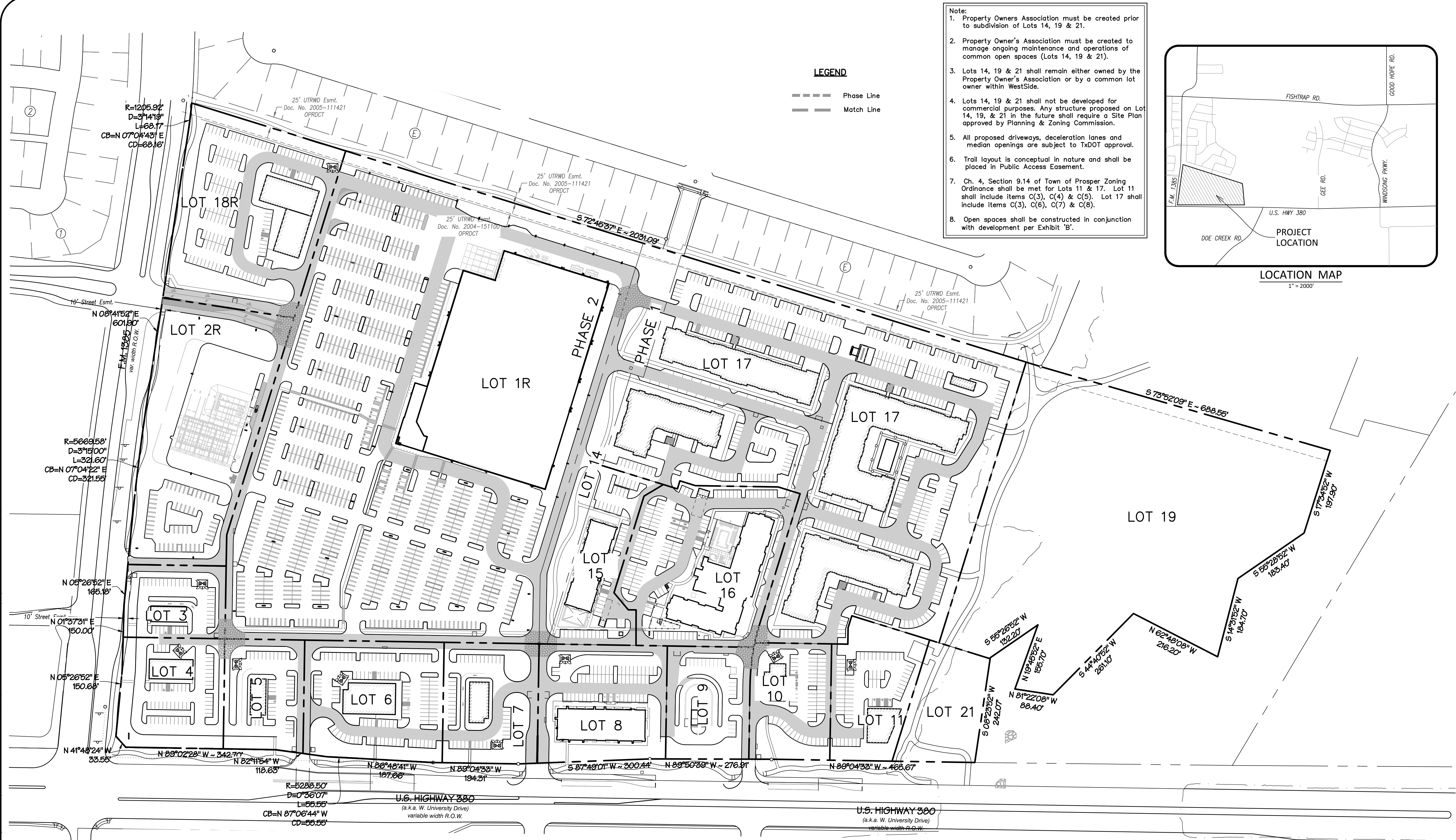


D:\proj\6-2022_03\5-22-187 Westside Prosper\CAD\Drawings\22-187 Preliminary Site Plan.dwg Saved By: Villareal Plot Date: 2/13/2023 10:02 AM
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Town of Prosper Site Plan Notes:

1. Dumpsters and trash compactors shall be screened in accordance of the Zoning Ordinance.
2. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
3. Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Regulation Ordinance.
4. Landscaping shall conform to landscape plans approved by the town.
5. All elevations shall comply with the standards contained within the Zoning Ordinance.
6. Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
7. Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
8. Two points of access shall be maintained for the property at all times.
9. Speedbumps/humps are not permitted within a fire lane.
10. Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adapted uniform Building Code.
11. All signage is subject to Building Official approval.
12. All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
13. All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
14. Sidewalks of not less than six (6') feet in width along thoroughfares and fire (5') in width along collectors and residential streets, and barrier free ramps at all curb crossings shall be provided per Town standards.
15. Approval of the site plan is not final until all engineering plans are approved by the Town Engineer.
16. Site plan approval is required prior to grading release.
17. All new electrical lines shall be installed and/or relocated underground.
18. All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
19. All landscape easements must be exclusive of any other type of easement.
20. Impact fees will be assessed in accordance with the land use classification(s) identified on the site data summary table; however, changes to the proposed land use at the time of CO and/or finish out permit may result in additional impact fees and/or parking requirements.
21. The approval of a preliminary site plan shall be effective for a period of two (2) years from the date that the preliminary site plan is approved by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received approval of a site plan by the Planning & Zoning Commission. If a site plan is not approved within such two (2) year period, the preliminary site plan approval is null and void. If site plan approval is only for a portion of the property, the approval of the preliminary site plan for the remaining property shall be null and void.
22. Lot 17, which consists of a maximum of 243 units, construction may not commence until construction of the first floor framing has begun on the restaurant/retail building on Lot 8 on and the Limited Service Hotel on Lot 16.

SITE DATA SUMMARY TABLE																					
LOT	ZONING	PROPOSED USE	LOT AREA		FIRST FLOOR BUILDING AREA (SF)	TOTAL BUILDING AREA (SF)	UNIT COUNT	BUILDING HEIGHT (ft)	BUILDING HEIGHT (story)	COVERAGE (%)	FLOOR AREA RATIO	REQ. PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED	REQUIRED HANDICAP PARKING	PROVIDED HANDICAP PARKING	INTERIOR LANDSCAPE REQUIRED (SF)	INTERIOR LANDSCAPE PROVIDED (SF)	IMPERVIOUS AREA (SF)	OPEN SPACE REQUIRED (SF)	OPEN SPACE PROVIDED (SF)
			SF	AC																	
1R	PD	BIG BOX RETAIL	749,522	17.21	160,508	160,508	N/A	29'-11"	1	21.4%	0.2141:1	1:250	643	872	19	19	13,080	0	0	52,467	Provided in Lots 14/19
2R	PD	BIG BOX FUEL FACILITY	153,913	3.53	4,500	4,500	N/A	N/A	1	2.9%	0.0292:1	1:200	23	51	3	3	765	0	0	10,774	Provided in Lots 14/19
3	PD	RESTAURANT W/ D.T.	38,214	0.88	2,872	2,872	N/A	29'-11"	1	7.5%	0.0752:1	1:100	12	32	2	2	480	2,106	12,497	2,675	Provided in Lots 14/19
4	PD	RESTAURANT/RETAIL	59,629	1.37	4,500	4,500	N/A	29'-11"	1	7.5%	0.0755:1	1:100	45	53	1	1	795	810	27,702	4,174	Provided in Lots 14/19
5	PD	RESTAURANT W/ D.T.	46,077	1.06	2,880	2,880	N/A	29'-11"	1	6.3%	0.0625:1	1:100	29	33	1	1	495	972	24,769	3,225	Provided in Lots 14/19
6	PD	RETAIL/RESTAURANT	85,713	1.97	6,079	6,079	N/A	29'-11"	1	7.1%	0.0709:1	1:250	25	29	1	1	435	1,296	53,972	6,000	Provided in Lots 14/19
7	PD	RESTAURANT W/ D.T.	59,617	1.37	3,827	3,827	N/A	29'-11"	1	6.4%	0.0642:1	1:100	39	64	1	2	960	1,296	31,555	4,173	Provided in Lots 14/19
8	PD	RETAIL	77,582	1.78	14,358	14,358	N/A	29'-11"	1	18.5%	0.1851:1	1:100	192	56	4	3	840	2,106	48,228	5,431	Provided in Lots 14/19
9	PD	RESTAURANT W/ D.T.	49,095	1.13	521	521	N/A	29'-11"	1	1.1%	0.0106:1	1:75	7	101	4	4	1,515	1,944	45,213	3,437	Provided in Lots 14/19
10	PD	RETAIL/RESTAURANT	48,828	1.12	3,756	3,756	N/A	29'-11"	1	7.7%	0.0769:1	1:75	51	57	4	2	855	2,916	47,054	3,418	Provided in Lots 14/19
11	PD	RESTAURANT/RETAIL	55,437	1.27	4,275	4,275	N/A	29'-11"	1	7.7%	0.0771:1	1:75	57	62	2	2	930	1,620	30,091	3,881	Provided in Lots 14/19
14	PD	OPEN SPACE	66,221	1.52	0	0	N/A	N/A	1	0.0%	0:1	N/A	N/A	0	0	0	0	1,944	16,285	4,635	49,936
15	PD	RETAIL/RESTAURANT	51,832	1.19	12,151	12,151	N/A	29'-11"	1	23.4%	0.2344:1	1 per room + 1/200 commercial floor area	117 rooms + 0SF	132	3	3	1,980	1,944	26,002	3,628	Provided in Lots 14/19
16	PD	HOTEL	123,798	2.84	27,974	27,974	N/A	75'	2	22.6%	0.226:1	1 per room + 1/200 commercial floor area	113 rooms + 0SF	208	12	3	3,120	10,692	229,398	8,666	Provided in Lots 14/19
17	PD	MULTIFAMILY	499,834	11.47	111,516	319,215	243 (116 - 1B, 103 - 2B, 24 - 3B)	65'	4	22.3%	0.6386:1	1.8 per unit & 2.0 per unit	443	561	10	10	8,415	10,368	247,040	34,988	Provided in Lots 14/19
18R	PD	RETAIL	149,287	3.43	13,500	13,500	1	29'-11"	1	9.0%	0.0904:1	1:200	68	128	5	5	1,024	2,368	78,514	10,450	Provided in Lots 14/19
19	PD	OPEN SPACE	396,892	9.11	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	20,670	27,782	396,892
21	PD	OPEN SPACE	43,460	1.00	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	20,670	N/A	43,460
Total			2,754,951	63.244	373,217	580,916	243						1,634	2,439	72	61	35,689	42,382	959,660	189,804	490,288

Sheet No. 1 of 6
TOWN OF PROSPER CASE NO. Z22-0020
Exhibit D
WestSide
BEING 63.737 ACRES OF LAND (GROSS)
63.017 ACRES (NET)
IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &
IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
IN THE P. BARNES SURVEY, ABSTRACT NO. 79 &
IN THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY
TOWN OF PROSPER, DENTON COUNTY, TEXAS

ENGINEER/SURVEYOR Spiors Engineering, Inc. 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 TBPE No. F-2121 Contact: David Bond	OWNER/DEVELOPER WestSide Prosper, LLC 8668 John Hickman Pkwy., Suite 907 Frisco, Texas 75034 Telephone (248) 345-3818 Contact: Shiva Kondru	DEVELOPER/APPLICANT Cross Engineering & Associates, Inc. 1995 Raymond Drive, Suite 119 8668 John Hickman Pkwy., Suite 907 Northbrook, IL 60062 Telephone (847) 498-0800 Contact: Stephen Cross
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STATE OF TEXAS §
COUNTY OF DENTON §

BEGINNING at a 1/2" iron rod found on the east line of Farm to Market Road 1385 (F.M. 1385), a variable width right-of-way, for the southwest corner of Glenbrook Estates Phase 1, an addition recorded in Cabinet X, Page 717, Plat Records, Denton County, Texas;

THENCE S 72°45'37" E, 2051.53 feet along the south line of Glenbrook Estates Phase 1 to a U.S. Army Corps of Engineers brass monument found for the southeast corner thereof and a westerly corner of a tract conveyed to VP Windsong Operations LLC, recorded in Document No. 2018-84666 OPRDCT;

THENCE along the common line thereof, the following:

S 73°52'09" E, 688.55 feet;
S 17°34'52" W, 197.90 feet;
S 55°28'52" W, 183.40 feet;
S 14°31'52" W, 184.70 feet;
N 62°48'08" W, 216.20 feet;
S 44°40'52" W, 261.10 feet;
N 81°22'08" W, 88.40 feet;
N 19°45'52" E, 155.70 feet;
S 55°26'52" W, 132.20 feet;

And S 08°23'52" W, 242.07 feet a 1/2" iron rod with plastic cap stamped "SPIARSENG" set on the north line of U.S. Highway 380, a variable width right-of-way;

THENCE along the north line of U.S. Highway 380, the following:

N 89°04'33" W, 465.67 feet to a point from which a concrete right-of-way monument bears S 59°08'57" E, 1.23 feet;
N 89°50'39" W, 276.91 feet to an aluminum TxDOT monument found;
S 87°49'01" W, 300.44 feet to a point from which a 5/8" iron rod with plastic cap found bears N 83°03'00" W, 0.46 feet;
N 89°04'33" W, 194.31 feet to a 5/8" iron rod with plastic cap found;
N 86°48'41" W, 187.66 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;
Around a tangent curve to the right having a central angle of 00°36'07", a radius of 5288.50 feet, a chord of N 87°06'44" W - 55.55 feet, an arc length of 55.55 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;
N 82°11'54" W, 118.63 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;
N 89°02'28" W, 355.22 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;
N 44°48'18" W, 37.22 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;
And N 06°19'03" W, 66.39 feet to the east line of F.M. 1385 and from which a 5/8" iron rod with plastic cap found bears S 71°16'17" W, 0.86 feet;

THENCE along the east line of F.M. 1385, the following:

N 05°26'52" E, 400.49 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

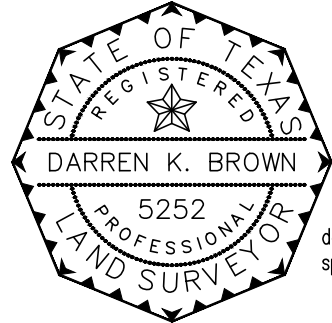
A tangent curve to the right having a central angle of 03°15'00", a radius of 5689.58 feet, a chord of N 07°04'22" E - 322.69 feet, an arc length of 322.73 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

N 08°41'52" E, 601.90 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

And a tangent curve to the left having a central angle of 03°26'25", a radius of 1185.92 feet, a chord of N 06°58'40" E - 71.20 feet, an arc length of 71.21 feet to the POINT OF BEGINNING with the subject tract containing 2,776,385 square feet or 63.737 acres of land.

SURVEYOR'S CERTIFICATE

DARREN K. BROWN, R.P.L.S. NO. 5252



darren.brown@spiarsengineering.com

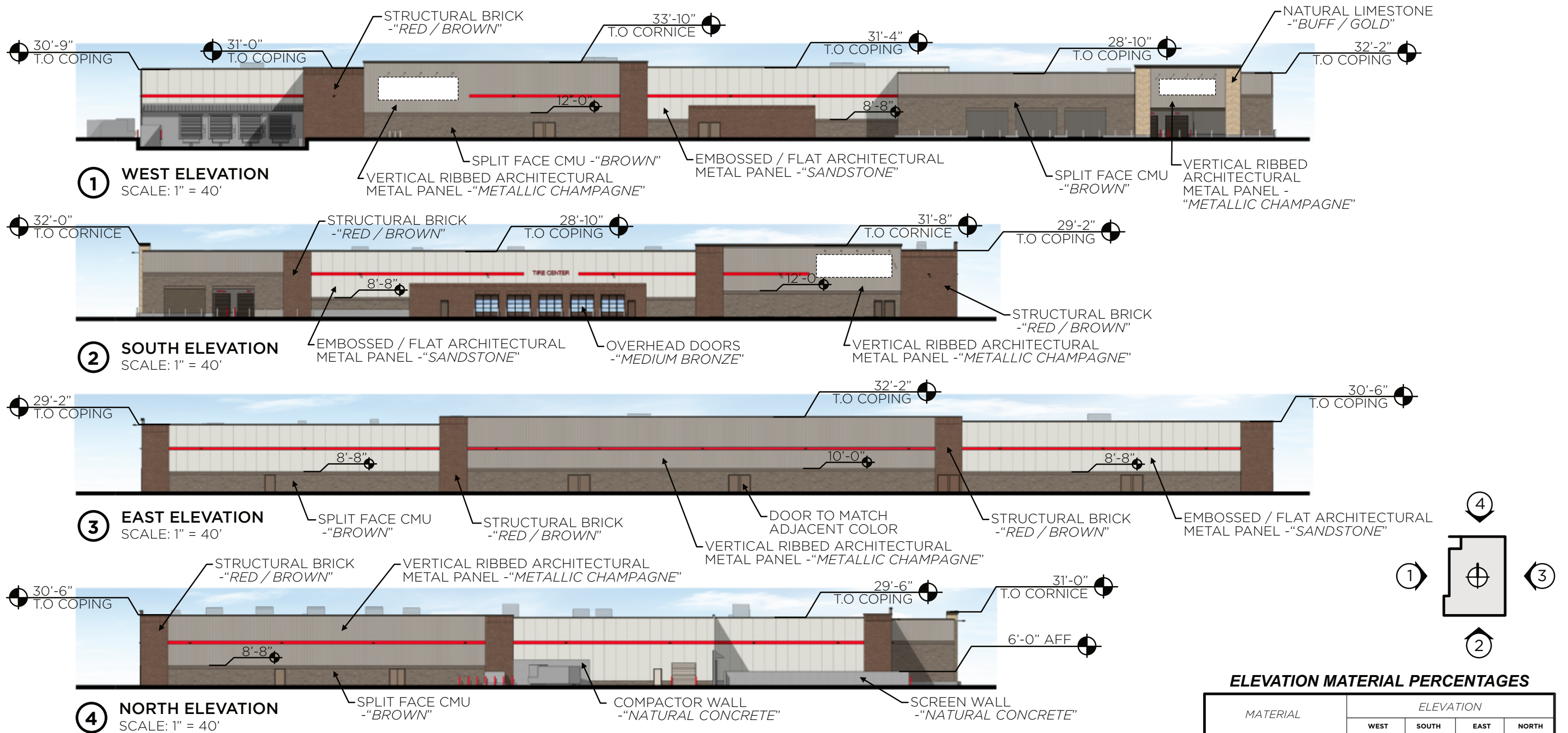
TOWN OF PROSPER CASE NO. Z22-0020
Exhibit A

WestSide

BEING 63.737 ACRES OF LAND (GROSS)
63.017 ACRES (NET)
IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &
IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
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IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY
TOWN OF PROSPER, DENTON COUNTY, TEXAS

ENGINEER / SURVEYOR / APPLICANT
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: David Bond

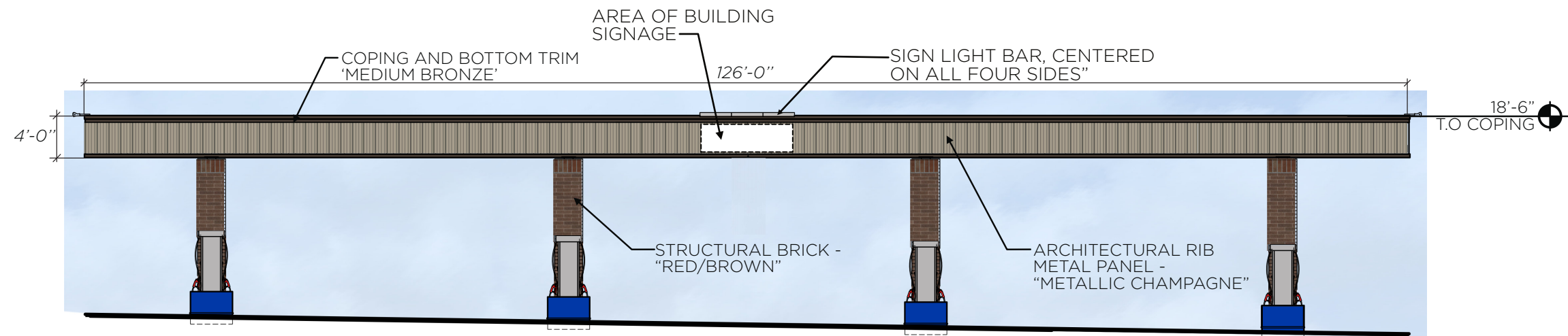
OWNER/DEVELOPER
WestSide Prosper, LLC
8668 John Hickman Pkwy., Suite 907
Frisco, Texas 75034
Telephone (248) 345-3818
Contact: Shiva Kondru



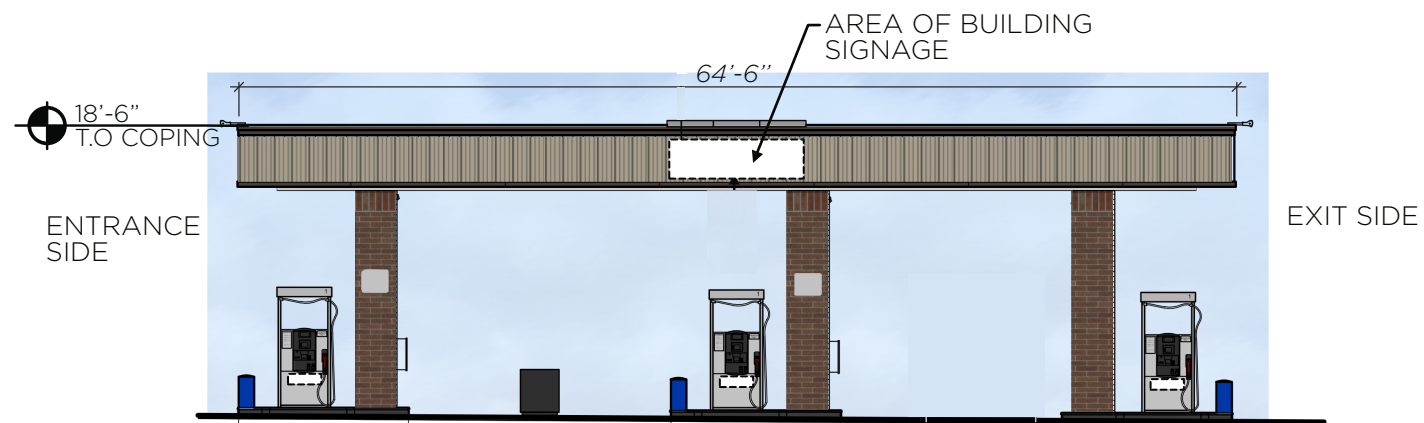
ELEVATION MATERIAL PERCENTAGES

MATERIAL	ELEVATION			
	WEST	SOUTH	EAST	NORTH
SPLIT FACE CMU "BROWN"	2,666 SF 18%	1,766 SF 18%	4,196 SF 27%	1,725 SF 16%
STRUCTURAL BRICK "RED/BROWN"	2150 SF 14%	2,497 SF 26%	1,568 SF 9%	1,026 SF 10%
NATURAL LIMESTONE "BUFF/GOLD"	387 SF 3%	0 SF 0%	0 SF 0%	0 SF 0%
CONCRETE "NATURAL"	1,580 SF 10%	202 SF 2%	0 SF 0%	991 SF 9%
VERTICAL RIBBED ARCHITECTURAL METAL PANEL "METALLIC CHAMPAGNE"	5,090 SF 34%	2,619 SF 27%	4,443 SF 30%	3,270 SF 31%
EMBOSSSED/FLAT ARCHITECTURAL METAL PANEL "SANDSTONE"	3,241 SF 21%	2,614 SF 27%	5,065 SF 33%	3,570 SF 34%

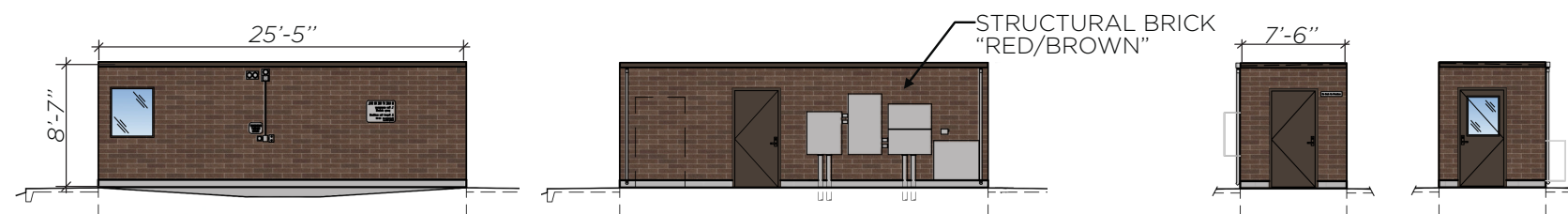
*CALCULATION DOES NOT INCLUDE EXTERIOR DOORS OR TIRE CENTER DOORS



1 CANOPY AND DISPENSER ELEVATION (NORTH/SOUTH)
SCALE: 1/8" = 1'



2 CANOPY AND DISPENSER ELEVATION (EAST/WEST)
SCALE: 1/8" = 1'



3 CONTROLLER ENCLOSURE EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'