



CURVE TABLE					LINE TABLE		
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	LINE #	BEARING	LENGTH
C1	375.00'	45°7'42"	N10°33'16"E	32.46'	L1	N8°04'25"E	80.59'
C2	475.00'	36°07'26"	N9°59'18"W	294.54'	L2	N37°00'27"W	14.12'
C3	275.00'	5°58'52"	N31°02'26"W	28.69'	L3	N8°04'25"E	50.01'
C4	100.00'	12°34'14"	N40°29'00"W	22.47'	L4	N53°00'26"E	14.16'
C5	250.00'	46°18'09"	S23°47'02"E	196.58'	L5	N8°04'25"E	112.55'
C6	400.00'	45°7'42"	N10°33'16"E	34.63'	L6	N34°01'53"W	7.79'
C7	500.00'	36°07'26"	N9°59'18"W	310.04'	L7	N79°01'53"W	14.14'
C8	300.00'	5°58'52"	N31°02'26"W	31.30'	L8	N34°01'53"W	50.00'
C9	300.00'	33°23'55"	S17°19'55"E	172.41'	L9	N10°58'07"E	14.14'
C10	300.00'	27°33'56"	N8°30'73"W	12.56'	L10	N34°01'53"W	82.73'
C11	300.00'	18°30'13"	N88°49'19"E	96.46'	L11	N46°56'07"W	57.73'
C12	300.00'	11°46'32"	S84°54'56"W	61.55'	L12	N0°37'57"W	77.17'
C13	45.00'	9°06'12"	N45°45'06"E	63.70'	L13	N45°56'22"W	35.34'
C14	300.00'	28°41'11"	S76°06'49"W	148.64'	L14	S89°22'03"W	75.02'
C15	500.00'	5°00'00"	N148°00'00"	43.62'	L15	N84°39'04"W	110.60'
C16	45.00'	80°34'17"	N44°35'09"W	58.19'	L16	N89°21'40"E	210.00'
C17	650.00'	20°08'58"	S85°04'14"W	227.04'	L17	N89°23'29"E	115.00'
C18	650.00'	14°39'23"	S67°41'03"W	165.82'	L18	S78°55'06"W	112.32'
C19	375.00'	13°35'15"	S72°19'19"E	88.72'	L19	N76°57'53"W	60.00'
C20	45.00'	89°58'15"	N45°38'50"W	63.62'	L20	S0°39'42"E	27.59'
C21	20.00'	89°58'15"	N45°38'50"W	28.28'	L21	N0°37'57"W	25.00'
C22	10.50'	80°00'20"	S49°21'53"W	13.50'	L22	N44°22'03"E	35.36'
C23	50.00'	26°00'20"	S40°38'07"E	76.60'	L23	N72°32'55"W	14.27'
C24	50.00'	89°58'15"	N45°38'50"W	70.69'	L24	S29°07'17"W	14.54'
C25	50.00'	131°17'47"	N44°06'23"W	91.10'	L25	N58°19'53"W	14.37'
C26	525.00'	5°00'00"	N148°00'00"	45.80'	L26	N53°04'25"E	14.14'
C27	50.00'	141°36'42"	N45°39'50"E	94.44'	L27	N17°28'59"E	14.00'
C28	20.00'	80°34'17"	N44°35'09"W	25.86'	L28	N49°34'42"E	14.17'
C29	475.00'	5°00'00"	N148°00'00"	41.44'	L29	N44°35'18"W	14.11'
C30	20.00'	45°25'06"	S86°51'01"E	15.44'	L30	N36°55'35"W	14.14'
C31	50.00'	27°16'23"	S23°56'39"E	64.54'	L31	S83°24'41"E	10.00'
C32	20.00'	59°44'26"	S44°10'72"W	18.70'	L32	N22°34'41"E	10.00'
C33	20.00'	90°06'12"	N45°45'06"E	28.31'	L33	S68°45'45"E	10.00'
C34	190.00'	20°46'25"	S11°01'10"E	68.51'	L34	N47°26'40"E	10.00'
C35	50.00'	64°40'01"	S20°59'50"W	53.48'	L35	N79°34'21"E	80.38'
C36	200.00'	15°04'32"	N18°17'21"E	52.47'	L36	S89°22'03"W	172.69'
C37	50.00'	56°53'55"	N6°34'17"E	47.64'	L37	S14°45'17"E	130.78'
C38	525.00'	3°44'35"	S12°32'50"E	34.29'	L38	S89°32'36"E	72.63'
					L39	S28°03'00"E	39.70'
					L40	N89°23'29"E	115.00'
					L41	S0°37'57"E	36.55'
					L43	S34°01'53"E	42.79'
					L44	S81°55'35"E	22.44'
					L45	N55°58'07"E	35.00'
					L46	S81°55'35"E	35.86'
					L47	N61°46'13"E	4.69'
					L48	N89°22'03"E	48.74'
					L49	S89°22'03"W	13.83'
					L50	S76°23'59"W	26.23'
					L51	S58°36'34"E	14.75'

LAND USE SUMMARY	
TYPE 'A' LOTS	
MINIMUM SQUARE FOOT	6,875 SF
MINIMUM SETBACKS	25' FRONT, 7' SIDE, 25' REAR
MINIMUM SIDE SETBACK ADJ. TO STREET	15' SIDE ON CORNER LOT
MINIMUM WIDTH & DEPTH	55' X 125'
TYPICAL TYPE 'A' LOTS =	54
GROSS SITE AREA	15,890 AC
RIGHT-OF-WAY DEDICATION	4.496 AC
NET ACREAGE	11,394 AC
	LOTS      ACREAGE
RESIDENTIAL LOTS	54      10,745
NATURAL OPEN SPACE	3      0.649
LOT DENSITY	3.398 LOTS/ACRE

## NOTES

- DEVELOPER TO INSTALL ALL SIDEWALKS ALONG RIGHT-OF-WAY FRONTAGE OF HOA LOTS.
- ALL DEVELOPMENT WILL COMPLY WITH ALL ZONING AND SUBDIVISION ORDINANCE REQUIREMENTS.
- COMMON AREA LOT 2X AND LOT 6X, BLOCK J AND LOT 4X, BLOCK K SHALL BE DEDICATED AS LANDSCAPING, TRAILS, AND PEDESTRIAN ACCESS EASEMENTS TO BE OWNED AND MAINTAINED BY THE HOA.
- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF TOWN ORDINANCE AND STATE LAW AND IS SUBJECT TO A FINE AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- BASIS OF BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, TEXAS NORTH CENTRAL ZONE (4202) NORTH AMERICAN DATUM 1983 (NAZ01) EPOCH 2010.00.
- ALL LOT CORNERS SHALL BE MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP.
- "X" CUTS SET IN CONCRETE STREET PAVING AT ALL INTERSECTIONS AND POINTS OF CURVATURE.
- ALL LOTS SIDING OR BACKING A PUBLIC PARK, PUBLIC HIKE & BIKE TRAIL OR TOWN THOROUGHFARE SHALL HAVE A DECORATIVE METAL FENCE.
- 5,064 ACRES (220,587 SF) OF STREET RIGHT-OF-WAY IS BEING DEDICATED BY FEE SIMPLE TO THE TOWN OF PROSPER.
- LANDSCAPE EASEMENTS SHALL REMAIN EXCLUSIVE OF ALL OTHER TYPES OF EASEMENTS UNLESS APPROVED BY TOWN COUNCIL.
- THIS PLAT IS SUBJECT TO THE ADDITION RESIDENTIAL ZONING STANDARDS OUTLINED IN ORDINANCE 15-55.
- LOTS IN THIS PHASE ARE SUBJECT TO IMPACT FEES ORDINANCE 17-14.
- NO FLOODPLAIN EXISTS ON THIS SITE.

**OWNER/DEVELOPER:**  
BLUE STAR ALLEN LAND, L.P.  
8000 WARREN PARKWAY  
BUILDING 1, SUITE 100  
FRISCO, TEXAS 75034  
TEL: (972) 543-2412  
FAX: (214) 387-7781  
CONTACT: SCOTT SHIPP

**FINAL PLAT OF**  
**STAR TRAIL, PHASE 14**  
**BLOCK J - BLOCK K**  
CASE NO. DEVAPP-23-0157

LOTS 1-37, BLOCK J & LOTS 1-17, BLOCK K  
COMMON AREA LOT 2X, LOT 6X, BLOCK J,  
LOT 4X, BLOCK K

**ENGINEER:**  
PAPE-DAWSON CONSULTING ENGINEERS, LLC.  
6105 TENNYSON PARKWAY, STE 210  
PLANO, TEXAS 75024  
TEL: (214) 420-8494  
CONTACT: DUSTIN E. WENTZ, P.E.

**SURVEYOR:**  
ALLIANCE GEOSERVICES  
3420 STEVEN DRIVE  
PLANO, TEXAS 75023  
TEL: (214) 3072560  
CONTACT: JESUS LAJARA, RPLS

BEING 15,890 ACRES SITUATED IN THE  
J.M. DURRETT SURVEY, ABSTRACT NO. 350,  
IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS.

54 RESIDENTIAL LOTS  
3 COMMON AREA LOTS

**PAPE-DAWSON**  
**ENGINEERS**

6105 TENNYSON PKWY, STE 210 | PLANO, TX 75024 | 214.420.8494  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10194990  
DATE OF PREPARATION: SEPTEMBER 27, 2023



OWNERS CERTIFICATE:

STATE OF TEXAS §  
COUNTY OF DENTON §

BEING A TRACT OF LAND, LOCATED IN THE J.M. DURRETT SURVEY, ABSTRACT NO. 350, DENTON COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND CONVEYED AS PARCEL IV IN DEED TO BLUE STAR ALLEN LAND, L.P., ACCORDING TO THE DOCUMENT OF RECORD FILED IN DOCUMENT NUMBER 2011-60030, OFFICIAL RECORDS, DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1/2" IRON ROD FOUND IN THE SOUTH LINE OF THAT TRACT OF LAND CONVEYED IN DEED TO GEORGE L. MCCASLAND, ACCORDING TO THE DOCUMENT OF RECORD FILED IN DOCUMENT NUMBER 2022-128993, OFFICIAL RECORDS, DENTON COUNTY, TEXAS, FOR THE COMMON NORTHEAST CORNER OF SAID PARCEL IV, AND THE NORTHWEST CORNER OF THAT TRACT OF LAND CONVEYED IN DEED TO PEARLS OF PROSPER HOLDING COMPANY, LLC, ACCORDING TO THE DOCUMENT OF RECORD FILED IN DOCUMENT NUMBER 2022-36684, OFFICIAL RECORDS, DENTON COUNTY, TEXAS;

THENCE S 00°39'42" E, CONTINUING WITH EAST LINE OF SAID PARCEL IV, AND THE WEST LINE OF SAID PEARLS OF PROSPER HOLDING, A DISTANCE OF 45.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET FOR POINT OF BEGINNING OF THE TRACT OF LAND DESCRIBED HEREIN;

THENCE ALONG THE COMMON EAST LINE OF SAID PARCEL IV, AND THE WEST LINE OF SAID PEARLS OF PROSPER HOLDING COMPANY, LLC TRACT, THE FOLLOWING COURSES AND DISTANCES:

S 00°39'42" E, A DISTANCE OF 301.04 FEET TO A 1/2" IRON ROD FOUND, FOR THE COMMON INTERIOR ELL CORNER OF SAID PARCEL IV, AND AN EXTERIOR ELL CORNER OF SAID PEARLS OF PROSPER HOLDING COMPANY, LLC TRACT;

S 89°15'31" E, A DISTANCE OF 311.16 FEET TO A 1/2" IRON ROD FOUND, FOR THE COMMON EXTERIOR ELL CORNER OF SAID PARCEL IV, AND AN INTERIOR ELL CORNER OF SAID PEARLS OF PROSPER HOLDING COMPANY, LLC TRACT;

S 00°42'00" W, A DISTANCE OF 924.93 FEET TO A 1/2" IRON ROD FOUND, FOR THE COMMON INTERIOR ELL CORNER OF SAID PARCEL IV, AND THE SOUTHWEST CORNER OF SAID PEARLS OF PROSPER HOLDING COMPANY, LLC TRACT;

THENCE OVER AND ACROSS SAID PARCEL IV, THE FOLLOWING COURSES AND DISTANCES:

S 78°16'59" W, A DISTANCE OF 167.69 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

S 78°55'06" W, A DISTANCE OF 112.32 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 87°40'48" W, A DISTANCE OF 180.08 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 76°57'53" W, A DISTANCE OF 60.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET AT THE BEGINNING OF A NONTANGENT CURVE TO THE LEFT HAVING A RADIUS OF 375.00 FEET, A CENTRAL ANGLE OF 04°57'42", A CHORD BEARING AND DISTANCE OF N 10°33'16" E - 32.46 FEET;

ALONG SAID CURVE TO THE LEFT, AN ARC LENGTH OF 32.47 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 08°04'25" E, A DISTANCE OF 80.59 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 37°00'27" W, A DISTANCE OF 14.12 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 08°04'25" E, A DISTANCE OF 50.01 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 53°00'26" E, A DISTANCE OF 14.16 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 08°04'25" E, A DISTANCE OF 112.55 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET AT THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 475.00 FEET, A CENTRAL ANGLE OF 036°07'26", A CHORD BEARING AND DISTANCE OF N 09°59'18" W - 294.54 FEET;

ALONG SAID CURVE TO THE LEFT, AN ARC LENGTH OF 299.48 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 28°03'00" W, A DISTANCE OF 190.84 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET AT THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET, A CENTRAL ANGLE OF 05°58'52", A CHORD BEARING AND DISTANCE OF N 31°02'26" W - 28.69 FEET;

ALONG SAID CURVE TO THE LEFT, AN ARC LENGTH OF 28.71 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 34°01'53" W, A DISTANCE OF 7.79 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 75°01'53" W, A DISTANCE OF 14.14 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 34°01'53" W, A DISTANCE OF 50.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 10°58'07" E, A DISTANCE OF 14.14 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 34°01'53" W, A DISTANCE OF 82.77 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET AT THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 12°54'14", A CHORD BEARING AND DISTANCE OF N 40°29'00" W - 22.47 FEET;

ALONG SAID CURVE TO THE LEFT, AN ARC LENGTH OF 22.52 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 46°56'07" W, A DISTANCE OF 57.73 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET AT THE BEGINNING OF A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 250.00 FEET, A CENTRAL ANGLE OF 46°18'09", A CHORD BEARING AND DISTANCE OF N 23°47'02" W - 196.58 FEET;

ALONG SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 202.03 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 10°58'07" E, A DISTANCE OF 77.17 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 45°36'57" W, A DISTANCE OF 35.34 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

S 89°22'03" W, A DISTANCE OF 75.02 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 84°39'04" W, A DISTANCE OF 110.60 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 89°21'40" E, A DISTANCE OF 210.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

N 89°23'29" E, A DISTANCE OF 115.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "AG PROP COR" SET;

THENCE N 89°22'03" E, A DISTANCE OF 434.42 FEET TO THE POINT OF BEGINNING, AND CONTAINING 15.890 ACRES OF LAND, MORE OR LESS.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, BLUE STAR ALLEN LAND, L.P., ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED AGENT, DOES HEREBY ADOPT THIS PLAT, DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS **STAR TRAIL, PHASE 14**, AN ADDITION TO THE TOWN OF PROSPER, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON, THE (OWNER NAME) DOES HEREBY CERTIFY THE FOLLOWING:

- THE STREETS AND ALLEYS ARE DEDICATED FOR STREET AND ALLEY PURPOSES.
- ALL PUBLIC IMPROVEMENTS AND DEDICATIONS SHALL BE FREE AND CLEAR OF ALL DEBT, LIENS, AND/OR ENCUMBRANCES.
- THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN ARE DEDICATED FOR THE PUBLIC USE FOREVER FOR THE PURPOSES INDICATED ON THIS PLAT.
- NO BUILDING, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTH SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS IF APPROVED BY THE TOWN OF PROSPER.
- THE TOWN OF PROSPER IS NOT RESPONSIBLE FOR REPLACING ANY IMPROVEMENTS IN, UNDER, OR OVER ANY EASEMENTS CAUSED BY MAINTENANCE OR REPAIR.
- UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY THE PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND TOWN OF PROSPER'S USE THEREOF.
- THE TOWN OF PROSPER AND PUBLIC UTILITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDING, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN THE EASEMENTS.
- THE TOWN OF PROSPER AND PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.
- ALL MODIFICATIONS TO THIS DOCUMENT SHALL BE BY MEANS OF PLAT AND APPROVED BY THE TOWN OF PROSPER.

ACCESS EASEMENT

THE UNDERSIGNED COVENANTS AND AGREES THAT THE ACCESS EASEMENT(S) MAY BE UTILIZED BY ANY PERSON OF THE GENERAL PUBLIC FOR INGRESS AND EGRESS TO OTHER REAL PROPERTY, AND FOR THE PURPOSE OF GENERAL PUBLIC VEHICULAR USE AND ACCESS, AND FOR THE FIRE DEPARTMENT, POLICE, AND EMERGENCY USE IN ALONG, UPON, AND ACROSS SAID PREMISES, WITH THE RIGHT AND PRIVILEGE AT ALL TIME OF THE TOWN OF PROSPER, ITS AGENTS, EMPLOYEES, WORKMEN AND REPRESENTATIVES HAVING INGRESS, EGRESS, AND REGRESS IN, ALONG, UPON, AND ACROSS SAID PREMISES.

LANDSCAPE EASEMENT

THE UNDERSIGNED COVENANTS AND AGREES THAT THE LANDSCAPE EASEMENT AND RESTRICTIONS HEREIN SET FORTH SHALL RUN WITH THE LAND AND BE BINDING ON THE OWNER(S) OF THE PROPERTY IN THIS SUBDIVISION, THEIR SUCCESSORS AND ASSIGNS, AND ALL PARTIES CLAIMING BY, THROUGH AND UNDER THEM, IN THE EVENT A REPLAT IS REQUESTED ON ALL OR PART OF THIS PROPERTY, THE TOWN MAY REQUIRE ANY SIMILAR OR ADDITIONAL RESTRICTIONS AT ITS SOLE DISCRETION. THE SOLE RESPONSIBILITY FOR MAINTENANCE AND REPLACEMENT OF LANDSCAPE MATERIALS THEREOF SHALL BE BORNE BY ANY "HOMEOWNERS" ASSOCIATION HEREAFTER ESTABLISHED FOR THE OWNERS OF LOTS IN THIS SUBDIVISION AND/OR THE OWNER OF THE INDIVIDUAL LOTS WITHIN THIS SUBDIVISION. SUCH MAINTENANCE AND REPLACEMENT SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS, STANDARDS, AND SPECIFICATIONS OF THE TOWN OF PROSPER, AS PRESENTLY IN EFFECT OR AS MAY BE HEREAFTER AMENDED. THIS PROVISION MAY BE ENFORCED BY SPECIFIC PERFORMANCE OR BY ANY OTHER REMEDY ALLOWED BY LAW. THIS LANDSCAPE EASEMENT SHALL BE VOID OF UTILITIES AND OTHER ELEMENTS UNLESS OTHERWISE APPROVED ON THE PLAT.

THIS APPROVED SUBJECT TO ALL PLATING ORDINANCES, RULES, AND REGULATIONS OF THE TOWN OF PROSPER, TEXAS.

WITNESS, MY HAND, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

BY:  
BLUE STAR ALLEN LAND, L.P.,  
8000 WARREN PARKWAY  
BUILDING 1, SUITE 100  
FRISCO, TEXAS 75034

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

STATE OF TEXAS

COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED, \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_, DAY OF \_\_\_\_\_, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES ON: \_\_\_\_\_

SURVEYOR'S STATEMENT:

THAT I, JESUS LAJARA DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF PROSPER, DENTON COUNTY, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

PRELIMINARY THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE, AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

JESUS LAJARA  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6378  
FRM REGISTRATION NO. 10194544  
PAPE DAWSON CONSULTING ENGINEERS, LLC  
3420 STEVEN DRIVE  
PLANO, TEXAS 75023  
TELE. 214-307-2560  
EMAIL: INFO@ALLIANCEGEOSERVICES.COM

STATE OF TEXAS

COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, JESUS LAJARA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS \_\_\_\_\_, DAY OF \_\_\_\_\_, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES ON: \_\_\_\_\_

CERTIFICATE OF APPROVAL:

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, BY THE PLANNING & ZONING COMMISSION OF THE TOWN OF PROSPER, TEXAS

TOWN SECRETARY

ENGINEERING DEPARTMENT

DEVELOPMENT SERVICES DEPARTMENT

OWNER/DEVELOPER:

BLUE STAR ALLEN LAND, L.P.,  
8000 WARREN PARKWAY  
BUILDING 1, SUITE 100  
FRISCO, TEXAS 75034  
TEL: (972) 543-2412  
FAX: (214) 387-7781  
CONTACT: SCOTT SHIPP

ENGINEER:

PAPE-DAWSON CONSULTING ENGINEERS, LLC.  
6105 TENNYSON PARKWAY, STE 210  
PLANO, TEXAS 75024  
TEL: (214) 420-8494  
CONTACT: DUSTIN E. WENTZ, P.E.



SURVEYOR:  
ALLIANCE GEOSERVICES  
3420 STEVEN DRIVE  
PLANO, TEXAS 75023  
TEL: (214) 3072560  
CONTACT: JESUS LAJARA, RPLS

FINAL PLAT OF  
STAR TRAIL, PHASE 14

BLOCK J - BLOCK K

CASE NO. DEVAPP-23-0157

LOTS 1-37, BLOCK J & LOTS 1-17, BLOCK K  
COMMON AREA LOT 2X, LOT 6X, BLOCK J,  
LOT 4X, BLOCK K

BEING 15.890 ACRES SITUATED IN THE  
J.M. DURRETT SURVEY, ABSTRACT NO. 350,  
IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS.

54 RESIDENTIAL LOTS  
3 COMMON AREA LOTS



6105 TENNYSON PKWY, STE 210 | PLANO, TX 75024 | 214.420.8494  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10194390

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