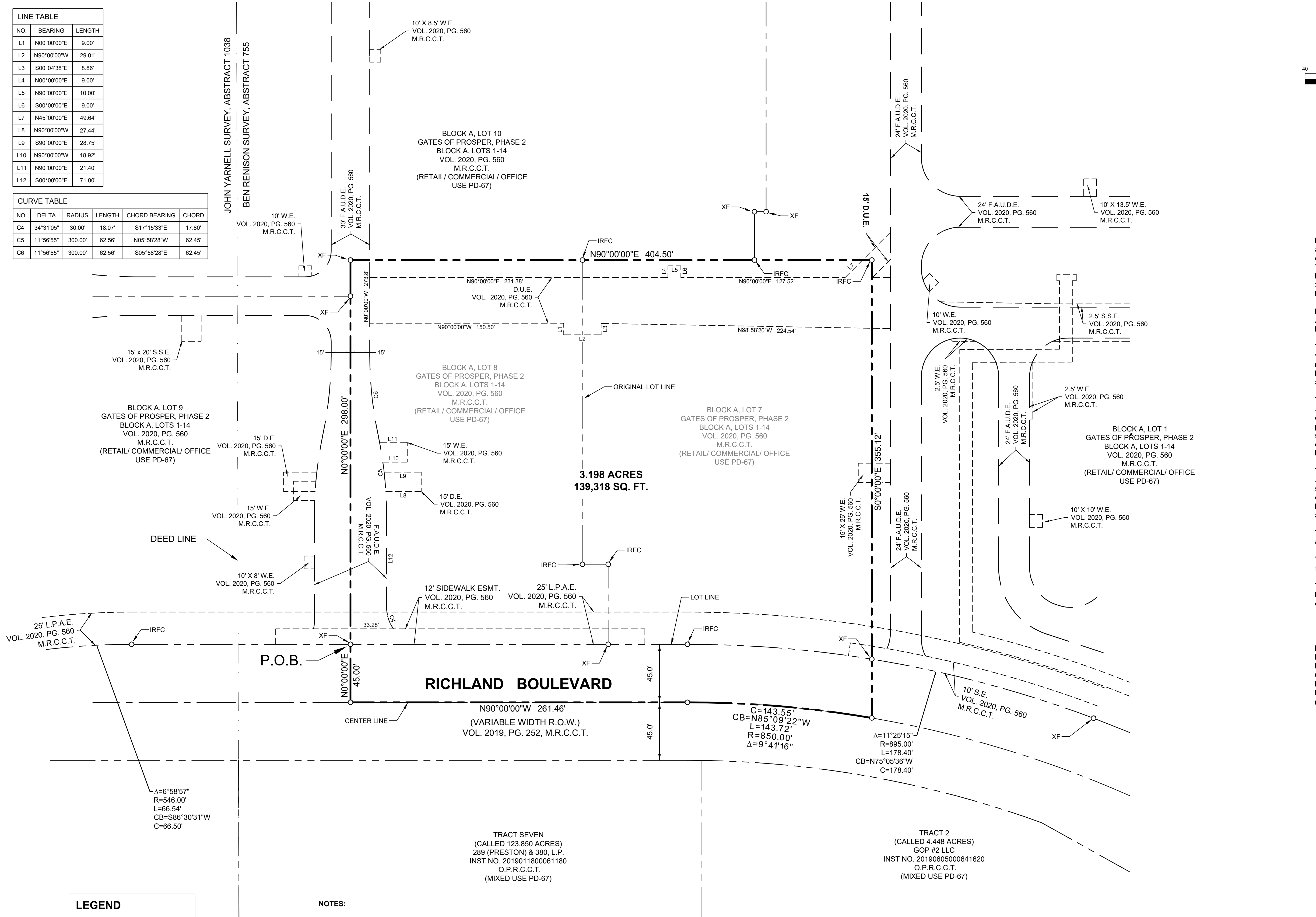


LINE TABLE		
NO.	BEARING	LENGTH
L1	N00°00'00"E	9.00'
L2	N90°00'00"W	29.01'
L3	S00°04'38"E	8.86'
L4	N00°00'00"E	9.00'
L5	N80°00'00"E	10.00'
L6	S00°00'00"E	9.00'
L7	N45°00'00"E	49.64'
L8	N90°00'00"W	27.44'
L9	S90°00'00"E	28.75'
L10	N90°00'00"W	18.92'
L11	N80°00'00"E	21.40'
L12	S00°00'00"E	71.00'

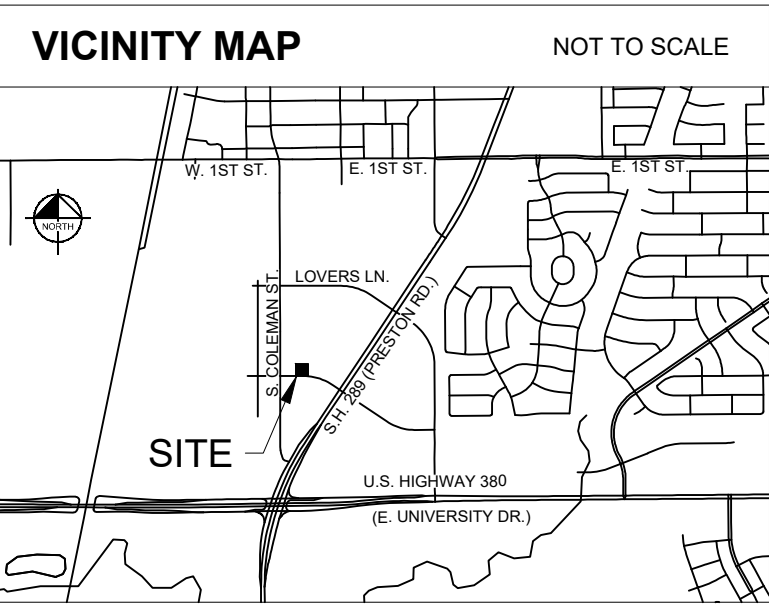
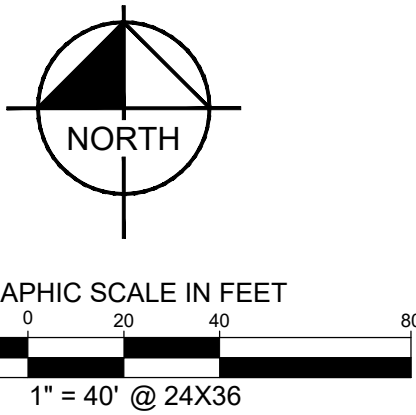
CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C4	34°3'10"	30.00'	18.07'	S17°15'33"E
C5	11°56'55"	300.00'	62.56'	N05°58'28"W
C6	11°56'55"	300.00'	62.56'	S05°58'28"E



LEGEND	
	BOUNDARY LINE
	EASEMENT LINE
	PROPERTY LINE
 IRF	IRON ROD FOUND
 IRFC	IRON ROD FOUND WITH CAP
 IRSC	IRON ROD SET WITH CAP
 NTS	NOT TO SCALE
 (C.M.)	CONTROLLING MONUMENT
 D.R.C.C.T.	DEED RECORDS OF COLLIN COUNTY, TEXAS
 M.R.C.C.T.	MAP RECORDS OF COLLIN COUNTY, TEXAS
 O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
 FND	FOUND
 R.O.W.	RIGHT OF WAY
 W.E.	WATER EASEMENT
 S.S.E.	SANITARY SEWER EASEMENT
 D.U.E.	DRAINAGE AND UTILITY EASEMENT
 F.A.U.D.E.	FIRELANE, ACCESS, UTILITY AND DRAINAGE EASEMENT
 F.A.E.	FIRELANE & ACCESS EASEMENT
 E.E.	ELECTRIC EASEMENT
 L.P.A.E.	LANDSCAPE AND PEDESTRIAN ACCESS EASEMENT
 H.B.T.E.	HIRE & BIKE TRAIL EASEMENT
 VOL.	VOLUME
 PG.	PAGE
 INST. NO.	INSTRUMENT NO.

NOTES:

- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
- Bearing system based on the southerly right of way line of Lovers Lane as created in the Conveyance Plat of Gates of Prosper, Phase 2, an addition to the Town of Prosper, according to the plat, recorded in Volume 2019, Page 252 of the Map Records of Collin County, Texas, said bearing being North 90°00'00" East.
- The thoroughfare alignment(s) shown on this exhibit are for illustration purposes and does not set the alignment. The alignment is determined at the time of Final Plat.
- According to Map No. 48085C0235 J dated June 2, 2009, of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located in Zone X (unshaded) and is not within a special flood hazard area. If this site is within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
- Notice: Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.



BEING a tract of land situated in the Ben Renison Survey, Abstract No. 755, Town of Prosper, Collin County, Texas and being a replat of Block A, Lots 7 and 8, Gates of Prosper, Phase 2, Block A, Lots 1-14, an addition to the Town of Prosper according to the Final Plat recorded in Volume 2020, Page 560 of the Map Records of Collin County, Texas, and a portion of Richland Boulevard, a variable width right of way, ad dedicated in the Gates of Prosper, Phase 2, Block A, Lot 1, an addition to the Town of Prosper according to the Conveyance Plat recorded in Volume 2019, Page 252 of the Map Records of Collin County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at an "X" cut found for the southwest corner of Block A, Lot 8 and the southeast corner of Block A, Lot 9 of said Gates of Prosper, Phase 2, Block A, Lots 1-14, same being on the northerly right of way line of said Richland Boulevard, a variable width right of way;

THENCE North 0°00'00" East, departing the northerly right of way line of said Richland Boulevard, along the westerly line of said Block A, Lot 8 and the easterly line of said Block A, Lot 9, passing an "X" cut found for the northeast corner of said Lot 9 and the southerly, southeast corner of Block A, Lot 10 of said Gates of Prosper, Phase 2, Block A, Lots 1-14, continuing along an easterly line of said Lot 10, a distance of 298.00 feet to an "X" cut found for the northwest corner of said Block A, Lot 8;

THENCE North 90°00'00" East, along the northerly line of said Block A, Lot 8, the northerly line of aforesaid Block A, Lot 7, the southerly line of said Block A, Lot 10, passing a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the north common corner of said Lots 7 and 8, passing a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for a southeast corner of said Lot 10 and a southwest corner of Block A, Lot 1 of said Gates of Prosper, Phase 2, Block A, Lots 1-14, continuing along a southerly line of said Lot 1, a distance of 404.50 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" found for the northeast corner of said Lot 7;

THENCE South 00°00'00" West, along the easterly line of said Block A, Lot 7 and a westerly line of said Block A, Lot 1, passing at a distance of 309.50 feet to an "X" cut found for the southeast corner of said Lot 7 and a southwest corner of said Lot 1, same being on the northerly right of way line of aforesaid Richland Boulevard, continuing across said Richland Boulevard, a total distance of 355.12 feet to a corner on the centerline of said Richland Boulevard, and being the beginning of a non-tangent curve to the left having a central angle of 09°41'16", a radius of 850.00 feet, a chord bearing and distance of North 85°09'22" West, 143.55 feet;

THENCE in a northwesterly direction, along the centerline of said Richland Boulevard and with said curve to the left, an arc distance of 143.72 feet to the end of said curve;

THENCE North 90°00'00" West, continuing along the centerline of said Richland Boulevard, a distance of 261.46 feet to a point of corner;

THENCE North 00°00'00" East, departing the centerline of said Richland Boulevard, crossing said Richland Boulevard, a distance of 45.00 feet to the **POINT OF BEGINNING** and containing 3.198 acres (139,318 square feet) of land, more or less.

Michael B. Marx
Registered Professional Land Surveyor No. 5181
Kimley-Horn and Associates, Inc.
6160 Warren Pkwy., Suite 210
Frisco, Texas 75034
Ph. 972-335-3580
michael.marx@kimley-horn.com

PRELIMINARY
THIS DOCUMENT SHALL
NOT BE RECORDED FOR
ANY PURPOSE AND
SHALL NOT BE USED OR
VIEWED OR RELIED
UPON AS A FINAL
SURVEY DOCUMENT

EXHIBIT A **GATES OF PROSPER, PHASE 2** **BLOCK A, LOT 7**

AN ADDITION TO THE TOWN OF PROSPER

3.198 ACRES

SITUATED IN THE
BEN RENISON SURVEY, ABSTRACT NO. 755
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

JUNE, 2021
CASE #SUP21-0001

Kimley»Horn

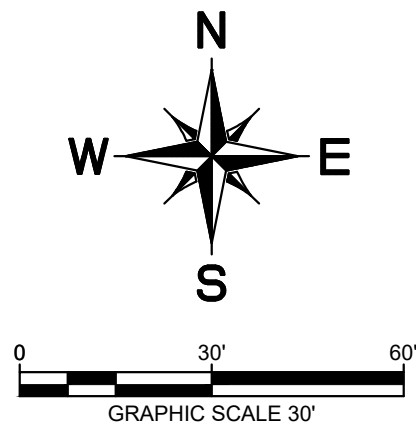
6160 Warren Pkwy., Suite 210
Frisco, Texas 75034
FIRM # 10193822
Tel. No. (972) 335-3580
Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	JCC	KHA	06/22/2021	063887142	1 OF 1

SURVEYOR:
Kimley-Horn and Associates, Inc.
6160 Warren Parkway, Suite 210
Frisco, TX 75034
P (972) 335-3580
F (972) 335-3779
Contact: Michael B. Marx, R.P.L.S.

ENGINEER:
Kimley-Horn and Associates, Inc.
260 East Davis St., Suite 100
McKinney, TX 75069
P (496) 301-2594
Contact: Rachel Korus, P.E.

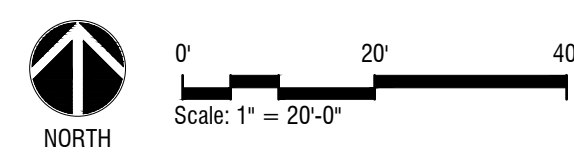
OWNER:
GOP #2 LLC
1 Cowboys Way
Frisco, TX 75063
P (972) 497-4367
Contact: Nic Link



*HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH TAS STANDARDS

Engineer/Surveyor:
Kimley-Horn and Associates, Inc.
260 East Davis Street, Suite 100
McKinney, Texas 75069
Contact: Joe Riccardi, P.E.
Phone: (469)-301-2580

SHEET NUMBER
SP-01



Scale: 1" = 20'-0"

Landscape Architect:
Kimley-Horn and Associates, Inc.
260 East Davis Street, Suite 100
McKinney, Texas 75069
Contact: Courtney Smith, PLA
Phone: (469)452-2497

EXHIBIT C - LANDSCAPE PLAN
PAD SITE R
GATES OF PROSPER, PHASE 2
BLOCK A, LOTS 7 & 8
SUP21-0001
Being 2.78 Acres Out Of The
BEN RENNISON SURVEY Abstract No. 755
JOHN YARNELL SURVEY Abstract No. 1038
COLLIN COUNTY SCHOOL LAND NO. 12 SURVEY
Abstract No. 147
Town of Prosper, Collin County, Texas



PAD SITE R

PROSPER, TEXAS

PLANTING PLAN

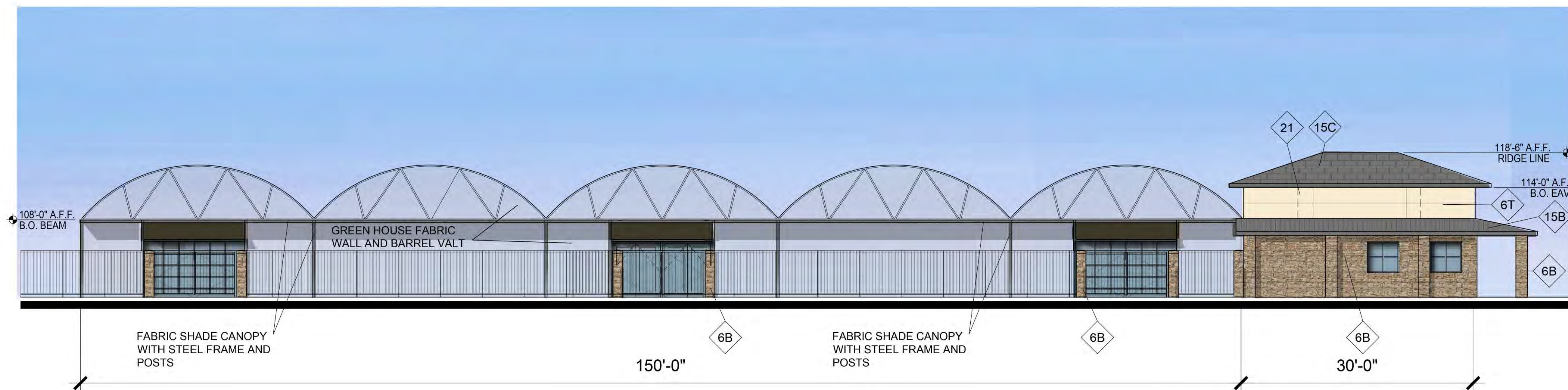


Kimley»»Horn
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© 2010 KIMLEY-HORN AND ASSOCIATES, INC.
260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
PHONE: 469-301-2580 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

[illegible][illegible]

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

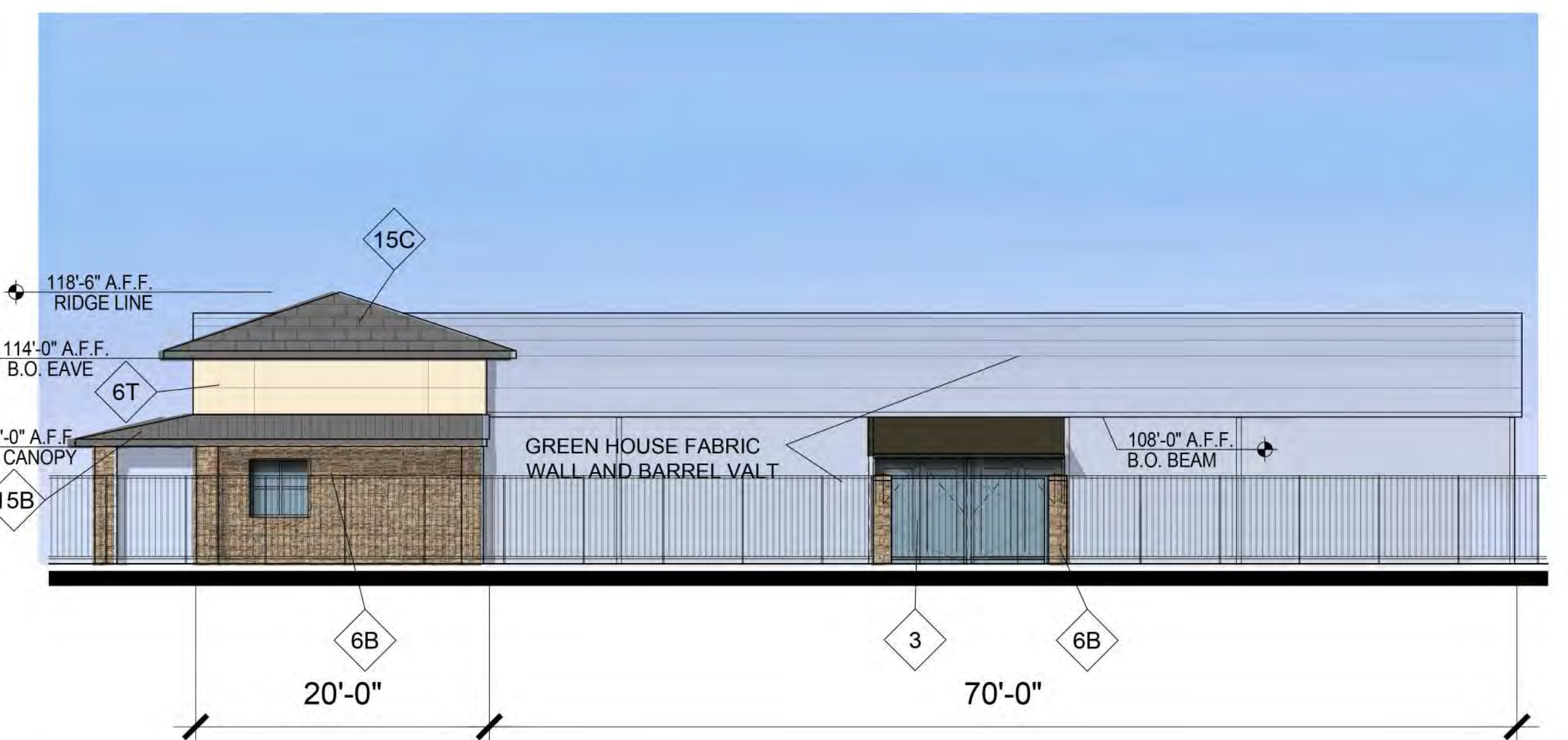


C

SOUTH - FRONT ELEVATION

TOTAL ELEVATION AREA	555 SF	
GLAZING	32 SF	
NET ELEVATION	523 SF	
PRIMARY MATERIALS	341 SF	65%
6B - STONE	221 SF	65%
6T - TEXTURED PAINTED STUCCO	120 SF	35%
SECONDARY MATERIALS	182 SF	35%
15B - METAL ROOF	77 SF	42%
15C - COMPOSITE ASPHALT SHINGLES	105 SF	58%

NOTE: SECONDARY MATERIALS SHALL NOT EXCEED 15%



D

EAST - SIDE ELEVATION

TOTAL ELEVATION AREA	359 SF	
GLAZING	16 SF	
NET ELEVATION	343 SF	
PRIMARY MATERIALS	230 SF	67%
6B - STONE	154 SF	66%
6T - TEXTURED PAINTED STUCCO	77 SF	34%
SECONDARY MATERIALS	113 SF	33%
15B - METAL ROOF	54 SF	48%
15C - COMPOSITE ASPHALT SHINGLES	59 SF	52%

NOTE: SECONDARY MATERIALS SHALL NOT EXCEED 15%

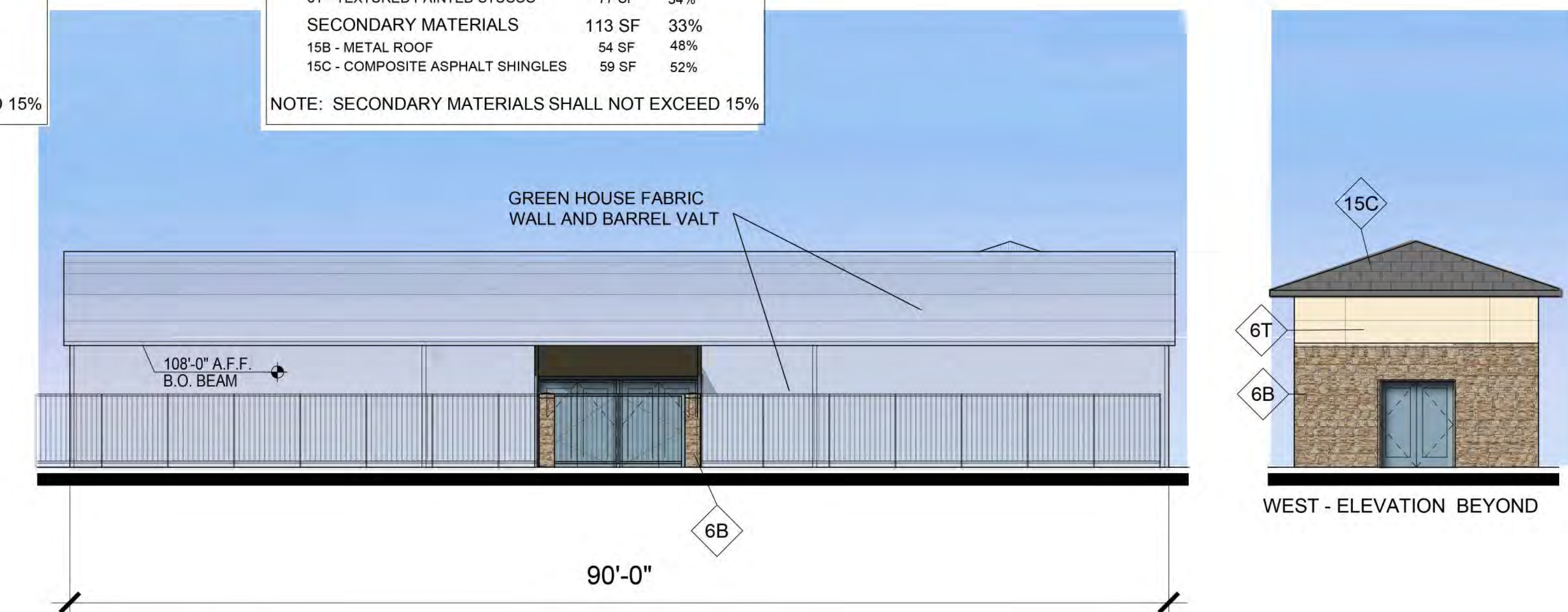


A

NORTH - REAR ELEVATION

TOTAL ELEVATION AREA	552 SF	
GLAZING	0 SF	
NET ELEVATION	552 SF	
PRIMARY MATERIALS	437 SF	79%
6B - STONE	317 SF	73%
6T - TEXTURED PAINTED STUCCO	120 SF	27%
SECONDARY MATERIALS	115 SF	21%
15B - METAL ROOF	11 SF	10%
15C - COMPOSITE ASPHALT SHINGLES	104 SF	90%

NOTE: SECONDARY MATERIALS SHALL NOT EXCEED 15%



B

WEST - SIDE ELEVATION (BEYOND)

TOTAL ELEVATION AREA	340 SF	
GLAZING	45 SF	
NET ELEVATION	295 SF	
PRIMARY MATERIALS	235 SF	80%
6B - STONE	158 SF	67%
6T - TEXTURED PAINTED STUCCO	77 SF	33%
SECONDARY MATERIALS	60 SF	20%
15C - COMPOSITE ASPHALT SHINGLES	60 SF	100%

NOTE: SECONDARY MATERIALS SHALL NOT EXCEED 15%

KEYNOTES FINISH SCHEDULE

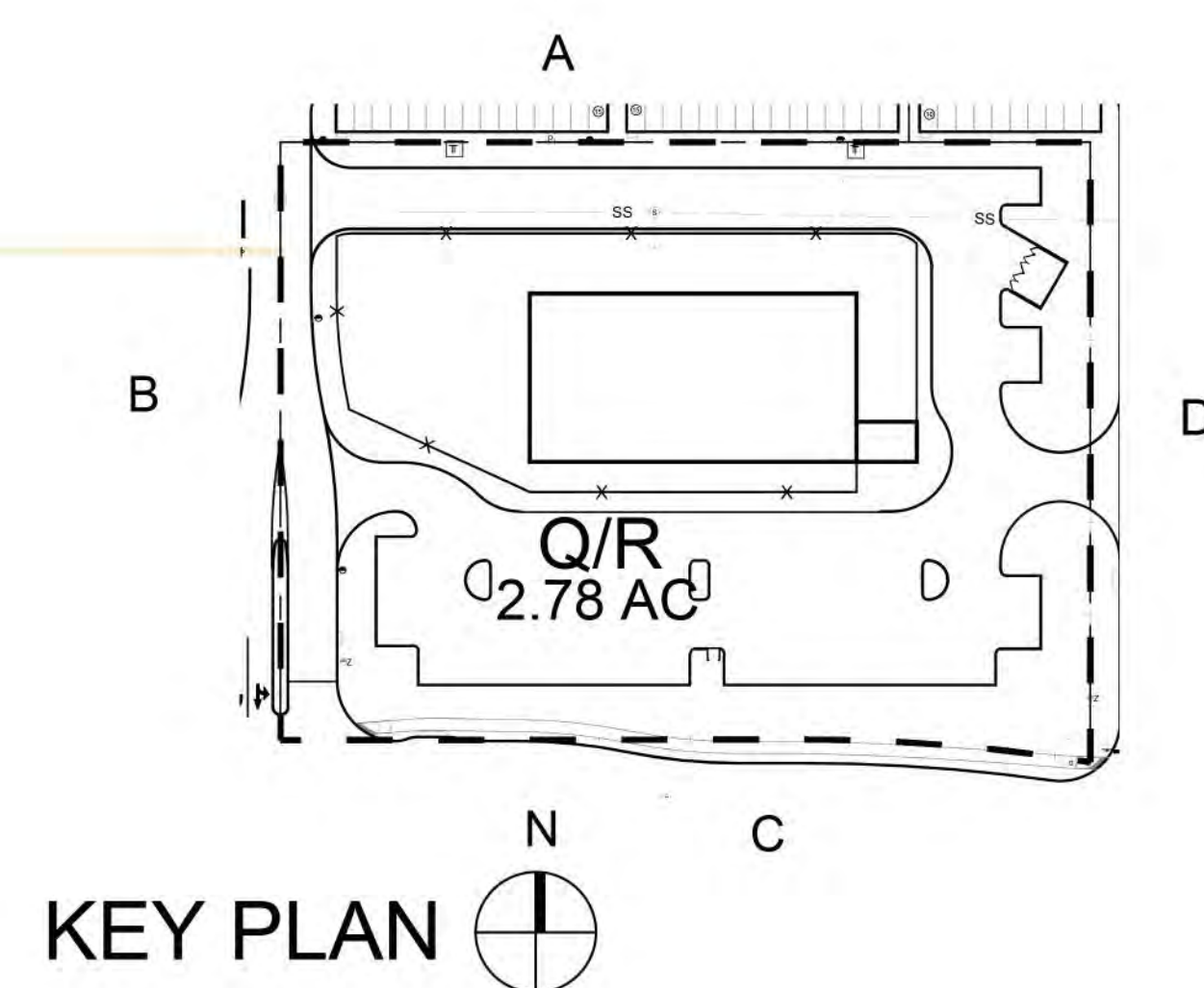
- 1 METAL CORNICE: PAC-CLAD, DARK BRONZE
- 2 METAL ROOF : STADING SEAM METAL ROOF
DARK BRONZE
- 3 STOREFRONT: KAWNEER, DARK BRONZE
- P9 PAINT COLORS:
SHERWIN WILLIAMS, SW7067 CITYSCAPE

- 6B MFG. STONE - OSAGE - FOSSIL BAY
CORONADO STONE PRODUCTS
- 6T TEXTURED PAINTED STUCCO
SW 6141 SOFTER TAN
- 13 HOLLOW METAL DOOR
- 15B METAL ROOF - PAC-CLAD, DARK BRONZE
- 15C COMPOSITE ASPHALT SHINGLES
- 20 RTU'S TO BE FULLY SCREENED WITH PARAPET
OF EQUAL HEIGHT

DUMPSTER ENCLOSURE

ELEVATION NOTES

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSED ONLY. ALL BUILDING PLANS REQUIRED REVIEW AND APPROVAL FROM THE BUILDING INSPECTION DIVISION.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DEPARTMENT.
- WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
- ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER
- ALL PARAPETS AT ROOF TOP SHOULD BE A MINIMUM OF 48" TO SCREEN RTU'S .
- ALL LOADING DOCKS & DUMPSTER ENCLOSURE TO BE SCREENED.



Gates of Prosper - Phase II

Developer :: Blue Star & Lincoln Property Company

Prosper, TX

SURVEYOR / APPLICANT
KIMLEY-HORN AND ASSOCIATES, INC
260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TEXAS 75069
CONTACT: JOE RICCARDI, P.E.
PHONE: (469) 301-2580

OWNER
GOP #2 LLC
1 COWBOYS WAY
FRISCO, TEXAS 75034
CONTACT: NICHOLAS LINK
PHONE: (972) 497-2580

Case No. SUP21-0001
EL 19 - BLDG "Q&R"

Date: 08.11.2021
Scale 1/8" = 1'-0"

