

SURVEY PLAT

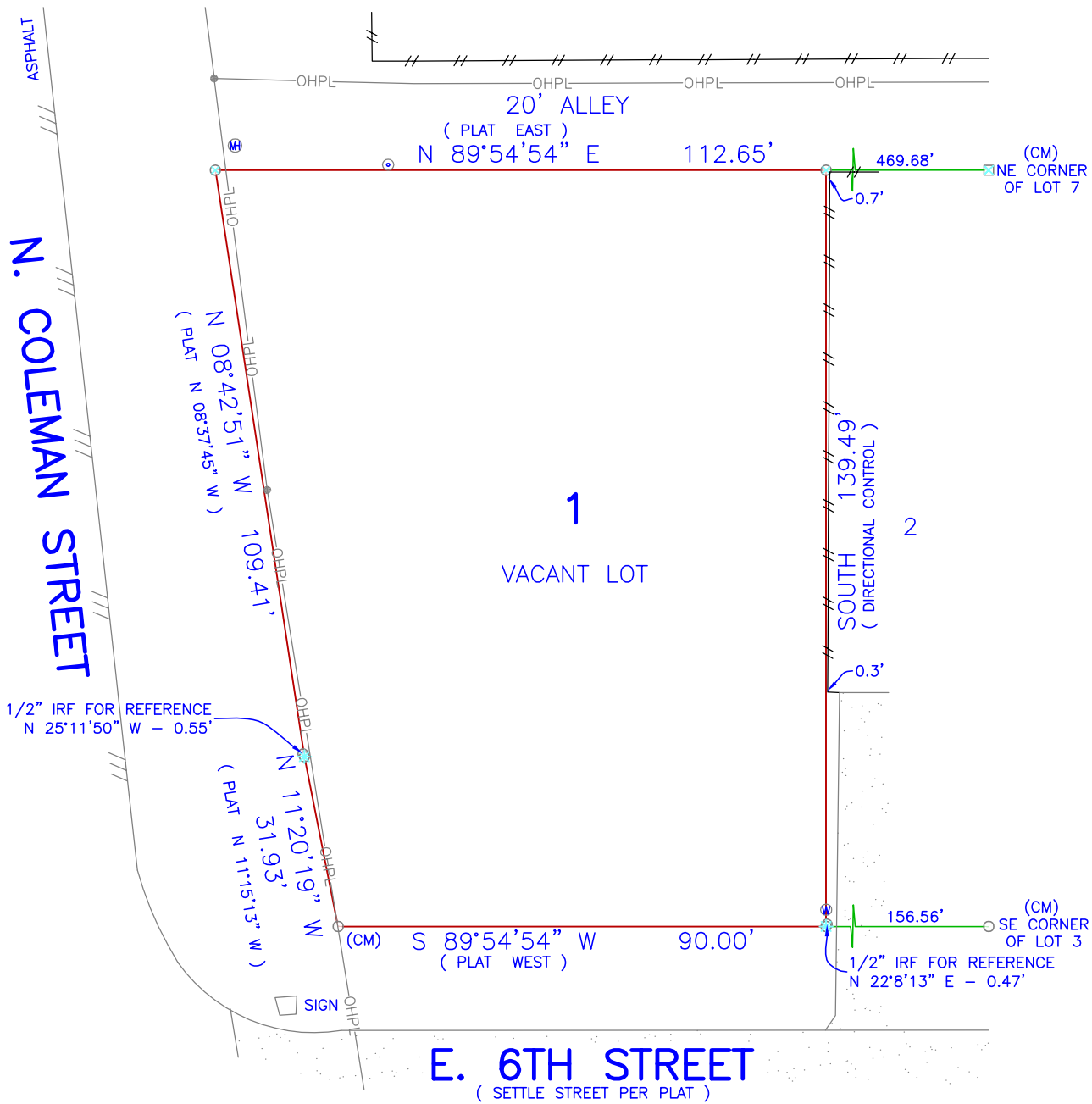
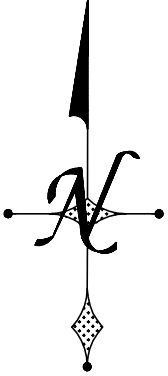


BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at EAST 6TH STREET in the City of PROSPER Texas.

Being Lot 1 in Block 1 of Prosper Central Addition, an Addition to the City of Prosper, Collin County, Texas, according to the Map or Plat thereof Recorded in Volume C, Page 643, of the Map Records of Collin County, Texas

Exhibit A: Survey ZONE-23-0029



PROPERTY SUBJECT TO
EASEMENTS & RESTRICTIONS
Volume 1761, Page 909; Volume 1924, Page 134;
Volume 1952, Page 822; Volume 2179, Page 128

EASEMENTS RECORDED IN
THE FOLLOWING VOLUME &
PAGES TO THE BEST OF
MY KNOWLEDGE AND BELIEF
DO NOT AFFECT THE ABOVE
DESCRIBED PROPERTY.
Volume 468, Page 90; Volume 612, Page 531

ACCEPTED BY: _____

Lawyers Title

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY LAWYERS TITLE

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
Scale: 1" = 30'
Date: 04/05/22
G. F. No.: 1900182200773
Job no.: 202203655
Drawn by: KHD

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR LAWYERS TITLE



LEGEND	
WOOD FENCE	TEXT
CHAIN LINK	IMPROVEMENTS
IRON FENCE	BOUNDARY LINE
WIRE FENCE	EASEMENT SETBACK
	RESIDENCE
CM	CONTROLLING MONUMENT
MRD	MONUMENTS OF RECORD DIGNITY
○	1/2" IRON ROD FOUND
○	1/2" IRON ROD SET
○	3/8" IRON ROD FOUND
○	3/8" IRON ROD SET
○	5/8" IRON ROD FOUND
○	5/8" IRON ROD SET
○	POINT FOR CORNER
○	CABLE
○	CLEAN OUT
○	GAS METER
○	FIRE HYDRANT
○	LIGHT POLE
○	MANHOLE
○	ELECTRIC
○	PE - POOL EQUIP
○	POWER POLE
○	TELEPHONE
○	WATER METER
○	WATER VALVE
()	(UNLESS OTHERWISE NOTED)

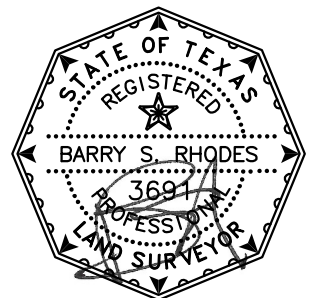


Exhibit “C”
Development Standards

This tract shall develop under the regulation of the Downtown Office (DTO) District as outlined in the Town’s Zoning Ordinance as it exists or may be amended with the following conditions:

1.0 Permitted Uses

1.1 The permitted land uses within this Planned Development District are as follows:

- Administrative/Medical and Professional Office
- Art and Craft Store
- Bakery
- Bank/Savings and Loan/Credit Union (No Drive-Thru)
- Bookstore
- Boot and Shoe Sales
- Business Service
- Ceramics Store
- Clothing and Apparel Store
- Florist
- Hobby or Toy Store
- Ice Cream Shop
- Insurance Office
- Leather Store
- Minor Dry Cleaning (Drop Off Only)
- Minor Print Shop (Drop Off Only)
- Multi-Family (2nd Floor Only) – Max. 4 Units
- Music Instrument Sales
- Novelty or Gift Shop
- Trophy Sales

1.2 Any similar uses as determined by the Director of Development Services.

2.0 Parking Areas

2.1 The parking area standards within this Planned Development District are as follows:

- Parking stalls along the eastern property line shall be designated for office and retail parking only during business hours.
- No storage shall be permitted in multifamily parking.

3.0 Landscaping

3.1 The landscaping requirements within this Planned Development District are as follows:

- 5' landscaping buffer around the northern, eastern, southern, and western property lines.
- One large tree, three-inch caliper minimum, on landscaped islands on eastern property line.
- One ornamental tree every 15 linear feet on eastern property line between landscape islands.
- One ornamental tree on each end of western property line.
- Three shrubs, five-gallon minimum, on each landscape planting area on the western property line.

4.0 Fencing

4.1 The fencing standards within this Planned Development District are as follows:

- Board-on-board fencing on the eastern property line from the alley to most southern parking stall.
- Wrought iron fencing on the eastern property line from the most southern parking stall to the right-of-way.

5.0 Signage

5.1 The signage standards within this Planned Development District are as follows:

- Any signage shall be limited to the Coleman Street side of the property.
- Any lighted signage shall be consistent with the Town's Sign Ordinance.

6.0 Architectural Standards

6.1 The architectural standards within this Planned Development District are as follows:

- Any structure built on the property shall comply with the elevations and building materials reflected on the Façade Plan, attached hereto as Exhibit B.
- The Coleman Street façade shall be constructed in substantial compliance with the Coleman Street Façade Plan, attached hereto as Exhibit D.
- The use of masonry shall be at least ninety percent (90%) of the exterior surface of any structure constructed on the property per elevation.
- The use of stucco shall be limited to no more than ten percent (10%) of the exterior surface of any structure constructed on the property per elevation.
- All construction shall have an approved façade plan before issuance of a building permit.

7.0 Alleyway Paving

7.1 The paving standards within this Planned Development District are as follows:

- The developer shall pave the alleyway to the north of the property prior to commencement of construction.

8.0 Sidewalk Construction

8.1 The sidewalk construction standards within this Planned Development District are as follows:

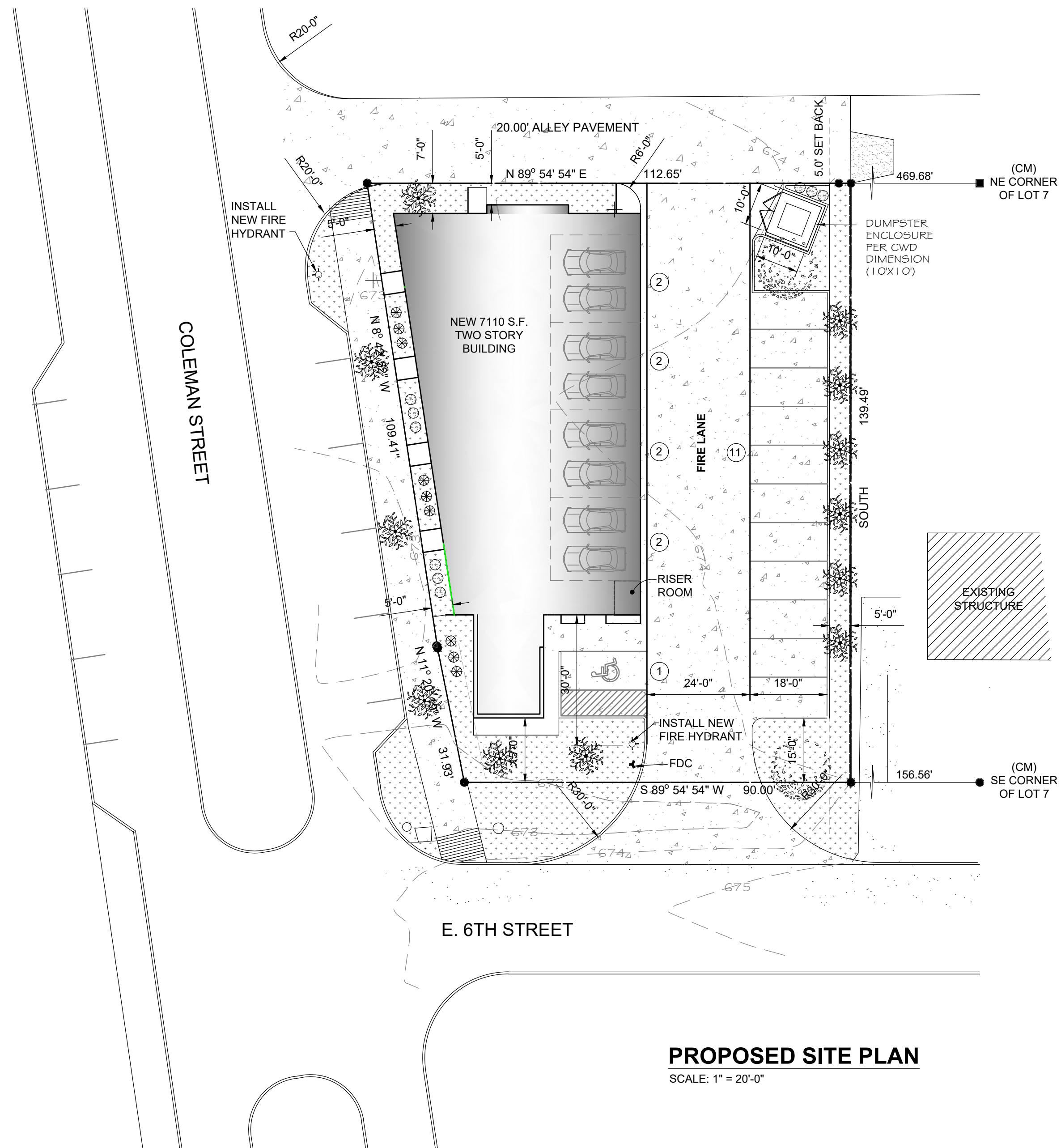
- The developer shall construct a temporary sidewalk from the parking area along the southern edge of the building and along Coleman Street for access to the businesses on the first floor.

20 10 0 20 40

SCALE: 1"= 20'-0"



NORTH



PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

ZONING
EXISTING ZONING SINGLE FAMILY-15 (SF-15)
PROPOSED ZONING PLANNED DEVELOPMENT (DOWN TOWN OFFICE)

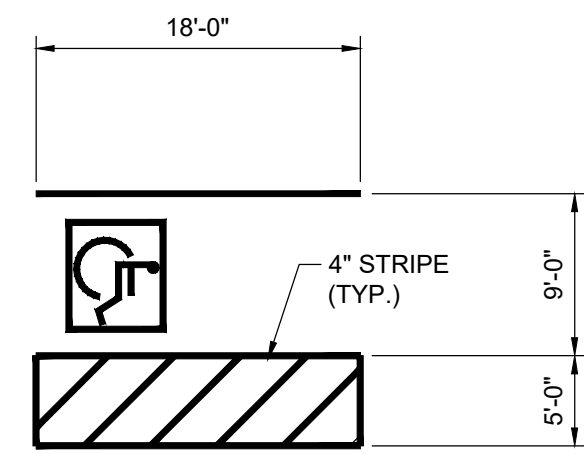
BUILDING
TOTAL NEW BUILDING AREA 7110 SQ.FT.

PROPOSED USE
1ST FLOOR: 2450 SQ.FT. RETAIL/OFFICE
2ND FLOOR: 4660 SQ.FT. RESIDENTIAL 4- 2 BED ROOM UNITS

BUILDING CONSTRUCTION WOOD FRAME W/ BRICK VENEER
BUILDING HEIGHT 30'-0" (TWO STORY)

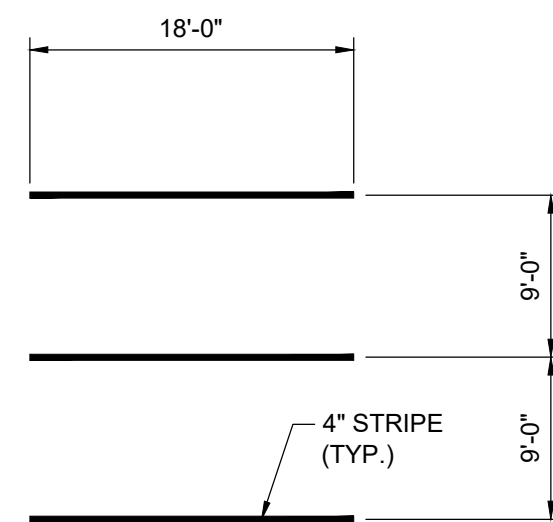
PARKING
RETAIL/OFFICE PARKING: 2450/250 = 10 SPACES
RETAIL PARKING PROVIDED 12
ACCESSIBLE PARKING 1 SPACES (INCLUDED)

RESIDENTIAL PARKING: 2 x 4 UNITS = 8 SPACES
RESIDENTIAL PARKING PROVIDED 8



ACCESSIBLE PARKING STRIPE DETAIL

SCALE: 3/32"= 1'-0"



PARKING STRIPE DETAIL

SCALE: 3/32"= 1'-0"

LEGEND

- FH NEW FIRE HYDRANT
- GM GAS METER
- GUY GUY WIRE
- HP HIGH MASS LIGHT POLE
- LP LIGHT POLE
- PP POWER POLE
- SSMH SANITARY SEWER MANHOLE
- TPED TELEPHONE PEDESTAL
- TS TRAFFIC SIGN
- SS SANITARY SEWER
- CO CLEAN OUT
- WM WATER METER

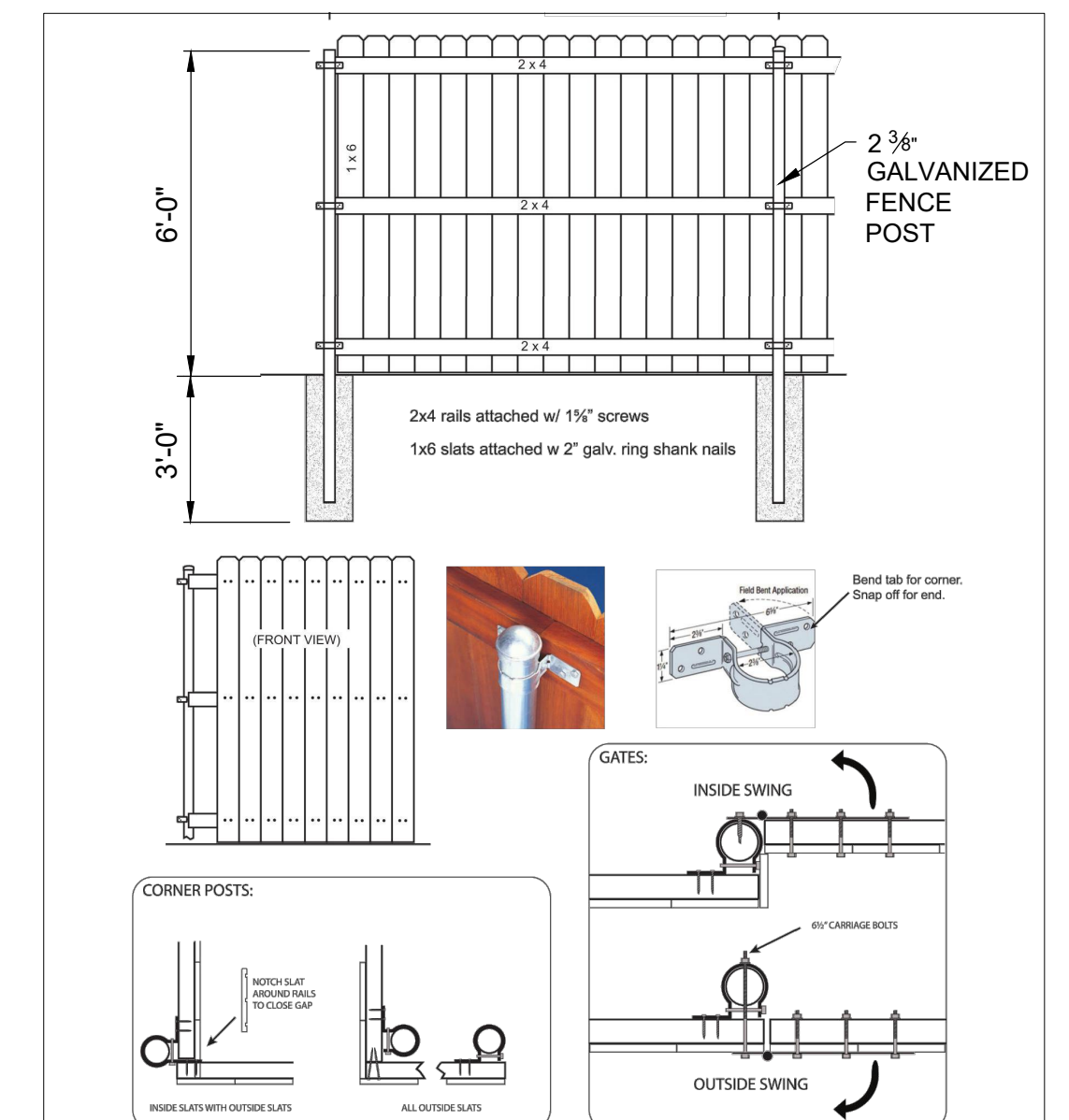
- GRASS
- CONCRETE
- TRAFFIC DIRECTION
- PAVEMENT SLOPE
- OVERHEAD POWER LINE
- PROPERTY LINE
- CHAIN LINK FENCE
- METAL PRIVACY FENCE
- WOODEN FENCE
- GAS LINE

- EXISTING TREE
- NEW SHADE TREE
- NEW ORNAMENTAL TREE
- NEW SHRUB



LOCATION MAP
NOT TO SCALE

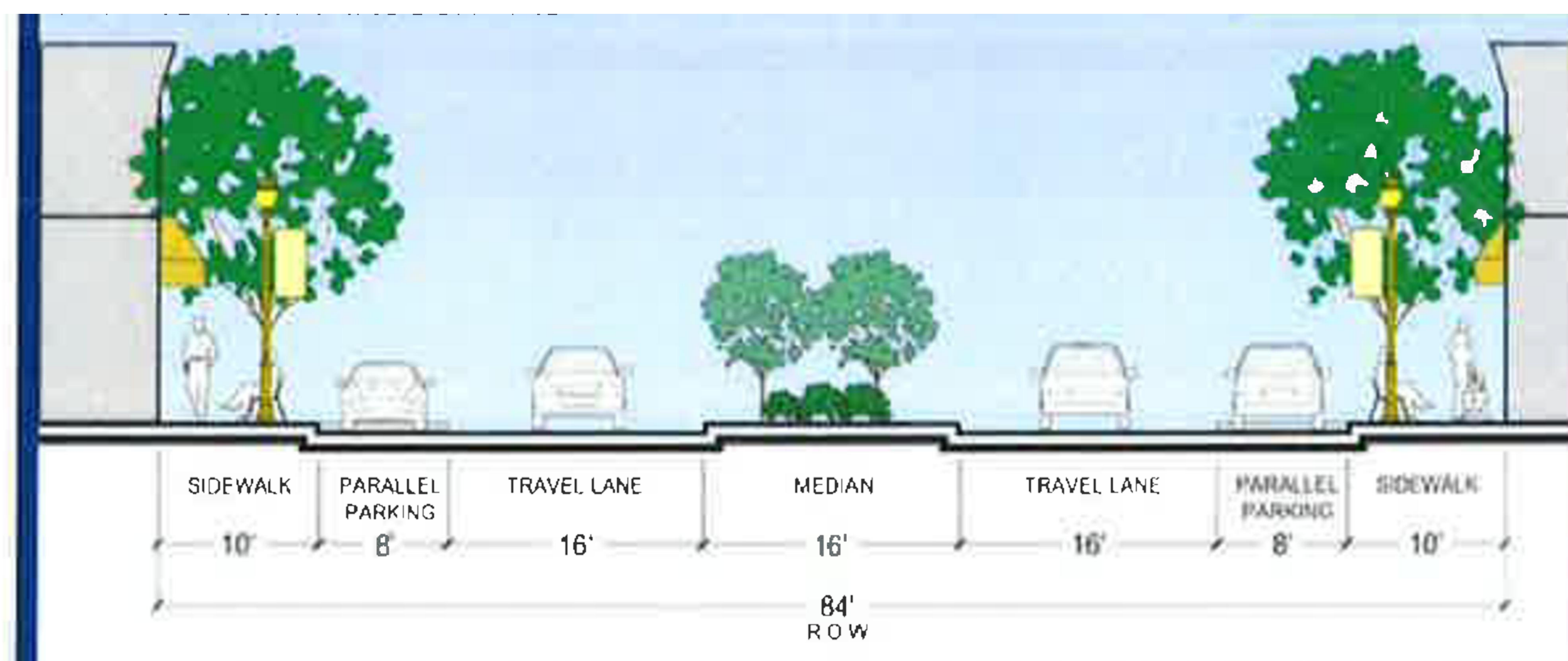
NORTH



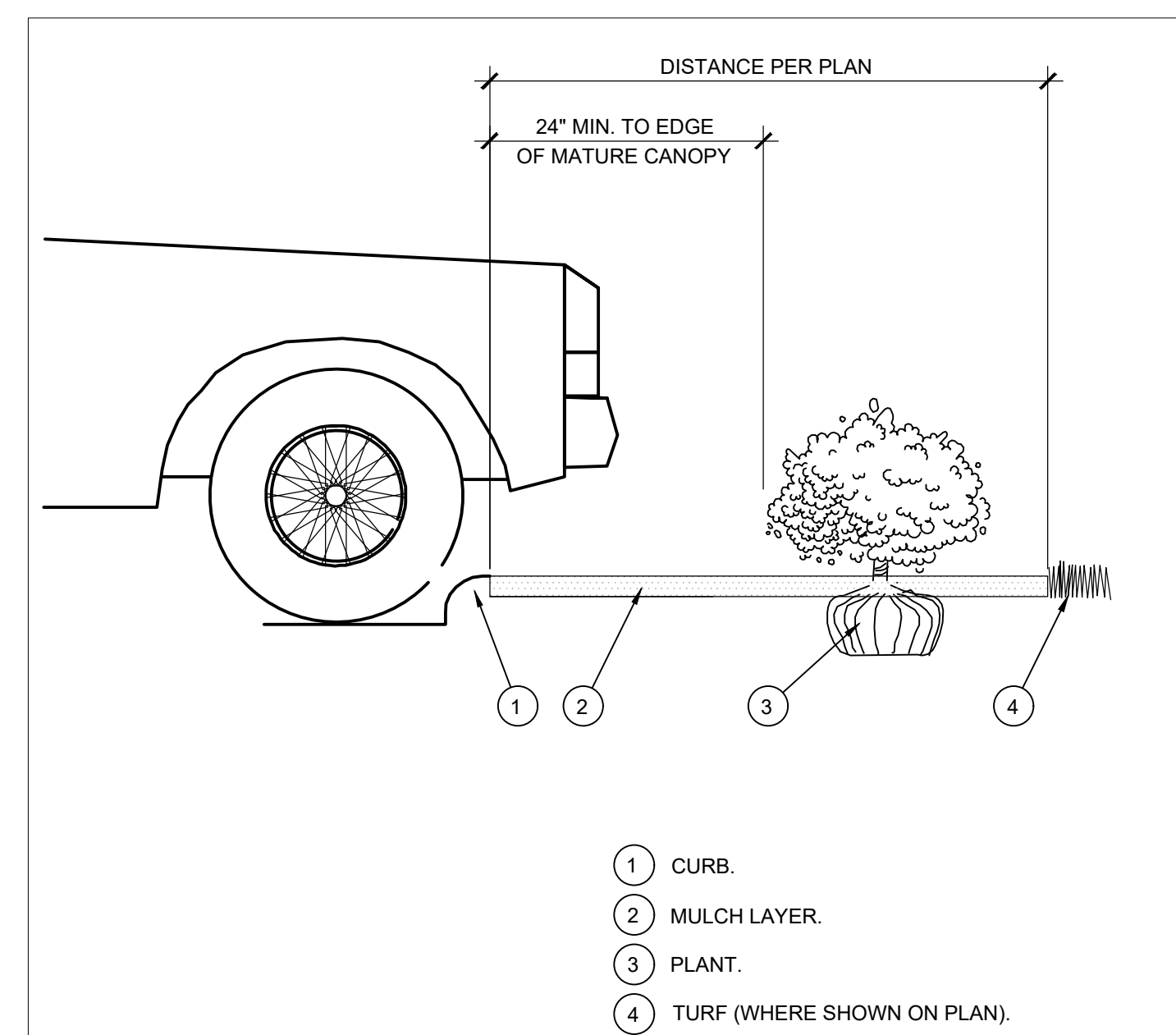
WOOD SCREENING FENCE DETAILS
NOT TO SCALE

NOTE

THIS DOCUMENT HAS BEEN PREPARED IN PART BASED UPON BOUNDARY TOPOGRAPHIC, EXISTING UTILITIES, ELEVATIONS OVERALL SITE LAYOUT INCLUDING BUILDING LOCATION, PAVING LAYOUT, PARKING LAYOUT, BUFFER ZONES, EASEMENTS AND OTHER SURVEYING INFORMATION PROVIDED BY OTHERS AND THE SURVEYS AND SITE LAYOUT WERE PERFORMED BY OTHERS. THE DESIGN PROFESSIONAL CAN NOT ASSURE THE ACCURACY OF THIS INFORMATION PROVIDED BY OTHERS AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OR ANY ERRORS AND OR OMISSIONS THAT MAY HAVE BEEN INCORPORATED INTO IT. THOSE RELYING ON THIS INFORMATION FOR BIDDING AND CONSTRUCTION PURPOSES, YOU ARE ADVISED TO OBTAIN INDEPENDENT FIELD VERIFICATION OF THE INFORMATION ACCURACY BEFORE APPLYING IT FOR ANY PURPOSE.



NORTH COLEMAN BUILD OUT SECTION
NOT TO SCALE



PARKING SPACE OVERHANG
NOT TO SCALE

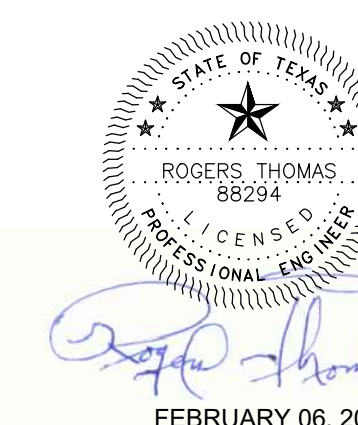


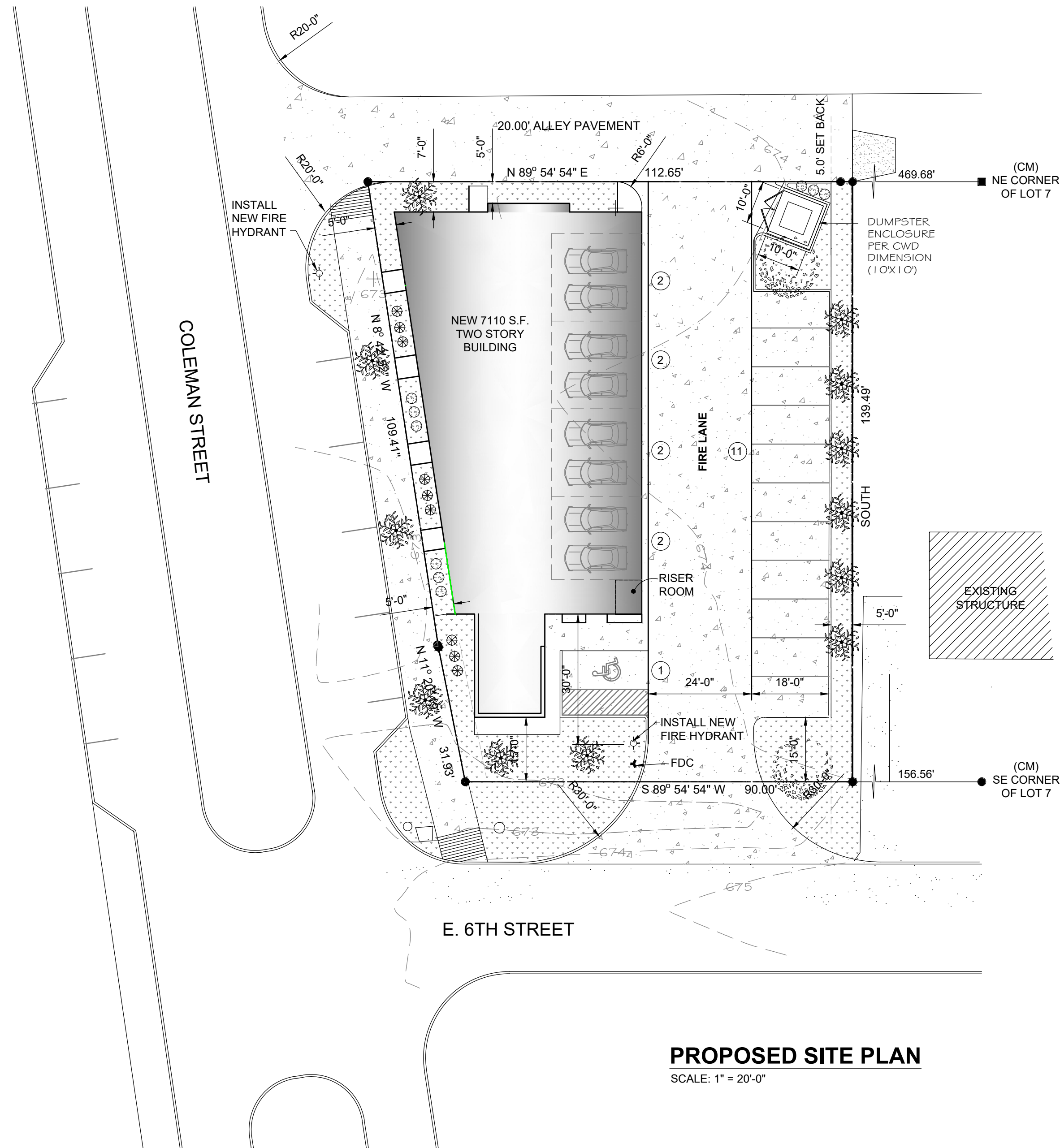
EXHIBIT D: CONCEPTUAL PLAN PROSPER CENTRAL ADDITION BLOCK 1, LOT 1 ZONE-23-0029		
DATE	REVISION	BY
PROPOSED SITE PLAN		
EAST 6TH STREET MIXED USE FACILITY N COLEMAN & E. 6TH STREETS PROSPER, TEXAS 75078		
THOMAS DESIGN TECHNOLOGIES ENGINEERS DESIGNERS PROJECT MANAGERS 1312 RABBIT RIDGE CEDAR HILL, TEXAS 75104 PHONE: (972) 672-8927 EMAIL: rthomas3710@att.net T&PE FIRM REGISTRATION NO. F-6086		
DESIGNED BY: THOMAS DESIGN TECH	CONTRACT NUMBER: 23-036	SHEET NO. C-2
DRAWN BY: THOMAS DESIGN TECH	FILE NAME: E 6th Street Mixed Use Civil Plans.Dwg	TOTAL SHEETS 9
REVIEWED BY: OWNER	DATE: FEBRUARY 06, 2024	
PLOT SCALE: AS NOTED		

20 10 0 20 40

SCALE: 1"= 20'-0"



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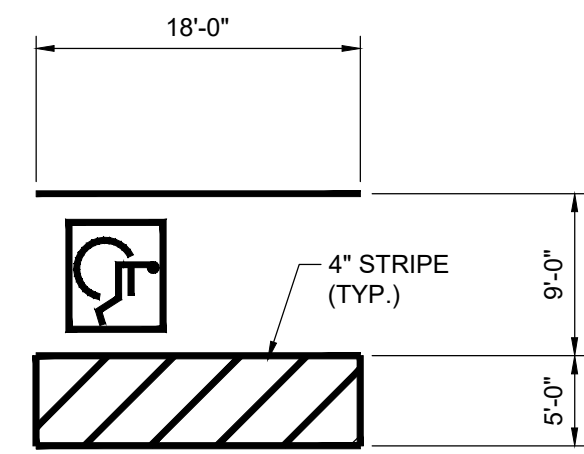
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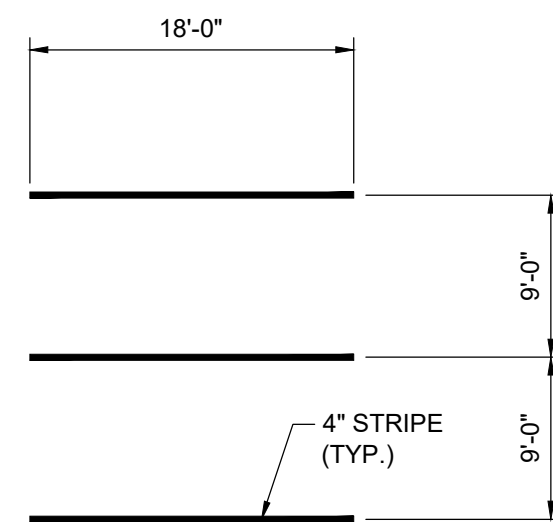
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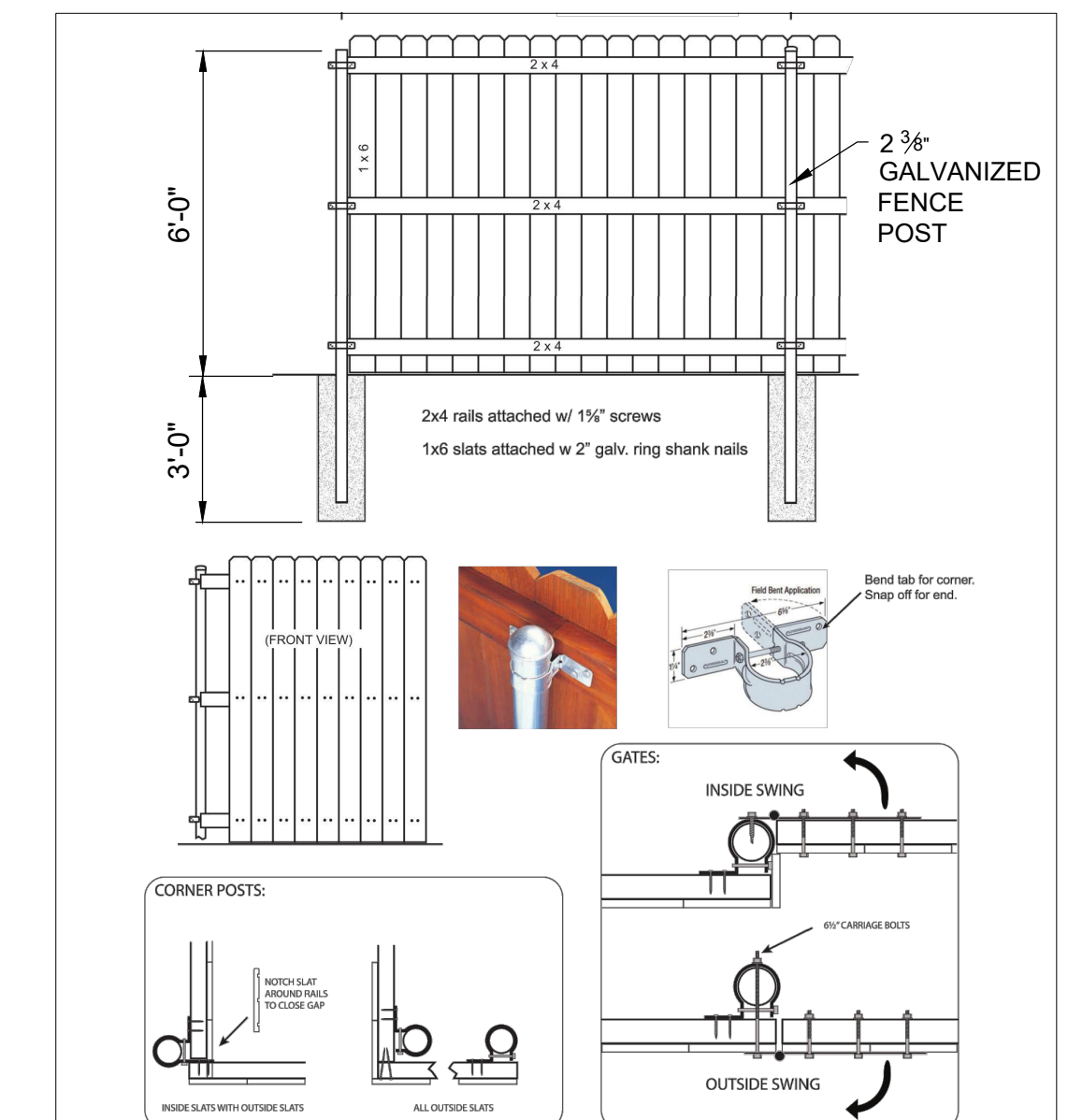
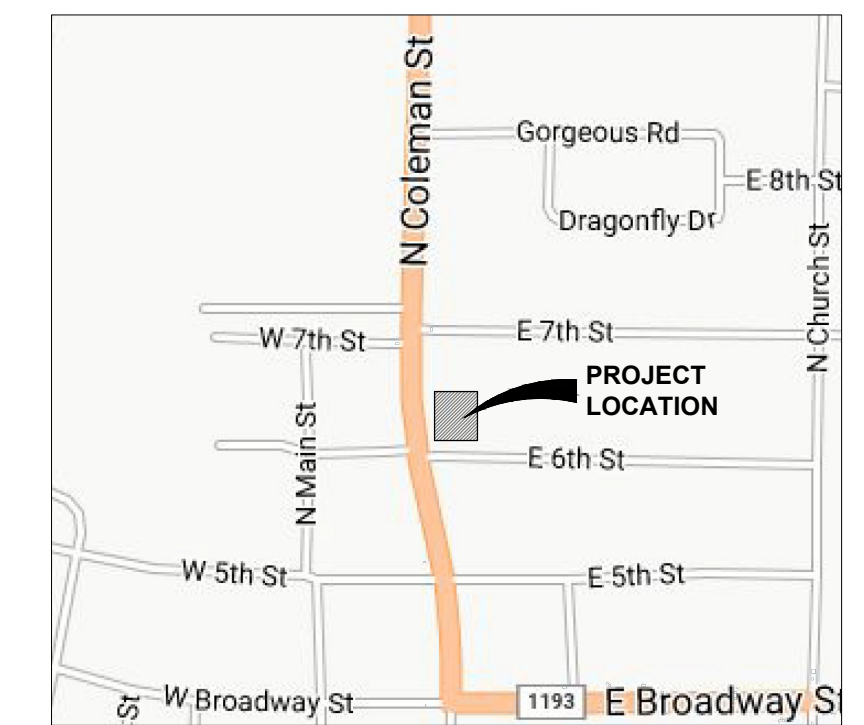
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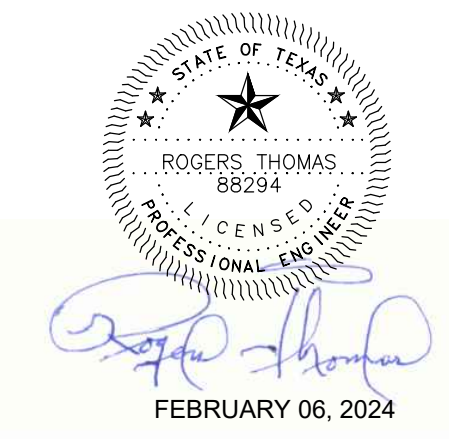
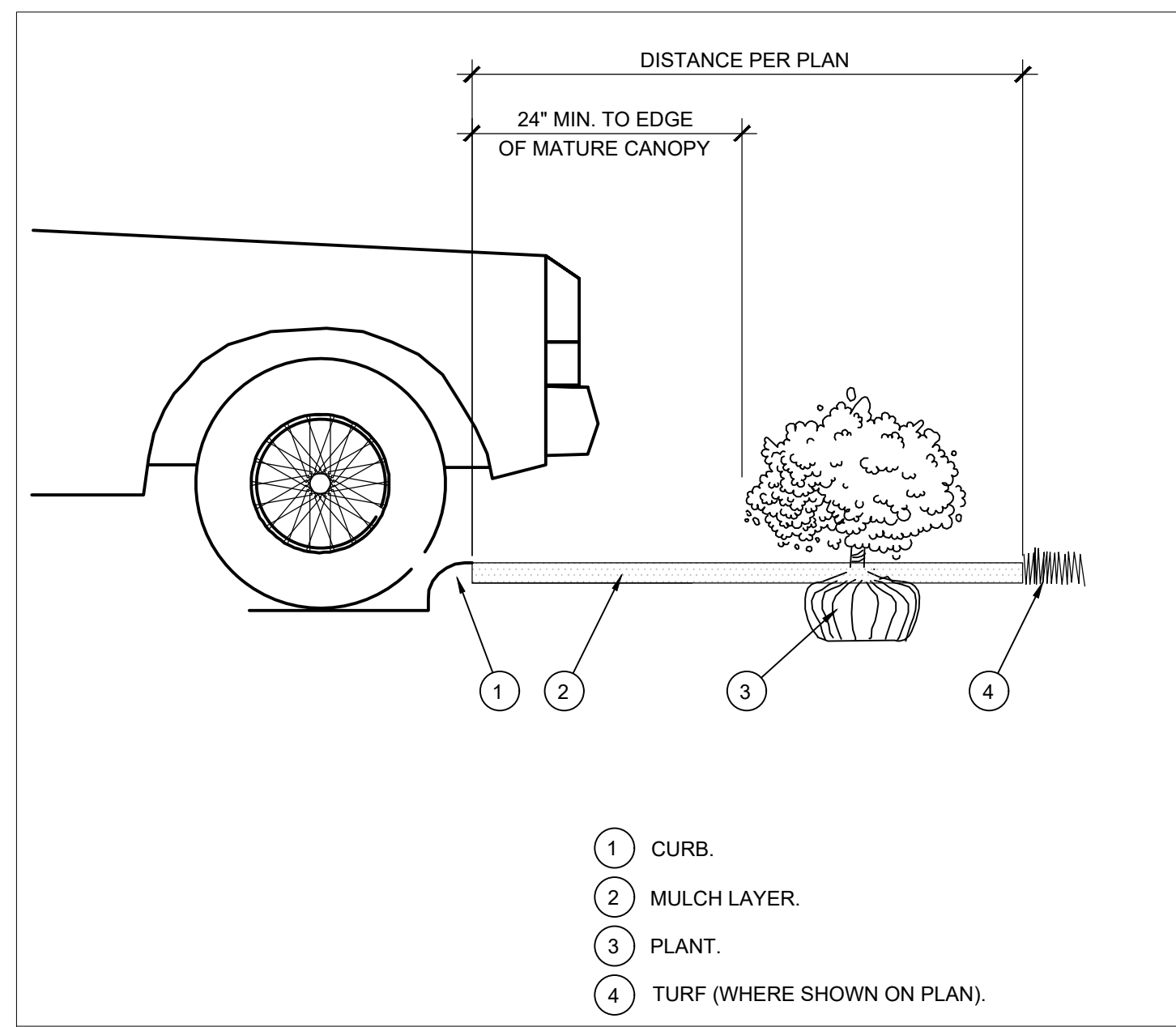
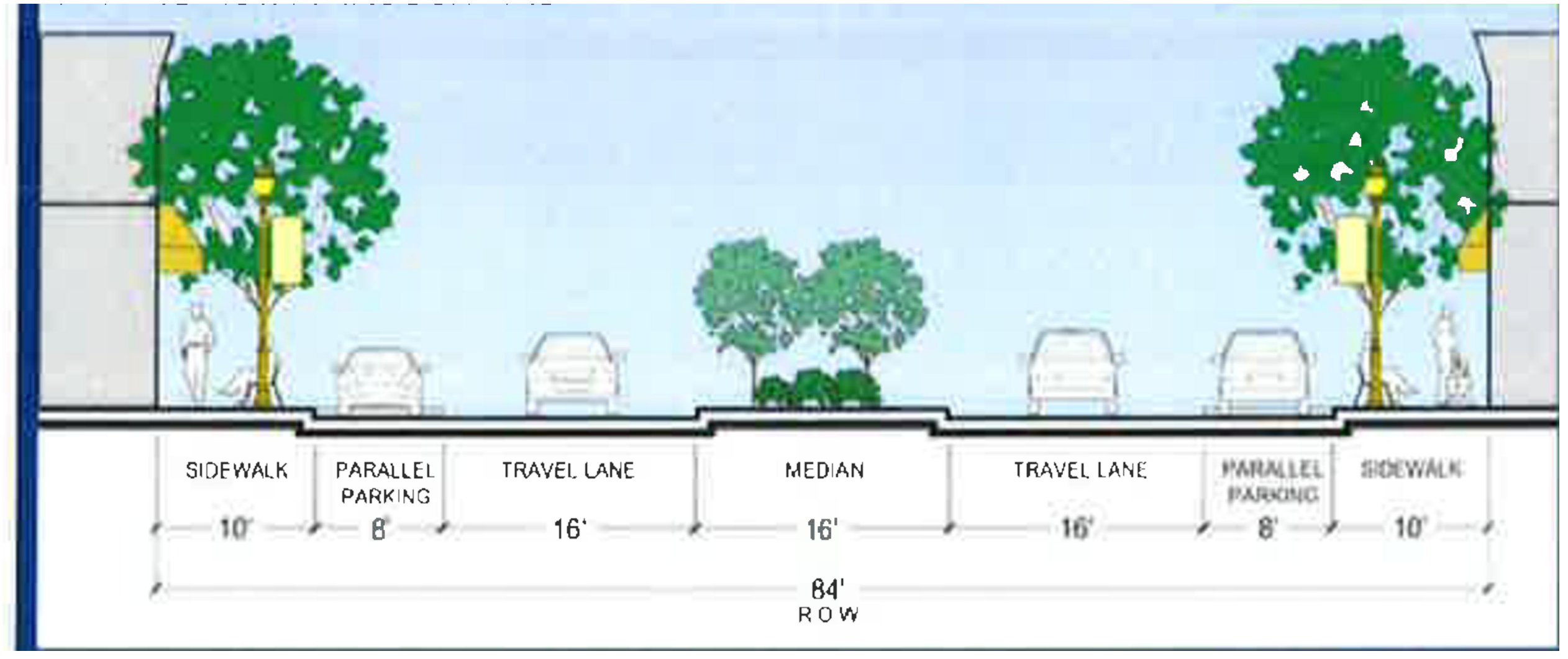


Exhibit G: Landscape Plan
PROSPER CENTRAL ADDITION BLOCK 1, LOT 1
ZONE-23-0029

DATE: _____ REVISION: _____ BY: _____

PROPOSED SITE PLAN

EAST 6TH STREET MIXED USE FACILITY
N COLEMAN & E. 6TH STREETS PROSPER, TEXAS 75078

THOMAS DESIGN TECHNOLOGIES
ENGINEERS DESIGNERS PROJECT MANAGERS
1312 RABBIT RIDGE CEDAR HILL, TEXAS 75104
PHONE: (972) 672-8927 EMAIL: rthomas3710@att.net
TDBE FIRM REGISTRATION NO. F-6086

DESIGNED BY: THOMAS DESIGN TECH CONTRACT NUMBER: 23-036 SHEET NO. C-2
DRAWN BY: THOMAS DESIGN TECH FILE NAME: E 6th Street Mixed Use Civil Plans.Dwg TOTAL SHEETS 9
REVIEWED BY: OWNER PLOT SCALE: AS NOTED DATE: FEBRUARY 06, 2024