

ABBR.	DEFINITION	LP	LIGHT POLE
AC	AIR CONDITIONER	MAG	MAG NAIL SET WITH SHINER STAMPED
BILLB	BILLBOARD	MB	"W.A.I. R.P.L.S. 5714"
BOL	BOLLARD	MH	MAIL BOX
C	COMMUNICATION	MP	METAL POST
CC#	COUNTY CLERK'S FILE NO.	OHL	OVERHEAD LINES
CIRF	IRON ROD FOUND WITH CAP	PF	PK NAIL FOUND
CIRS	IRON ROD SET W/ CAP STAMPED "W.A.I. 5714"	PKF	PK NAIL SET
CM	CONTROLLING MONUMENT	PM	PAINT MARK
CO	CLEANOUT	PP	POWER POLE
DS	DOWNSPOUT	SB	SIGNAL BOX
E	ELECTRIC	SN	SIGN
EB	ELECTRIC BOX	SP	SIGNAL POLE
EM	ELECTRIC METER	SS	SANITARY SEWER
FH	FIRE HYDRANT	SW	STORM WATER
FOMK	FIBER OPTIC MARKER	TMK	TELEPHONE MARKER
FP	FLAG POLE	TP	TRANSFORMER PAD
G	GRATE INLET	TSN	TRAFFIC SIGN
GL	GROUND LIGHT	UGC	UNDERGROUND CABLE MARKER
GM	GAS METER	W	WATER
GMK	GAS MARKER	WM	WATER METER
GR	GAS RISER	WP	WOOD POST
GV	GAS VALVE	WV	WATER VALVE
GW	GUY WIRE	XCF	"X" CUT IN CONCRETE FOUND
HI	BUILDING HEIGHT	XCS	"X" CUT IN CONCRETE SET
HC	HANDICAPPED		
ICV	IRRIGATION CONTROL VALVE		
IN	INLET		
IRF	IRON ROD FOUND		

#### ABBREVIATION LEGEND

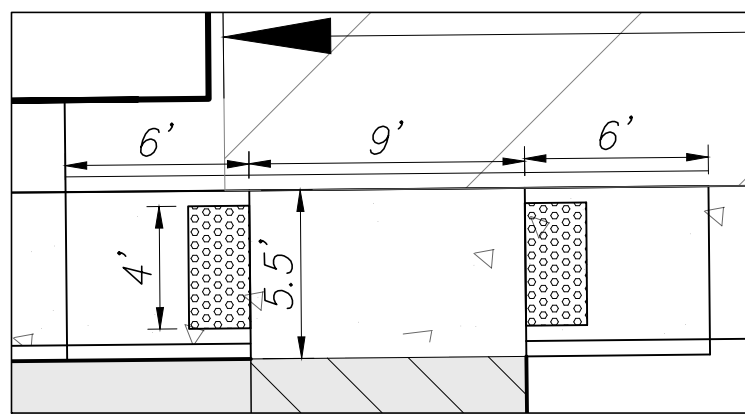
#### BENCH MARKS:

BM#1 - "X" cut center of the North end of median nose in Armstrong Land just South of Prosper Trail and being Southwest  $\pm 178.5$  feet from the Southwest property corner.

ELEVATION - 613.09 feet

BM#2 - "X" cut top of curb, West curb line of Shawnee Trail,  $\pm 30.1$  feet North of the Northeast property corner.

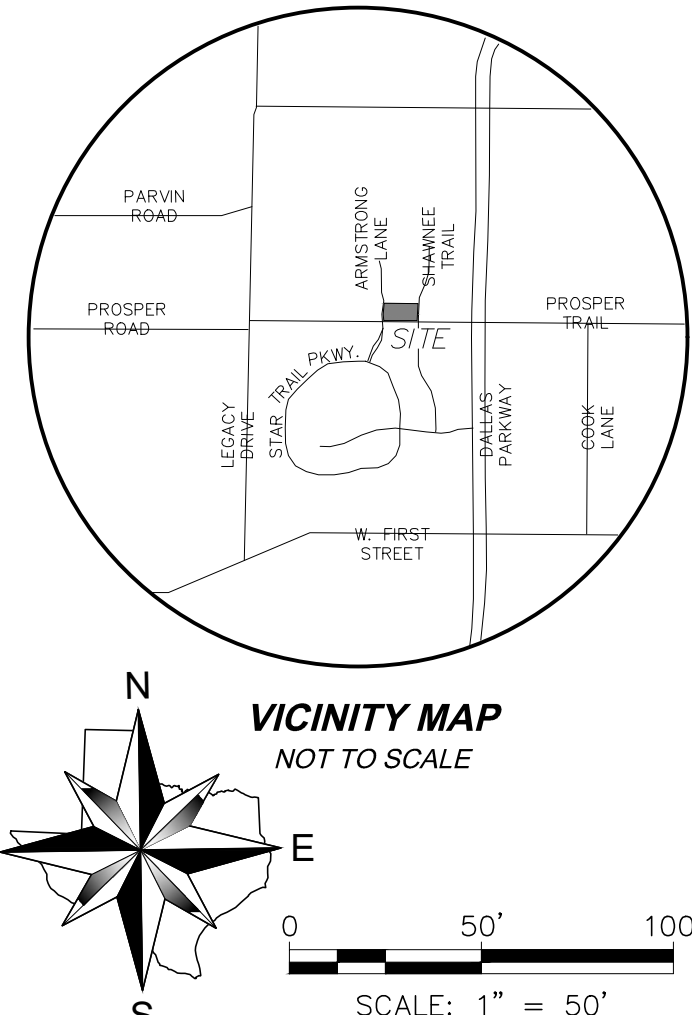
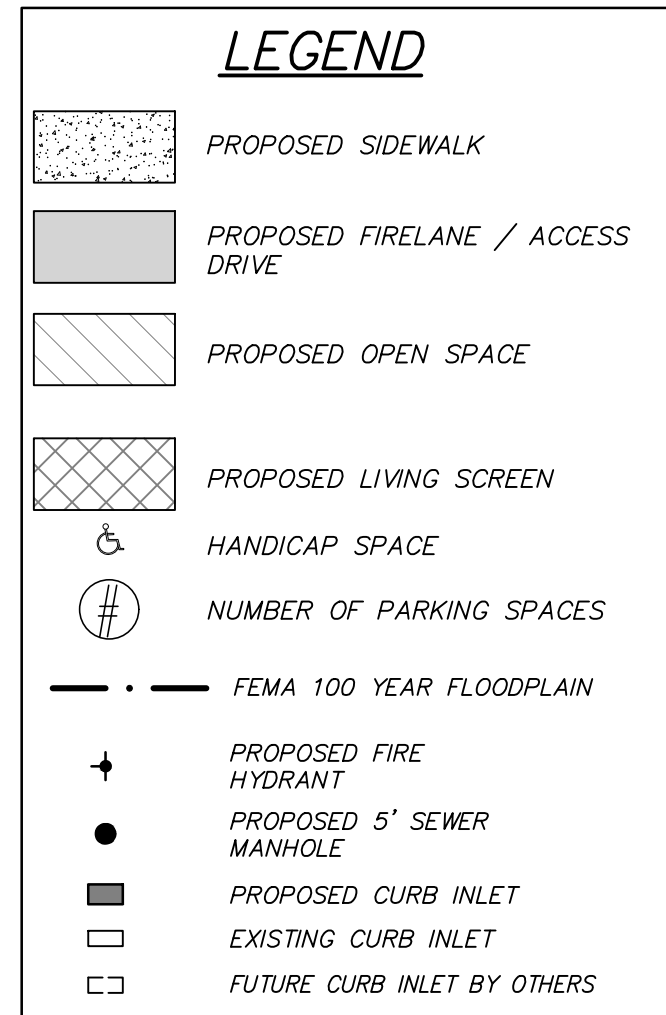
ELEVATION - 616.07 feet



PRIVATE SIDEWALK ADA RAMP  
(TYP.)  
N.T.S.

#### SITE PLAN NOTES:

- 1) ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE STATED.
- 2) ALL RADIUS ARE 3' UNLESS OTHERWISE STATED.
- 3) THERE ARE CURRENTLY NO TREES ON SITE, THEREFORE A TREE SURVEY WAS NOT PROVIDED.
- 4) HVAC SCREEN WALLS (WROUGHT IRON FENCE WITH MASONRY COLUMNS AND EVERGREEN SHRUBS) ARE 4'-6.5"
- 5) ALL PARKING SPACES TO BE 9'X 18', UNLESS OTHERWISE NOTED. NO CURB STOPS ALLOWED ON 18FT PARKING STALLS.

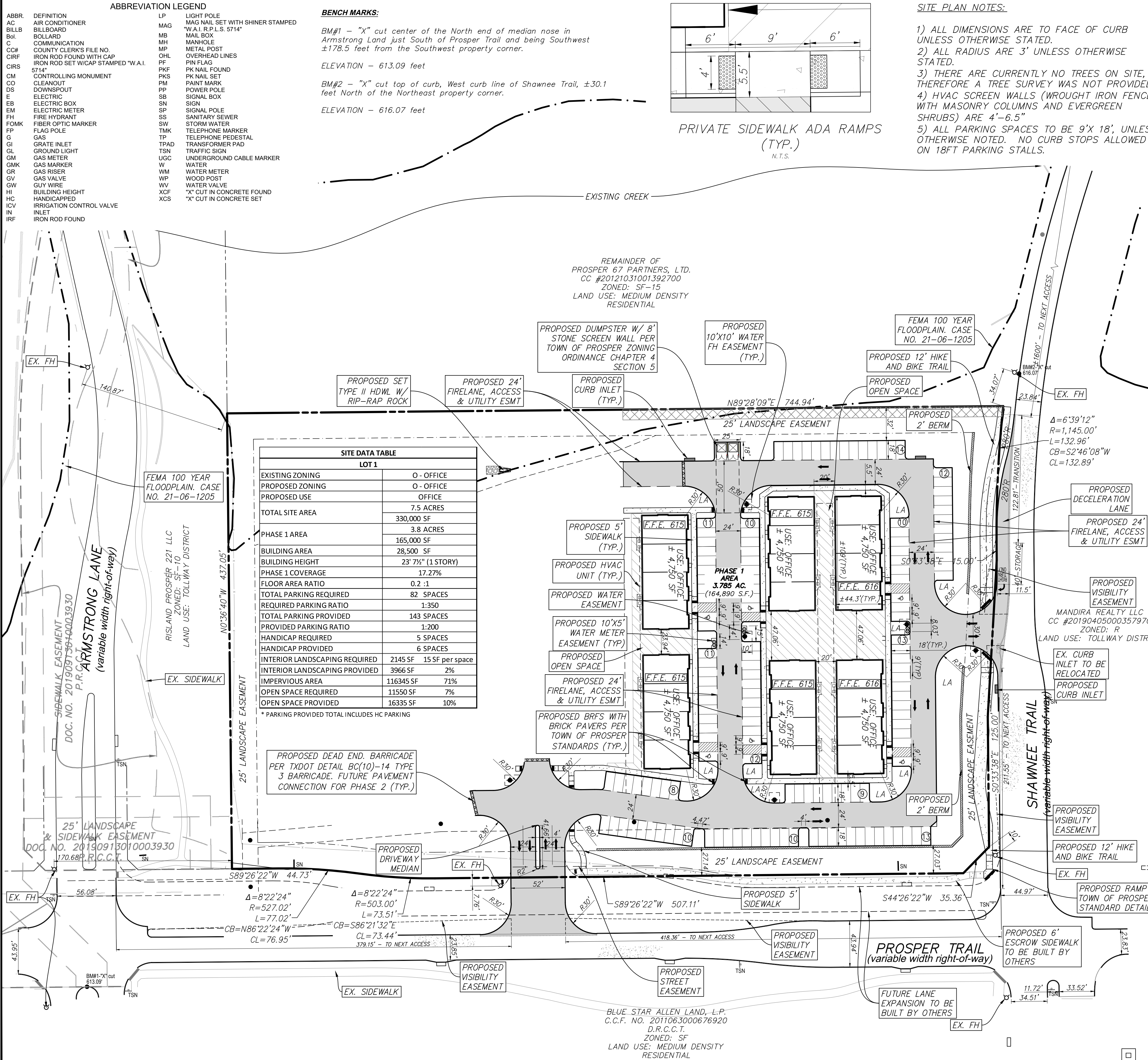


#### TOWN OF PROSPER SITE PLAN NOTES:

- 1) DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED PER THE ZONING ORDINANCE.
- 2) OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED PER THE ZONING ORDINANCE.
- 3) OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
- 4) LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
- 5) ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- 6) BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- 7) OCCUPANT NOTIFICATION PER THIS SECTION AND 507.5 SHALL BE REQUIRED FOR ALL NEW CONSTRUCTION, OR EXISTING CONSTRUCTION COMPLYING WITH THE INTERNATIONAL BUILDING CODE, FOR RENOVATIONS TO EXISTING BUILDINGS, TENANT SPACES, CHANGES IN OCCUPANCY, REPLACEMENT OR MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM, OR AS REQUIRED BY THE FIRE CODE OFFICIAL, FOR ALL BUILDINGS OR SPACES PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
- 8) FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
- 9) TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
- 10) SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- 11) FIRE LANES SHALL BE PROVIDED WITHIN 150 FEET OF ALL EXTERIOR WALLS OF ANY BUILDING FOR HOSE LAY REQUIREMENTS. AMENDMENT 503.1.1
- 12) THE FIRE LANE SHALL BE A MINIMUM OF 24 FEET WIDE. AMENDMENT 503.2.1
- 13) BUILDINGS MORE THAN 30 FEET IN HEIGHT ARE REQUIRED TO HAVE A MINIMUM OF A 26-FOOT WIDE FIRE LANE IN THE IMMEDIATE VICINITY FOR FIREFIGHTING OPERATIONS OF THE BUILDING. ONE OF THE 26-FOOT WIDE FIRE LANES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM THE BUILDING AND NO MORE THAN 30 FEET. APPENDIX D105
- 14) THE INSIDE TURNING RADIUS OF THE 24-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
- 15) THE INSIDE TURNING RADIUS OF THE 26-FOOT FIRE LANE SHALL BE A MINIMUM OF 30 FEET. AMENDMENT 503.2.4
- 16) DEAD-END FIRE LANES ARE ONLY PERMITTED WITH APPROVED HAMMERHEADS.
- 17) FIRE HYDRANTS SHALL BE PROVIDED AT THE ENTRANCES AND INTERSECTIONS. AMENDMENT 507.5.1
- 18) AS PROPERTIES DEVELOP, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND THE MAXIMUM SPACING SHALL BE EVERY 300 FEET (300') FOR ALL DEVELOPMENTS, AND FACILITIES OTHER THAN R-3. R-3 DEVELOPMENTS SHALL BE EVERY 500 FEET (500'). DISTANCES BETWEEN HYDRANTS SHALL BE MEASURED ALONG THE ROUTE THAT FIRE HOSE IS LAID BY A FIRE APPARATUS FROM HYDRANT-TO-HYDRANT, NOT AS THE "CROW FLIES." AMENDMENT 507.5.1
- 19) FIRE DEPARTMENT CONNECTION (FDC) FOR THE FIRE SPRINKLER SYSTEM SHALL BE LOCATED WITHIN 50 FEET OF A FIRE HYDRANT AND 50 FEET OF A FIRE LANE. 5' STORZ, 30-DEGREE DOWNWARD TURN WITH LOCKING CAP. AMENDMENT 507.5.1
- 20) FIRE HYDRANTS SHALL BE LOCATED 2 FOOT (2') TO 6 FOOT (6') BACK FROM THE CURB OR FIRE LANE AND SHALL NOT BE LOCATED IN THE BULB OF A CUL-DE-SAC. AMENDMENT 507.5.1
- 21) THERE SHALL BE A MINIMUM OF TWO (2) FIRE HYDRANTS SERVING EACH PROPERTY WITHIN THE PRESCRIBED DISTANCES LISTED ABOVE. A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED ON EACH LOT. AMENDMENT 507.5.1
- 22) A MINIMUM 10-FOOT UNOBSTRUCTED WIDTH SHALL BE PROVIDED AROUND A BUILDING FOR ADEQUATE FIRE DEPARTMENT ACCESS. A CONTINUOUS ROW OF PARKING AND LANDSCAPING SHALL BE CONSIDERED A BARRIER. AMENDMENT 503.1.1
- 23) THE MAXIMUM DEAD-END CUL-DE-SAC LENGTH SHALL NOT EXCEED SIX HUNDRED FEET (600') AS MEASURED FROM THE CENTERLINE OF THE INTERSECTION STREET TO THE CENTER POINT OF THE RADIUS. AMENDMENT 503.1.5
- 24) ONE- AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SYSTEMS, AUTOMATIC FIRE PROTECTION SYSTEMS PER NFPA 13D OR NFPA 13R SHALL BE PROVIDED IN ALL ONE- AND TWO-FAMILY DWELLINGS WITH A CONDITIONED FLOOR AREA OF 5,500 SQUARE FEET (511 M2) OR GREATER, DWELLINGS THREE (3) STORIES OR GREATER, OR DWELLINGS WITH ROOF HEIGHTS EXCEEDING THIRTY-FIVE FEET (35') FROM GRADE. IRC-2015 AMENDMENT R313.2
- 25) HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENTLY ADOPTED BUILDING CODE.
- 26) ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- 27) ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- 28) ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FAÇADE PLAN.
- 29) SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS AND BARRIER-FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- 30) APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING SERVICES DEPARTMENT.
- 31) SITE PLAN APPROVAL IS REQUIRED BEFORE THE GRADING RELEASE.
- 32) ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- 33) ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW PER THE ZONING ORDINANCE.
- 34) ALL LANDSCAPE EASEMENTS SHALL BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
- 35) IMPACT FEES WILL BE ASSESSED PER THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
- 36) THE APPROVAL OF A SITE PLAN SHALL BE EFFECTIVE FOR EIGHTEEN (18) MONTHS FROM THE DATE OF APPROVAL BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF ENGINEERING PLANS AND BUILDING PERMITS. IF THE ENGINEERING PLANS AND BUILDING PERMITS ARE NOT APPROVED, THE SITE PLAN APPROVAL, TOGETHER WITH ANY PRELIMINARY SITE PLAN FOR THE PROPERTY, IS NULL AND VOID.

SITE DATA TABLE	
LOT 1	
EXISTING ZONING	O - OFFICE
PROPOSED ZONING	O - OFFICE
PROPOSED USE	OFFICE
TOTAL SITE AREA	7.5 ACRES
PHASE 1 AREA	330,000 SF
BUILDING AREA	165,000 SF
BUILDING HEIGHT	23' 7/8" (1 STORY)
PHASE 1 COVERAGE	17.27%
FLOOR AREA RATIO	0.2 : 1
TOTAL PARKING REQUIRED	82 SPACES
REQUIRED PARKING RATIO	1:350
TOTAL PARKING PROVIDED	143 SPACES
PROVIDED PARKING RATIO	1:200
HANDICAP REQUIRED	5 SPACES
HANDICAP PROVIDED	6 SPACES
INTERIOR LANDSCAPING REQUIRED	2145 SF 15 SF per space
INTERIOR LANDSCAPING PROVIDED	3966 SF 2%
IMPERVIOUS AREA	116345 SF 71%
OPEN SPACE REQUIRED	11550 SF 7%
OPEN SPACE PROVIDED	16335 SF 10%

\* PARKING PROVIDED TOTAL INCLUDES HC PARKING



CASE NO.D21-0124

## SITE PLAN THE OFFICES AT PROSPER TRAIL 3.78 ACRES ~ 164,656 S.F.

OUT OF THE COLLIN COUNTY SCHOOL LAND #12 SURVEY, ABSTRACT NO. A0147  
TOWN OF PROSPER  
COLLIN COUNTY, TEXAS

OWNER:  
PROSPER 67 PARTNERS LTD  
5953 DALLAS PKWY  
SUITE 200A  
DALLAS, TEXAS 75093  
JEREMY STEENSON

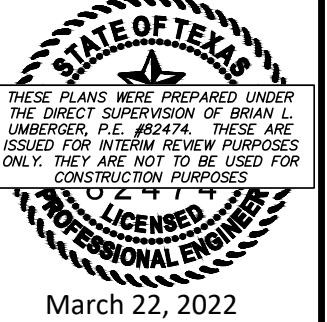
DEVELOPER:  
WILLIAM PEAVY III  
1901 N. AKARD STREET  
DALLAS, TEXAS 75201  
214-871-2640

ENGINEER/SURVEYOR:  
WINKELMANN & ASSOC., INC.  
6750 HILLCREST PLAZA DR.  
SUITE 325  
DALLAS, TEXAS 75230  
PH: 972.490.7090  
BRIAN UMBERGER

### SITE PLAN

THE OFFICES AT PROSPER TRAIL  
NWC PROSPER TRAIL & SHAWNEE TRAIL  
PROSPER, TEXAS

Winkelmann & Associates, Inc.  
CONSULTING CIVIL ENGINEERS ■ SURVEYORS  
6750 HILLCREST PLAZA DRIVE, SUITE 215  
DALLAS, TEXAS 75230  
REG. ENGINEERS REGISTRATION NO. 100665-00  
REG. SURVEYORS REGISTRATION NO. 100665-00



No.	DATE	REVISION	APPROV.
6.			
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C-04.01