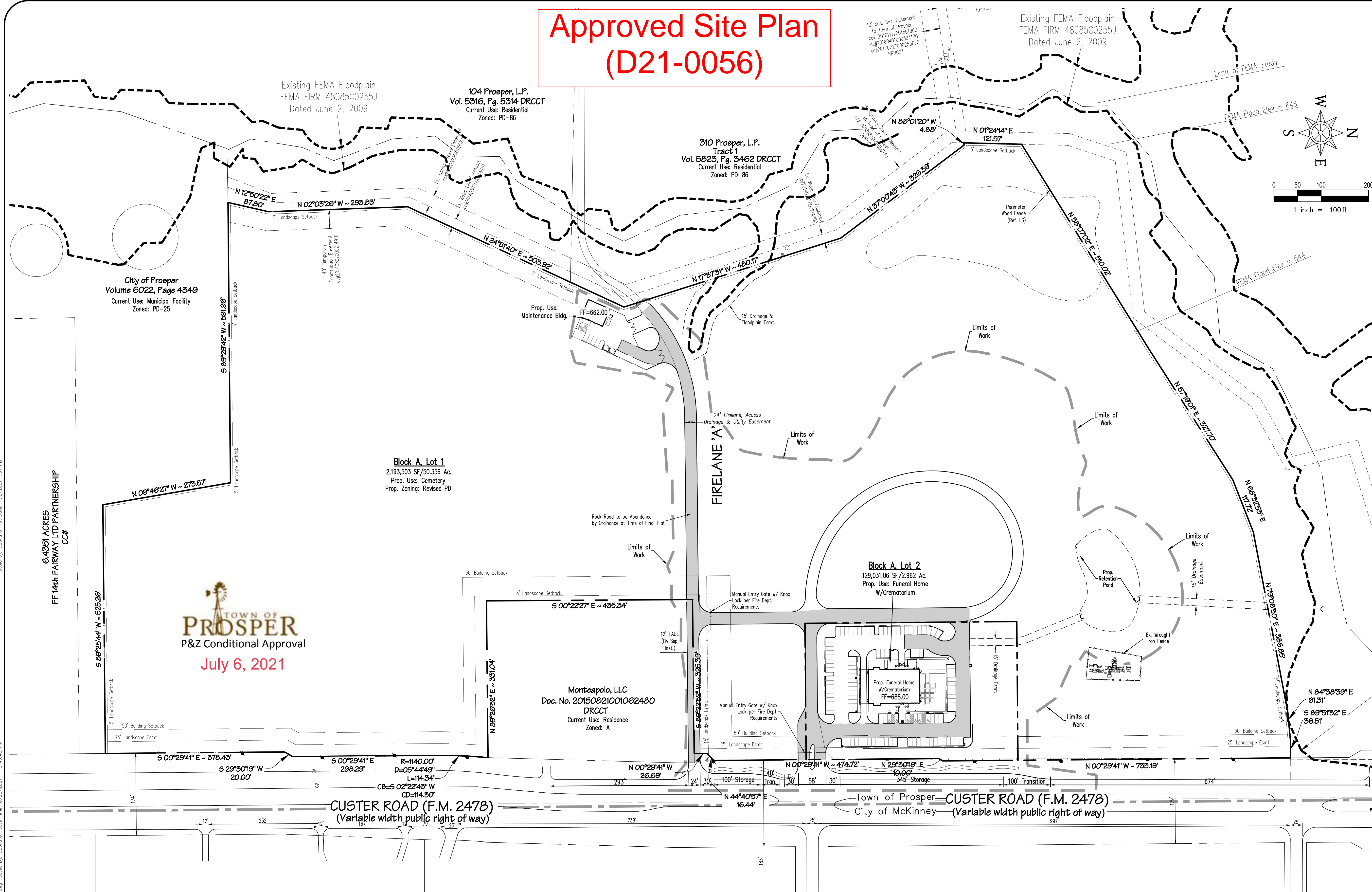
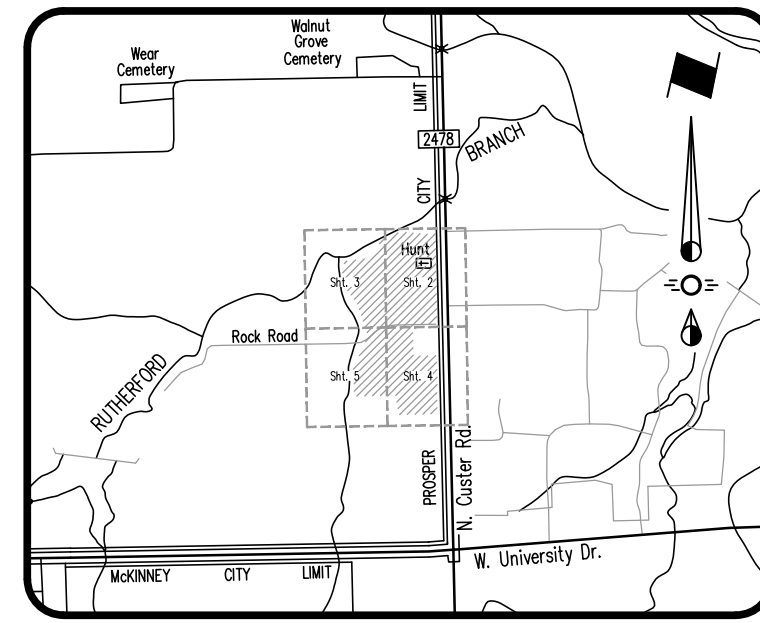


# Approved Site Plan (D21-0056)



Site Data Summary Table		
General Site Data	Lot 1	Lot 2
Zoning	PD 105	PD 105
Land Use	Cemetery	Funeral Home W/Crematorium
Lot Area Gross (SF)	2,193,503	129,031
Lot Area Gross (Ac)	50.356	2.962
Building Footprint Area	2,000	7,881
Total Building Area	2,000	5,978
Building Height	1 Story- 25'	1 Story- 30'
Lot Coverage	0.1%	6.2%
Floor Area Ratio	0.001:1	0.061:1
<b>Parking</b>		
Parking Ratio	NA	1 per 250 SF
Parking Required	NA	79
Parking Provided	NA	106
Accessible Parking Required	NA	5
Accessible Parking Provided	NA	6
<b>Landscaping</b>		
Required Interior Landscape Area	N/A	1,344
Interior Landscape Area Provided	N/A	40,127
Open Space Required (7%)	153,545	9,032
Open Space Provided	2,049,946	30,310



**LEGEND**

- Firelane, Access & Utility Easement
- ROW Centerline
- Property Line

### Town of Prosper Site Plan Notes:

- Dumpsters and trash compactors shall be screened in accordance of the Zoning Ordinance.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Regulation Ordinance.
- Landscaping shall conform to landscape plans approved by the town.
- All elevations shall comply with the standards contained within the Zoning Ordinance.
- Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
- Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
- Two points of access shall be maintained for the property at all times.
- Speedbumps/humps are not permitted within a fire lane.
- Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted uniform Building Code.
- All signage is subject to Building Official approval.
- All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
- All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
- Sidewalks of not less than six (6') feet in width along thoroughfares and five (5') in width along collectors and residential streets, and barrier free ramps at all curb crossings shall be provided per Town standards.
- Approval of the site plan is not final until all engineering plans are approved by the Engineering Department.
- Site plan approval is required prior to grading release.
- All new electrical lines shall be installed and/or relocated underground.
- All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
- Lots shall have frontage on a common access drive or a public street. The common access drive shall be dedicated public access, utility and fire lane easement.
- All retaining walls along creek to be stone.
- All landscape easements must be exclusive of any other type of easement.
- Impact fees will be assessed in accordance with the land use classification(s) identified on the site data summary table; however, changes to the proposed land use at the time of CO and/or finish out permit may result in additional impact fees and/or parking requirements.
- Public Hike and Bike Trail is conceptual. Final alignment to be determined at the time of final site plan to be approved by the Town.
- All environmental studies required to reclaim floodplain shall be submitted at time of final plat to develop each lot.
- The approval of a Site Plan shall be effective for eighteen (18) months from the date of approval by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of engineering plans and building permits. If the engineering plans and building permits are not approved, the Site Plan approval, together with any preliminary Site Plan for the property, is null and void.

Note: Berming along Custer Road shall be provided as required by the Zoning Ordinance, ranging in height from 3-6 feet and an overall minimum average of 4.5 feet.

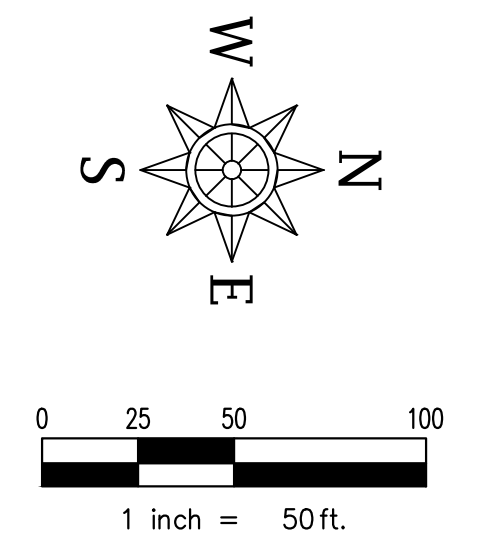
Note: This development proposes to use residential style tote trash and recycling receptacles that will be stored internal to the building. If receptacles are stored outside of the building, a masonry screening wall will be required to be constructed in conformance with the Zoning Ordinance.

CASE No. - D 21-0056  
**SITE PLAN**  
**SCI Prosper Trails Addition**  
Block A, Lot 1 & 2 - 53.318 Acres  
SITUATED IN THE  
JEREMIAH HORN SURVEY, ABSTRACT NO. 787  
IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS

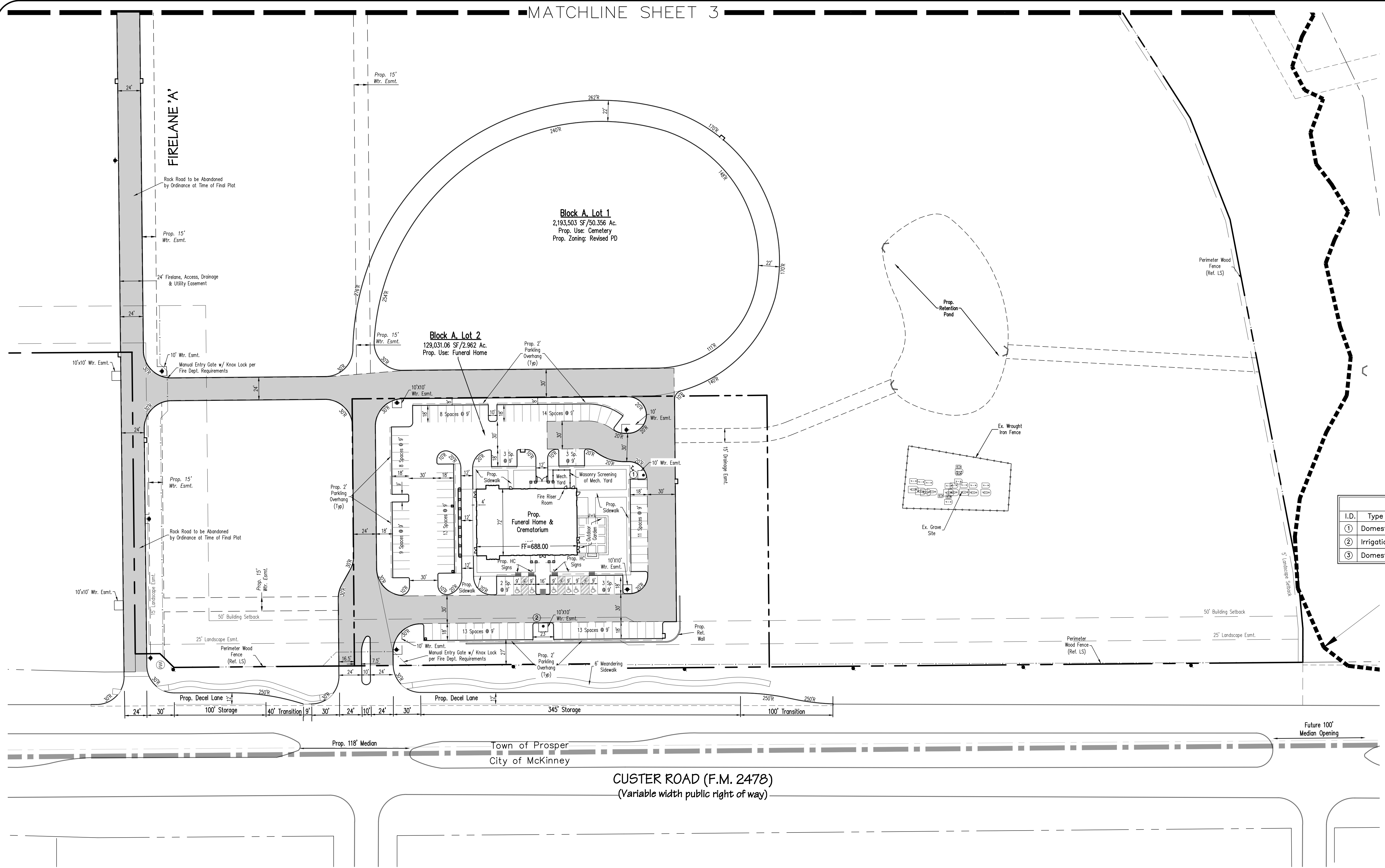
OWNER/APPLICANT  
SCI Texas Funeral Services, LLC  
1929 Allen Parkway  
Houston, TX 77219  
Telephone: (713) 525-5277  
Contact: Cameron Alexander

ENGINEER / SURVEYOR  
Sparks Engineering, Inc.  
TBPE No. F-2121  
765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
Contact: David Bond





Printed by: DBand10 Plot Date: 7/2/2021 1:57 PM  
Drawing: G:\2020\_085\20-167 North Dallas Cemetery\20-167 Site Plan.dwg Saved By: DBand10 Save Time: 6/29/2021 5:45:48 PM



Water Meter Schedule					
I.D.	Type	Size	No.	Sewer	Remarks
①	Domestic	2"	1	6"	Proposed
②	Irrigation	2"	1	N/A	Proposed
③	Domestic	2"	1	6"	Proposed

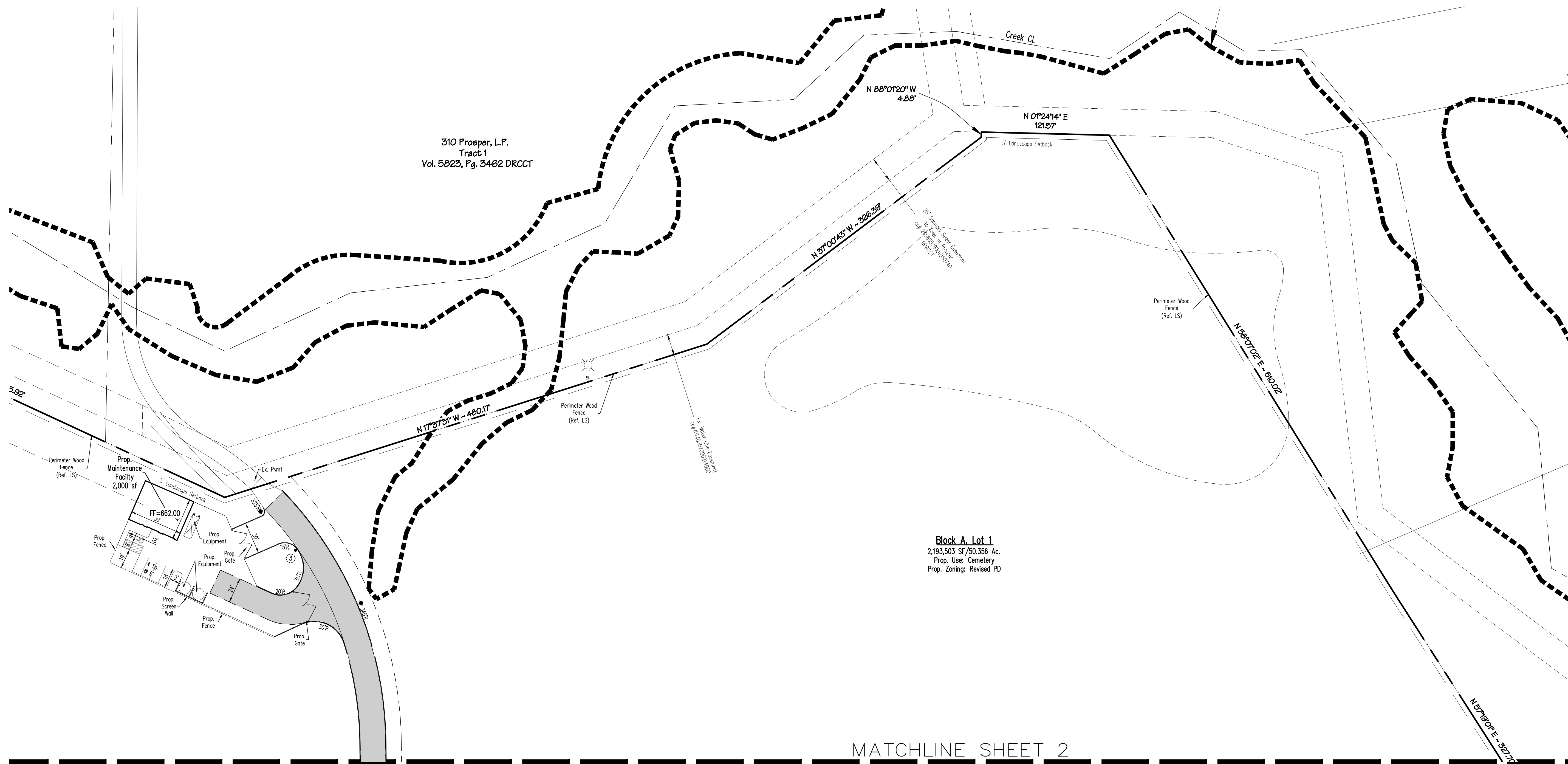
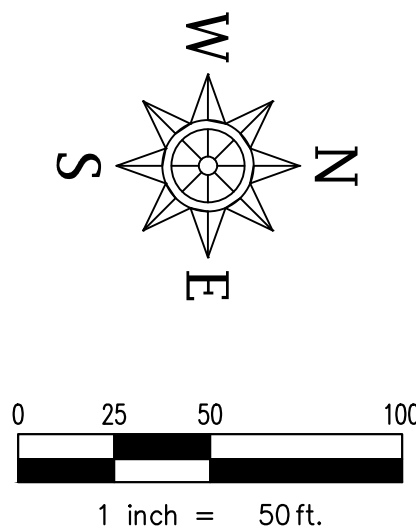
LEGEND

- Firelane, Access & Utility Easement
- Existing Fire Hydrant
- Existing Water Valve
- Existing Sanitary Sewer Manhole
- Proposed Fire Hydrant
- Proposed Water Meter
- Proposed FDC
- ROW Centerline
- Property Line

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