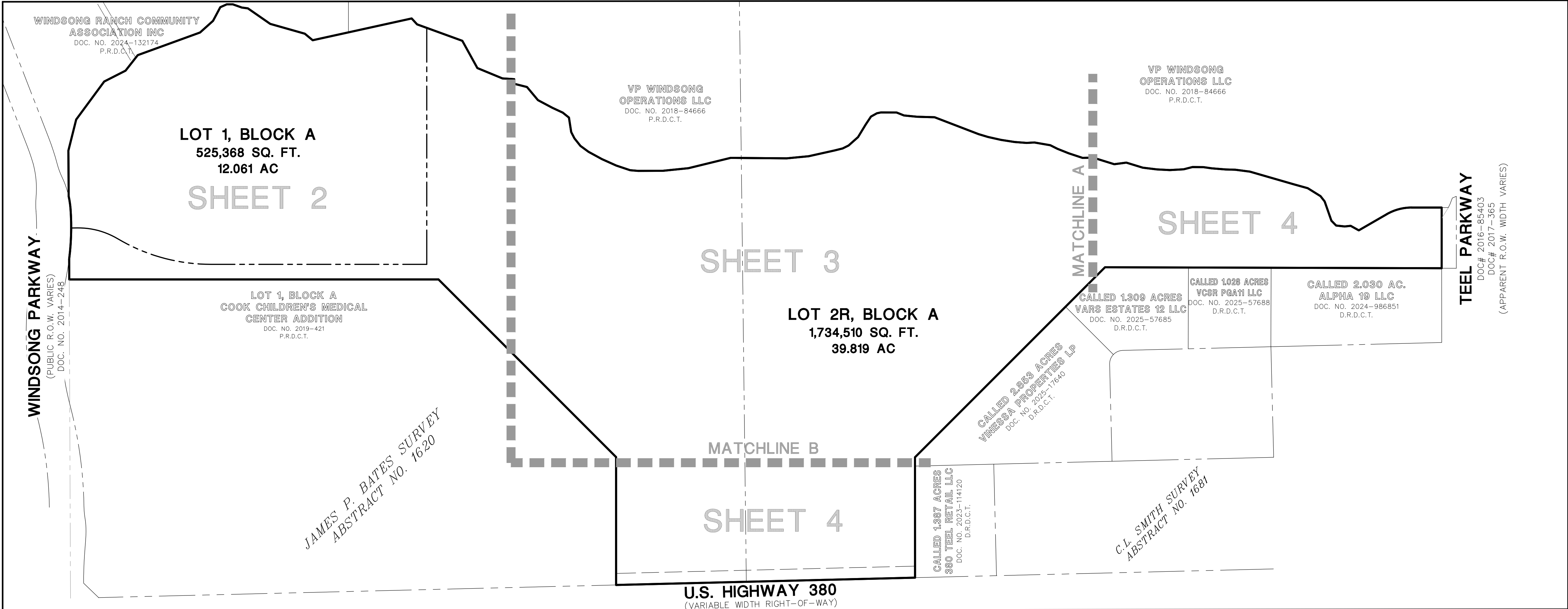
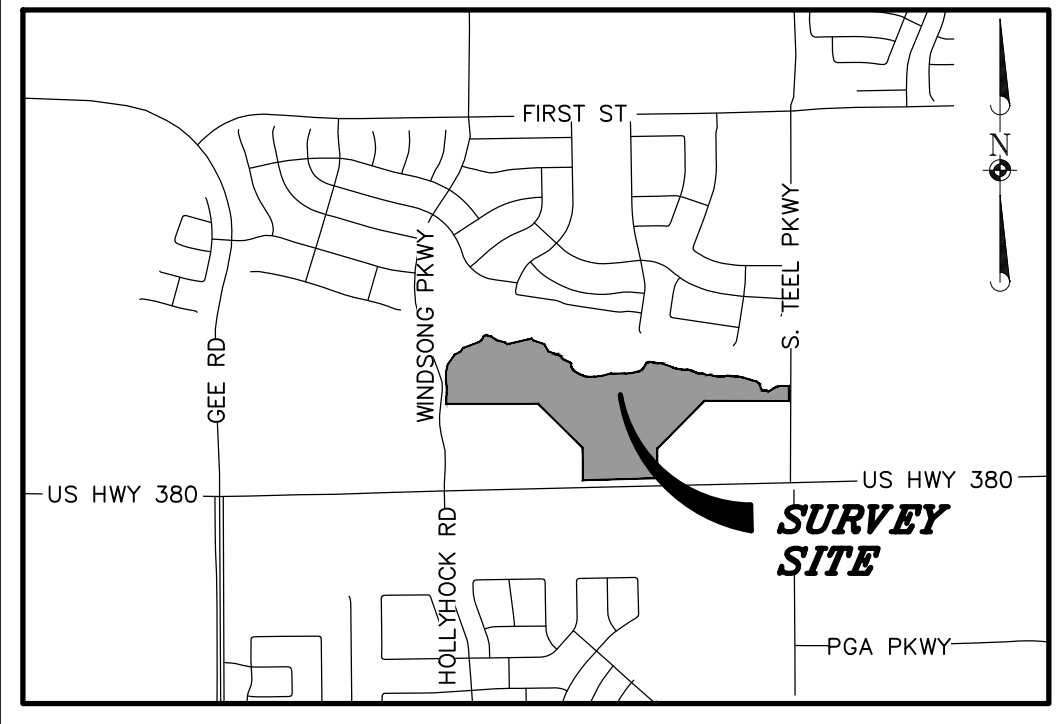


OLD LOT CONFIGURATION



NEW LOT CONFIGURATION

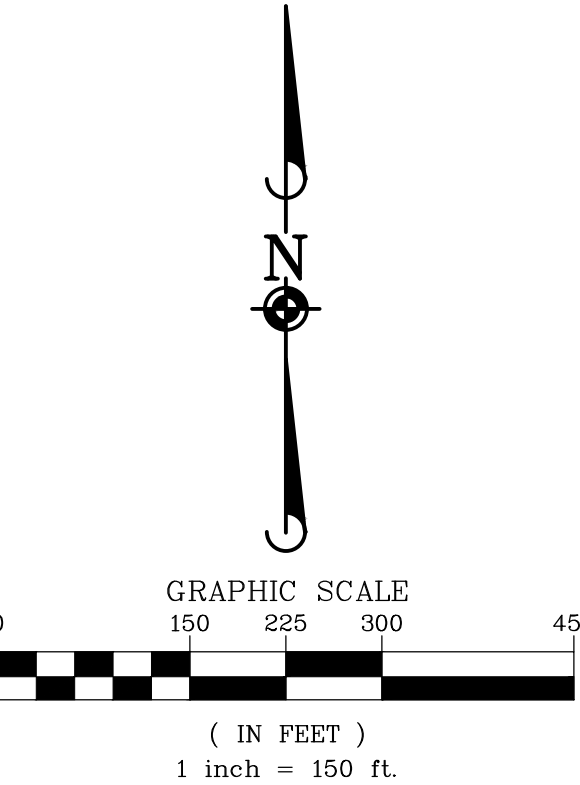


VICINITY MAP

1" = 2000'

LEGEND

- PROPERTY LINE
- ABSTRACT SURVEY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING LOT LINE MODIFIED BY THIS PLAT
- PROPOSED LOT LINE
- FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED, "MANHARD CONSULTING" UNLESS NOTED OTHERWISE
- SET 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED, "MANHARD CONSULTING"
- CIRF = FOUND CAPPED IRON ROD STAMPED AS NOTED
- W.L.E. = WATER LINE EASEMENT
- D.E. = DRAINAGE EASEMENT
- L.E. = LANDSCAPE EASEMENT
- F.A.D.U.E. = FIRE LANE, ACCESS, DRAINAGE AND UTILITY EASEMENT
- S.S.E. = SANITARY SEWER EASEMENT
- C.E.E. = COSERV ELECTRIC EASEMENT
- O.R.C.C.T. = OFFICIAL RECORDS, COLLIN COUNTY, TEXAS
- O.R.D.C.T. = OFFICIAL RECORDS, DENTON COUNTY, TEXAS
- P.R.D.C.T. = PLAT RECORDS, DENTON COUNTY, TEXAS
- DOC#/DOC. NO. = DOCUMENT NUMBER



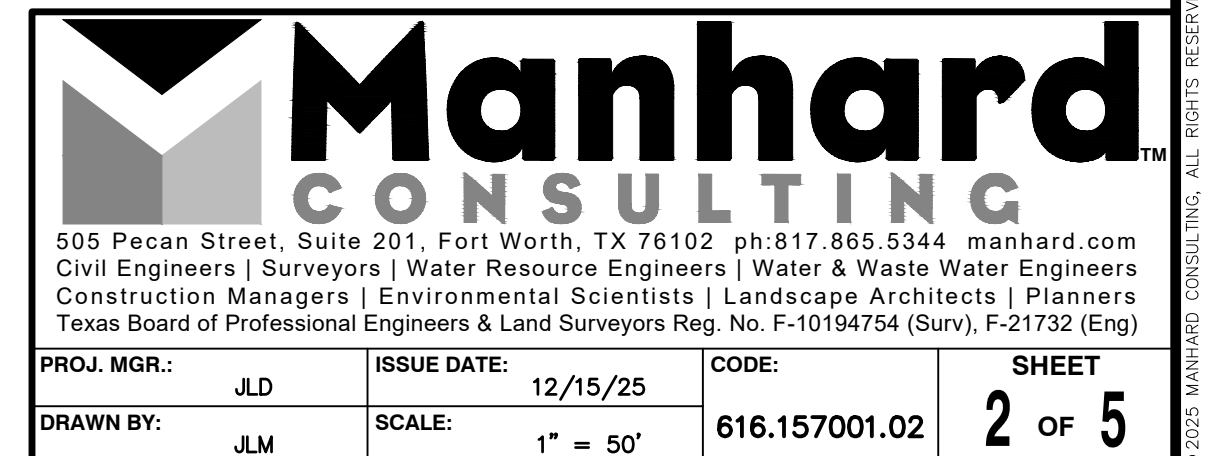
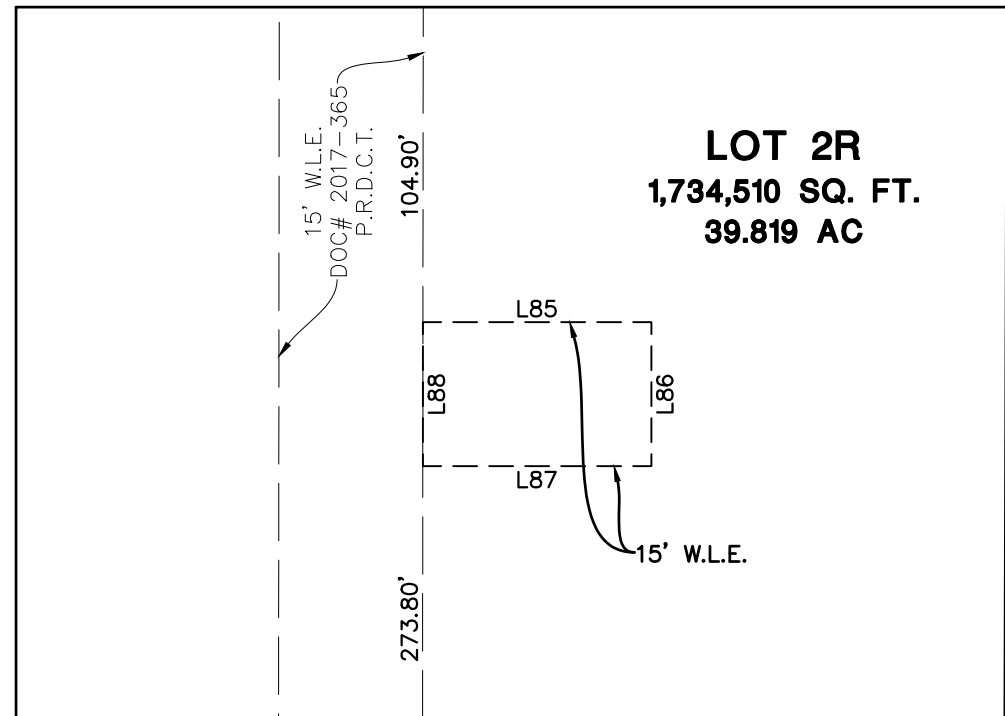
REVISED CONVEYANCE PLAT
**ST. MARTIN DE PORRES ADDITION
BLOCK A, LOT 1**
BEING A PORTION OF LOT 1, BLOCK A,
ST MARTIN DE PORRES ADDITION, OF
DOC. NO. 2017-365, PLAT RECORDS DENTON COUNTY, TEXAS

REPLAT
**ST. MARTIN DE PORRES ADDITION
BLOCK A, LOT 2R**
51.880 ACRES
BEING A REVISED CONVEYANCE PLAT OF LOT 1
AND A REPLAT BEING ALL OF LOTS 2, 3 AND 4
OF DOC. NO. 2017-365
IN THE J. BATES SURVEY, ABST. NO. 1620 &
C.L. SMITH SURVEY, ABST. NO. 1681
TOWN OF PROSPER, DENTON COUNTY, TEXAS
DECEMBER 15, 2025
CASE NO. DEVAPP-25-0081

Manhard CONSULTING

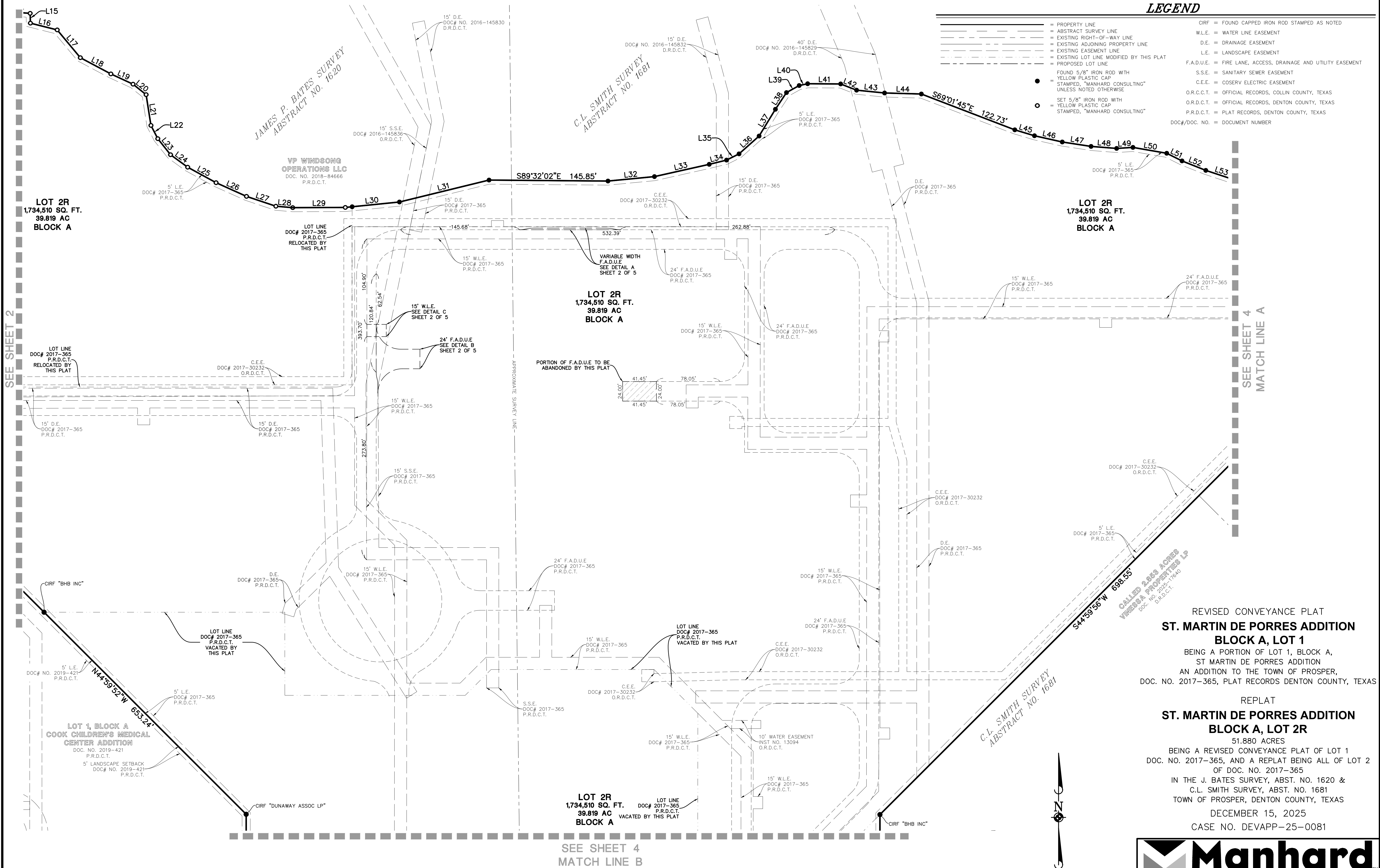
505 Pecan Street, Suite 201, Fort Worth, TX 76102 ph:817.865.5344 manhard.com
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
Construction Managers | Environmental Scientists | Landscape Architects | Planners
Texas Board of Professional Engineers & Land Surveyors Reg. No. F-10194754 (Surv), F-21732 (Eng)

PROJ. MGR.:	JLD	ISSUE DATE:	12/15/25	CODE:		SHEET	
DRAWN BY:	JLM	SCALE:	1" = 150'		616.157001.02	1	OF 5



LEGEND

	= PROPERTY LINE		= FOUND CAPPED IRON ROD STAMPED AS NOTED
	= ABSTRACT SURVEY LINE		W.L.E. = WATER LINE EASEMENT
	= EXISTING RIGHT-OF-WAY LINE		D.E. = DRAINAGE EASEMENT
	= EXISTING ADJOINING PROPERTY LINE		L.E. = LANDSCAPE EASEMENT
	= EXISTING EASEMENT LINE		F.A.D.U.E. = FIRE LANE, ACCESS, DRAINAGE AND UTILITY EASEMENT
	= EXISTING LOT LINE MODIFIED BY THIS PLAT		S.S.E. = SANITARY SEWER EASEMENT
	= PROPOSED LOT LINE		C.E.E. = COSERV ELECTRIC EASEMENT
	FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED, "MANHARD CONSULTING" UNLESS NOTED OTHERWISE		O.R.C.C.T. = OFFICIAL RECORDS, COLLIN COUNTY, TEXAS
	SET 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED, "MANHARD CONSULTING"		O.R.D.C.T. = OFFICIAL RECORDS, DENTON COUNTY, TEXAS
			P.R.D.C.T. = PLAT RECORDS, DENTON COUNTY, TEXAS
			DOC#/DOC. NO. = DOCUMENT NUMBER



BASIS OF BEARINGS

COORDINATES(GRID) AND BEARINGS ARE BASED UPON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NORTH CENTRAL ZONE (4202).

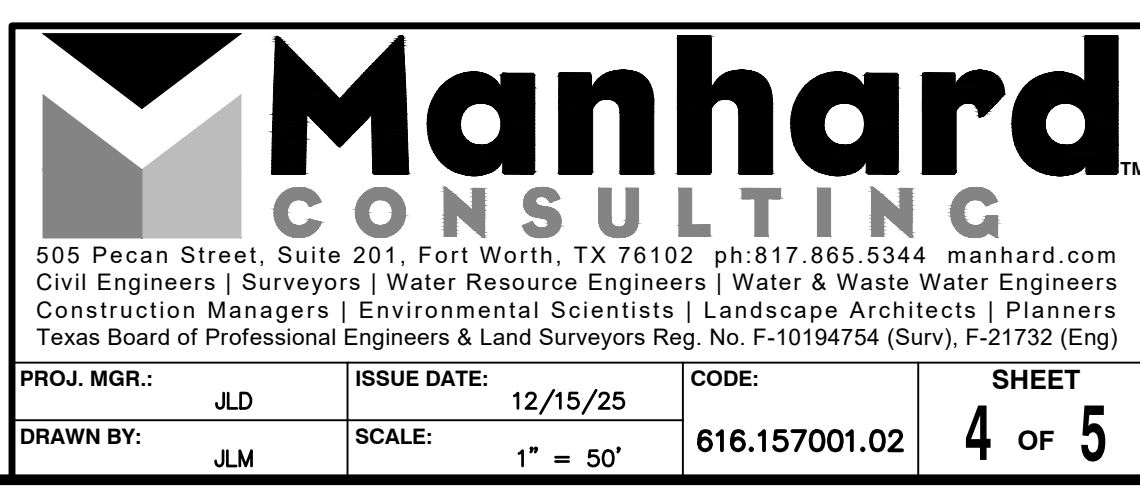
REVISED CONVEYANCE PLAT
**ST. MARTIN DE PORRES ADDITION
BLOCK A, LOT 1**
BEING A PORTION OF LOT 1, BLOCK A,
ST MARTIN DE PORRES ADDITION
AN ADDITION TO THE TOWN OF PROSPER,
DOC. NO. 2017-365, PLAT RECORDS DENTON COUNTY, TEXAS

REPLAT
**ST. MARTIN DE PORRES ADDITION
BLOCK A, LOT 2R**
51.880 ACRES
BEING A REVISED CONVEYANCE PLAT OF LOT 1
DOC. NO. 2017-365, AND A REPLAT BEING ALL OF LOT 2
OF DOC. NO. 2017-365
IN THE J. BATES SURVEY, ABST. NO. 1620 &
C.L. SMITH SURVEY, ABST. NO. 1681
TOWN OF PROSPER, DENTON COUNTY, TEXAS
DECEMBER 15, 2025
CASE NO. DEVAPP-25-0081

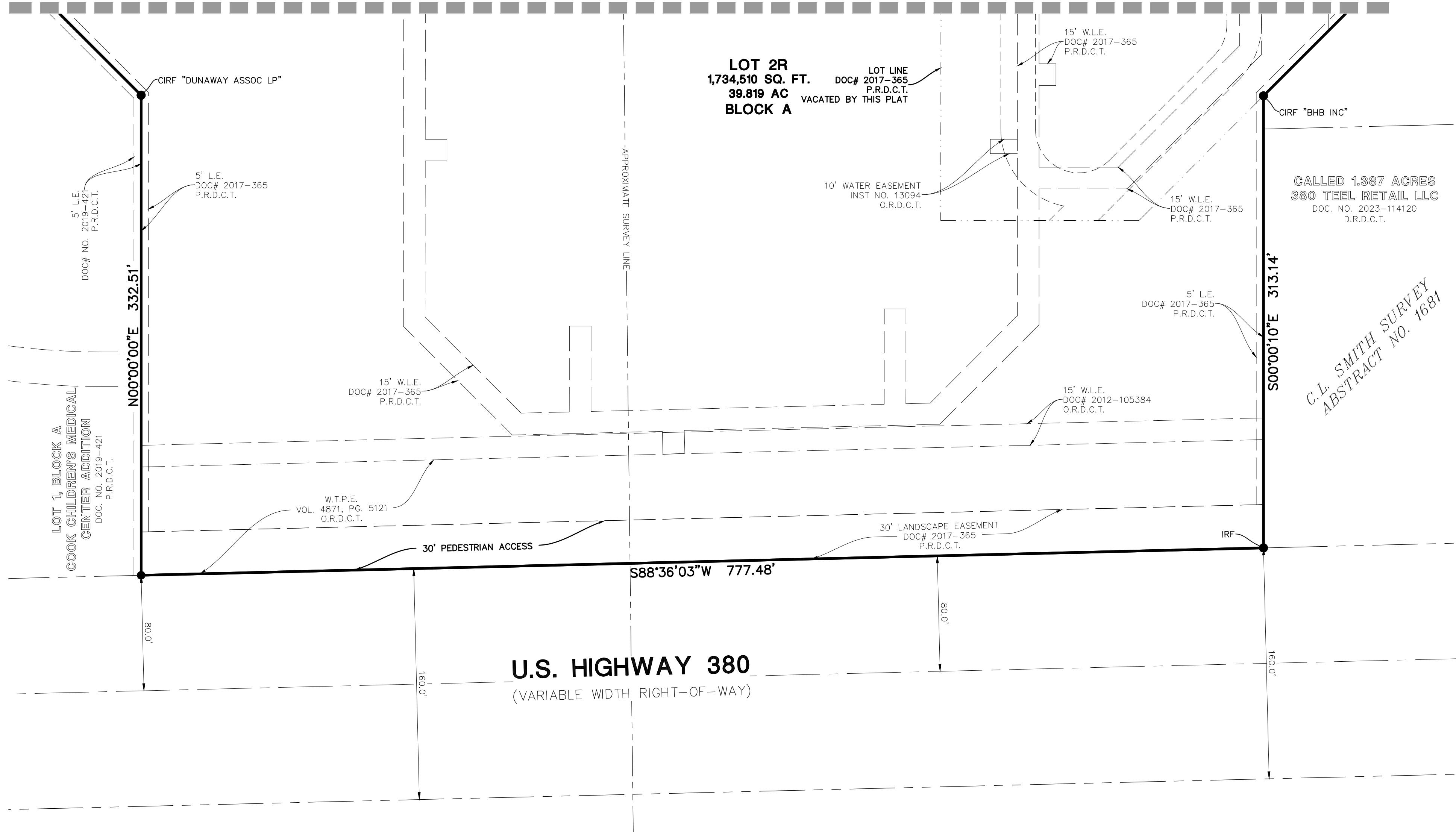
505 Pecan Street, Suite 201, Fort Worth, TX 76102 ph:817.865.5344 manhard.com
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
Construction Managers | Environmental Scientists | Landscape Architects | Planners
Texas Board of Professional Engineers & Land Surveyors Reg. No. F-10194754 (Surv), F-21732 (Eng)

PROJ. MGR.:	JLD	ISSUE DATE:	12/15/25	CODE:		SHEET	
DRAWN BY:	JLM	SCALE:	1" = 50'		616.157001.02	3	OF 5

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LINE TABLE		
	BEARING	LENGTH
L61	N75°32'30"E	23.72'
L62	S89°30'09"E	28.40'
L63	S81°41'49"E	22.21'
L64	S85°30'16"E	35.61'
L65	S88°20'00"E	25.45'
L66	S82°33'33"E	38.81'
L67	S74°26'49"E	35.18'
L68	S57°56'26"E	39.05'
L69	S38°10'54"E	17.98'
L70	S19°20'21"E	52.58'
L71	S44°27'29"E	17.63'
L72	S83°39'56"E	22.57'
L73	N83°56'30"E	15.38'
L74	S81°03'14"E	24.25'
L75	N60°00'00"E	84.00'
L76	N60°00'00"E	78.20'
L77	N89°09'57"E	15.86'
L78	S85°58'28"E	86.82'
L79	N90°00'00"E	123.83'
L80	N90°00'00"E	23.58'
L81	S00°00'00"E	24.00'
L82	N90°00'00"E	21.68'
L83	N00°00'00"E	10.41'
L84	N00°00'00"E	58.30'
L85	N90°00'00"E	23.80'
L86	N00°00'00"E	15.00'
L87	N90°00'00"E	23.80'
L88	S00°00'00"E	15.00'



OWNER’S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS, CATHOLIC DIOCESE OF FORT WORTH, AND COOK CHILDREN'S HEALTH CARE SYSTEM ARE THE OWNERS OF A TRACT OF LAND SITUATED IN THE J. BATES SURVEY, ABSTRACT NO. 1620 & THE C.L. SMITH SURVEY, ABSTRACT NO. 1681, DENTON COUNTY, TEXAS AND BEING ALL OF FINAL PLAT, LOT 2 AND LOT 4, BLOCK A, ST. MARTIN DE PORRES AND CONVEYANCE PLAT, LOT 1 AND LOT 3, BLOCK A, ST. MARTIN DE PORRES, AN ADDITION TO THE CITY OF PROSPER, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NO. 2017-365, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD WITH A YELLOW CAP STAMPED "BHB INC" (BHB INC CAP) FOUND AT THE MOST WESTERLY AND SOUTH CORNER OF SAID LOT 2, BLOCK A, ALSO BEING THE NORTHWEST CORNER OF SAID LOT 4, BLOCK A, COOK CHILDREN'S MEDICAL CENTER ADDITION, AN ADDITION TO THE CITY OF PROSPER, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2019-421, PLAT RECORDS, DENTON COUNTY, TEXAS;

THENCE NORTH 00°13'32" WEST, A DISTANCE OF 52.83 FEET ALONG THE WEST LINE OF SAID LOT 2, BLOCK A, AND THE EAST RIGHT-OF-WAY LINE OF GOOD HOPE ROAD, TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WINDSONG PARKWAY ACCORDING TO THE FINAL PLAT WINDSONG RANCH PHASE 1A, RECORDED IN DOCUMENT NUMBER 2014-248, PLAT RECORDS, DENTON COUNTY, TEXAS, BEING A FOUND BHB INC CAP FOR THE BEGINNING OF A NON-TANGENT CURVE;

THENCE ALONG SAID WEST LINES OF SAID LOT 2, BLOCK A, SAID LOT 1, BLOCK A, AND THE EAST RIGHT-OF-WAY LINE OF SAID WINDSONG PARKWAY, WITH SAID NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 656.00 FEET, A CENTRAL ANGLE OF 11°24'51", AN ARC LENGTH OF 130.69 FEET, THE CHORD OF WHICH BEARS NORTH 01°34'16" EAST, A DISTANCE OF 130.47 FEET TO A SET MANHARD CAP FOR THE BEGINNING OF A NON-TANGENT CURVE;

THENCE ALONG SAID WEST LINE OF SAID LOT 1, BLOCK A, WITH SAID NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 226.50 FEET, A CENTRAL ANGLE OF 08°26'52", AN ARC LENGTH OF 33.40 FEET, THE CHORD OF WHICH BEARS NORTH 08°27'49" WEST, A DISTANCE OF 33.37 FEET TO A SET MANHARD CAP FOR THE BEGINNING OF A NON-TANGENT LINE;

THENCE DEPARTING SAID EAST RIGHT-OF-WAY LINE, CONTINUING ALONG THE WESTERLY AND NORTHERLY LINE OF SAID LOT 1, BLOCK A, THE FOLLOWING THIRTY-SIX(36) CALLS:

1. NORTH 00°21'42" WEST, A DISTANCE OF 118.64 FEET TO A SET MANHARD CAP;
2. NORTH 14°07'17" EAST, A DISTANCE OF 83.38 FEET TO A SET MANHARD CAP;
3. NORTH 36°24'42" EAST, A DISTANCE OF 122.80 FEET TO A SET MANHARD CAP;
4. NORTH 63°00'07" EAST, A DISTANCE OF 62.17 FEET TO A SET MANHARD CAP;
5. NORTH 38°13'44" EAST, A DISTANCE OF 51.46 FEET TO A SET MANHARD CAP;
6. NORTH 70°01'53" EAST, A DISTANCE OF 172.36 FEET TO A SET MANHARD CAP;
7. NORTH 48°06'12" EAST, A DISTANCE OF 45.28 FEET TO A SET MANHARD CAP;
8. NORTH 27°59'58" EAST, A DISTANCE OF 40.16 FEET TO A SET MANHARD CAP;
9. NORTH 66°02'31" EAST, A DISTANCE OF 18.53 FEET TO A SET MANHARD CAP;
10. SOUTH 89°51'37" EAST, A DISTANCE OF 15.62 FEET TO A SET MANHARD CAP;
11. SOUTH 70°26'59" EAST, A DISTANCE OF 24.93 FEET TO A SET MANHARD CAP;
12. SOUTH 82°07'55" EAST, A DISTANCE OF 15.81 FEET TO A SET MANHARD CAP;
13. SOUTH 55°16'31" EAST, A DISTANCE OF 70.84 FEET TO A SET MANHARD CAP;
14. SOUTH 74°10'10" EAST, A DISTANCE OF 93.31 FEET TO A SET MANHARD CAP;
15. SOUTH 50°24'15" EAST, A DISTANCE OF 26.68 FEET TO A SET MANHARD CAP;
16. NORTH 77°35'49" EAST, A DISTANCE OF 263.50 FEET TO A SET MANHARD CAP;
17. SOUTH 42°38'33" EAST, A DISTANCE OF 20.94 FEET TO A SET MANHARD CAP;
18. SOUTH 70°03'22" EAST, A DISTANCE OF 125.09 FEET TO A SET MANHARD CAP;
19. SOUTH 28°52'04" EAST, A DISTANCE OF 81.03 FEET TO A SET MANHARD CAP;
20. SOUTH 67°37'26" EAST, A DISTANCE OF 70.47 FEET TO A SET MANHARD CAP;
21. SOUTH 86°09'39" EAST, A DISTANCE OF 30.78 FEET TO A SET MANHARD CAP;
22. SOUTH 01°24'18" EAST, A DISTANCE OF 12.06 FEET TO A SET MANHARD CAP;
23. SOUTH 75°48'28" EAST, A DISTANCE OF 33.88 FEET TO A SET MANHARD CAP;
24. SOUTH 39°49'49" EAST, A DISTANCE OF 44.34 FEET TO A SET MANHARD CAP;
25. SOUTH 61°58'35" EAST, A DISTANCE OF 42.40 FEET TO A SET MANHARD CAP;
26. SOUTH 65°08'42" EAST, A DISTANCE OF 29.94 FEET TO A SET MANHARD CAP;
27. SOUTH 51°21'53" EAST, A DISTANCE OF 20.55 FEET TO A SET MANHARD CAP;
28. SOUTH 08°55'22" EAST, A DISTANCE OF 38.22 FEET TO A SET MANHARD CAP;
29. SOUTH 27°16'33" EAST, A DISTANCE OF 18.32 FEET TO A SET MANHARD CAP;
30. SOUTH 38°29'20" EAST, A DISTANCE OF 25.14 FEET TO A SET MANHARD CAP;
31. SOUTH 53°54'59" EAST, A DISTANCE OF 25.98 FEET TO A SET MANHARD CAP;
32. SOUTH 61°22'56" EAST, A DISTANCE OF 39.67 FEET TO A SET MANHARD CAP;
33. SOUTH 65°46'32" EAST, A DISTANCE OF 40.90 FEET TO A SET MANHARD CAP;
34. SOUTH 71°27'46" EAST, A DISTANCE OF 38.03 FEET TO A SET MANHARD CAP;
35. SOUTH 85°07'34" EAST, A DISTANCE OF 20.74 FEET TO A SET MANHARD CAP;
36. NORTH 89°46'50" EAST, A DISTANCE OF 64.46 FEET TO A SET MANHARD CAP;

THENCE NORTH 84°14'51" EAST, A DISTANCE OF 66.71 FEET, ALONG THE NORTHERLY LINES OF SAID LOT 1, BLOCK A, AND SAID LOT 2, BLOCK A, TO A FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "MANHARD CONSULTING" (MANHARD CAP);

THENCE ALONG THE NORTHERLY LINE OF SAID LOT 2, BLOCK A, THE FOLLOWING TWENTY-EIGHT(28) CALLS:

1. NORTH 84°14'51" EAST, A DISTANCE OF 66.71 FEET TO A FOUND MANHARD CAP;
2. NORTH 76°14'53" EAST, A DISTANCE OF 113.15 FEET TO A FOUND MANHARD CAP;
3. SOUTH 89°32'02" EAST, A DISTANCE OF 145.85 FEET TO A FOUND MANHARD CAP;
4. NORTH 84°32'06" EAST, A DISTANCE OF 57.26 FEET TO A FOUND MANHARD CAP;
5. NORTH 77°22'12" EAST, A DISTANCE OF 68.85 FEET TO A FOUND MANHARD CAP;
6. NORTH 76°17'20" EAST, A DISTANCE OF 21.86 FEET TO A FOUND MANHARD CAP;
7. NORTH 63°27'16" EAST, A DISTANCE OF 17.12 FEET TO A FOUND MANHARD CAP;
8. NORTH 48°21'07" EAST, A DISTANCE OF 32.92 FEET TO A FOUND MANHARD CAP;
9. NORTH 31°21'51" EAST, A DISTANCE OF 38.44 FEET TO A FOUND MANHARD CAP;
10. NORTH 33°33'12" EAST, A DISTANCE OF 24.58 FEET TO A FOUND MANHARD CAP;
11. NORTH 60°57'59" EAST, A DISTANCE OF 17.80 FEET TO A FOUND MANHARD CAP;
12. NORTH 77°54'55" EAST, A DISTANCE OF 10.61 FEET TO A FOUND MANHARD CAP;
13. SOUTH 89°39'04" EAST, A DISTANCE OF 40.51 FEET TO A FOUND MANHARD CAP;
14. SOUTH 68°35'31" EAST, A DISTANCE OF 20.96 FEET TO A FOUND MANHARD CAP;
15. SOUTH 84°15'14" EAST, A DISTANCE OF 34.50 FEET TO A FOUND MANHARD CAP;
16. SOUTH 88°23'25" EAST, A DISTANCE OF 45.13 FEET TO A FOUND MANHARD CAP;
17. SOUTH 69°01'45" EAST, A DISTANCE OF 122.73 FEET TO A FOUND MANHARD CAP;
18. SOUTH 73°15'15" EAST, A DISTANCE OF 25.19 FEET TO A FOUND MANHARD CAP;
19. SOUTH 77°20'07" EAST, A DISTANCE OF 34.93 FEET TO A FOUND MANHARD CAP;
20. SOUTH 81°15'42" EAST, A DISTANCE OF 35.73 FEET TO A FOUND MANHARD CAP;
21. SOUTH 85°30'07" EAST, A DISTANCE OF 31.46 FEET TO A FOUND MANHARD CAP;
22. NORTH 86°28'14" EAST, A DISTANCE OF 20.04 FEET TO A FOUND MANHARD CAP;
23. SOUTH 80°08'57" EAST, A DISTANCE OF 42.04 FEET TO A FOUND MANHARD CAP;
24. SOUTH 63°27'19" EAST, A DISTANCE OF 20.98 FEET TO A FOUND MANHARD CAP;
25. SOUTH 68°17'59" EAST, A DISTANCE OF 31.37 FEET TO A FOUND MANHARD CAP;
26. SOUTH 71°41'56" EAST, A DISTANCE OF 37.72 FEET TO A FOUND MANHARD CAP;
27. NORTH 88°59'12" EAST, A DISTANCE OF 27.91 FEET TO A FOUND MANHARD CAP;
28. SOUTH 72°40'07" EAST, A DISTANCE OF 57.37 FEET TO A FOUND MANHARD CAP;

THENCE NORTH 82°22'56" EAST, A DISTANCE OF 31.65 FEET, ALONG THE NORTHERLY LINES OF SAID LOT 2, BLOCK A, AND SAID LOT 4, BLOCK A, TO A SET MANHARD CAP;

THENCE ALONG THE NORTHERLY LINE OF SAID LOT 4, BLOCK A, THE FOLLOWING TWENTY-THREE(23) CALLS

1. NORTH 82°22'56" EAST, A DISTANCE OF 31.65 FEET TO A SET MANHARD CAP;
2. SOUTH 72°58'53" EAST, A DISTANCE OF 44.69 FEET TO A SET MANHARD CAP;
3. SOUTH 82°51'48" EAST, A DISTANCE OF 36.91 FEET TO A SET MANHARD CAP;
4. SOUTH 87°03'23" EAST, A DISTANCE OF 33.63 FEET TO A SET MANHARD CAP;
5. NORTH 86°51'58" EAST, A DISTANCE OF 36.11 FEET TO A SET MANHARD CAP;
6. NORTH 75°32'30" EAST, A DISTANCE OF 23.72 FEET TO A SET MANHARD CAP;
7. SOUTH 89°30'09" EAST, A DISTANCE OF 28.40 FEET TO A SET MANHARD CAP;
8. SOUTH 81°41'49" EAST, A DISTANCE OF 22.21 FEET TO A SET MANHARD CAP;
9. SOUTH 85°30'16" EAST, A DISTANCE OF 35.61 FEET TO A SET MANHARD CAP;
10. SOUTH 88°20'00" EAST, A DISTANCE OF 25.45 FEET TO A SET MANHARD CAP;
11. SOUTH 82°33'33" EAST, A DISTANCE OF 38.11 FEET TO A SET MANHARD CAP;
12. SOUTH 73°55'43" EAST, A DISTANCE OF 120.74 FEET TO A SET MANHARD CAP;
13. SOUTH 74°26'49" EAST, A DISTANCE OF 35.89 FEET TO A SET MANHARD CAP;
14. SOUTH 57°56'26" EAST, A DISTANCE OF 39.05 FEET TO A SET MANHARD CAP;
15. SOUTH 38°10'54" EAST, A DISTANCE OF 17.58 FEET TO A SET MANHARD CAP;
16. SOUTH 19°20'21" EAST, A DISTANCE OF 52.98 FEET TO A SET MANHARD CAP;
17. SOUTH 44°27'29" EAST, A DISTANCE OF 17.63 FEET TO A SET MANHARD CAP;

18. SOUTH 83°39'56" EAST, A DISTANCE OF 22.37 FEET TO A SET MANHARD CAP;
19. NORTH 83°53'06" EAST, A DISTANCE OF 15.58 FEET TO A SET MANHARD CAP;
20. SOUTH 61°03'14" EAST, A DISTANCE OF 24.25 FEET TO A SET MANHARD CAP;
21. NORTH 60°00'00" EAST, A DISTANCE OF 84.00 FEET TO A SET MANHARD CAP FOR THE BEGINNING OF A TANGENT A CURVE;
22. ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 129.00 FEET, A CENTRAL ANGLE OF 30°00'08", AN ARC LENGTH OF 67.55 FEET, THE CHORD OF WHICH BEARS NORTH 75°00'00" EAST, A DISTANCE OF 66.78 FEET TO A SET MANHARD CAP FOR THE BEGINNING OF A TANGENT LINE;
23. NORTH 90°00'00" EAST, A DISTANCE OF 78.20 FEET TO A SET MANHARD CAP BEING THE NORTHEAST CORNER OF SAID LOT 4, BLOCK A, AND BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF TEEL PARKWAY (VARIABLE WIDTH RIGHT-OF-WAY);

THENCE SOUTH 00°01'13" EAST, A DISTANCE OF 157.80 FEET, ALONG THE EAST LINE OF SAID LOT 4, BLOCK A AND SAID WEST RIGHT-OF-WAY LINE OF TEEL PARKWAY, TO A SET MANHARD CAP FOR THE SOUTHEAST CORNER OF SAID LOT 4, BLOCK A, AND THE NORTHEAST CORNER OF A CALLED 2.030 ACRE TRACT OF LAND DESCRIBED BY DEED TO ALPHA 19 LLC., RECORDED IN DOCUMENT NUMBER 2024-986851, DEED RECORDS, DENTON COUNTY, TEXAS;

THENCE NORTH 89°49'59" WEST, A DISTANCE OF 875.50 FEET ALONG THE SOUTHERLY LINES OF SAID LOT 4, BLOCK A, AND LOT 2, BLOCK A, ALSO BEING THE NORTHERLY LINE OF SAID CALLED 2.030 ACRE TRACT OF LAND, ALSO BEING THE NORTHERLY LINE OF A CALLED 1.026 ACRE TRACT OF LAND DESCRIBED BY DEED TO VOSR POA11 LLC., RECORDED IN DOCUMENT NUMBER 2025-57688, DEED RECORDS, DENTON COUNTY, TEXAS, ALSO BEING THE NORTHERLY LINE OF A CALLED 1.309 ACRE TRACT OF LAND DESCRIBED BY DEED TO VARS ESTATE 11 LLC., RECORDED IN DOCUMENT NUMBER 2025-57685, DEED RECORDS, DENTON COUNTY, TEXAS, TO A FOUND 5/8" IRON ROD WITH ILLEGIBLE CAP FOR THE NORTHWEST CORNER OF SAID 1.309 ACRE TRACT OF LAND;

THENCE SOUTH 44°59'56" WEST, A DISTANCE OF 698.55 FEET ALONG THE WESTERLY LINE OF SAID 1.309 ACRE TRACT, ALSO BEING THE WESTERLY LINE OF A CALLED 2.853 ACRE TRACT OF LAND DESCRIBED BY DEED TO VINESSA PROPERTIES LP., RECORDED IN DOCUMENT NUMBER 2025-17640, DEED RECORDS, DENTON COUNTY, TEXAS, TO A FOUND "BHB INC" CAP FOR THE NORTHEAST CORNER OF SAID LOT 3, BLOCK A ALSO BEING A NORTHWESTERLY CORNER OF SAID CALLED 2.853 ACRE TRACT AND SAID 21.886 ACRE TRACT;

THENCE SOUTH 00°00'10" EAST, A DISTANCE OF 313.14 FEET ALONG THE EASTERLY LINE OF SAID LOT 3, BLOCK A, AND THE WESTERLY LINES OF SAID 2.853 ACRE TRACT, AND THE WESTERLY LINE OF A CALLED 1.387 ACRE TRACT OF LAND DESCRIBED BY DEED TO 380 TEEL RETAIL LLC., RECORDED IN DOCUMENT NUMBER 2023-114120, DEED RECORDS, DENTON COUNTY, TEXAS, TO A FOUND IRON ROD FOR THE SOUTHEAST CORNER OF SAID LOT 3, BLOCK A, ALSO BEING THE SOUTHWEST CORNER OF SAID CALLED 1.387 ACRE TRACT, BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 380, A VARIABLE WIDTH RIGHT-OF-WAY;

THENCE SOUTH 88°36'03" WEST, A DISTANCE OF 777.48 FEET, ALONG THE SOUTH LINE OF SAID LOT 3, BLOCK A, AND THE NORTH RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY 380 TO A SET MANHARD CAP FOR THE SOUTHWEST CORNER OF SAID LOT 3, BLOCK A, ALSO BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK A, COOK CHILDREN'S MEDICAL CENTER ADDITION;

THENCE DEPARTING SAID SOUTH LINE AND SAID NORTH RIGHT-OF-WAY LINE, NORTH 00°00'00" EAST, A DISTANCE OF 332.51 FEET ALONG THE WEST LINE OF SAID LOT 3, BLOCK A, AND THE EAST LINE OF SAID LOT 1, BLOCK A, COOK CHILDREN'S MEDICAL CENTER ADDITION, TO A FOUND 5/8" IRON ROD WITH PLASTIC CAP STAMPED "DUNAWAY ASSOC LP";

THENCE NORTH 44°59'52" WEST, A DISTANCE OF 653.24 FEET ALONG THE WESTERLY LINES OF SAID LOT 3, BLOCK A, AND SAID LOT 2, BLOCK A, AND THE NORTHWESTERLY LINE OF SAID LOT 1, BLOCK A, COOK CHILDREN'S MEDICAL CENTER ADDITION, TO A FOUND 5/8" IRON ROD WITH PLASTIC CAP STAMPED "DUNAWAY ASSOC LP";

THENCE NORTH 89°59'52" WEST, A DISTANCE OF 960.12 FEET, ALONG THE SOUTHERLY LINE OF SAID LOT 2, BLOCK A, AND THE NORTHERLY LINE OF SAID LOT 1, BLOCK A, COOK CHILDREN'S MEDICAL CENTER ADDITION TO THE **POINT OF BEGINNING**, CONTAINING A CALCULATED AREA OF 2,259,878 SQUARE FEET OR 51.880 ACRES, MORE OR LESS.

NOW, THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

THAT, CATHOLIC DIOCESE OF FORT WORTH AND COOK CHILDREN'S HEALTH CARE SYSTEM ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY CERTIFY AND ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS **REVISED CONVEYANCE PLAT ST. MARTIN DE PORRES ADDITION BLOCK A, LOT 1, AND REPLAT ST. MARTIN DE PORRES ADDITION BLOCK A, LOT 2R, AN ADDITION TO THE TOWN OF PROSPER**, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON. THE CATHOLIC DIOCESE OF FORT WORTH DOES HEREBY CERTIFY THE FOLLOWING:

1. THE STREETS AND ALLEYS ARE HEREBY DEDICATED FOR STREET AND ALLEY PURPOSES.
2. ALL PUBLIC IMPROVEMENTS AND DEDICATIONS SHALL BE FREE AND CLEAR OF ALL DEBT, LIENS, AND/OR ENCUMBRANCES.
3. THE EASEMENTS AND PUBLIC USE AREAS SHOWN ARE DEDICATED TO THE PUBLIC USE FOREVER FOR THE PURPOSES INDICATED ON THIS PLAT.
4. NO BUILDING, FENCE, TREE, SHRUB, OR OTHER IMPROVEMENT OR GROWTH SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED WITHIN LANDSCAPE EASEMENTS IF APPROVED BY THE TOWN OF PROSPER.
5. THE TOWN OF PROSPER SHALL NOT BE RESPONSIBLE FOR REPLACING ANY IMPROVEMENTS IN, UNDER, OR OVER ANY EASEMENT THAT ARE DAMAGED OR REMOVED DUE TO MAINTENANCE OR REPAIR.
6. UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME, UNLESS THE EASEMENT LIMITS USE TO PARTICULAR UTILITIES. SUCH USE BY THE PUBLIC UTILITIES SHALL BE SUBORDINATE TO THE PUBLIC'S AND THE TOWN OF PROSPER'S USE THEREOF.
7. THE TOWN OF PROSPER AND PUBLIC UTILITIES SHALL HAVE THE RIGHT TO REMOVE, AND KEEP REMOVED, ALL OR PART OF ANY BUILDING, FENCE, TREE, SHRUB, OR OTHER IMPROVEMENT OR GROWTH WHICH MAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS WITHIN THE EASEMENTS.
8. THE TOWN OF PROSPER AND PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS, WITHOUT THE NECESSITY OF OBTAINING PERMISSION FROM ANYONE.
9. ANY MODIFICATION OF THIS DOCUMENT SHALL BE BY PLAT AND APPROVED BY THE TOWN OF PROSPER.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF PROSPER, TEXAS.

WITNESS, MY HAND, THIS ____ DAY OF _____, 202__.

BY:

AUTHORIZED SIGNATURE _____ PRINTED NAME AND TITLE _____

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON AND OFFICER WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 202__.

NOTARY PUBLIC, STATE OF TEXAS

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF PROSPER, TEXAS.

WITNESS, MY HAND, THIS ____ DAY OF _____, 202__.

BY:

AUTHORIZED SIGNATURE _____ PRINTED NAME AND TITLE _____

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON AND OFFICER WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 202__.

NOTARY PUBLIC, STATE OF TEXAS

BASIS OF BEARINGS

COORDINATES(GRID) AND BEARINGS ARE BASED UPON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NORTH CENTRAL ZONE (4202).

TOWN OF PROSPER EASEMENT NOTES

ACCESS EASEMENT

THE UNDERSIGNED COVENANTS AND AGREES THAT THE ACCESS EASEMENT(S) MAY BE UTILIZED BY ANY PERSON OF THE GENERAL PUBLIC FOR INGRESS AND EGRESS TO OTHER REAL PROPERTY, AND FOR THE PURPOSE OF GENERAL PUBLIC VEHICULAR USE AND ACCESS, AND FOR THE FIRE DEPARTMENT, POLICE, AND EMERGENCY USE IN, ALONG, UPON, AND ACROSS SAID PREMISES, WITH THE RIGHT AND PRIVILEGE AT ALL TIME OF THE TOWN OF PROSPER, ITS AGENTS, EMPLOYEES, WORKMEN AND REPRESENTATIVES HAVING INGRESS, EGRESS, AND REGRESS IN, ALONG, UPON, AND ACROSS SAID PREMISES.

FIRE LANE EASEMENT

THE UNDERSIGNED COVENANTS AND AGREES THAT HE (THEY) SHALL CONSTRUCT UPON THE FIRE LANE EASEMENTS, AS DEDICATED AND SHOWN HEREON, A HARD SURFACE PAVED IN ACCORDANCE WITH TOWN STANDARDS AND THAT HE (THEY) SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEEP THE SAME FREE AND CLEAR OF ANY STRUCTURES, FENCED TREES, SHRUBS, OR OTHER IMPROVEMENTS OR OBSTRUCTION, INCLUDING BUT NOT LIMITED TO THE PARKING, LOADING, OR UNLOADING OF MOTOR VEHICLES, TRAILERS, BOATS, OR OTHER IMPEDIMENTS TO THE ACCESS OF FIRE APPARATUS. THE MAINTENANCE OF PAVEMENT IN ACCORDANCE TO TOWN STANDARDS OF THE FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE OWNER, AND THE OWNER SHALL POST AND MAINTAIN SIGNAGE IN ACCORDANCE TO TOWN STANDARDS IN CONSPICUOUS PLACES ALONG THE FIRE LANES, STATING FIRE LANE, NO PARKING. THE POLICE OR THEIR DULY AUTHORIZED REPRESENTATIVE IS HEREBY AUTHORIZED TO CAUSE SUCH FIRE LANES AND UTILITY EASEMENTS TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY USE.

LANDSCAPE EASEMENT

THE UNDERSIGNED COVENANTS AND AGREES THAT THE LANDSCAPE EASEMENT AND RESTRICTIONS HEREIN SET FORTH SHALL RUN WITH THE LAND AND BE BINDING ON THE OWNER(S) OF THE PROPERTY IN THIS SUBDIVISION, THEIR SUCCESSORS AND ASSIGNS, AND ALL PARTIES CLAIMING BY, THROUGH AND UNDER THEM. IN THE EVENT A REPLAT IS REQUESTED ON ALL OR PART OF THIS PROPERTY, THE TOWN MAY REQUIRE ANY SIMILAR OR ADDITIONAL RESTRICTIONS AT ITS SOLE DISCRETION. THE SOLE RESPONSIBILITY FOR MAINTENANCE AND REPLACEMENT OF LANDSCAPE MATERIALS THEREOF SHALL BE BORNE BY ANY HOMEOWNERS' ASSOCIATION HEREAFTER ESTABLISHED FOR THE OWNERS OF LOTS IN THIS SUBDIVISION AND/OR THE OWNER OF THE INDIVIDUAL LOTS WITHIN THIS SUBDIVISION. SUCH MAINTENANCE AND REPLACEMENT SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS, STANDARDS, AND SPECIFICATIONS OF THE TOWN OF PROSPER, AS PRESENTLY IN EFFECT OR AS MAY BE HEREAFTER AMENDED. THIS PROVISION MAY BE ENFORCED BY SPECIFIC PERFORMANCE OR BY ANY OTHER REMEDY ALLOWED BY LAW. THIS LANDSCAPE EASEMENT SHALL BE VOID OF UTILITIES AND OTHER ELEMENTS UNLESS OTHERWISE APPROVED ON THE PLAT.

STANDARD NOTES

1. NO 100-YEAR FLOODPLAIN EXISTS ON THE SITE.
2. NOTICE: SELLING A PORTION OF ADDITION BY METES AND BOUNDS IS A VIOLATION OF TOWN ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
3. THE PURPOSE OF THIS **REVISED CONVEYANCE PLAT AND REPLAT** IS TO CHANGE THE EXISTING LOT CONFIGURATION FOR ST. MARTIN DE PORRES BY REVISING LOT 1, BLOCK A AND COMBINING LOTS 2, 3, AND 4, BLOCK A INTO LOT 2R, BLOCK A. ABANDON DRAINAGE EASEMENTS, CROSS ACCESS EASEMENTS, AND A PORTION OF A FIRE LANE, ACCESS, DRAINAGE, AND UTILITY EASEMENT. CREATE ADDITIONAL FIRE LANE, ACCESS, DRAINAGE, AND UTILITY EASEMENTS, A WATER LINE EASEMENT, AND A PEDESTRIAN EASEMENT.
4. ALL DISTANCES SHOWN ARE AT SURFACE, USING A COMBINED SCALE FACTOR OF 1.00015063.
5. AND COORDINATES SHOWN ARE AT GRID.
6. NOTICE: A CONVEYANCE PLAT IS A RECORD OF PROPERTY APPROVED BY THE TOWN OF PROSPER, TEXAS, FOR THE PURPOSE OF SALE OR CONVEYANCE IN ITS ENTIRETY OR INTEREST THEREON DEFINED. NO BUILDING PERMIT SHALL BE ISSUED NOR PERMANENT PUBLIC UTILITY SERVICE PROVIDED UNTIL A FINAL PLAT IS APPROVED AND PUBLIC IMPROVEMENTS APPROVED IN ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION ORDINANCE OF THE TOWN OF PROSPER."

SURVEYOR’S CERTIFICATE

KNOWN ALL MEN BY THESE PRESENTS:

THAT I, JEREMY LUKE DEAL, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT AND THE FIELD NOTES MADE A PART THEREOF FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATION OF THE TOWN OF PROSPER, TEXAS.

DATED THIS ____ DAY OF _____, 202__.

NAME, TITLE & REGISTRATION NO.

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON AND OFFICER WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 202__.

NOTARY PUBLIC, STATE OF TEXAS

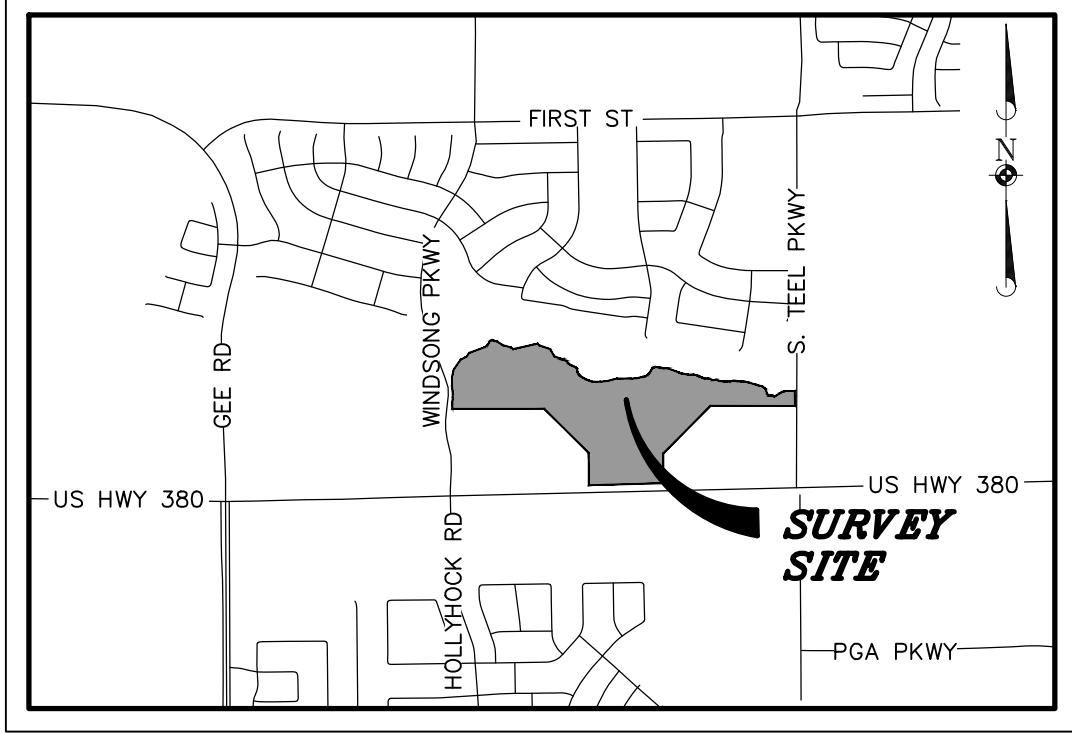
CERTIFICATE OF APPROVAL

APPROVED THIS ____ DAY OF _____, 202__ BY THE PLANNING & ZONING COMMISSION OF THE TOWN OF PROSPER, TEXAS.

TOWN SECRETARY

ENGINEERING DEPARTMENT

DEVELOPMENT SERVICES DEPARTMENT



VICINITY MAP
1" = 2000'

REVISED CONVEYANCE PLAT
**ST. MARTIN DE PORRES ADDITION
BLOCK A, LOT 1**
BEING A PORTION OF LOT 1, BLOCK A,
ST MARTIN DE PORRES ADDITION
AN ADDITION TO THE TOWN OF PROSPER,
DOC. NO. 2017-365, PLAT RECORDS DENTON COUNTY, TEXAS

REPLAT
**ST. MARTIN DE PORRES ADDITION
BLOCK A, LOT 2R**
51.880 ACRES
BEING A REVISED CONVEYANCE PLAT OF LOT 1
DOC. NO. 2017-365, AND A REPLAT BEING ALL OF LOT 2
OF DOC. NO. 2017-365
IN THE J. BATES SURVEY, ABST. NO. 1620 &
C.L. SMITH SURVEY, ABST. NO. 1681
TOWN OF PROSPER, DENTON COUNTY, TEXAS
DECEMBER 15, 2025
CASE NO. DEVAPP-25-0081



Manhard
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Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
Construction Managers | Environmental Scientists | Landscape Architects | Planners
Texas Board of Professional Engineers & Land Surveyors Reg. No. F-10194754 (Surv), F-21732 (Eng)

PROJ. MGR.: JLD	ISSUE DATE: 12/15/25	CODE: 616.157001.02	SHEET 5 of 5
DRAWN BY: JLM	SCALE: N/A		