

VICINITY MAP
N.T.S.

| SITE DATA SUMMARY | |
|--|---|
| ZONING | PD-2 (CORRIDOR DISTRICT) |
| PROPOSED USE | CARWASH |
| LOT AREA | 2.04 ACRES (88,645 SF.) |
| BUILDING AREA | 4,997 SF. |
| BUILDING HEIGHT | 28'-10 1/2" FT. |
| NUMBER OF STORIES | 1 |
| LOT COVERAGE | 5.64% |
| FLOOR AREA RATIO | 0.056:1 |
| TOTAL PARKING REQUIRED | 10 (1 SPACE PER 500 SF.) |
| TOTAL PARKING PROVIDED | 10 |
| HANDICAP PARKING REQUIRED | 1 (1 VAN) |
| TOTAL VACUUM SERVICE AREA PARKING PROVIDED | 23 (1 HANDICAP INCLUDED) |
| INTERIOR LANDSCAPING REQUIRED | 15 SF PER PARKING SPACE 10 SPACES = 150 SF |
| INTERIOR LANDSCAPING PROVIDED | 4,459.43 SF |
| SQUARE FOOTAGE OF IMPERVIOUS SURFACE | 50,185.01 SF |
| OPEN SPACE REQUIRED | 7% (6,205 SF) |
| OPEN SPACE PROVIDED | 14.5% (12,877 SF) |

TOWN OF PROSPER SITE PLAN NOTES:

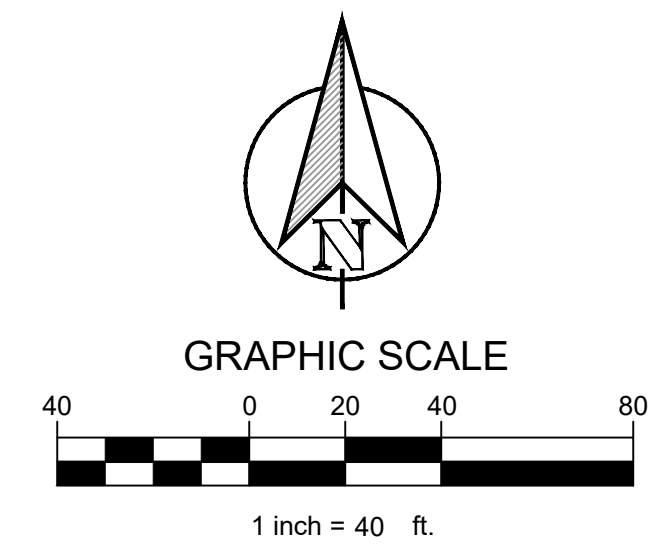
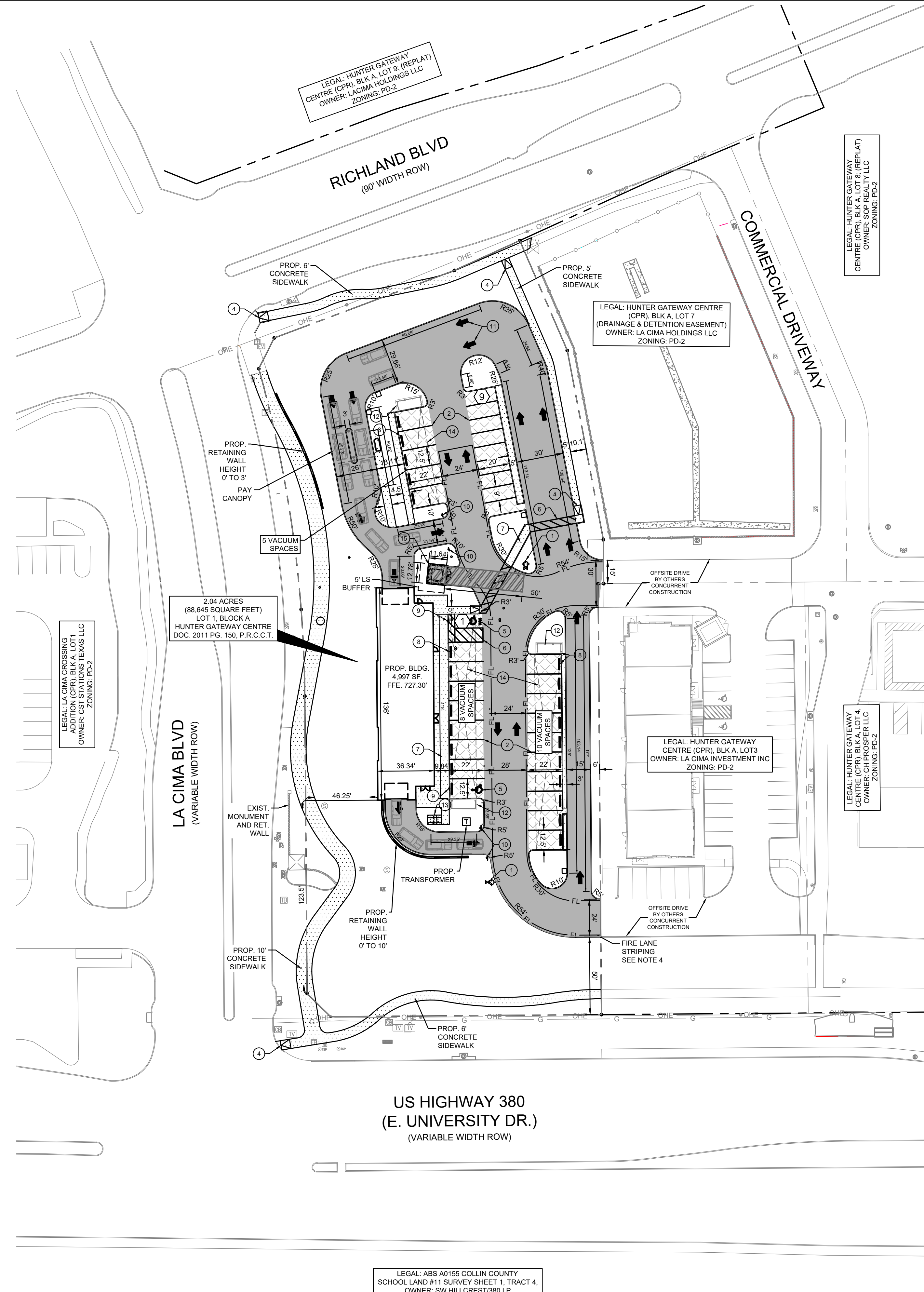
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
- LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
- THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN IS APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
- OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND.

SITE BENCHMARKS

BENCHMARK #1
RIM OF STORM SEWER MANHOLE
LOCATED ON RECESSED CURB INLET ON THE
CORNER OF LA CIMA BLVD. & RICHLAND BLVD.
ELEVATION = 718.28'
BENCHMARK #2
RIM OF STORM SEWER MANHOLE LOCATED ON
RECESSED CURB INLET ON THE EASTERLY
SIDE OF LA CIMA BLVD., ELEVATION = 712.16'

CITY BENCHMARKS

BENCHMARK #4
BRONZE DISK STAMPED "TOWN OF PROSPER
SURVEY MONUMENT" LOCATED ON THE
NORTHWEST CORNER OF A CURB INLET LYING
ON THE WEST SIDE OF S. MAIN STREET ±30'
SOUTH OF THE INTERSECTION OF S. MAIN
STREET AND W. 3D STREET.
ELEVATION = 666.47'



| LEGEND | |
|-----------|-----------------------------------|
| [Pattern] | STANDARD DUTY CONCRETE PAVEMENT |
| [Pattern] | HEAVY DUTY CONCRETE PAVEMENT |
| [Pattern] | DUMPSTER AREA CONCRETE PAVEMENT |
| [Pattern] | SIDEWALK CONCRETE PAVEMENT |
| [Line] | PROPOSED CONCRETE CURB AND GUTTER |
| [Symbol] | PARKING COUNT |

| CONSTRUCTION SCHEDULE | |
|-----------------------|--|
| 1 | PROPOSED FIRE HYDRANT PER CITY STANDARDS |
| 2 | 4" PARKING STALL STRIPING COLOR: WHITE W/ SHARK GRIP (TYP) |
| 3 | CURB & GUTTER, SEE DETAIL SHEET |
| 4 | PROPOSED PEDESTRIAN RAMP, SEE DETAIL SHEET |
| 5 | HANDICAP SYMBOL W/ SHARK GRIP |
| 6 | PAVEMENT STRIPING (TYPICAL) |
| 7 | PROPOSED SIDEWALK, SEE DETAIL SHEET |
| 8 | PROPOSED CURB STOP (TYPICAL) |
| 9 | PROPOSED HANDICAP SIGN |
| 10 | DO NOT ENTER SIGN |
| 11 | DIRECTIONAL ARROWS AND LETTERING, WHITE (TYPICAL) |
| 12 | VACUUM ENCLOSURE(SEE ARCH PLAN DETAILS) |
| 13 | BICYCLE PARKING (SEE ARCH PLAN DETAILS) |
| 14 | VACUUM CANOPIES (SEE ARCH PLAN FOR DETAILS) |
| 15 | DUMPSTER ENCLOSURE (SEE ARCH PLAN FOR DETAILS) |

NOTES:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
3. REFER TO ARCHITECTURAL PLANS FOR DUMPSTER AND VACUUM ENCLOSURE
4. FIRE LANE STRIPING SHOWN AS OFFSETS FROM CURB AND EASEMENT FOR CLARITY. IN THE FIELD, CONTRACTOR SHALL PLACE STRIPING IN ACCORDANCE WITH CITY AND IFC STANDARDS.

FLOODPLAIN NOTE
ACCORDING TO MAP NO. 48085C02551, DATED 06/02/2009 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF COLLIN COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN NON-SHADED ZONE "X". (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN). IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

| | | |
|---|-----------------------|---------------------|
| SITE PLAN CASE #: DEVAPP-23-0008. HUNTER GATEWAY CENTRE, BLOCK A, LOT 1 | | |
| ZONING DESCRIPTION: PD-2-CORRIDOR DISTRICT | | |
| OWNER: CADET 23, LLC. 850 NEW BURTON RD. SUITE 201 DOVER, DE 19904 jbarnes@clubcarwash.com | | |
| CONTACT NAME: JUSTIN BARNES | | |
| APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE 406 BEDFORD, TX 76021 PH: 817.281.0572 | | |
| CONTACT NAME: CLAY CRISTY | | |
| SURVEYOR: EAGLE SURVEYING, LLC 210 S. ELM ST. SUITE #104 DENTON, TX 76201 PH: 940.222.3009 | | |
| CONTACT NAME: TYLER RANK | | |
| LEGAL DESCRIPTION: LOT 1 AND LOT 6, BLOCK A HUNTER GATEWAY CENTRE | | |
| CITY: PROSPER | STATE: TEXAS | |
| COUNTY: COLLIN | SURVEY: H. JAMISON | ABSTRACT NO. 480 |



PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
Engineer: CLAY CRISTY
P.E. No. 109800 Date: 11/13/2024

CLUB CARWASH
HUNTERS GATEWAY CENTER
PROSPER, TX

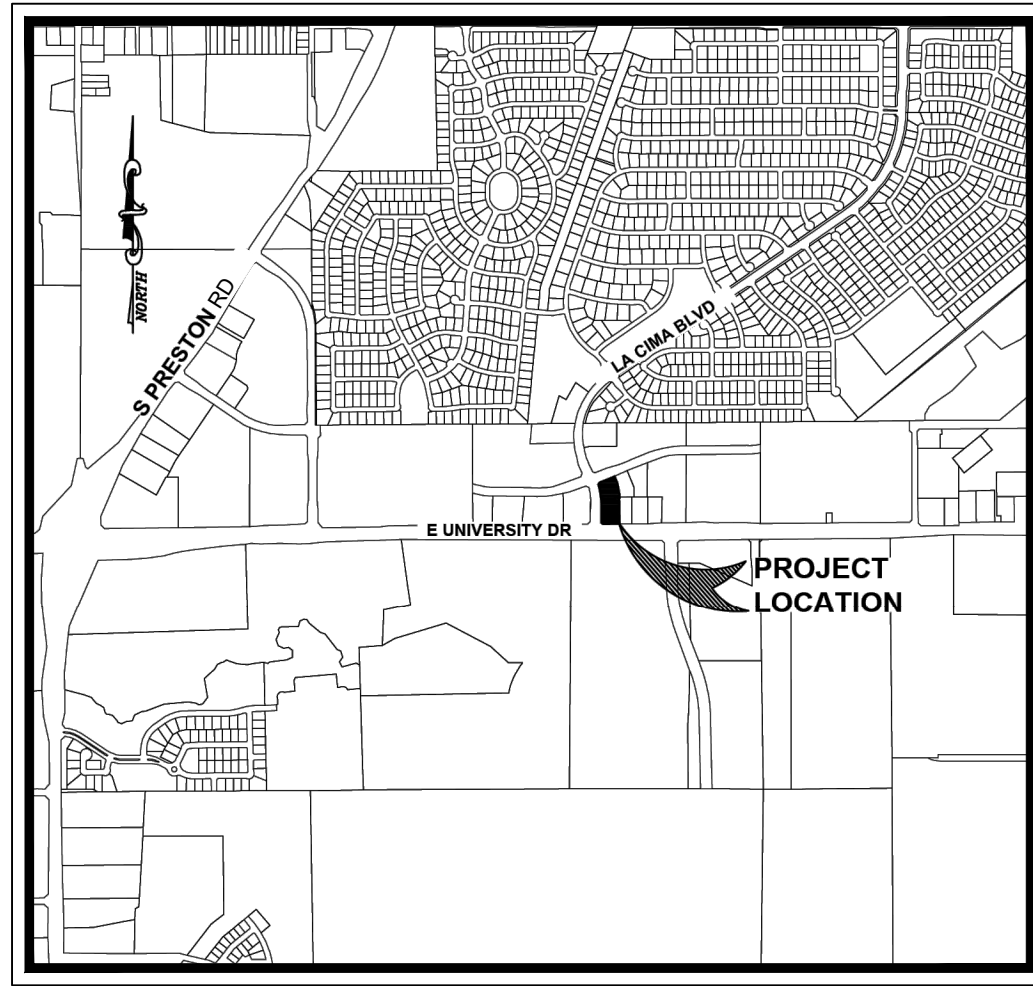
| No. | DATE | REVISION | BY |
|-----|------|----------|----|
| | | | |

SITE PLAN (1 OF 2)
PAVING & DIMENSIONS

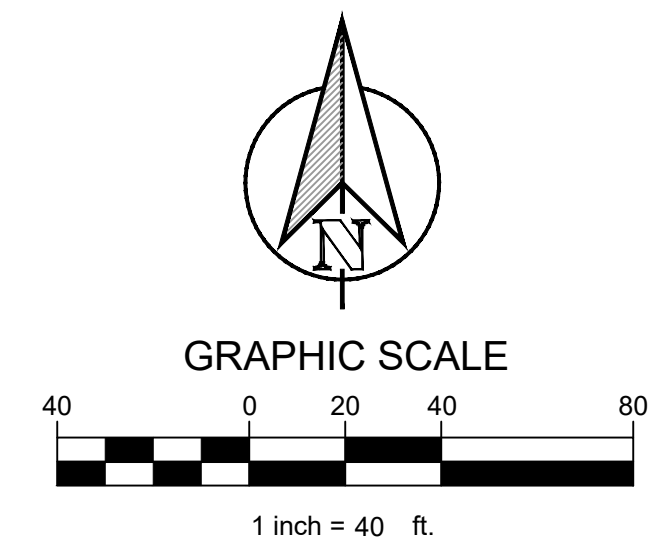
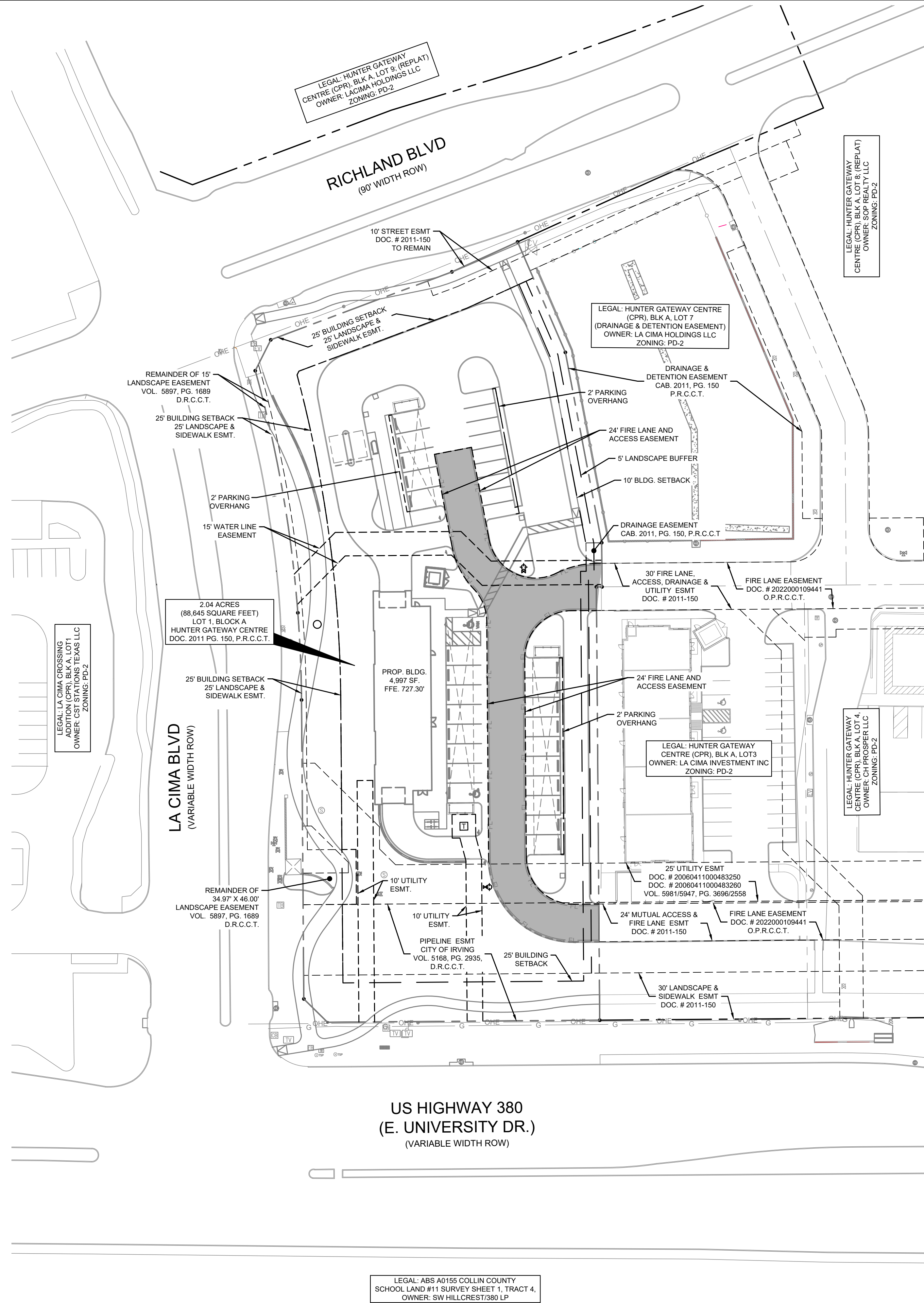
| | |
|----------|------------|
| DESIGN: | CLC |
| DRAWN: | CLC |
| CHECKED: | CLC |
| DATE: | 11/13/2024 |
| SHEET | |
| SP-1 | |
| 2023-092 | |

PLOT DATE: CAMERON_EHN_10/31/2024
FILE PATH: Z:\PROJECTS\PROJECTS\2023-092 CLUB CARWASH PROSPER\CADD\SHEETS\SP-1.1 SITE PLAN.DWG





VICINITY MAP
N.T.S.



| LEGEND | |
|--------|----------------------|
| | FIRE LANE |
| | PROPOSED TRANSFORMER |

TEXAS REGISTRATION #14199

PHONE: 817.281.0572
1903 CENTRAL DR., SUITE #406
BEDFORD, TX 76021
WWW.CLAYMOORE.COM

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
Engineer: CLAY CRISTY
P.E. No. 109800 Date: 11/13/2024

**CLUB CARWASH
HUNTERS GATEWAY CENTER
PROSPER, TX**

- TOWN OF PROSPER SITE PLAN NOTES:
1. ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
 2. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
 3. ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
 4. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
 5. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
 6. IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
 7. THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN IS APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID. OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND.
 - 8.

SITE BENCHMARKS
BENCHMARK #1
RIM OF STORM SEWER MANHOLE
LOCATED ON RECESSED CURB INLET ON THE
CORNER OF LA CIMA BLVD. & RICHLAND BLVD.
ELEVATION = 718.28'
BENCHMARK #2
RIM OF STORM SEWER MANHOLE LOCATED ON
RECESSED CURB INLET ON THE EASTERLY
SIDE OF LA CIMA BLVD., ELEVATION = 712.16'

CITY BENCHMARKS
BENCHMARK #4
BRONZE DISK STAMPED "TOWN OF PROSPER
SURVEY MONUMENT" LOCATED ON THE
NORTHWEST CORNER OF A CURB INLET LYING
ON THE WEST SIDE OF S. MAIN STREET ±30'
SOUTH OF THE INTERSECTION OF S. MAIN
STREET AND W. 3D STREET.
ELEVATION = 666.47'

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DUMPSTER LOCATIONS.
 3. REFER TO ARCHITECTURAL PLANS FOR DUMPSTER AND VACUUM ENCLOSURE

FLOODPLAIN NOTE
ACCORDING TO MAP NO. 48085C02551, DATED 06/02/2009 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF COLLIN COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN NON-SHADED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN). IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

| SITE PLAN | | |
|---|-----------------------|---------------------|
| CASE #: DEVAPP-23-0008. HUNTER GATEWAY CENTRE, BLOCK A, LOT 1 | | |
| ZONING DESCRIPTION: PD-2-CORRIDOR DISTRICT | | |
| OWNER: CADET 23, LLC. 850 NEW BURTON RD. SUITE 201 DOVER, DE 19904 jbarnes@clubcarwash.com | | |
| CONTACT NAME: JUSTIN BARNES | | |
| APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE 406 BEDFORD, TX 76021 PH: 817.281.0572 | | |
| CONTACT NAME: CLAY CRISTY | | |
| SURVEYOR: EAGLE SURVEYING, LLC. 210 S. ELM ST. SUITE #104 DENTON, TX 76201 PH: 940.222.3009 | | |
| CONTACT NAME: TYLER RANK | | |
| LEGAL DESCRIPTION: LOT 1 AND LOT 6, BLOCK A HUNTER GATEWAY CENTRE | | |
| CITY: PROSPER | STATE: TEXAS | |
| COUNTY: COLLIN | SURVEY: H. JAMISON | ABSTRACT NO. 480 |

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
| | | | |
| | | | |

**SITE PLAN (2 OF 2)
EASEMENTS & SETBACKS**

| | |
|---------------|------------|
| DESIGN: | CLC |
| DRAWN: | CLC |
| CHECKED: | CLC |
| DATE: | 11/13/2024 |
| SHEET | |
| SP-1.1 | |
| 2023-092 | |

PLOT DATE: CAMERON_EHN_10/31/2024
FILE PATH: Z:\PROJECTS\PROJECTS\2023-092 CLUB CARWASH PROSPER\CADD\SHEETS\SP-1.1 SITE PLAN.DWG

