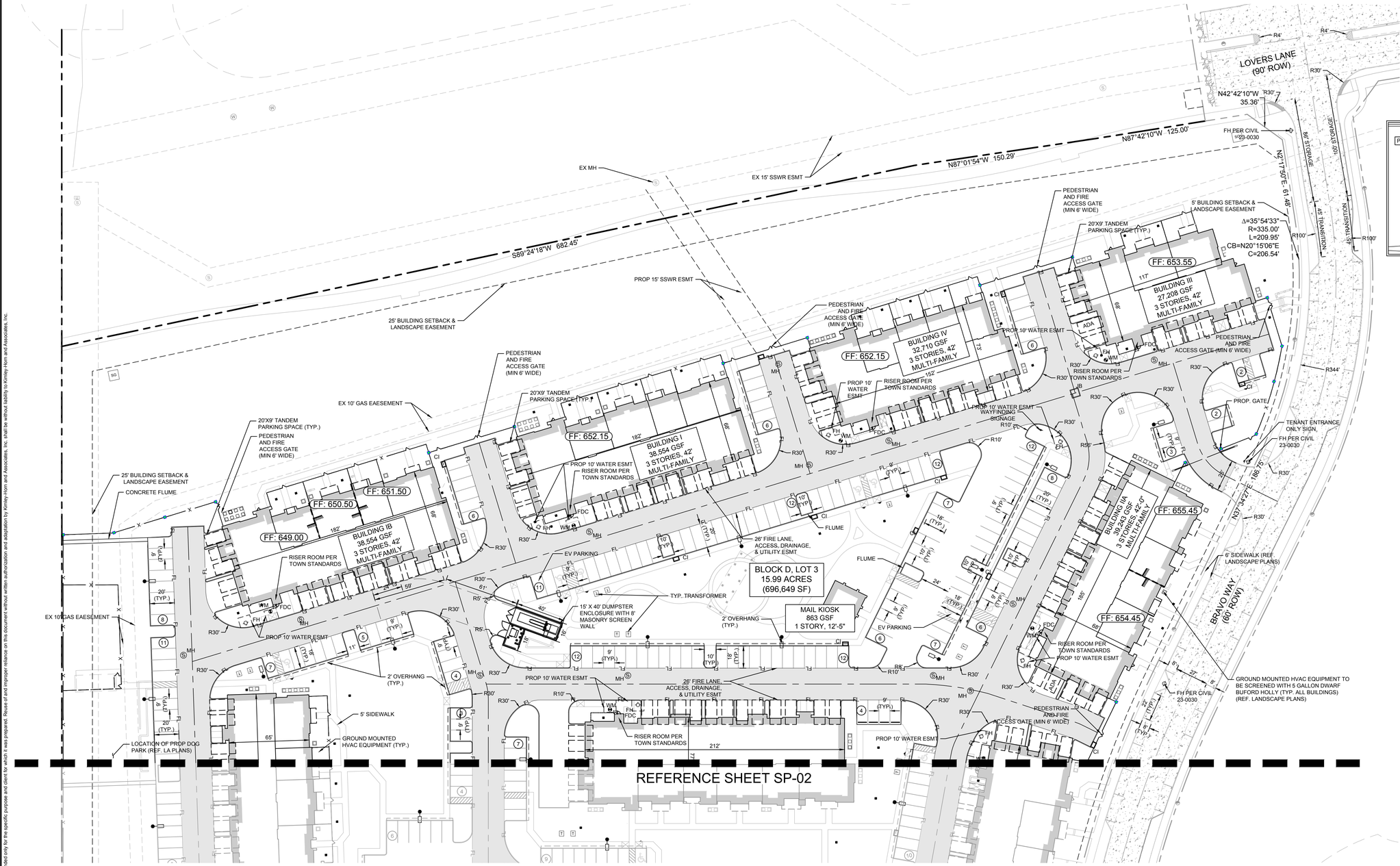

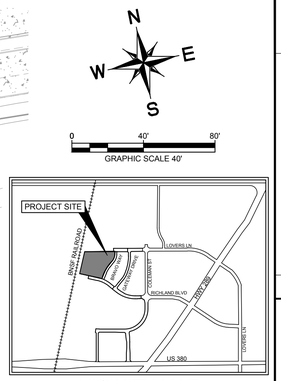

VICINITY MAP
N.T.S.

0 40' 80'
GRAPHIC SCALE 40'

LEGEND

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SITE PLAN
GATES OF PROSPER – PHASE 2 MF
BLOCK D, LOT 3
DEVAPP-23-0210

Being 15.99 Acres Out Of The
COLLIN COUNTY SCHOOL NO. 12 SURVEY
Abstract No. 147
BEN RENSION SURVEY Abstract No. 755
Town of Prosper, Collin County, Texas
Submitted: DECEMBER 4, 2023

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Contact: Nicholas Link
Phone: (972)-497-4854

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Engineer/Surveyor:
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260 East Davis Street Suite 100
McKinney, Texas 75069
Contact: Rachel Korus, P.E.
Phone: (469)-301-2594

No.	REVISIONS	DATE	BY

Kimley»Horn
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PHONE: 469-301-2580, FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

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FOR REVIEW ONLY
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Kimley»Horn
Engineer RACHEL A. KORUS
P.E. No. 132468 Date 01/16/2024

KHA PROJECT	064508525
DATE	12/19/2023
SCALE	AS SHOWN
DESIGNED BY	RAK
DRAWN BY	KEM
CHECKED BY	RAK

GATES OF PROSPER MULTIFAMILY PHASE 2
PROSPER, TEXAS

SITE PLAN

SHEET NUMBER
SP-02

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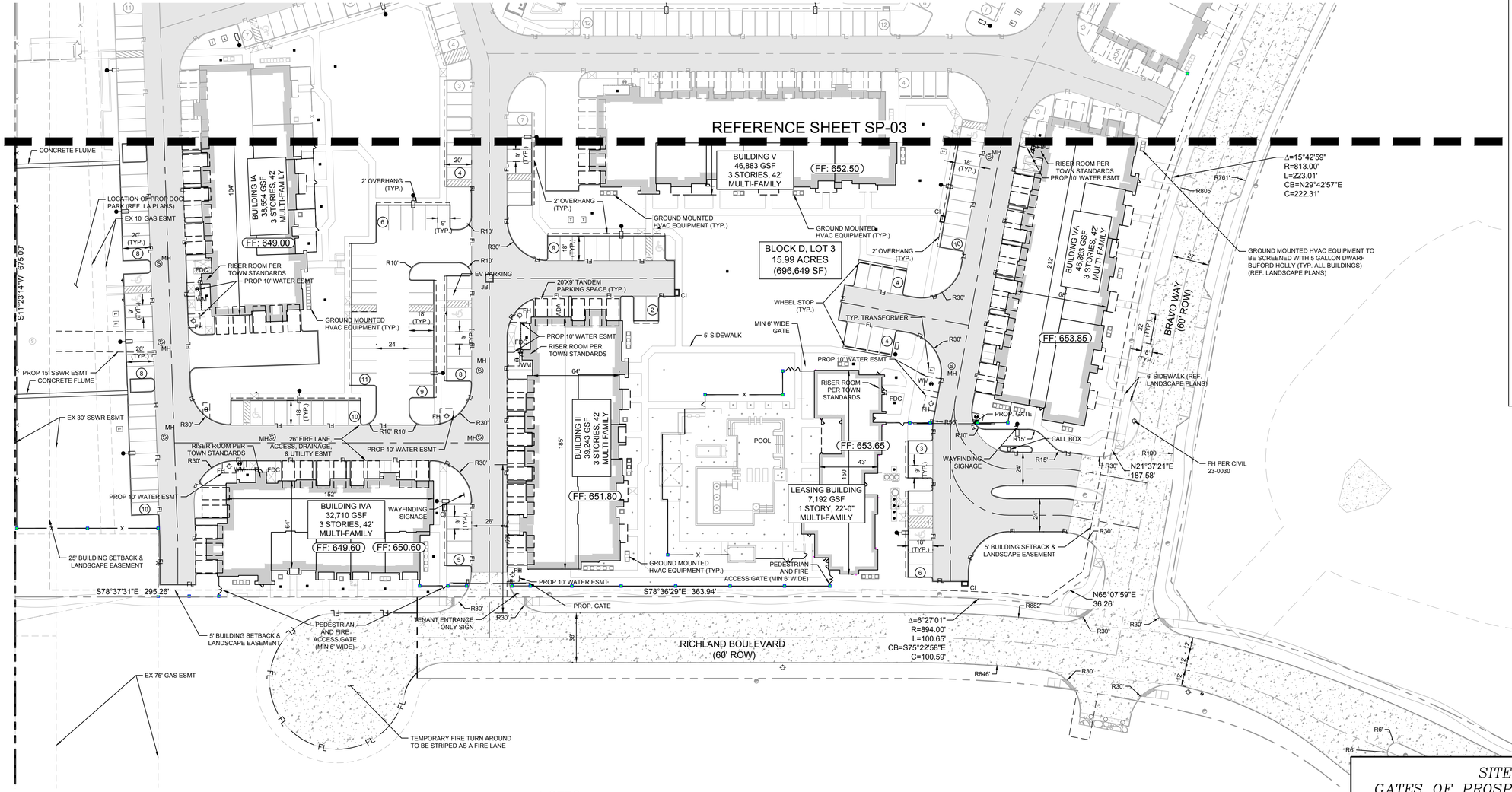

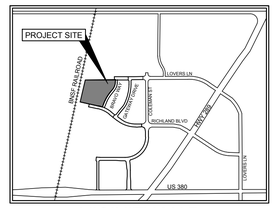

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GATES OF PROSPER MULTIFAMILY PHASE 2
PROSPER, TEXAS

PROSPER

SITE PLAN

SHEET NUMBER
SP-03

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IMAGES
XREFS
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DWG NAME
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User: rachel.korus
Time of Plotted Last
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