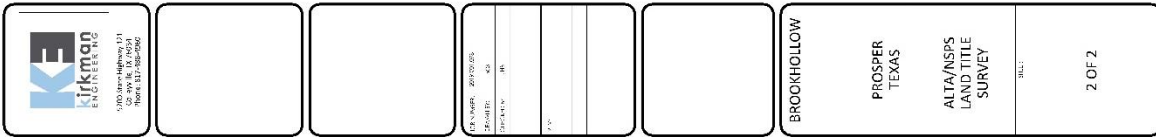


EXHIBIT “A”



VICINITY MAP - NOT TO SCALE

ALTA/NSPS
LAND TITLE SURVEY

A TRACT SITUATED IN THE
S. GRAHAM SURVEY, ABSTRACT NO. 359
& THE W. THOMASON SURVEY, ABSTRACT NO. 895
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

PROPERTY DESCRIPTION

[illegible][illegible]

50.0 Hz, 6 degrees 35 minutes 54 seconds (45%), a distance of 432.5 ft (1 in a 17°) with a bear found at the beginning of a run with only two signs of 124.0 ft, with a distance of 16 degrees 0 minutes 15 seconds, where a second bear 50.0 Hz (6 minutes 45 seconds) was at a distance of 432.0 ft.

NOTE: bear 1 was on the left at 47° 54' 56" to a distance of 357.2 ft (1 in a 17°) where it fed.

50.0 Hz, 6 degrees 35 minutes 54 seconds (45%), a distance of 432.5 ft (1 in a 17°) where a bear found at the beginning of a curve to the right, being a radius of 1235.0 ft, with a bear angle of 23 degrees 20 minutes 42 seconds, where three bears 50.0 Hz 77 seconds 51 minutes 51 seconds (45%), a distance of 432.0 ft (1 in a 17°).

[illegible]

A. NORTH 17 degrees 52' minutes 22 seconds EAST a distance of 27.0 feet.
A. NORTH 55 degrees 30 minutes 15 seconds EAST a distance of 61.5 feet.
A. NORTH 55 degrees 30 minutes 15 seconds EAST a distance of 68.25 feet.
A. NORTH 48 degrees 18 minutes 18 seconds EAST a distance of 68.25 feet.
A. NORTH 13 degrees 16 minutes 52 seconds EAST a distance of 16.00 feet.
A. NORTH 54 degrees 30 minutes 42 seconds EAST a distance of 26.25 feet.
A. NORTH 50 degrees 35 minutes 45 seconds EAST a distance of 7.75 feet.
A. NORTH 50 degrees 35 minutes 45 seconds WEST a distance of 11.00 feet.

[illegible][illegible][illegible][illegible]

doi:10.1017/S0022278X09990536 Printed in the United Kingdom
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[illegible][illegible]

Proposed insured: James Land & Lake, a general, LLC, a Texas limited liability company, TDD
 C-1400 T-1 has been assigned (ISF No. CTDA126-9003641/0151-485)
 This is to certify that a copy of the survey in which it is known, was
 obtained, standard and detail information for the ALTA/NSIS Title Block version
 1.0, 1.1, 1.2, 1.3, 1.4, 1.5, 1.6, 1.7, 1.8, 1.9, 2.0, 2.1, 2.2, 2.3, 2.4, 2.5, 2.6, 2.7, 2.8, 2.9, 3.0, 3.1, 3.2, 3.3, 3.4, 3.5, 3.6, 3.7, 3.8, 3.9, 4.0, 4.1, 4.2, 4.3, 4.4, 4.5, 4.6, 4.7, 4.8, 4.9, 5.0, 5.1, 5.2, 5.3, 5.4, 5.5, 5.6, 5.7, 5.8, 5.9, 6.0, 6.1, 6.2, 6.3, 6.4, 6.5, 6.6, 6.7, 6.8, 6.9, 7.0, 7.1, 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 8.0, 8.1, 8.2, 8.3, 8.4, 8.5, 8.6, 8.7, 8.8, 8.9, 9.0, 9.1, 9.2, 9.3, 9.4, 9.5, 9.6, 9.7, 9.8, 9.9, 10.0, 10.1, 10.2, 10.3, 10.4, 10.5, 10.6, 10.7, 10.8, 10.9, 11.0, 11.1, 11.2, 11.3, 11.4, 11.5, 11.6, 11.7, 11.8, 11.9, 12.0, 12.1, 12.2, 12.3, 12.4, 12.5, 12.6, 12.7, 12.8, 12.9, 13.0, 13.1, 13.2, 13.3, 13.4, 13.5, 13.6, 13.7, 13.8, 13.9, 14.0, 14.1, 14.2, 14.3, 14.4, 14.5, 14.6, 14.7, 14.8, 14.9, 15.0, 15.1, 15.2, 15.3, 15.4, 15.5, 15.6, 15.7, 15.8, 15.9, 16.0, 16.1, 16.2, 16.3, 16.4, 16.5, 16.6, 16.7, 16.8, 16.9, 17.0, 17.1, 17.2, 17.3, 17.4, 17.5, 17.6, 17.7, 17.8, 17.9, 18.0, 18.1, 18.2, 18.3, 18.4, 18.5, 18.6, 18.7, 18.8, 18.9, 19.0, 19.1, 19.2, 19.3, 19.4, 19.5, 19.6, 19.7, 19.8, 19.9, 20.0, 20.1, 20.2, 20.3, 20.4, 20.5, 20.6, 20.7, 20.8, 20.9, 21.0, 21.1, 21.2, 21.3, 21.4, 21.5, 21.6, 21.7, 21.8, 21.9, 22.0, 22.1, 22.2, 22.3, 22.4, 22.5, 22.6, 22.7, 22.8, 22.9, 23.0, 23.1, 23.2, 23.3, 23.4, 23.5, 23.6, 23.7, 23.8, 23.9, 24.0, 24.1, 24.2, 24.3, 24.4, 24.5, 24.6, 24.7, 24.8, 24.9, 25.0, 25.1, 25.2, 25.3, 25.4, 25.5, 25.6, 25.7, 25.8, 25.9, 26.0, 26.1, 26.2, 26.3, 26.4, 26.5, 26.6, 26.7, 26.8, 26.9, 27.0, 27.1, 27.2, 27.3, 27.4, 27.5, 27.6, 27.7, 27.8, 27.9, 28.0, 28.1, 28.2, 28.3, 28.4, 28.5, 28.6, 28.7, 28.8, 28.9, 29.0, 29.1, 29.2, 29.3, 29.4, 29.5, 29.6, 29.7, 29.8, 29.9, 30.0, 30.1, 30.2, 30.3, 30.4, 30.5, 30.6, 30.7, 30.8, 30.9, 31.0, 31.1, 31.2, 31.3, 31.4, 31.5, 31.6, 31.7, 31.8, 31.9, 32.0, 32.1, 32.2, 32.3, 32.4, 32.5, 32.6, 32.7, 32.8, 32.9, 33.0, 33.1, 33.2, 33.3, 33.4, 33.5, 33.6, 33.7, 33.8, 33.9, 34.0, 34.1, 34.2, 34.3, 34.4, 34.5, 34.6, 34.7, 34.8, 34.9, 35.0, 35.1, 35.2, 35.3, 35.4, 35.5, 35.6, 35.7, 35.8, 35.9, 36.0, 36.1, 36.2, 36.3, 36.4, 36.5, 36.6, 36.7, 36.8, 36.9, 37.0, 37.1, 37.2, 37.3, 37.4, 37.5, 37.6, 37.7, 37.8, 37.9, 38.0, 38.1, 38.2, 38.3, 38.4, 38.5, 38.6, 38.7, 38.8, 38.9, 39.0, 39.1, 39.2, 39.3, 39.4, 39.5, 39.6, 39.7, 39.8, 39.9, 40.0, 40.1, 40.2, 40.3, 40.4, 40.5, 40.6, 40.7, 40.8, 40.9, 41.0, 41.1, 41.2, 41.3, 41.4, 41.5, 41.6, 41.7, 41.8, 41.9, 42.0, 42.1, 42.2, 42.3, 42.4, 42.5, 42.6, 42.7, 42.8, 42.9, 43.0, 43.1, 43.2, 43.3, 43.4, 43.5, 43.6, 43.7, 43.8, 43.9, 44.0, 44.1, 44.2, 44.3, 44.4, 44.5, 44.6, 44.7, 44.8, 44.9, 45.0, 45.1, 45.2, 45.3, 45.4, 45.5, 45.6, 45.7, 45.8, 45.9, 46.0, 46.1, 46.2, 46.3, 46.4, 46.5, 46.6, 46.7, 46.8, 46.9, 47.0, 47.1, 47.2, 47.3, 47.4, 47.5, 47.6, 47.7, 47.8, 47.9, 48.0, 48.1, 48.2, 48.3, 48.4, 48.5, 48.6, 48.7, 48.8, 48.9, 49.0, 49.1, 49.2, 49.3, 49.4, 49.5, 49.6, 49.7, 49.8, 49.9, 50.0, 50.1, 50.2, 50.3, 50.4, 50.5, 50.6, 50.7, 50.8, 50.9, 51.0, 51.1, 51.2, 51.3, 51.4, 51.5, 51.6, 51.7, 51.8, 51.9, 52.0, 52.1, 52.2, 52.3, 52.4, 52.5, 52.6, 52.7, 52.8, 52.9, 53.0, 53.1, 53.2, 53.3, 53.4, 53.5, 53.6, 53.7, 53.8, 53.9, 54.0, 54.1, 54.2, 54.3, 54.4, 54.5, 54.6, 54.7, 54.8, 54.9, 55.0, 55.1, 55.2, 55.3, 55.4, 55.5, 55.6, 55.7, 55.8, 55.9, 56.0, 56.1, 56.2, 56.3, 56.4, 56.5, 56.6, 56.7, 56.8, 56.9, 57.0, 57.1, 57.2, 57.3, 57.4, 57.5, 57.6, 57.7, 57.8, 57.9, 58.0, 58.1, 58.2, 58.3, 58.4, 58.5, 58.6, 58.7, 58.8, 58.9, 59.0, 59.1, 59.2, 59.3, 59.4, 59.5, 59.6, 59.7, 59.8, 59.9, 60.0, 60.1, 60.2, 60.3, 60.4, 60.5, 60.6, 60.7, 60.8, 60.9, 61.0, 61.1, 61.2, 61.3, 61.4, 61.5, 61.6, 61.7, 61.8, 61.9, 62.0, 62.1, 62.2, 62.3, 62.4, 62.5, 62.6, 62.7, 62.8, 62.9, 63.0, 63.1, 63.2, 63.3, 63.4, 63.5, 63.6, 63.7, 63.8, 63.9, 64.0, 64.1, 64.2, 64.3, 64.4, 64.5, 64.6, 64.7, 64.8, 64.9, 65.0, 65.1, 65.2, 65.3, 65.4, 65.5, 65.6, 65.7, 65.8, 65.9, 66.0, 66.1, 66.2, 66.3, 66.4, 66.5, 66.6, 66.7, 66.8, 66.9, 67.0, 67.1, 67.2, 67.3, 67.4, 67.5, 67.6, 67.7, 67.8, 67.9, 68.0, 68.1, 68.2, 68.3, 68.4, 68.5, 68.6, 68.7, 68

OFFICE OF THE
CLERK OF THE
COURT OF COMMON PLEAS
COUNTY OF COLUMBIA
STATE OF MISSISSIPPI
JAN 23 1927

Town Lake Village

Z20-0021

EXHIBIT “B”

STATEMENT OF INTENT AND PURPOSE

Town Lake Village is intended to be a high quality, single family neighborhood which is compatible with its surrounding uses. It is anticipated the neighborhood will have a broad mix of residents ranging from empty nesters in sprawling 1-story homes to families drawn to the community and schools in larger, 2-story homes. Town Lake Village will provide an opportunity to create a place that has the quality of life Prosper residents expect as well as easy access to other areas in the DFW Metroplex.

Town Lake Village aims to provide its residents with high-quality custom homes in a community that balances manmade and natural environments. It is anticipated the neighborhood may feature a Private Club.

The relationship of natural and manmade elements is further highlighted in the design of Town Lake Village. The neighborhood is designed with an emphasis on lots backing or siding creeks, greenbelts, and open space areas. The meandering nature of the streets will highlight the natural beauty and topography of the land.

Along with the design of the neighborhood, development standards will be created to complement existing nearby neighborhoods by building upon major trends in household type, characteristics, and preferences as a means of enhancing the attractiveness of the area.

The combination of these design ideas creates a neighborhood attractive to a broad assortment of groups wanting to call Prosper home.

Z20-0021

EXHIBIT “C”

DEVELOPMENT STANDARDS

Conformance with the Town’s Zoning Ordinance and Subdivision Ordinance: Except as otherwise set forth in these Development Standards, the regulations of the Town’s Zoning Ordinance (Ordinance No. 05-20), as it exists or may be amended, and the Subdivision Ordinance (Ordinance No. 17-41), as it exists or may be amended, shall apply.

1. Development Plans

- 1.1. Concept Plans: The property shall be developed in general accordance with the attached concept plans, set forth in Exhibit D. However, if the property does not develop in accordance with Exhibit D, it shall otherwise be developed in accordance with the development standards of this Planned Development, the Zoning Ordinance, and the Subdivision Ordinance, as they exist or may be amended. Development of a Private Social Club shall be developed in general accordance with Exhibit D-1.
- 1.2. Elevations: Development of a Private Social Club shall be developed in general accordance with the attached elevations, set forth in Exhibit F.

2. Allowed Uses:

2.1. Land Uses

- Accessory buildings incidental to the allowed use and constructed of the same materials as the main structure.
- Churches / rectories
- Civic facilities
- Electronic security facilities, including gatehouses and control counter
- Fire stations and public safety facilities
- Gated communities with private streets, (developed to Town Standards)
- Public and/or Private Parks, playgrounds and neighborhood recreation facilities including, but not limited to, swimming pools, clubhouse facilities and tennis courts, to be stated on plat
- Residential uses as described herein
- Schools – public and/or private
- Golf Course for Country Club (including clubhouse, maintenance facilities, on-course food and beverage structure, and on course restroom facilities.)
- Private Social Club (including, but not limited to a clubhouse, maintenance facilities, tennis, pickleball, basketball/sport courts with lights (conforming to the Town Lighting Regulations), dining facilities, food and beverage service, beer, wine, and spirit service (in accordance with applicable TABC regulations), pools, and other club amenities).
 - Incidental uses may include but are not limited to a winery or micro-brewery (in accordance with applicable TABC regulations), and childcare provided for club membership in conjunction with club activities. A Licensed Child Care Center is not included in this definition.
- Temporary real estate sales offices for each builder or developer during the development and marketing of the Planned Development which shall be removed no later than 30 days following the final issuance of the last Certificate of Occupancy (CO) on the last lot owned by that builder.
- Temporary buildings / offices for builders’ or developers’ incidental construction work on the premises, which shall be removed upon completion of such work.
- Other necessary temporary construction facilities, which shall be removed upon completion of such work.
- Utility distribution lines and facilities. Electric substations shall be allowed by SUP.

3. Lot Area Regulations:

3.1. General Description

- 3.1.1. This Planned Development Ordinance shall permit a maximum of 275 single-family residential units.

3.2. Lot Area Regulations

	Type A	Type B*	Type C	Type D
Minimum Lot Area (sq. ft.)	18,000	15,000	12,000 SF	10,000 SF
Minimum Lot Width (ft.)	120	100	90	75
Minimum Lot Depth (ft.)	150	150	130	125
Minimum Front Yard (ft.)	20	20	20	20
Interior Side (ft.)	10	7	7	7
Street Side - Corner Lot (ft.)	15	15	15	15
Minimum Rear Lot (ft.)	5	5	5	5
Minimum Dwelling Area (sq. ft.)	4,000	3,800	3,500	3,000

* Minimum of 67 lots.

4. General Standards

4.1. Layout and Design

- 4.1.1. A Private Social Club is not a required component of Town Lake Village. However, should a Private Social Club be included in the development, it shall be in general accordance with Exhibits D and F.
- 4.1.2. If a Private Social Club is not provided with the development, design and development of Town Lake Village shall be in accordance as otherwise provide in this Planned Development, the Zoning Ordinance, and the Subdivision Ordinance, as they exist or may be amended.
- 4.1.3. The layout of Town Lake Village shall allow lots to back or side creeks, greenbelts, and open space areas, in general conformance with Exhibit D. This provision shall not be applicable if a Private Social Club is not provided in conjunction with the development.

4.2. Floodplain

- 4.2.1. Lots may include floodplain in general accordance with Exhibit D. However, no dwelling unit or permanent structure shall be constructed within the limits of any floodplain. The provision shall not be applicable if a Private Social Club is not provided in conjunction with the development.
- 4.2.2. A Final Plat that provides lots that include floodplain shall not be approved until a Final Plat for a Private Social Club has been approved.
- 4.2.3. Maintenance of all floodplain areas within residential lots shall be the responsibility of the HOA. The HOA may transfer mowing and all other maintenance responsibilities to the individual owner through CC&R's or other, but Town shall place all responsibilities including maintenance of excessive erosion, facilities installed without a permit or other floodplain obligations to the HOA.

4.3. Driveways

- 4.3.1. All driveways shall be constructed of one or more of the following materials: brick pavers, stone, interlocking pavers, decorative rock, or exposed aggregate; with brick or stone borders or other approved materials. The Developer may consider driveways of stamped or broom finished concrete with brick or stone borders on a case-by-case basis. All front entry surfaces must be constructed in brick, stone, slate, flagstone, or other approved materials to match the architecture of the house. All sidewalks and steps from the public sidewalk or front driveway to the front entry must be constructed in brick, stone, slate, flagstone, or other approved materials to match the architecture of the house.

5. Building Standards

5.1. Garages

- 5.1.1. All garage doors shall be constructed of decorative wood, glass, or similar architectural material. Standard metal or aluminum garage doors are not permitted.
- 5.1.2. Except for garage doors provided on J-swing garages, garage doors shall be located at or behind the primary front façade of the home.
- 5.1.3. Garage doors shall be setback a minimum of 25 feet from the front property line.

6. Landscape Standards

- 6.1. A minimum 30' landscape buffer shall be provided adjacent to all roadways identified on the Thoroughfare Plan. The buffer shall be in a private "non-buildable" lot that is owned and maintained by the HOA. All plantings, screening, fencing and design elements shall comply with the Town's Subdivision Ordinance as it exists or may be amended.
- 6.2. Trees
 - 6.2.1. Front yard: a minimum of two 4" caliper trees shall be required in the front yard.

- 6.2.2. Rear yard: a minimum of one 4" caliper tree shall be required in the rear yard.
 - 6.2.2.1. Lots with more than 95 feet of frontage to adjacent streets will require no less than two 4" caliper trees in the back yard.
- 6.2.3. Corner Lots: two additional 4" caliper trees shall be planted in each side yard space that abuts a street. These required trees shall be in addition to the required front yard and rear yard trees.
- 6.2.4. Timing: the required trees will typically be planted by the builder at the time of house construction and must be installed prior to the issuance of the certificate of occupancy for that lot and house.
- 6.3. Parks and Trails
 - 6.3.1. All trails, parks and open spaces shall generally conform to Exhibit D at the cost of the developer. The park and trail improvements shall meet the requirements of the park improvement fee obligation for this development
 - 6.3.2. Construction of trails shall include all sufficient storm drain infrastructure.
 - 6.3.3. All hike and bike trails will be constructed with the associated phase of development, and built to meet the federal, state and local ADA and town trail requirements.
 - 6.3.4. In addition to the hike and bike trails, the developer will be responsible for the construction of a parking lot at no cost to the Town. This parking lot will consist of a minimum 10 parking spaces and a handicap parking space.
 - 6.3.5. Construction of hike and bike trails shall not commence until a Final Plat for a Private Social Club has been approved.
- 6.4. Parkland Dedication Requirements
 - 6.4.1. The parkland dedication requirement shall be in accordance with Exhibit D, and all dedicated parks and trails shall be maintained by the Homeowners Association.
 - 6.4.2. In addition to the parkland dedication, the developer will be required to ensure there is access to the waters edge
 - 6.4.3. Parkland dedication shall not be accepted until a Final Plat for a Private Social Club has been approved.
 - 6.4.4. Parkland dedication shall not occur until park improvements with associated parkland property is complete.
 - 6.4.5. Hike and bike trail easements on the proposed parkland shall be required to meet the requirement of having hike and bike trails constructed with each phase of development.
- 6.5. The open spaces and detention areas shown on Exhibit D, which may vary in size, design, and location shall be landscaped and maintained by the Homeowners Association.
- 7. Screening / Walls /Fencing
 - 7.1. Screening / Walls / Fencing
 - 7.1.1. Walls and screens visible from streets or common areas shall be constructed of masonry matching that of the residence, masonry and ornamental metal fencing, or ornamental metal fencing. Walls and screens not visible from streets or common areas may be constructed of smooth finish redwood or #1 grade cedar, or similar. All fence posts shall be steel set in concrete and shall not be visible from the alley or another dwelling. All fence tops shall be level with grade changes stepped up or down as the grade changes.
 - 7.1.2. A common ornamental metal fence detail, to be used for all rear and side fencing within the greenbelt / flood plain areas, will be chosen by the developer.
 - 7.1.3. All fence returns shall consist of ornamental metal, not to exceed 8' in height.
 - 7.1.4. Corner lots adjacent to a street shall consist of ornamental metal fencing, not to exceed 8' in height.
 - 7.2. Mechanical Equipment
 - 7.2.1. All mechanical equipment (pool, air conditioning, etc.) shall be completely screened from public view. A combination of hedges or walls shall be used to screen equipment or mechanical areas.
 - 7.2.2. All mechanical equipment, air conditioning compressors, service yards, storage piles, woodpiles, garbage receptacles, and similar items must be visually screened from streets, alleys, common areas and neighboring lots by a combination of hedges or walls that match the residence material.
 - 7.3. Screening along thoroughfares shall be decorative fencing, ornamental metal fencing, masonry columns, berms, shrubs, ponds or a combination of these elements.

EXHIBIT “D”

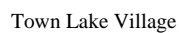
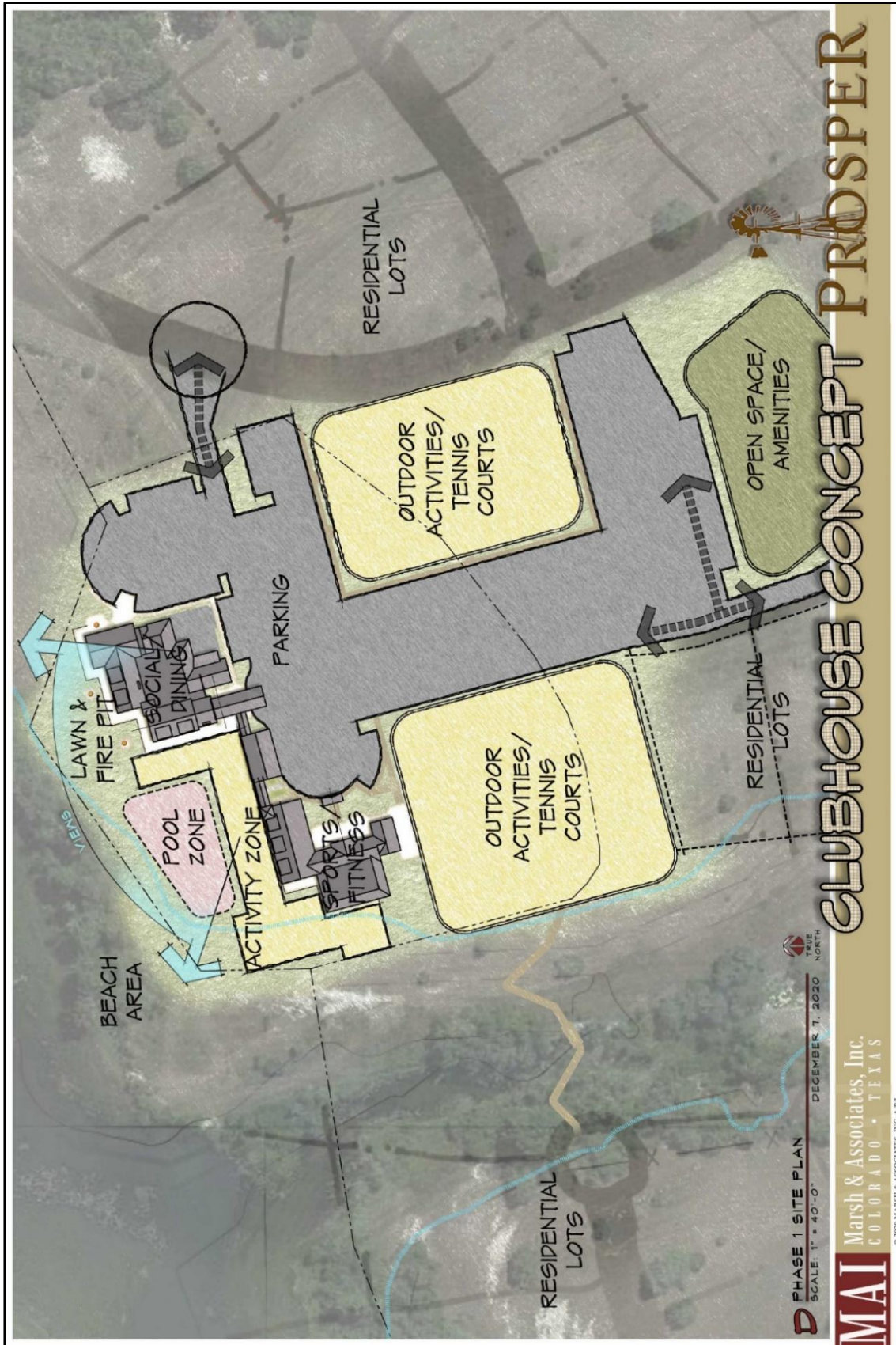


EXHIBIT "D-1"



Z20-0021

EXHIBIT “E”

DEVELOPMENT SCHEDULE

It is anticipated that construction of Town Lake Village will begin within the next one to five years. Dates are approximate and are subject to change with final design and due to external forces, such as market conditions.

Z20-0021

EXHIBIT "F"

The following conceptual elevations and renderings shall be representative of the architectural style, colors, and material selections and placement for the club.



Z20-0021

EXHIBIT "F"

The following conceptual elevations and renderings shall be representative of the architectural style, colors, and material selections and placement for the club.

