

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, AMENDING THE ZONING ORDINANCE BY REZONING A TRACT OF LAND CONSISTING OF 64.501 ACRES, SITUATED IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447, THE B. HODGES SURVEY, ABSTRACT NO. 593, THE P. BARNES SURVEY, ABSTRACT NO. 79, THE R. TAYLOR SURVEY, ABSTRACT NO. 1671, THE J. HAYNES SURVEY, ABSTRACT NO. 573 AND THE ANGUS JAMISON SURVEY, TOWN OF PROSPER, DENTON COUNTY, TEXAS, FROM PLANNED DEVELOPMENT-94 (PD-94) TO PLANNED DEVELOPMENT-94; DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

WHEREAS, the Town Council of the Town of Prosper, Texas (the "Town Council"), has investigated and determined that the Zoning Ordinance should be amended; and

WHEREAS, the Town of Prosper, Texas ("Prosper") has received a request (Case Z22-0001) from Perry Molubhoy and Shiva Kondru ("Applicants"), to rezone 64.601 acres of land, more or less, in the J. Gonzalez Survey, Abstract No. 447, the B. Hodes Survey, Abstract No. 593, the P. Barnes Survey, Abstract No. 79, the R. Taylor Survey, Abstract No. 1671, the Haynes Survey, Abstract No. 573 and the Angus Jamison Survey, Town of Prosper, Denton County, Texas, from Planned Development-94 to Planned Development-94 (PD-94) and being more particularly described in Exhibit A, attached hereto and incorporated herein for all purposes; and

WHEREAS, the Town Council has investigated and determined that the facts contained in the request are true and correct; and

WHEREAS, all legal notices required for rezoning have been given in the manner and form set forth by law, Public Hearings have been held, and all other requirements of notice and completion of such procedures have been fulfilled; and

WHEREAS, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS:

SECTION 1

Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2

Amendment to the Town's Zoning Ordinance. The Town's Zoning Ordinance, as amended, is hereby amended as follows: The zoning designation of the below described property containing 64.501 acres of land, more or less, in the J. Gonzalez Survey, Abstract No. 447, the

B. Hodes Survey, Abstract No. 593, the P. Barnes Survey, Abstract No. 79, the R. Taylor Survey, Abstract No. 1671, the Haynes Survey, Abstract No. 573 and the Angus Jamison Survey, Town of Prosper, Denton County, Texas, and all streets, roads, and alleyways contiguous and/or adjacent thereto are hereby zoned as Planned Development-94 and being more particularly described in Exhibit A, attached hereto and incorporated herein for all purposes as if set forth verbatim.

The development plans, standards, and uses for the Property in this Planned Development District shall conform to, and comply with (1) the Statement of Intent and Purpose, attached hereto as Exhibit B; (2) the Development Standards, attached hereto as Exhibit C; (3) the Site Plan, attached hereto as Exhibit D; (4) the Development Schedule, attached hereto as Exhibit E; (5) the Façade Plans, attached hereto as Exhibit F; and (6) the Landscape Plans, attached hereto as Exhibit G, all of which are incorporated herein for all purposes as if set forth verbatim, subject to the following conditions of approval by the Town Council:

1. Approval of a Development Agreement, which includes but is not limited to, prohibiting certain business establishments.

Two (2) original, official, and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. One (1) copy shall be filed with the Town Secretary and retained as an original record and shall not be changed in any manner.
- b. One (1) copy shall be filed with the Building Official and shall be maintained up-to-date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy, and enforcing the zoning ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

SECTION 3

No Vested Interest/Repeal. No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

SECTION 4

Unlawful Use of Premises. It shall be unlawful for any person, firm or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

SECTION 5

Penalty. Any person, firm, corporation, or business entity violating this Ordinance or any provision of Prosper's Zoning Ordinance, as amended, shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars (\$2,000.00). Each continuing day's violation under this Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from

filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 6

Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 7

Savings/Repealing Clause. Prosper's Zoning Ordinance, as amended, shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 8

Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

DULY PASSED, APPROVED, AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, ON THIS ___ DAY OF JUNE, 2022.

David F. Bristol, Mayor

ATTEST:

Michelle Lewis-Sirianni, Town Secretary

APPROVED AS TO FORM AND LEGALITY:

Terrence S. Welch, Town Attorney

[illegible]

Z22-0001
EXHIBIT B
STATEMENT OF INTENT AND PURPOSE
WESTSIDE

1. Statement of Intent

A. Overall Intent

The purpose of this project is to create a walkable urban neighborhood using a horizontal mix of uses. Access to shopping, housing, community retail and park land promotes a quality of life that nurtures the public health, safety, comfort, convenience, prosperity and general welfare of the immediate community, as well as to assist in the orderly and controlled growth and development of the land area described within this document.

B. Description of Property

The subject property comprises approximately 64 acres of vacant land at the northeast corner of U.S. Highway 380 and F.M. 1385 in Prosper, Texas. It is additionally bounded by the Glenbrooke single family neighborhood to the north and Doe Branch Creek to the east. An existing trail exists along the property's north boundary and currently serves the adjacent single family neighborhood. This trail may extend into the Doe Branch drainage system and be part of the larger Town of Prosper Trails Plan.

C. Description of Proposed Property

The subject property as depicted in Exhibit "D" has been divided into two distinct sub-districts. The purpose of sub-district requirements is to define the character of new development within each sub-district. They have been carefully designed to allow enough flexibility for creative building solutions, while being prescriptive in areas necessary to preserve consistency throughout the development.

Given that the subject property resides at the hard corner of two major thoroughfares and will serve as a gateway to the Town of Prosper, a portion of land with a size yet to be determined, will be set aside as a signage easement for a Town gateway sign near the intersection of U.S. 380 and F.M. 1385.

2. Current Zoning and Land Uses

A. Current Zoning

The subject property comprises land that fall under two distinct zoning classifications. At the intersection of U.S. 380 and F.M. 1385 is a small portion of acreage that zoned for Single Family. The remainder of the property is zoned for Agriculture.

B. Future Land Use Plan

The Future Land Use Plan designates the entire subject property as US 380 District, which is defined as having a variety of uses, such as big box development, hotels, banks, gas/convenience and residential that serves as a buffer between the commercial and nearby single family.

Z22-0001
EXHIBIT C
DEVELOPMENT STANDARDS
WESTSIDE

Conformance with the Town's Zoning Ordinance and Subdivision Ordinance: Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance, as it exists or may be amended, and the Subdivision Ordinance, as it exists or may be amended, shall apply.

Tract A – Retail District

- A1. Except as noted below, the Tract shall develop in accordance with the Retail District as it exists or may be amended.
- A2. Uses. Uses shall be permitted in accordance with the Retail District with the exception of the following:

Permitted Uses

1. Restaurant (with Drive-Through)
 - a. A restaurant with drive-through shall be permitted by right in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance. A maximum of two (2) noncontiguous drive-through restaurants shall be permitted along US 380, and a maximum of two (2) drive-through restaurants shall be permitted along FM 1385, as shown on Exhibit D.
2. Hotel, Extended Stay
 - a. An extended stay hotel shall be permitted by right on the subject property, as shown on Exhibit D, on either Lot 15 or Lot 16, and shall otherwise be permitted in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance.

Prohibited Uses:

1. Athletic Stadium or Field, Public
2. Automobile Parking Lot/Garage
3. Automobile Paid Parking Lot/Garage
4. Recycling Collection Point
5. School District Bus Yard

- A3. Regulations. Regulations shall be permitted in accordance with the Retail District with the exception of the following:
1. Maximum Height
 - a. Commercial Amusement, Indoor: Two (2) stories, no greater than fifty (50) feet at the parapet height, with an additional twenty (20) feet above the parapet for a marquee.
 - b. Hotel, Extended Stay: Five (5) stories, no greater than seventy-five (75) feet.
 - i. Minimum height of four (4) stories.
- A4. Design Guidelines
1. Elevation Review and Approval
 - a. Conceptual Elevations, conforming to Exhibit F, shall be submitted at the time of Preliminary Site Plan, subject to approval by the Planning & Zoning Commission.

- b. Detailed Façade Plans conforming to the Conceptual Elevations shall be submitted for each building at the time of Site Plan, subject to approval by the Planning & Zoning Commission. Façade Plans for the Extended Stay Hotels and the Indoor Commercial Amusement uses shall also be subject to Town Council approval.

2. Architectural Standards

- a. At least eighty percent (80%) of each building's façade (excluding doors and windows) shall be finished in one of the following materials: Masonry (brick or stone)
 - i. Commercial Amusement, Indoor may utilize architectural finished concrete as a primary masonry material, and may be used for up to one hundred percent (80%) of a building elevation, as shown on Exhibit F. In addition, a maximum of ten percent (10%) secondary material, and minimum of ten percent (10%) stone, per elevation, shall be required for Commercial Amusement, Indoor.
- b. For retail/restaurant uses, no more than thirty percent (30%) of each façade elevation shall use wood-based high pressure laminate (i.e. Prodema, Trespa, CompactWood), as shown on Exhibit F.
- c. No more than fifteen percent (15%) of each façade elevation may use a combination of accent materials such as cedar or similar quality decorative wood, architectural metal panel, tile, stucco, or Exterior Insulating Finishing System (EIFS). Stucco and EIFS may only be used eight feet (8') above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and molding features. Commercial Amusement, Indoor shall be limited to a maximum ten percent (10%).
- d. Architectural embellishments not intended for human occupancy that are integral to the architectural style of the buildings, including spires, belfries, towers, cupolas, domes, marquees and roof forms whose area in plan is no greater than fifteen percent (15%) of the ground floor footprint may exceed the height limits by up to ten feet (10').
- e. No single material shall exceed eighty percent (80%) percent of an elevation area. Except for Commercial Amusement, Indoor, a minimum of twenty percent (20%) of the front façade and all facades facing public right-of-way shall be natural or manufactured stone. A minimum of ten percent (10%) of all other facades shall be natural or manufactured stone. Commercial Amusement, Indoor shall require a minimum ten percent (10%) stone, per elevation.
 - i. All buildings shall be designed to incorporate a form of architectural articulation every thirty feet (30'), both horizontally along each wall's length and vertically along each wall's height. Acceptable articulation may include the following:
 - ii. Canopies, awnings, or porticos;
 - iii. Recesses/projections;
 - iv. Arcades;
 - v. Arches;
 - vi. Display windows, including a minimum sill height of thirty (30) inches;
 - vii. Architectural details (such as tile work and moldings) integrated into the building facade;
 - viii. Articulated ground floor levels or base;
 - ix. Articulated cornice line;
 - x. Integrated planters or wing walls that incorporate landscape and sitting areas;
 - xi. Offsets, reveals or projecting rib used to express architectural or structural bays; or
 - xii. Varied roof heights;
- f. All buildings shall be architecturally finished on all four (4) sides with same materials, detailing, and features.

- g. Except for the Commercial Amusement, Indoor, all primary and secondary exterior building materials (exclusive of glass) shall be of natural texture and shall be neutrals, creams, or other similar, non-reflective earth tone colors. Bright, reflective, pure tone primary or secondary colors, such as red, orange, yellow, blue, violet, or green are not permitted.
- h. Corporate identities that conflict with the building design criteria shall be reviewed on a case-by-case basis and approved by the Director of Development Services or his/her designee. The applicant may appeal the decision to the Planning & Zoning Commission and Town Council using the appeal procedure in Chapter 4, Section 1 of the Town's Zoning Ordinance.
- i. Exposed conduit, ladders, utility boxes, and drain spouts shall be painted to match the color of the building or an accent color. Natural metal finishes (patina) are an acceptable alternative to paint.
- j. All retail/commercial buildings with facades greater than two hundred feet (200') in length shall incorporate wall plane projections or recesses that are at least six feet (6') deep. Projections/recesses must be at least twenty five percent (25%) of the length of the facade. Except for Commercial Amusement, Indoor, no uninterrupted length of facade may exceed one hundred feet (100') in length.

3. Windows and Doors

- a. All ground floor front facades of buildings along streets or public ways with on-street parking or that face directly onto Open Space and contain non-residential uses shall have transparent storefront windows covering no less than thirty percent (30%) of the façade area. Hotels shall have no less than ten percent (10%) of the façade.
- i. Clear glass is required in all non-residential storefronts. Smoked, reflective, or black glass that blocks two-way visibility is only permitted above the first story. Windows shall have a maximum exterior visible reflectivity of thirty percent (30%).

4. Awning, Canopies, Arcades, and Overhangs

- a. Awnings shall not be internally illuminated.
- b. Canopies shall not exceed one hundred linear feet (100') without a break of at least five feet (5').
- c. Awnings and canopies shall not extend beyond ten feet (10') from the main building façade.

A5. Additional Standards

1. Open Space

a. Urban Open Space

- i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of one (1) acre of useable land area that will serve as the central park to the commercial development. A minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Rural Open Space; a minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Glenbrooke neighborhood via Kent Drive. Gates and/or fencing on any pedestrian or vehicular way accessing Kent Drive shall be prohibited.
- ii. The urban park open space shall be constructed prior to any construction of Phase 1B. The urban park open space shall be constructed at the developer's cost.
- iii. The hike and bike trail system and trailhead shall be constructed at the time of construction of Phase 1B. The hike and bike trail system shall be constructed at the developer's cost.

- b. Rural Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of nine (9) acres of useable land area that will serve the greater community with both active and passive open space.
 - c. Combined Urban Open Space and Rural Open Space shall collectively satisfy all Open Space requirements for both Tract A and Tract B as required by the Town of Prosper Zoning Ordinance.
2. Landscape Screening and Buffering
- a. A thirty-foot (30') landscape easement shall be required along roadways when an adjacent building sides or backs the road. The landscape buffer shall consist of a minimum three- foot (3') foot berm.
 - b. A minimum of twenty feet (20') of landscape easement shall be exclusive of all utility easements, right turn lanes, drainage easements, and rights-of-way. None of the required trees and/or shrubs shall be located within any utility easement.
 - c. A minimum ten-foot (10') landscape buffer is required adjacent to Urban and Rural Open Space.
 - d. Berming shall be required behind the Entertainment/Indoor Commercial Amusement structure located in Phase 2A as reflected on the Phasing Diagram.
3. Lot Frontage
- a. Lots are not required to front on a public right-of-way, provided an access easement is established by plat prior to issuance of a Certificate of Occupancy (CO) for any building on a lot not fronting on right-of-way.
4. Parking Requirement
- a. Hotel, Extended Stay: One (1) parking space, equivalent to seventy-five percent (75%) of the total number of rooms/keys provided. Parking spaces for Lots 15 and 16 may be shared, provided the minimum requirements per the zoning ordinance and herein are met.

Tract B – Multifamily District

- B1. Except as noted below, the Tract shall develop in accordance with the Multifamily District as it exists or may be amended.
- B2. Multifamily Construction
 - 1. For Phase 1B, as shown on Exhibit E2, which consists of a maximum of 243 units, construction may not commence until construction of the first floor framing has begun on the restaurant/retail building as shown on Lot 8 on Exhibit D and the Extended Stay Hotel on either Lot 15 or Lot 16 on Exhibit D.
 - 2. For Phase 2B, as shown on Exhibit E2, which consists of a maximum of 237 units, construction may not commence until vertical construction has begun on a minimum fifty thousand (50,000) square foot Indoor Commercial Amusement building or similar size retail building.
- B3. Regulations. Regulations shall be permitted in accordance with the Multifamily District with the exception of the following:
 - 1. Maximum Number of Units: Four hundred and eighty (480) units.

2. Maximum Height:
 - a. Two (2) stories, no greater than forty feet (40') for buildings within one hundred (100) feet of a single family zoning district.
 - b. Three (3) stories, no greater than fifty feet (50').
 - c. Four (4) stories, no greater than sixty-five feet (65').
3. Size of Yards
 - a. In accordance with Exhibit D.
4. Minimum Dwelling Area
 - a. One (1) bedroom: 650 square feet
 - b. Two (2) bedroom: 925 square feet
 - c. Three (3) bedroom: 1,150 square feet
5. Lot Coverage: Maximum fifty percent (50%)

B4. Design Guidelines

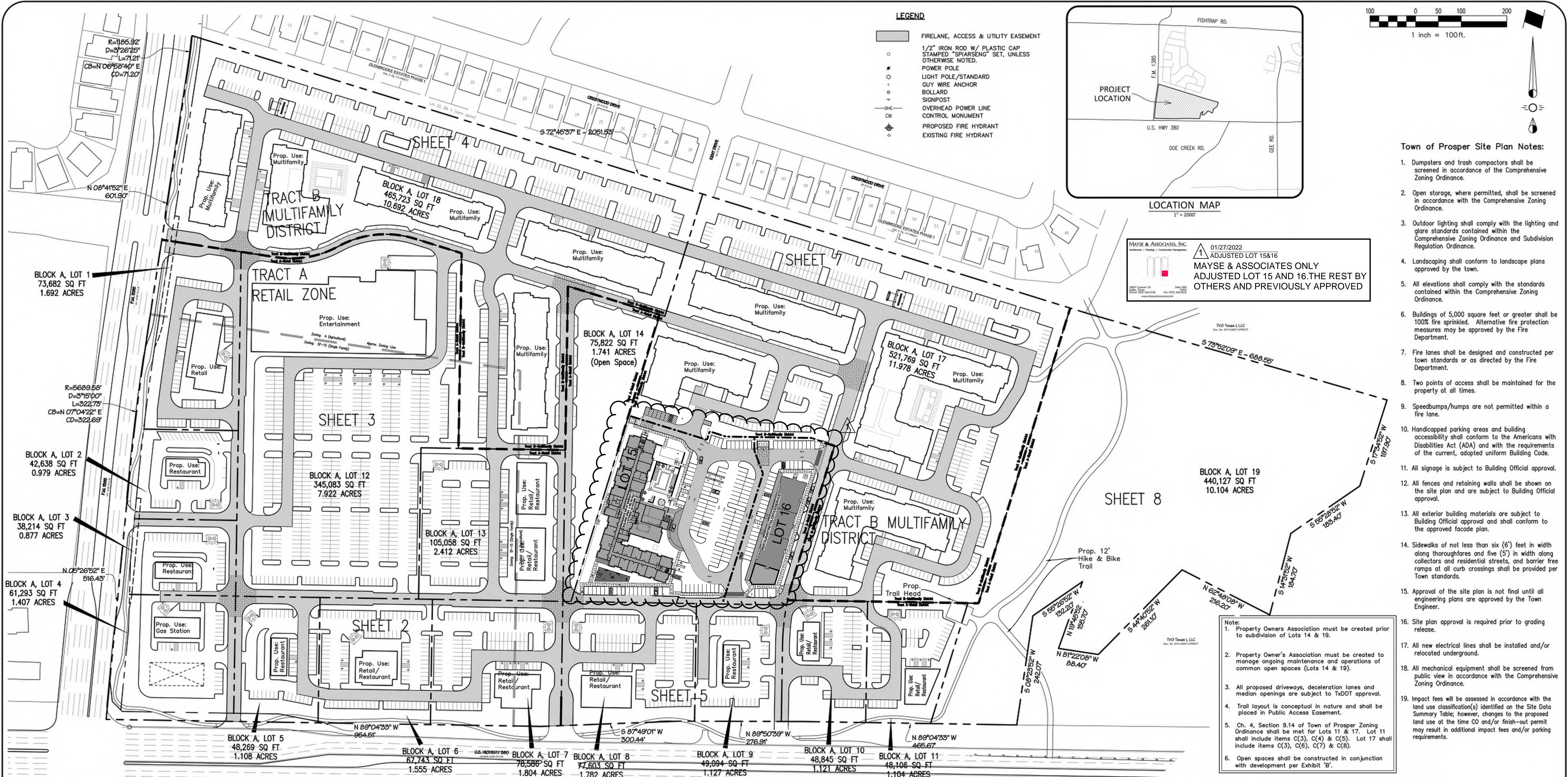
1. Elevation Review and Approval
 - a. Conceptual Elevations, conforming to Exhibit F, shall be submitted at the time of Preliminary Site Plan, subject to approval by the Planning & Zoning Commission.
 - b. Detailed Façade Plans conforming to the Conceptual Elevations shall be submitted for each building at the time of Site Plan, subject to approval by the Planning & Zoning Commission.
2. Architectural Standards
 - a. At least eighty percent (80%) of each building's façade (excluding doors and windows) shall be finished in one of the following materials: Masonry (brick and stone).
 - b. No more than fifteen percent (15%) of each façade elevation shall use a combination of accent materials such as cedar or similar quality decorative wood, fiber cement siding, resin-impregnated wood panel system, cementitious-fiber clapboard (not sheet) with at least a fifty (50) year warranty, architectural metal panel, split-face concrete block, tile, stucco, or Exterior Insulating Finishing System (EIFS). Stucco and EIFS may only be used eight feet (8') above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and molding features.
 - c. Any enclosed one or two-car garage shall be designed and constructed of the same material as the primary building.

B5. Additional Standards

1. Open Space
 - a. Urban Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of one (1) acre of useable land area that will serve as the central park to the commercial development. A minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Rural Open Space; a minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Glenbrooke neighborhood via Kent Drive. Gates and/or fencing on any pedestrian or vehicular way accessing Kent Drive shall be prohibited.
 - ii. The urban park open space shall be constructed prior to any construction of Phase 1B. The urban park open space shall be constructed at the developer's cost.

- iii. The hike and bike trail system and trailhead shall be constructed at the time of construction of Phase 1B. The hike and bike trail system shall be constructed at the developer's cost.
 - b. Rural Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of nine (9) acres of useable land area that will serve the greater community with both active and passive open space.
 - c. Combined Urban Open Space and Rural Open Space shall collectively satisfy all Open Space requirements for both Tract A and Tract B as required by the Town of Prosper Zoning Ordinance.
- 2. Landscape Screening and Buffering
 - a. As depicted on the Landscape Plan (Exhibit G), two (2) rows of minimum three inch (3") caliper trees every fifty feet (50') on center, offset, shall be planted along the northern property line.
 - b. A minimum of twenty feet (20') of landscape easement shall be exclusive of all utility easements, right turn lanes, drainage easements, and rights-of-way. None of the required trees and/or shrubs shall be located within any utility easement, except for the twenty-five foot (25') UTRWD utility easement that currently resides immediately south of the property's north property line.
 - c. A minimum ten-foot (10') landscape buffer is required adjacent to Rural Open Space.
- 3. Lot Frontage
 - a. Lots are not required to front on a public right-of-way, provided an access easement is established by plat prior to issuance of a Certificate of Occupancy (CO) for any building on a lot not fronting on right-of-way.
- 4. Parking
 - a. Minimum "Off-Street" Parking. For the purpose of this ordinance, off-street parking shall mean any parking not located immediately adjacent to and along public drives (i.e. parallel parking) used for internal circulation throughout the development.
 - i. One (1) and two (2) bedroom units: 1.8 parking spaces per unit.
 - ii. Three (3) bedroom units: 2.0 parking spaces per unit.
 - b. Tandem parking shall count towards the parking provided for each designated tract or phase that the parking resides within.
 - c. Surface parallel parking that is provided along interior drives shall count towards the parking provided for each designated tract or phase that the parking resides within.
- 5. The provisions of Chapter 4, Section 9.14 (Non-Residential and Multifamily Development Adjacent to a Major Creek) shall apply to the proposed development.
- 6. The provisions of Chapter 4, Section 9.16 (Residential Open Space) shall apply to the proposed development.

7. The provision of Chapter 4, Section 9.17 (Multifamily Site Design) shall not apply to the proposed development.



SITE DATA SUMMARY TABLE																						
LOT	ZONING	PROPOSED USE	LOT AREA		FIRST FLOOR BUILDING AREA (SF)	TOTAL BUILDING AREA (SF)	UNIT COUNT	BUILDING HEIGHT (ft)	MAX. BUILDING HEIGHT (story)	COVERAGE (%)	FLOOR AREA RATIO	REQ. PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED	REQUIRED HANDICAP PARKING	PROVIDED HANDICAP PARKING	INTERIOR LANDSCAPE REQUIRED (SF)	INTERIOR LANDSCAPE PROVIDED (SF)	IMPERVIOUS AREA (SF)	OPEN SPACE REQUIRED (SF)	OPEN SPACE PROVIDED (SF)	
			SF	AC																		
1	PD	RETAIL	73,682	1.69	10,950	10,950	N/A	40'	1	14.9%	0.1486:1	1:250	44	62	2	2	930	34,878	33,874	5,158	Provided in Lots 14/19	
2	PD	RESTAURANT W/ D.T.	42,638	0.98	3,172	3,172	N/A	40'	1	7.4%	0.0744:1	1:100	32	33	1	1	495	13,906	25,754	2,985	Provided in Lots 14/19	
3	PD	RESTAURANT W/ D.T.	38,214	0.88	2,872	2,872	N/A	40'	1	7.5%	0.0752:1	1:100	29	32	1	1	480	12,064	24,600	2,675	Provided in Lots 14/19	
4	PD	GAS STATION	61,293	1.41	4,500	4,500	N/A	40'	1	7.3%	0.0734:1	1:250	18	28	1	1	420	21,561	35,374	4,291	Provided in Lots 14/19	
5	PD	RESTAURANT W/ D.T.	48,269	1.11	2,880	2,880	N/A	40'	1	6.0%	0.0597:1	1:100	29	41	1	1	615	15,949	30,349	3,379	Provided in Lots 14/19	
6	PD	RETAIL/RESTAURANT	67,743	1.56	6,447	6,447	N/A	40'	1	9.5%	0.0952:1	1:75	86	98	4	4	1,470	24,584	38,417	4,742	Provided in Lots 14/19	
7	PD	RETAIL/RESTAURANT	78,586	1.80	6,321	6,321	N/A	40'	1	8.0%	0.0804:1	1:75	85	102	4	4	1,530	26,625	46,460	5,501	Provided in Lots 14/19	
8	PD	RETAIL/RESTAURANT	77,603	1.78	7,700	7,700	N/A	40'	1	9.9%	0.0992:1	1:75	103	99	4	4	1,485	24,516	47,655	5,432	Provided in Lots 14/19	
9	PD	RESTAURANT W/ D.T.	49,094	1.13	2,931	2,931	N/A	40'	1	6.0%	0.0597:1	1:100	30	44	2	2	660	16,273	29,209	3,437	Provided in Lots 14/19	
10	PD	RETAIL/RESTAURANT	48,845	1.12	3,756	3,756	N/A	40'	1	7.7%	0.0769:1	1:75	51	53	3	3	795	18,171	27,255	3,419	Provided in Lots 14/19	
11	PD	RETAIL/RESTAURANT	48,106	1.10	4,805	4,805	N/A	40'	1	10.0%	0.0999:1	1:75	65	65	3	3	975	20,260	24,479	3,367	Provided in Lots 14/19	
12	PD	ENTERTAINMENT	345,083	7.92	56,000	56,000	N/A	50'	2	16.2%	0.1623:1	1:150	374	494	12	12	7,410	105,889	221,992	24,156	Provided in Lots 14/19	
13	PD	RETAIL/RESTAURANT	105,058	2.41	14,819	29,638	N/A	40'	1	14.1%	0.2821:1	1:250	119	152	6	6	2,280	35,118	62,586	7,354	Provided in Lots 14/19	
14	PM	OPEN SPACE	75,822	1.74	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	20	N/A	N/A	N/A	N/A	19,200	N/A	66,532	
15	PD	HOTEL	123,227	1.85	27,780	96,750	124	55'	5	22.5%	0.78:1	1 SPACE PER GUESTROOM	124	163 SHARED PARKING	6	6	1,470	27,051+/-	96,176+/-	5,637	Provided in Lots 14/19	
16	PD	RETAIL/RESTAURANT/ OFFICE	52,296	1.2	10,858	10,858	N/A	40'	1	20.7%	0.20:1	1:250; 1:100; 1:350; REFER TO SHEET A0.2A	63				1,830	6,229+/-	46,067+/-	5,949	Provided in Lots 14/19	
17	PD	MULTIFAMILY	521,769	11.98	111,516	319,215	243 (116 - 18, 93 - 28, 24 - 38)	65'	4	21.4%	0.6118:1	1.8 per 18&28 unit 2.0 per 3B unit	443		529	10	10	7,935	141,562	214,547	156,531	Provided in Lots 14/19
18	PD	MULTIFAMILY	465,723	10.69	99,752	282,821	237 (119 - 18, 93 - 28, 25 - 38)	65'	4	21.4%	0.6073:1	1.8 per 18&28 unit 2.0 per 3B unit	432		443	10	10	6,645	160,528	210,529	139,717	Provided in Lots 14/19
19	PD	OPEN SPACE	440,127	10.10	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	16,996	N/A	440,127	
Total=			2753170	63.20	370,761	889,208													383,729		506,659	

SHT. 1 OF 8
TOWN OF PROSPER CASE NO. Z22-0001
Exhibit D Conceptual Plan

WestSide
BLOCK A, LOTS 1-19
BEING 64.501 ACRES OF LAND (GROSS)
63.858 ACRES OF LAND (NET)
IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &
IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
IN THE P. BARNES SURVEY, ABSTRACT NO. 79 &
IN THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY
TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER
Taylor Hansel
P.O. Box 770
Frisco, Texas 75034

APPLICANT
MCF Investments
15700 S.H. 121
Frisco, Texas 75035
Telephone (214) 619-4930
Contact: Mike Fannin

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121 / TBPLS No. F-10043100
Contact: Kevin Wier

Scale: 1"=100' September, 2018 SET Job No. 17-219

LIST OF HOTEL AMENITIES PROVIDED

AMENITIES	APPROX SQUARE FOOTAGE
01. HOTEL LOBBY/LOUNGE	855 SQ.FT. +/-
02. REGISTRATION DESK	165 SQ.FT. +/-
03. DINNING AREA & PANTRY	937 SQ.FT. +/-
04. FITNESS CENTER @ 1ST FLOOR	846 SQ.FT. +/-
05. MEETING ROOM/BOARD ROOM @ 1ST FLOOR	342 SQ.FT. +/-

PARKING TABULATION

USE	QTY	REQUIRED PARKING RATIO	PARKING REQUIRED BY ORDINANCE	PROPOSED ACKNOWLEDGE SHARE PARKING	PROVIDED PARKING
HOTEL - GUESTROOMS	124 KEYS	1.0 SPACE PER GUEST ROOM PLUS (1) SPACE FOR EACH 200 SQ.FT. OF COMMERCIAL FLOOR AREA CONTAINED	124	0.8 SPACE PER GUEST ROOM	100
RETAIL	3,888 SQ.FT	1.0 SPACE PER 250 SQ.FT. OF GROSS FLOOR AREA	16	1.0 SPACE PER 250 SQ.FT. OF GROSS FLOOR AREA	16
RESTAURANT	3,795 SQ.FT	1.0 SPACE FOR EACH 100 SQ.FT. OF GROSS FLOOR AREA FOR RESTAURANTS LOCATED WITHIN A MULTI-TENANT BUILDING.	38	1.0 SPACE FOR EACH 100 SQ.FT. OF GROSS FLOOR AREA	38
OFFICE	3,175 SQ.FT	1.0 SPACE PER 350 SQ.FT. OF GROSS FLOOR AREA	9	1.0 SPACE PER 350 SQ.FT. OF GROSS FLOOR AREA	9
			187		163

9 ADDITIONAL PARKING SPOTS BEING BUILT FOR RESIDENTIAL ARE NOT INCLUDED IN TOTAL NUMBER OF CURRENT PARKING SPACES.

REGULAR CARS 20'X8'	72
REGULAR CARS 18'X8'	81
EV ONLY PARKING 20'X8'	4
HANDICAP CAR PARKING	5
HANDICAP VAN PARKING	1
TOTAL PARKING	163

SPECIFIC GUEST ROOM TYPE MATRIX

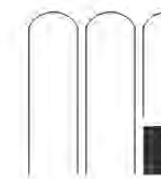
	STUDIO KING A	STUDIO KING C	STUDIO KING D ACC	DIQ E	DIQ F ACC	ONE BEDROOM END G	TWO BED ROOM H	TWO BED ROOM J ACC	TOTAL
1ST FLOOR	11	1	1	7	0	4	0	1	25
2ND FLOOR	13	1	1	12	1	4	0	1	33
3RD FLOOR	14	1	0	12	1	4	1	0	33
4TH FLOOR	14	1	0	12	1	4	1	0	33
TOTAL	52	4	2	43	3	16	2	2	124

SITE PLAN GENERAL NOTES

- ALL NEW UTILITIES WILL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH CITY REQUIREMENTS.
- ALL COMMERCIAL DUMPSTERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PROSPER CODE OF ORDINANCES.
- ALL SIGNAGE WILL COMPLY WITH CITY OF PROSPER CODE OF ORDINANCES AND ON A SEPARATE PERMIT.
- ALL PAVING MATERIALS WILL MEET MINIMUM CITY STANDARDS.
- ALL FENCES, SIGNS, LIGHTING AND LUMINARIES SHALL COMPLY WITH CITY OF PROSPER ORDINANCES. EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE ON THE SITE PLAN.

BUILDING SQUARE FOOTAGE

FLOOR	AREA PER FLOOR SF
1ST FLOOR	27,780 SF +/-
2ND FLOOR	22,990 SF +/-
3RD FLOOR	22,990 SF +/-
4TH FLOOR	22,990 SF +/-
TOTAL	96,750 SF +/-



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RESIDENCE INN
BY MARRIOTT

LOTS 15&16 WESTSIDE
ADDITION, US 380/FM 1385,
PROSPER, TX

Residence INN
BY MARRIOTT



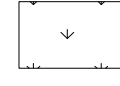
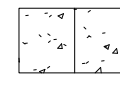
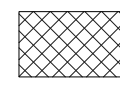
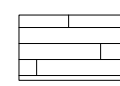
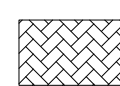

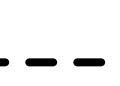
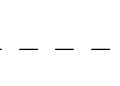
ATLANTIC HOTEL
GROUP

1801 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

1 No
2

SITE LEGEND

	LANDSCAPE
	CONCRETE SIDEWALK
	BUILDING FOOT PRINT
	PAVERS
	PAVERS
	INDICATES TRAFFIC DIRECTION
	PROPERTY LINE
	EASEMENT LINE AS INDICATED

date
01/03/2022

A job no. **21122**

sheet title
EXHIBIT D-1

sheet no.

A0.2A

Z22-0001
EXHIBIT E
DEVELOPMENT SCHEDULE
WESTSIDE

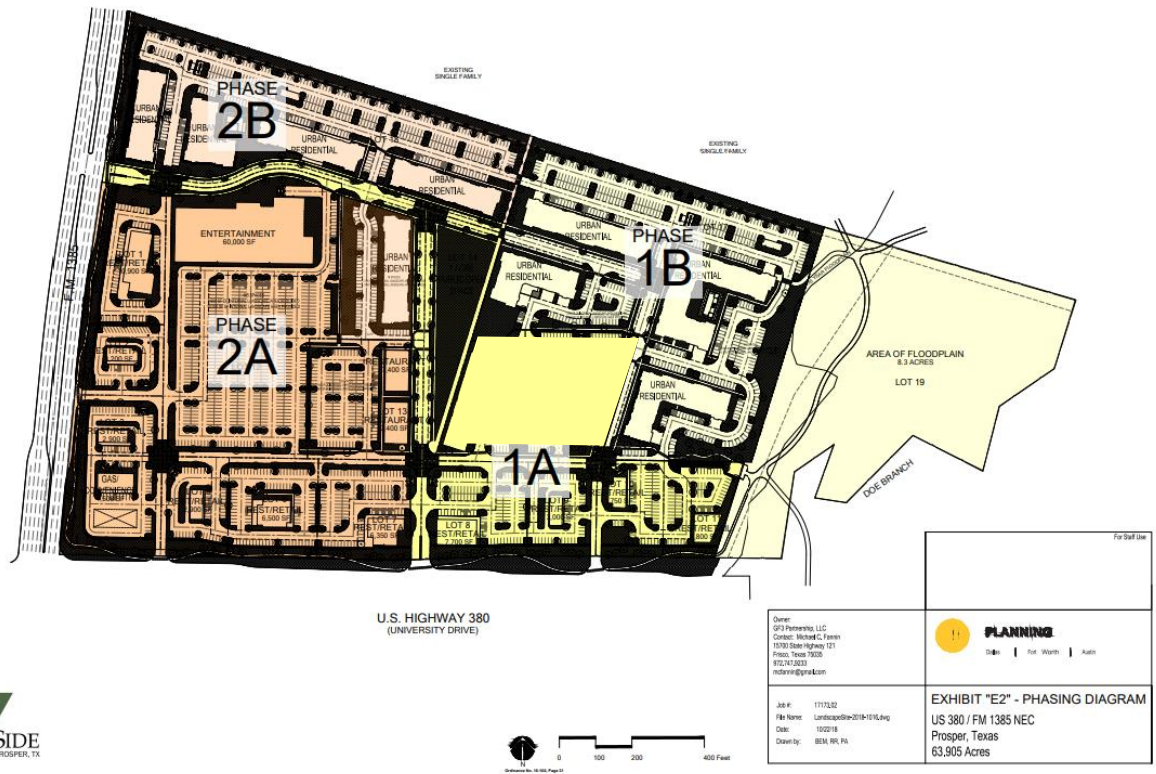
The phasing and development of this project is dependent upon both market conditions and the individual developers' timing. The anticipated schedule for the buildout will likely include a division of developmental increments. Upon commencement of development, the project construction is expected to require between 18 – 60 months. See Exhibit E2 for a graphic depiction.

Phase 1A: The central core of the property coupled with the construction of the central park. It would comprise both the physical heart of the project, plus individual pads inside the retail development. Vehicular access to the property will mostly be included in this phase. Depending on the schedule of the multi-family developer, Phase 1B could be developed in conjunction with Phase 1A.

Phase 1B: The initial phase of a two phase multi-family development.

Phase 2A: The second phase of a two phase commercial development, including retail/restaurant and entertainment uses to the west of the central park.

Phase 2B: The second phase of a multi-family development, located to the north of Phase 2A. Phase 2B could be developed in conjunction with Phase 2A.



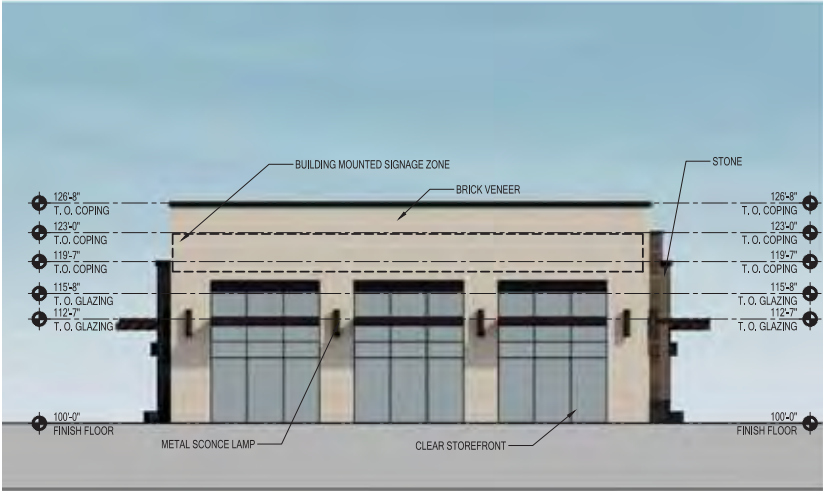
<p>Owner: 373 Partners, LLC Contact: Michael C. Pappas 15101 State Highway 121 Prosper, Texas 75078 972.747.2023 mcpappas@373.com</p>	
<p>Job #: 17172.02 File Name: Landscaping2018-1016.dwg Date: 10/22/18 Drawn by: BSA, W, PA</p>	<p>PLANNING</p> <p>DATE: REV: AUTH:</p>
<p>EXHIBIT "E2" - PHASING DIAGRAM US 380 / FM 1385 NEC Prosper, Texas 63,905 Acres</p>	



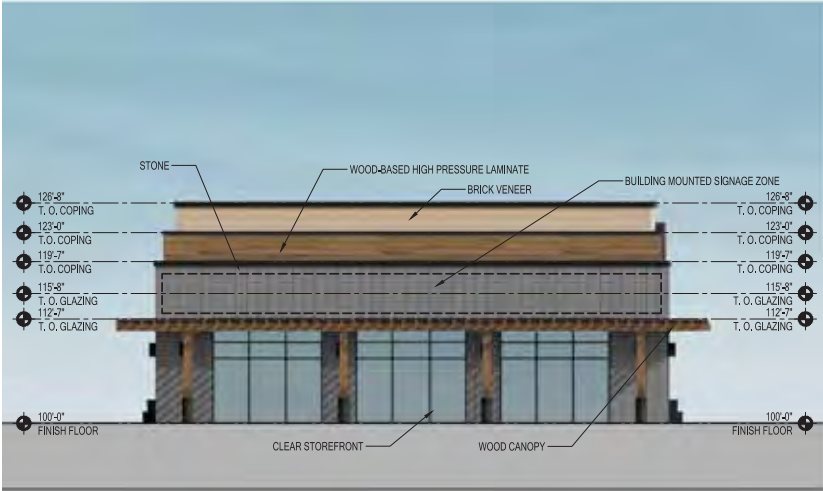
1 EAST ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"






3 NORTH ELEVATION
3/32" = 1'-0"



4 SOUTH ELEVATION
3/32" = 1'-0"

FACADE MATERIAL ANALYSIS		
01 EAST ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	1220	46.90%
WOOD-BASED HIGH PRESSURE LAMINATE	509	19.60%
STONE	873	33.60%
TOTALS*	2602	100.00%
		*GLAZING NOT INCLUDED
02 WEST ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	1220	47.50%
WOOD-BASED HIGH PRESSURE LAMINATE	511	19.90%
STONE	839	32.60%
TOTALS*	2570	100.00%
		*GLAZING NOT INCLUDED
03 NORTH ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	1474	100.00%
WOOD-BASED HIGH PRESSURE LAMINATE	0	0.00%
STONE	0	0.00%
TOTALS*	1474	100.00%
		*GLAZING NOT INCLUDED
04 SOUTH ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	161	10.70%
WOOD-BASED HIGH PRESSURE LAMINATE	186	12.40%
STONE	1157	76.90%
TOTALS*	1504	100.00%
		*GLAZING NOT INCLUDED

NOTES	
1	This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.
2	All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
3	When permitted, exposed utility boxes and conduits shall be painted to match the building.
4	All signage areas and locations are subject to approval by the Building Inspection Department.
5	Windows shall have a maximum exterior visible reflectivity of (10) percent.

MATERIALS TABLE	
	MAS 1
	MAS 2
	WOOD 1

Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

Job #: 17173.02
File Name: RestaurantRetailElevations_2018-0928.dwg
Date: 09/28/18
Drawn by: BEM, LA, PA

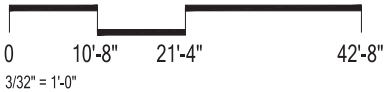


PLANNING

2808 Fairmount Street,
Suite 300
Dallas, Texas 75201 |
214.303.1500

3300 West 7th Street,
Suite 110
Fort Worth, Texas 76107 |
817.303.1500

EXHIBIT "F"
US 380 / FM 1385 NEC
Prosper, Texas
63.905 Acres





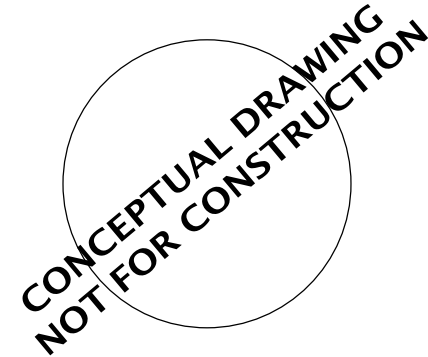
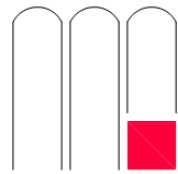
PERSPECTIVE - EAST VIEW



PERSPECTIVE - HOTEL MAIN ENTRY



PERSPECTIVE - NORTH VIEW



**RESIDENCE INN
BY MARRIOTT**

LOTS 15&16 WESTSIDE
ADDITION, US 380/FM 1385,
PROSPER, TX

Residence INN
BY MARRIOTT



**ATLANTIC HOTEL
GROUP**

1601 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

1	▲	No
2		

date
01/03/2022

job no.
21122

sheet title
Z22-0001 EXHIBIT F

sheet no.

A0.4



PERSPECTIVE - SOUTH WEST VIEW



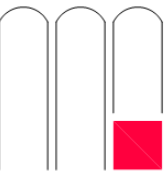
PERSPECTIVE - WEST VIEW (FACING PARK)



PERSPECTIVE - SOUTH EAST VIEW

MAYSE & ASSOCIATES, INC.

Architecture • Planning • Construction Management



14881 Quorum Dr.
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75254
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www.MayseAssociates.com

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..

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LOTS 15&16 WESTSIDE
ADDITION, US 380/FM 1385,
PROSPER, TX

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**ATLANTIC HOTEL
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1801 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

1		No
2		

date

01/03/2022

job no.

21122

sheet title

Z22-0001 EXHIBIT F

sheet no.

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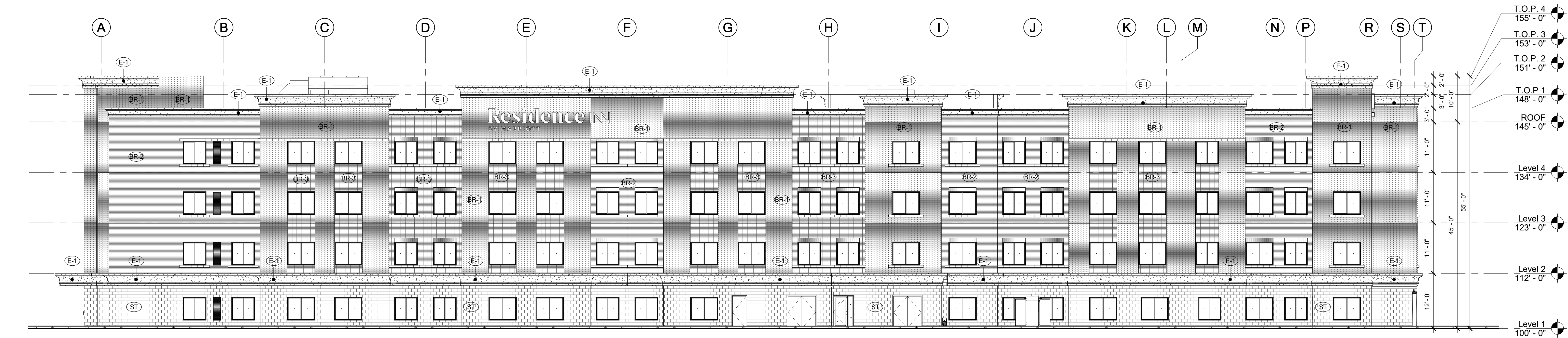
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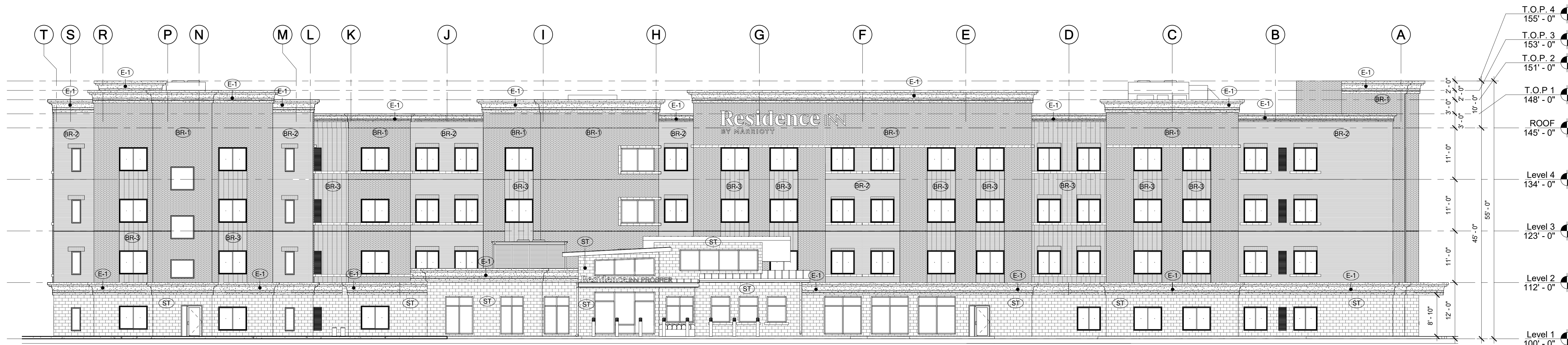
B

A



2 WEST BUILDING ELEVATION

A3.0 3/32" = 1'-0"

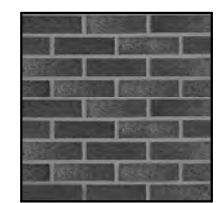


1 EAST BUILDING ELEVATION

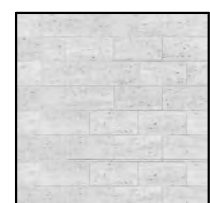
A3.0 3/32" = 1'-0"

FACADE MATERIAL ANALYSIS

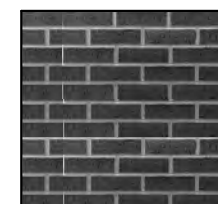
MATERIAL TABLE



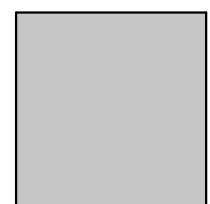
BRICK COLOR 1
MANGANESE IRON SPOT - VELLOR (BR-1)



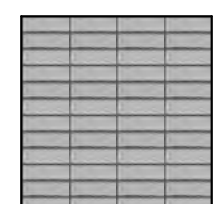
STONE
COTTON WOOD HONED (ST)



BRICK COLOR 2
AUTUMN SAND (BR-2)



EIFS APPLIQUE
SAND BEACH (E-1)



BRICK COLOR 3
ARCTIC WHITE (BR-3)

NORTH ELEVATION

MATERIAL	AREA	%
STONE	2,580 SF +/-	25%
BRICK COLOR 1	3,560 SF +/-	34.5%
BRICK COLOR 2	1,735 SF +/-	16.8%
BRICK COLOR 3	1,220 SF +/-	11.9%
EIFS COLOR 1	1,215 SF +/-	11.8%
TOTAL	10,310 SF +/-	100%

SOUTH ELEVATION

STONE	1,490 SF +/-	16.9%
BRICK COLOR 1	3,710 SF +/-	42%
BRICK COLOR 2	1,915 SF +/-	21.7%
BRICK COLOR 3	560 SF +/-	6.3%
EIFS COLOR 1	1,165 SF +/-	13.1%
TOTAL	8,840 SF +/-	100%

EAST ELEVATION

STONE	4,140 SF +/-	25%
BRICK COLOR 1	6,530 SF +/-	39.5%
BRICK COLOR 2	2,400 SF +/-	14.5%
BRICK COLOR 3	1,450 SF +/-	8.8%
EIFS COLOR 1	2,025 SF +/-	12.2%
TOTAL	16,545 SF +/-	100%

WEST ELEVATION

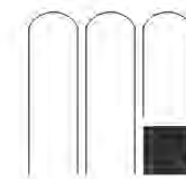
STONE	2,455 SF +/-	17.4%
BRICK COLOR 1	5,895 SF +/-	41.8%
BRICK COLOR 2	2,255 SF +/-	16%
BRICK COLOR 3	1,490 SF +/-	10.6%
EIFS COLOR 1	2,035 SF +/-	14.2%
TOTAL	14,130 SF +/-	100%

EXTERIOR ELEV. GEN. NOTES

1. ALL MATERIALS END ON INSIDE CORNER UNLESS NOTED OTHERWISE
2. STUCCO CONTROL JOINTS & REVEAL PATTERNS SHALL BE RETURNED TO INSIDE CORNERS AT FACES NOT SHOWN. VERIFY WITH ARCHITECT
3. REFER TO ELECTRICAL FOR EXTERIOR WALL MOUNTED FIXTURES
4. ALL STONE VENEER WALLS TO HAVE CONTROL JOINTS AT ALL INSIDE CORNERS AND AT MINIMUM OF 75 FT.
5. ALIGN WINDOWS AT HEAD ACROSS BUILDING (TYP.)

MAYSE & ASSOCIATES, INC.

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BY MARRIOTT**

LOTS 15&16 WESTSIDE
ADDITION, US 380/FM 1385,
PROSPER, TX

Residence INN
BY MARRIOTT



**ATLANTIC HOTEL
GROUP**

1601 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

1 No
2

EXTERIOR FINISH LEGEND

- BRICK COLOR 1
- BRICK COLOR 2
- BRICK COLOR 3
- STONE
- EIFS COLOR 1

date
01/03/2022

job no.
21122

sheet title
222-0001 EXHIBIT F

sheet no.

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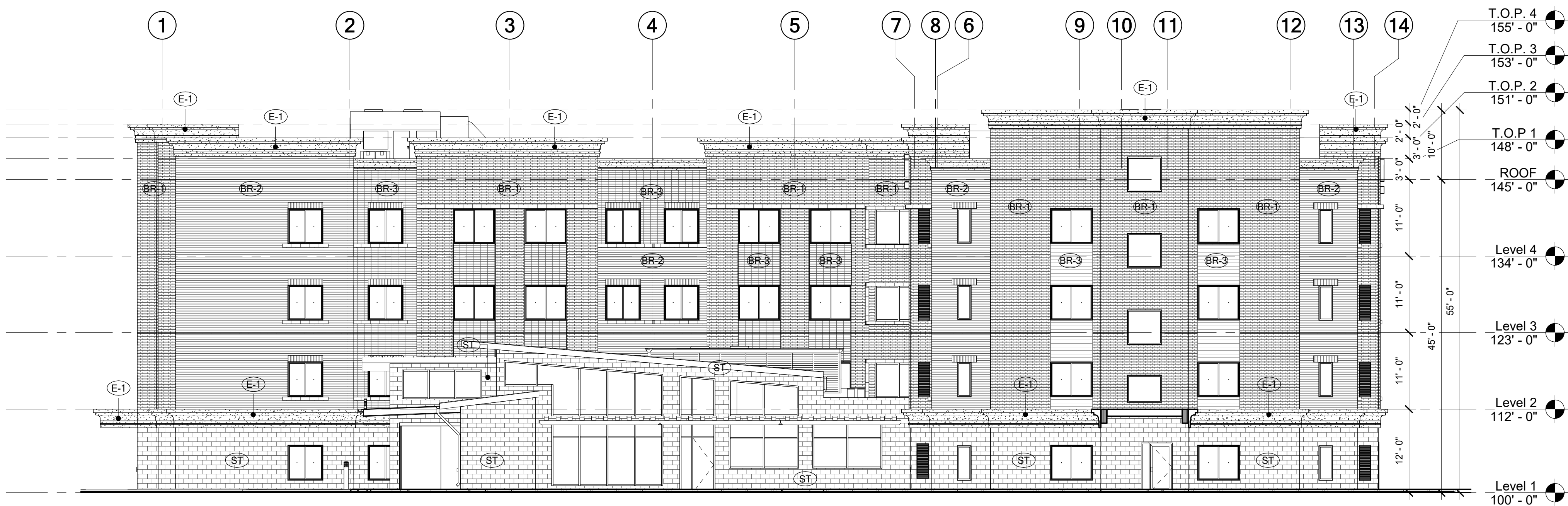
E

D

C

B

A



2 NORTH BUILDING ELEVATION

A3.1 3/32" = 1'-0"



1 SOUTH BUILDING ELEVATION

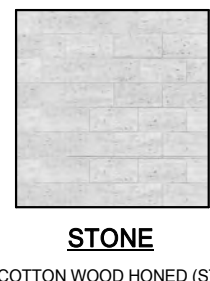
A3.1 3/32" = 1'-0"

FACADE MATERIAL ANALYSIS

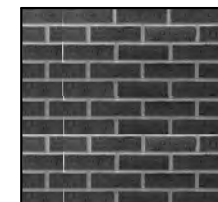
MATERIAL TABLE



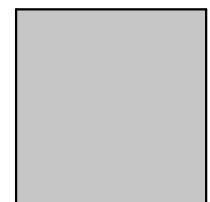
BRICK COLOR 1
MANGANESE IRON SPOT - VENDOR (BR-1)



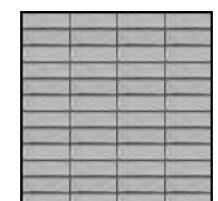
STONE
COTTON WOOD HONED (ST)



BRICK COLOR 2
AUTUMN SAND (BR-2)



EIFS APPLIQUE
SAND BEACH (E-1)



BRICK COLOR 3
ARCTIC WHITE (BR-3)

NORTH ELEVATION

MATERIAL	AREA	%
STONE	2,580 SF +/-	25%
BRICK COLOR 1	3,560 SF +/-	34.5%
BRICK COLOR 2	1,735 SF +/-	16.8%
BRICK COLOR 3	1,220 SF +/-	11.9%
EIFS COLOR 1	1,215 SF +/-	11.8%
TOTAL	10,310 SF +/-	100%

SOUTH ELEVATION

STONE	1,490 SF +/-	16.9%
BRICK COLOR 1	3,710 SF +/-	42%
BRICK COLOR 2	1,915 SF +/-	21.7%
BRICK COLOR 3	960 SF +/-	6.3%
EIFS COLOR 1	1,165 SF +/-	13.1%
TOTAL	8,840 SF +/-	100%

EAST ELEVATION

STONE	4,140 SF +/-	25%
BRICK COLOR 1	6,530 SF +/-	39.5%
BRICK COLOR 2	2,400 SF +/-	14.5%
BRICK COLOR 3	1,450 SF +/-	8.8%
EIFS COLOR 1	2,025 SF +/-	12.2%
TOTAL	16,545 SF +/-	100%

WEST ELEVATION

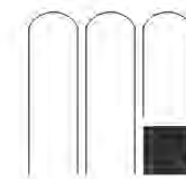
STONE	2,455 SF +/-	17.4%
BRICK COLOR 1	5,895 SF +/-	41.8%
BRICK COLOR 2	2,255 SF +/-	16%
BRICK COLOR 3	1,490 SF +/-	10.6%
EIFS COLOR 1	2,035 SF +/-	14.2%
TOTAL	14,130 SF +/-	100%

EXTERIOR ELEV. GEN. NOTES

1. ALL MATERIALS END ON INSIDE CORNER UNLESS NOTED OTHERWISE
2. STUCCO CONTROL JOINTS & REVEAL PATTERNS SHALL BE RETURNED TO INSIDE CORNERS AT FACES NOT SHOWN. VERIFY WITH ARCHITECT
3. REFER TO ELECTRICAL FOR EXTERIOR WALL MOUNTED FIXTURES
4. ALL STONE VENEER WALLS TO HAVE CONTROL JOINTS AT ALL INSIDE CORNERS AND AT MINIMUM OF 75 FT. ALIGN WINDOWS AT HEAD ACROSS BUILDING (TYP.)
- 5.

MAYSE & ASSOCIATES, INC.

Architecture • Planning • Construction Management



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**RESIDENCE INN
BY MARRIOTT**

LOTS 15&16 WESTSIDE
ADDITION, US 380/FM 1385,
PROSPER, TX

Residence INN
BY MARRIOTT



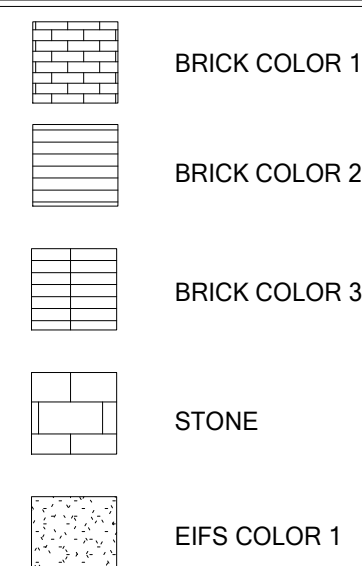
**ATLANTIC HOTEL
GROUP**

1601 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

I	#	No
1		
2		

EXTERIOR FINISH LEGEND



date
01/03/2022

A job no.
21122

sheet title
222-0001 EXHIBIT F

sheet no.

A3.1

1/24/2022 3:41:52 PM
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2 EAST BUILDING ELEVATION - COLOR

A3.2 3/32" = 1'-0"



1 WEST BUILDING ELEVATION-COLOR

A3.2 3/32" = 1'-0"



FACADE MATERIAL ANALYSIS		
MATERIAL TABLE		NORTH ELEVATION
MATERIAL	AREA	%
STONE	2,580 SF +/-	25%
BRICK COLOR 1	3,560 SF +/-	34.5%
BRICK COLOR 2	1,735 SF +/-	16.8%
BRICK COLOR 3	1,220 SF +/-	11.9%
EIFS COLOR 1	1,215 SF +/-	11.8%
TOTAL	10,310 SF +/-	100%

SOUTH ELEVATION		
MATERIAL	AREA	%
STONE	1,490 SF +/-	16.9%
BRICK COLOR 1	3,710 SF +/-	42%
BRICK COLOR 2	1,915 SF +/-	21.7%
BRICK COLOR 3	560 SF +/-	6.3%
EIFS COLOR 1	1,165 SF +/-	13.1%
TOTAL	8,840 SF +/-	100%

EAST ELEVATION		
MATERIAL	AREA	%
STONE	4,140 SF +/-	25%
BRICK COLOR 1	6,530 SF +/-	39.5%
BRICK COLOR 2	2,400 SF +/-	14.5%
BRICK COLOR 3	1,450 SF +/-	8.8%
EIFS COLOR 1	2,025 SF +/-	12.2%
TOTAL	16,545 SF +/-	100%

WEST ELEVATION		
MATERIAL	AREA	%
STONE	2,455 SF +/-	17.4%
BRICK COLOR 1	5,895 SF +/-	41.8%
BRICK COLOR 2	2,255 SF +/-	16%
BRICK COLOR 3	1,490 SF +/-	10.6%
EIFS COLOR 1	2,035 SF +/-	14.2%
TOTAL	14,130 SF +/-	100%

EXTERIOR FINISH LEGEND

- BRICK COLOR 1 (BR-1)
- BRICK COLOR 2 (BR-2)
- BRICK COLOR 3 (BR-3)
- STONE (ST)
- PERFORATED CORTEN PANEL (CR)
- EIFS COLOR 1 (E-1)

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PROSPER, TX

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BY MARRIOTT



ATLANTIC HOTEL GROUP

1801 BRYAN STREET, SUITE M-210,
DALLAS, TEXAS 75201

Revisions:

No	Revisions
1	
2	

date
01/03/2022

job no.
21122

sheet title
222-0001 EXHIBIT F

sheet no.

A3.2



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01 BRYAN STREET, SUITE M-210,
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Revisions:

1 No

2

sheet no.

 BRICK COLOR 1 (BR-1)

BRICK COLOR 2 (BR-2)



BRICK COLOR 3 (BR-3)



STONE (ST)

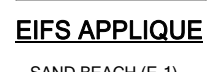
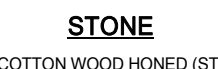


PERFORATED CORTEN PANEL (CR)



EIFS COLOR 1 (E-1)

MATERIAL TABLE



NORTH ELEVATION

MATERIAL	AREA	%
STONE	2,580 SF +/-	25%
BRICK COLOR 1	3,960 SF +/-	34.5%
BRICK COLOR 2	1,735 SF +/-	16.8%
BRICK COLOR 3	1,220 SF +/-	11.9%
EIFS COLOR 1	1,215 SF +/-	11.8%
TOTAL	10,310 SF +/-	100%

SOUTH ELEVATION

STONE	1,490 SF +/-	16.9%
BRICK COLOR 1	3,710 SF +/-	42%
BRICK COLOR 2	1,915 SF +/-	21.7%
BRICK COLOR 3	560 SF +/-	6.3%
EFS COLOR 1	1,165 SF +/-	13.1%
TOTAL	8,840 SF +/-	100%

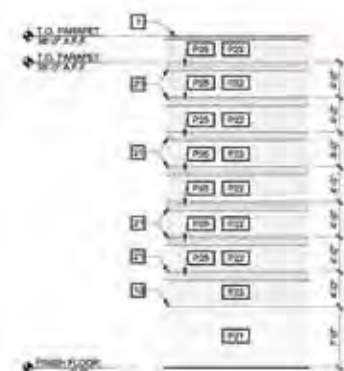
EAST ELEVATION

STONE	4,140 SF +/-	25%
BRICK COLOR 1	6,530 SF +/-	39.5%
BRICK COLOR 2	2,400 SF +/-	14.5%
BRICK COLOR 3	1,450 SF +/-	8.8%
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TOTAL	16,545 SF +/-	100%

WEST ELEVATION

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BRICK COLOR 3	1,490 SF +/-	10.6%
EIFS COLOR 1	2,035 SF +/-	14.2%
TOTAL	14,130 SF +/-	100%





E6 PAINT DETAIL
SCALE: 1/8\"/>



D1 NORTH ELEVATION - AREA 'B'
SCALE: 3/32\"/>



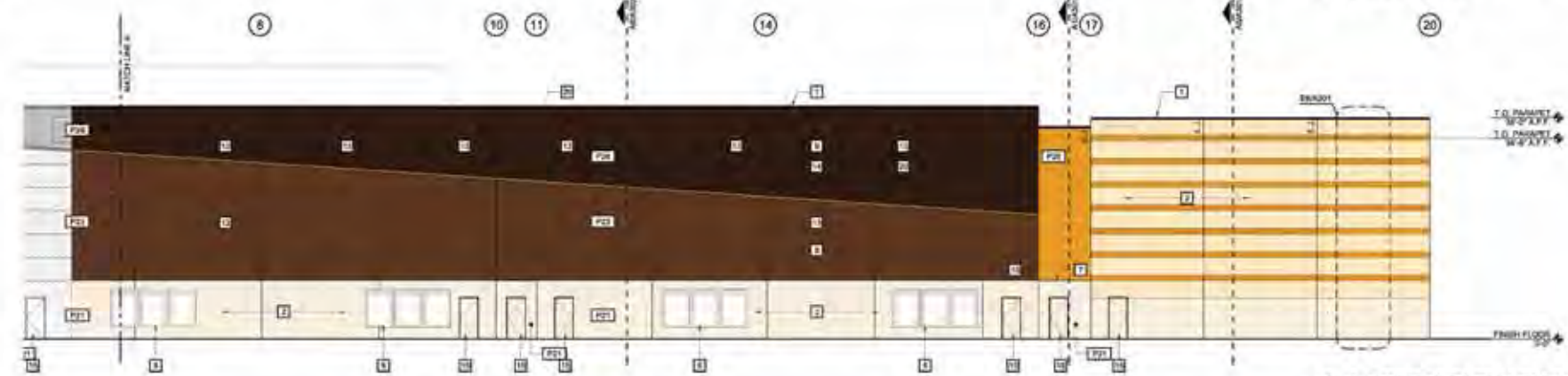
C1 NORTH ELEVATION - AREA 'A'
SCALE: 3/32\"/>



B6 EIFS DETAIL
SCALE: 3/32\"/>



B1 SOUTH ELEVATION - AREA 'A'
SCALE: 3/32\"/>



A1 SOUTH ELEVATION - AREA 'B'
SCALE: 3/32\"/>

- KEY NOTES**
1. FINISHES METAL CORING PER SPEC.
 2. EXPOSED TILT WALL PANEL, TEXTURED PAINT
 3. PARAPET BEYOND
 4. STUCCO FINISH - PAINT PER
 5. POSTER CASE SUPPLIED BY OWNER'S VENDOR, O.C. TO INSTALL AND PROVIDE POWER AND BLOCKING
 6. CORING LIGHT, BE. ME. 100/11
 7. PAINT FINISH OF ALUMINUM PERPENDICULAR TO VIEW, PER
 8. 2 1/2\"/>
 - 9. 4\"/>
 - 10. STUCCO FINISH GALLERY - PAINT PER
 - 11. TILT FINISH - TILT
 - 12. REVEAL 1/8\"/>
 - 13. CONTIGUOUS CORNER LIGHT MOUNTED ON WALL SYSTEM, BE. ME. & BEAD 11 5/8\"/>
 - 14. HOLLOW METAL DOOR - PAINT TO MATCH ADJACENT COLOR, TYP
 - 15. TIED-IN METAL DOWNSPOUT WITH 3 DOWNFLOW DRAINAGE TYP. PAINT TO MATCH PER. BE. CHAIRS, ME. & CHAIRS
 - 16. TICKET KIOSK SUPPLIED AND INSTALLED BY OWNER'S VENDOR, O.C. TO INSTALL, PROVIDE POWER DATA AND BLOCKING
 - 17. TICKET COUNTER - ANODIZED ALUMINUM WINDOW, BE. WINDOW SCHEDULE
 - 18. TICKET COUNTER - ANODIZED ALUMINUM WINDOW, BE. WINDOW SCHEDULE
 - 19. DASHED LINE INDICATES SIGNAGE SUPPLIED AND INSTALLED BY OWNER'S VENDOR, O.C. TO PROVIDE POWER & BLOCKING
 - 20. REVEAL 1/8\"/>
 - 21. TILT WALL VERTICAL EXPANSION JOINTS 1/2\"/>

- GENERAL NOTES**
- A. PROVIDE EGRESS WALL, BACK TO BE MOUNTED 1\"/>
 - B. SEAL ALL EXTERIOR PENETRATIONS, CONTROL JOINTS AND JOINTS IN DISCREET WALL ASSEMBLY
 - C. SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH FIXTURE COLOR, REL. SPEC.
 - D. ALL EXTERIOR GROUND BUILDING AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ON ALL SIDES
 - E. ALL EXTERIOR MATERIALS TO MEET LOCAL REQUIREMENTS AND SPECIFICATIONS
 - F. ALL SCORERS AND CONDUIT SHALL BE PAINTED TO MATCH ADJACENT FINISH MATERIALS
 - G. INSTALL INTEGRALLY COLORED EXTERIOR CAULK AT ALL CONTROL JOINTS AFTER BUILDING HAS BEEN PAINTED. CAULK SHALL CHANGE COLORING AS REQUIRED TO MATCH ADJACENT MATERIAL. FIELD COLOR COORDINATE EXACT COLOR WITH ARCHITECT. DO NOT PAINT CAULK.
 - H. SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH EXTERIOR COLOR. REFER TO SPECIFICATIONS
 - I. ALL EXTERIOR SIGNAGE IS SUBJECT TO APPROVAL BY LOCAL AUTHORITY

SCREENING NOTE

ALL EXTERIOR GROUND BUILDING AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ON ALL SIDES. EQUIPMENT TO BE SCREENED INCLUDES, BUT IS NOT LIMITED TO: HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT, PLUMBING LINES, DUCTWORK, TRANSFORMERS, AND METER BANKS. SCREENING MATERIALS MAY BE STUCCO, CONCRETE, WOOD, LANDSCAPING, OR OTHER OPACQUE MATERIAL. FINISH IS COMPATIBLE WITH THE BUILDING ARCHITECTURE AND EFFECTUALLY SCREENS MECHANICAL EQUIPMENT SO THAT IT IS NOT VISIBLE FROM A PUBLIC STREET OR ADJACENT LOT. SCREENING MATERIAL MAY HAVE EVENLY DISTRIBUTED PERFORATION OR PERFORATIONS NOT EXCEEDING 50% OF THE SURFACE AREA. ROOFTOP EQUIPMENT MAY BE SCREENED USING ENCLOSURE, PARTIAL SCREENS, OR PARAPET WALLS.

FACADE MATERIAL ANALYSIS		
D1 NORTH ELEVATION-AREA 'B'		
MATERIAL	AREA (SF)	%
2 1/2" AND THICKER TEXTURED FINISHED CONCRETE	0	0.00
STAINLESS STEEL TILE-T11	0	0.00
STUCCO FINISH-PAINT FS	0	0.00
EXPOSED 1/2" WOOD PANEL TEXTURED PAINT	582/	100
0" AND THICKER TEXTURED FINISHED CONCRETE	0	0.00
TOTAL	582/	100

C1 NORTH ELEVATION-AREA 'A'		
MATERIAL	AREA (SF)	%
3/4\"/>		
CONCRETE	1910	18.3
STAINLESS STEEL TIE-TIE	0	0.0
STUCCO PRECAST P2	0	0.0
EXPOSED TIE W/ PANEL TIED TO REINFORC	5359	51.3
ARCHITECTURALLY FINISHED	0	0.00
CONCRETE	0	0.00
TOTAL	10,299	100

B1 SOUTH ELEVATION-AREA 'A'		
MATERIAL	AREA (SF)	%
2 1/2" ARCHITECTURALLY FINISHED CONCRETE	5001	80.2
STAINLESS STEEL TILT UP	0	0.0
STUCCO FINISH PAINT RE	718	11.3
EXPOSED TILT WALL PANEL TEXTURED FINISH	0	0.0
4" ARCHITECTURALLY FINISHED CONCRETE	542	8.5
TOTAL	6351	100

A1 SOUTH ELEVATION AREA 'B'		
MATERIAL	AREA (SF)	%
2 1/2" ARCHITECTURALLY FINISHED CONCRETE	2929	32.5
STAINLESS STEEL TILE-T11	0	00
STUCCO FINISH-PANEL P5	0	00
EXPOSED TILT WALL PANEL, TEXTURED PAINT	3961	43.9
4" ARCHITECTURALLY FINISHED CONCRETE	2113	23.5
TOTAL	9,003	100

- NOTES**
1. This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.
 2. All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
 3. When permitted, exposed utility boxes and conduits shall be painted to match the building.
 4. All signage areas and locations are subject to approval by the Building Inspection Department.
 5. Windows shall have a maximum exterior visible reflectivity of 10% percent.



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 111 Third Street, Norman, Texas 76060-1500
 817.335.3196

OWNER:
 ShowBiz
 111 Third Street, Norman, Texas 76060-1500
 817.335.3196

STRUCTURE:
 111 Third Street, Norman, Texas 76060-1500
 817.335.3196

MEP:
 111 Third Street, Norman, Texas 76060-1500
 817.335.3196

Keenon Rayner, AIA
 STATE OF OKLAHOMA REGISTERED ARCHITECT #6854
 111 Third Street, Norman, Texas 76060-1500
 817.335.3196



REV.	DATE	REVISION
01	01/15/2018	ISSUE FOR PERMIT
02	02/01/2018	CMD HEALTH DEPT. COM. 11
03	02/01/2018	CITY RESPONSES 11
04	04/15/2018	ISSUE FOR CONSTRUCTION
05	04/01/2018	REVISION 2

PROJECT NAME AND ADDRESS:
 SHOWBIZ EDMOND

**WE CORNER OF W BOONER RD. AND E. COVELL RD.
 EDMOND, OKLAHOMA 73434**

OWNER: SHOWBIZ
DESIGNER: KEENON RAYNER, AIA

TITLE: EXTERIOR ELEVATIONS

DATE: 01/15/2018

A201

NOTES	
1.	This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspector Division.
2.	All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
3.	When permitted, exposed utility lines and conduits shall be painted to match the building.
4.	All signage areas and locations are subject to approval by the Building Inspector Department.
5.	Windows shall have a maximum exterior visible reflectivity of (15) percent.



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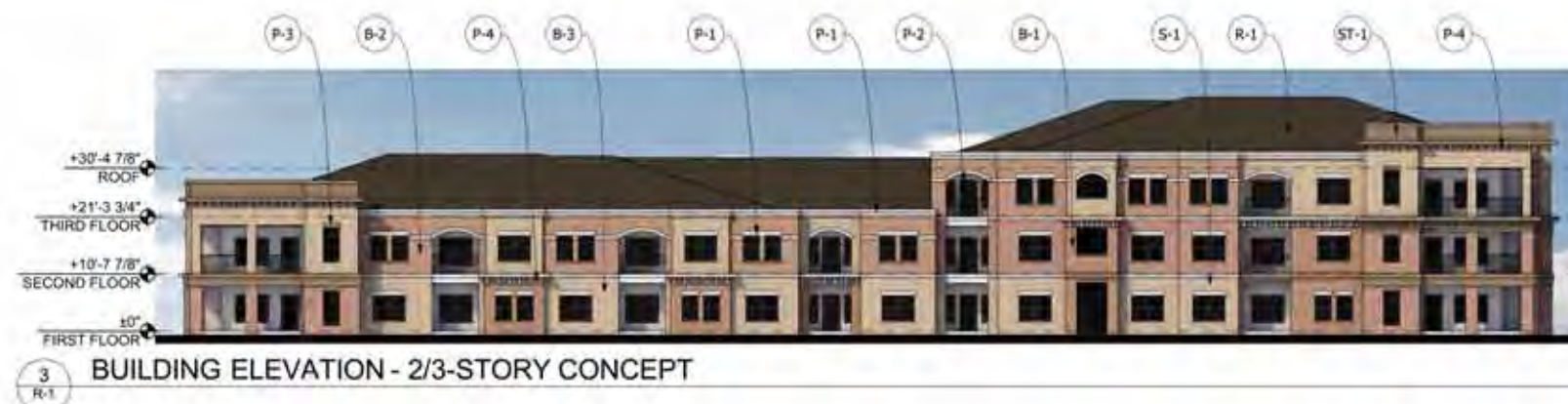
400 11TH STREET
ATLANTA, GA 30314
PHONE: 404.228.1948
FAX: 404.228.8150

WWW.GLA-ATT.COM

MATERIAL CALCULATION (PHASE 2-BLDG. 1)			
TOTAL AREA (EXCLUDING GLAZING) IN SF: 4,675 = 100%			
MASONRY (BRICK/STONE) IN SF:	3,981 SF	85.2%	
STUCCO IN SF: (TRIM/PAVEMENT)	634 SF	13.6%	
FIBER CONCRETE/OTHER IN SF: (BALCONY FASCIA)	58 SF	1.2%	

MATERIAL CALCULATION (3-Story Concept)			
TOTAL AREA (EXCLUDING GLAZING) IN SF: 2,414 = 100%			
MASONRY (BRICK/STONE) IN SF:	6,337 SF	89.0%	
STUCCO IN SF: (TRIM/PAVEMENT)	761 SF	10.3%	
FIBER CONCRETE/OTHER IN SF: (BALCONY FASCIA)	58 SF	0.7%	

MATERIAL CALCULATION (4-Story Concept)			
TOTAL AREA (EXCLUDING GLAZING) IN SF: 11,076 = 100%			
MASONRY (BRICK/STONE) IN SF:	12,057 SF	86.8%	
STUCCO IN SF: (TRIM/PAVEMENT)	761 SF	7.0%	
FIBER CONCRETE/OTHER IN SF: (BALCONY FASCIA)	240 SF	2.2%	



SITE PLAN		FACADE PLANS												PROJECT INFO.	
		NOTES		MATERIAL LEGEND										<p>Subdivision Name: WestSide Block & Lot Number: A / 1-19</p> <p>Client: Davis Development Phone: 770.478.5213</p> <p>Address: 1070 Eagles Landing Parkway, Suite 100 Stockbridge, Georgia 30231</p> <p>Architect: Gehlert-Lewis Assoc. Phone: 404.228.1938 Address: 849 11th St. Atlanta, Georgia 30318</p> <p>Applicant: MCF Investments Phone: (214) 639-8939 Address: 15700 S.H. 121 Frisco, Texas 75035</p> <p>Scale: AS NOTED Date: 11/07/2018 Drawn By: BT</p> <p>NOT RELEASED FOR CONSTRUCTION www.glaatt.com</p>	
		ABBREVIATIONS													
		ALLUM. ALUMINUM BLOG. BUILDING BROWY. BREEZEWAY FF. FINISHED FLOOR STL. STEEL													
		BUILDING HEIGHTS		TAG		SWATCH		DESCRIPTION		TAG		SWATCH			
NUMBER OF STORIES	RIDGE HEIGHT														
4	54'-11"	S-1				VENDOR: BORAL CASTPET CUT: FRENCH GRAY COLOR: GRAY MATERIAL: NATURAL STONE		B-1				VENDOR: BORAL BRICK COLOR: REMINGTON CLASSIC MATERIAL: CLAY-FIRED BRICK			
3	49'-5"	ST-1				VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPÉ NUMBER: SW7549 R-173, G-156, B-113 MATERIAL: STUCCO		B-2				VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK			
2 1/3	43'-7"							B-3				VENDOR: BORAL BRICK COLOR: TARRYTOWN MATERIAL: CLAY-FIRED BRICK			



GLA-ATL, LLC

635 11TH STREET
ATLANTA, GA 30309
VOICE: 404.228.1958
FAX: 404.228.6158

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1
R-2 REAR/INTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



1
R-2 REAR/INTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

FACADE PLANS														PROJECT INFO.				
NOTES		NOTES	FACADE PLAN NOTES		MATERIAL LEGEND									Subdivision's Name: WestSide Block / Lot Number: A / 1-19 Client: Davis Development Phone: 770.474.5213 Address: 1090 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30081 Architect: Gefheber Lewis Assoc. Phone: 404.228.1958 Address: 649 11th St. Atlanta, Georgia 30318 Applicant: MCF Investments Phone: (214) 619-4930 Address: 15700 S.H. 121 Pico, Texas 75035 Scale: AS NOTED Date: 08/28/2018 Drawn By: BT NOT RELEASED FOR CONSTRUCTION www.glaatl.com				
1		1. RENDERING AND ELEVATIONS ON SHEETS R-2, R-3, AND R-4 ARE REPRESENTATIVE. THE BUILDING DO NOT EXACTLY REFLECT THOSE OF THE PROPOSED PROJECT, BUT ARE INDICATIVE OF DESIGN INTENT AND SIMILAR CONDITIONS.	1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES. 2. BUILDING RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDING. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS. 3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT CURRENT SITE DESIGN. PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN". 4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.		TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION			TAG	SWATCH	DESCRIPTION
2					S-1		VENDOR: BORAL CASTFIT CUT: FRENCH GRAY COLOR: GRAY MATERIAL: NATURAL STONE	B-4		VENDOR: BORAL BRICK COLOR: REDINGTON CLASSIC MATERIAL: CLAY-FIRED BRICK	P-1		VENDOR: SHERWIN WILLIAMS COLOR: WEB GRAY NUMBER: SW705 R-97, G-102, B-105 MATERIAL: SIDING					COLOR: BRONZE MATERIAL: WINDOWS (ALUM.)
3		ABBREVIATIONS		1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES. 2. BUILDING RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDING. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS. 3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT CURRENT SITE DESIGN. PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN". 4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.	ST-1		VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPÉ NUMBER: SW7548 R-173, G-156, B-133 MATERIAL: STUCCO	B-5		VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK	P-2		VENDOR: SHERWIN WILLIAMS COLOR: REPOSE GRAY NUMBER: SW715 R-204, G-201, B-192 MATERIAL: TRIM & GUTTER	R-1		VENDOR: CERTAINTED SERIES: LANDMARK COLOR: HEATHER BLEND MATERIAL: ASPHALT SHINGLES		
4		1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES. 2. BUILDING RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDING. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS. 3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT CURRENT SITE DESIGN. PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN". 4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.			B-6		VENDOR: BORAL BRICK COLOR: TARRYTOWN MATERIAL: CLAY-FIRED BRICK	P-3		VENDOR: SHERWIN WILLIAMS COLOR: URBANE BRONZE NUMBER: SW748 R-94, G-90, B-74 MATERIAL: RAILINGS & DOORS	*EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER							
5		1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES. 2. BUILDING RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDING. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS. 3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT CURRENT SITE DESIGN. PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN". 4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.			ELEVATION HGT. DWG. NO. DWG. TITLE DRAWING SCALE TITLE													
					ALUM.	ALUMINUM												
					BLDG.	BUILDING												
					BRZKY.	BREEZEWAY												
					FF.	FINISHED FLOOR												
					STL.	STEEL												



GLA-Arch LLC

200 E. 11th Street
Atlanta, GA 30309
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www.glaatl.com

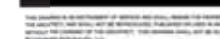
This drawing is a representation of the proposed building and is not intended to be used for construction. It is the responsibility of the owner to ensure that the building is constructed in accordance with the approved plans and specifications.

2 FRONT ELEVATION
R-3 SCALE 3/32" = 1'-0"



1 FRONT ELEVATION
R-3 SCALE 3/32" = 1'-0"

FACADE PLANS														PROJECT INFO.				
NOTES		NOTES	FACADE PLAN NOTES		MATERIAL LEGEND										<div>Subdivision's Name: WestSide</div> <div>Block / Lot Number: A / 1-19</div> <div>Client: Davis Development</div> <div>Phone: 770.474.5213</div> <div>Address: 1090 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30081</div> <div>Architect: Gefheber Lewis Assoc.</div> <div>Phone: 404.228.1958</div> <div>Address: 649 11th St. Atlanta, Georgia 30318</div> <div>Applicant: MCF Investments</div> <div>Phone: (214) 619-4930</div> <div>Address: 15700 S.H. 121 Pico, Texas 75035</div> <div>Scale: AS NOTED</div> <div>Date: 08/28/2018</div> <div>Drawn By: BT</div> <div>NOT RELEASED FOR CONSTRUCTION</div> <div>www.glaatl.com</div>			
1 This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.		1. RENDERING AND ELEVATIONS ON SHEETS R-2, R-3, AND R-4 ARE REPRESENTATIVE. THE BUILDING DO NOT EXACTLY REFLECT THOSE OF THE PROPOSED PROJECT, BUT ARE INDICATIVE OF DESIGN INTENT AND SIMILAR CONDITIONS.	1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES.		TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION	TAG			SWATCH	DESCRIPTION
2 All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.			2. BUILDING RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDINGS. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS.		S-1		VENDOR: BORAL CASTFIT CUT: FRENCH GRAY COLOR: GRAY MATERIAL: NATURAL STONE	B-4		VENDOR: BORAL BRICK COLOR: REDINGTON CLASSIC MATERIAL: CLAY-FIRED BRICK	P-1		VENDOR: SHERWIN WILLIAMS COLOR: WEB GRAY NUMBER: SW7075 R-97, G-102, B-105 MATERIAL: SIDING					COLOR: BRONZE MATERIAL: WINDOWS (ALUM.)
3 When permitted, exposed utility boxes and conduits shall be painted to match the building.			3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT CURRENT SITE DESIGN. PLEASE REFERENCE EXHIBIT D 'CONCEPTUAL SITE PLAN'.		ST-1		VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPE NUMBER: SW7548 R-173, G-136, B-133 MATERIAL: STUCCO	B-5		VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK	P-2		VENDOR: SHERWIN WILLIAMS COLOR: REPOSE GRAY NUMBER: SW7115 R-104, G-201, U-192 MATERIAL: TRIM & GUTTER	B-1				VENDOR: CERTAINTEE SERIES: LANDMARK COLOR: HEATHER BLEND MATERIAL: ASPHALT SHINGLES
4 All signage areas and locations are subject to approval by the Building Inspection Department.			4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.					B-6		VENDOR: BORAL BRICK COLOR: TARKYTOWN MATERIAL: CLAY-FIRED BRICK	P-3		VENDOR: SHERWIN WILLIAMS COLOR: URBANE BRONZE NUMBER: SW7048 R-94, G-85, B-24 MATERIAL: RAILINGS & DOORS	*EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER				
5 Windows shall have a maximum exterior visible reflectivity of (10) percent.		ABBREVIATIONS																
		ALUM. ALUMINUM		ELEV. ELEVATION HGT.														
		BLDG. BUILDING		DWG. NO. DWG. TITLE														
		BRZKY. BREEZEWAY		SCALE														
		FF. FINISHED FLOOR																
		STL. STEEL		TITLE														



SCALE: 300' = 1"

FACADE PLANS														PROJECT INFO.			
NOTES		NOTES	FACADE PLAN NOTES	MATERIAL LEGEND										<div>Subdivision's Name: WestSide</div> <div>Block / Lot Number: A / 1-19</div> <div>Client: Davis Development</div> <div>Phone: 770.474.5211</div> <div>Address: 1050 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30281</div> <div>Architect: Geheber Lewis Assoc.</div> <div>Phone: 404.228.1958</div> <div>Address: 648 11th St. Atlanta, Georgia 30318</div> <div>Applicant: MCF Investments</div> <div>Phone: (214) 619-4930</div> <div>Address: 15700 S.H. 121 Pineville, Texas 75035</div> <div>Scale: AS NOTED</div> <div>Date: 08/28/2018</div> <div>Drawn By: BT</div> <div>NOT RELEASED FOR CONSTRUCTION</div> <div>www.gblaw.com</div>			
1	This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.	<div>1. RENDERING AND ELEVATIONS ON SHEETS R-2, R-3, AND R-4 ARE REPRESENTATIVE. THE BUILDING DO NOT EXACTLY REFLECT THOSE OF THE PROPOSED PROJECT, BUT ARE INDICATIVE OF DESIGN INTENT AND SIMILAR CONDITIONS.</div> <div>2. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES.</div> <div>3. BUILDING RENDERINGS ARE: THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDINGS, ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS.</div> <div>3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT OCCURRENCE OF SITE DESIGN. PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN".</div> <div>4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE CORNER ROOF BEARING PLANE.</div>	<div>1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES.</div> <div>2. BUILDING RENDERINGS ARE: THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDINGS, ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS.</div> <div>3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT OCCURRENCE OF SITE DESIGN. PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN".</div> <div>4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE CORNER ROOF BEARING PLANE.</div>	TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION	TAG			SWATCH	DESCRIPTION
2	All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.			S-1		VENDOR: BORAL CASTFIT CUT, FRENCH GRAY COLOR: GRAY MATERIAL: NATURAL STONE	B-4		VENDOR: BORAL BRICK COLOR: REMINGTON CLASSIC MATERIAL: CLAY-FIRED BRICK	P-1		VENDOR: SHERWIN WILLIAMS COLOR: WEB GRAY NUMBER: SW7075 R:97, G:102, B:105 MATERIAL: SIDING					VENDOR: SHERWIN WILLIAMS COLOR: REPOSE GRAY NUMBER: SW7015 R:204, G:201, B:192 MATERIAL: TRIM & GUTTER
3	When permitted, exposed utility boxes and conduits shall be painted to match the building.			ST-1		VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPE NUMBER: SW7549 R:173, G:156, B:133 MATERIAL: STUCCO	B-5		VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK	P-2		VENDOR: SHERWIN WILLIAMS COLOR: LANDMARK SERIES MATERIAL: CLAY-FIRED BRICK	R-2				VENDOR: SHERWIN WILLIAMS COLOR: URBANE BRONZE NUMBER: SW7048 R:84, G:80, B:71 MATERIAL: RAILINGS & DOORS
4	All signage areas and locations are subject to approval by the Building Inspection Department.																
5	Windows shall have a maximum exterior visible reflectivity of (.10) percent.																
		<div>ABBREVIATIONS</div> <div><div>ALUM. ALUMINUM</div><div>BLDG. BUILDING</div><div>BZWAY. BREEZEWAY</div><div>FF. FINISHED FLOOR</div><div>STL. STEEL</div></div> <div><div>ELEVATION HGT.</div><div>DWG. NO.</div><div>DWG. TITLE</div><div>SCALE</div><div>TITLE</div></div>												*EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER			

COMMERCIAL TRACT LANDSCAPE DATA	
LANDSCAPE PERIMETER TREES ADJACENT TO MAJOR OR MINOR THOROUGHFARE:	
ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C.	110 TREES REQUIRED 112 TREES PROVIDED
SURFACE PARKING SPACES: 1,561 SPACES (NOT INCL. PARALLEL SPACES)	

THIS TABLE IS NOT UPDATED FOR LOT 15 AND LOT 16 CHANGES



- SECURITY GATE
- ⊙ 3" CALIPER TREE-TYPE I
- ⊗ 3" CALIPER EVERGREEN TREE-TYPE II
- 15 GALLON SHRUB

Note: The minimum requirements for perimeter landscaping and parking terminus landscaping islands will be provided at the time of Site Plan, subject to Park and Recreation Department approval.

U.S. HIGHWAY 380
(UNIVERSITY DRIVE)



Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

Job #: 17173.02
File Name: LandscapeSite-2018-1016.dwg
Date: 10/30/18
Drawn by: BEM, RR, PA

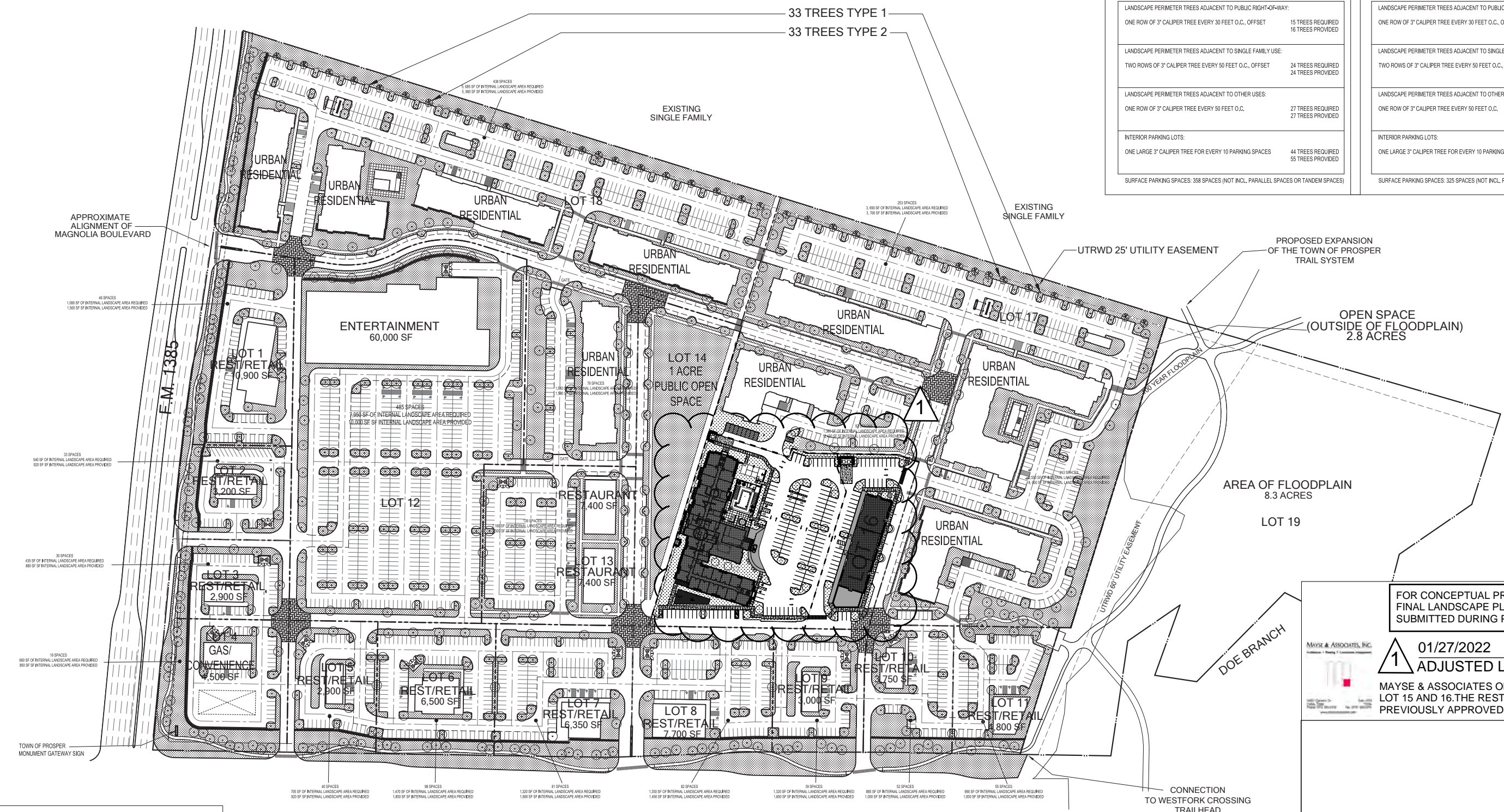


PLANNING

Dallas | Fort Worth | Austin

EXHIBIT "G"
US 380 / FM 1385 NEC
Prosper, Texas
63.905 Acres

MULTIFAMILY TRACT 1 LANDSCAPE DATA	MULTIFAMILY TRACT 2 LANDSCAPE DATA
LANDSCAPE PERIMETER TREES ADJACENT TO PUBLIC RIGHT-OF-WAY: ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C., OFFSET 15 TREES REQUIRED 16 TREES PROVIDED	LANDSCAPE PERIMETER TREES ADJACENT TO PUBLIC RIGHT-OF-WAY: ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C., OFFSET 0 TREES REQUIRED 0 TREES PROVIDED
LANDSCAPE PERIMETER TREES ADJACENT TO SINGLE FAMILY USE: TWO ROWS OF 3" CALIPER TREE EVERY 50 FEET O.C., OFFSET 24 TREES REQUIRED 24 TREES PROVIDED	LANDSCAPE PERIMETER TREES ADJACENT TO SINGLE FAMILY USE: TWO ROWS OF 3" CALIPER TREE EVERY 50 FEET O.C., OFFSET 17 TREES REQUIRED 17 TREES PROVIDED
LANDSCAPE PERIMETER TREES ADJACENT TO OTHER USES: ONE ROW OF 3" CALIPER TREE EVERY 50 FEET O.C. 27 TREES REQUIRED 27 TREES PROVIDED	LANDSCAPE PERIMETER TREES ADJACENT TO OTHER USES: ONE ROW OF 3" CALIPER TREE EVERY 50 FEET O.C. 27 TREES REQUIRED 36 TREES PROVIDED
INTERIOR PARKING LOTS: ONE LARGE 3" CALIPER TREE FOR EVERY 10 PARKING SPACES 44 TREES REQUIRED 55 TREES PROVIDED	INTERIOR PARKING LOTS: ONE LARGE 3" CALIPER TREE FOR EVERY 10 PARKING SPACES 41 TREES REQUIRED 70 TREES PROVIDED
SURFACE PARKING SPACES: 358 SPACES (NOT INCL. PARALLEL SPACES OR TANDEM SPACES)	
SURFACE PARKING SPACES: 325 SPACES (NOT INCL. PARALLEL SPACES OR TANDEM SPACES)	



FOR CONCEPTUAL PROPOSE ONLY.
FINAL LANDSCAPE PLAN WILL BE
SUBMITTED DURING PERMITTING.

1 01/27/2022
ADJUSTED LOT 15&16
MAYSE & ASSOCIATES ONLY ADJUSTED
LOT 15 AND 16.THE REST BY OTHERS AND
PREVIOUSLY APPROVED

For Staff Use

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Landscape Architecture • Planning • Engineering • Construction Management

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Exhibit G

