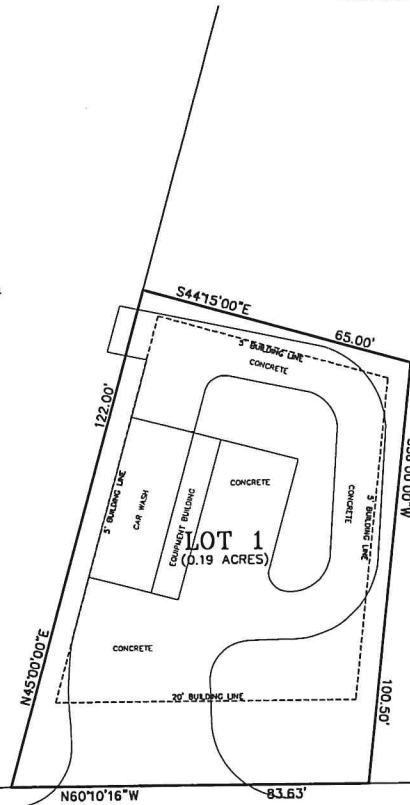


RAFEI SUBDIVISION

0.19 ACRE SUBDIVISION

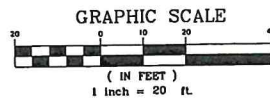
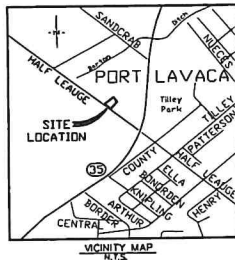
BEING ALL OF 0.187 ACRE IN GENERAL WARRANTY DEED RECORDED
IN FILE NO. 2020-00204 C.C.O.R.
MAXIMO SANCHEZ SURVEY, ABSTRACT NO. 35 OF CALHOUN COUNTY, TEXAS

8.3101 ACRES
FILE NO. 131020 C.C.O.R.



1.521 ACRES
204/48 C.C.O.R.

HALF LEAGUE ROAD



NOTE: BEARINGS SHOWN HEREON ARE TEXAS STATE PLANE SOUTH
CENTRAL ZONE NAD83 GRID BASED ON STATION HAPC-0219
ON THE RTK NETWORK.

LEGEND

- O EXISTING 3/4\"/>

PRELIMINARY. THIS DOCUMENT SHALL NOT
BE RECORDED FOR ANY PURPOSE AND
SHALL NOT BE USED OR VIEWED OR RELIED
UPON AS A FINAL SURVEY DOCUMENT

10-11-2021
RELEASE DATE

I, HENRY A. DANTSH, A REGISTERED PROFESSIONAL LAND
SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON
REPRESENTS THE RESULT OF A SURVEY MADE ON THE GROUND
UNDER MY DIRECTION ON OCTOBER 00, 2021.

G & W ENGINEERS, INC.
HENRY A. DANTSH
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5088



CERTIFICATE OF OWNERSHIP

STATE OF TEXAS
COUNTY OF CALHOUN

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE RAFEI
SUBDIVISION, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF PUBLIC
FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSE, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON
SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

ETHAN RAFEI (QUEST TRUST COMPANY FBO REPRESENTATIVE)

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ETHAN RAFEI, KNOWN TO
BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME
THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC, STATE OF TEXAS

FLOODPLAIN ADMINISTRATOR

ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) FOR CALHOUN COUNTY, TEXAS, COMMUNITY
PANEL NUMBER 48037C DIBSE, EFFECTIVE DATE OCTOBER 16, 2014, THE SUBJECT PROPERTY IS
LOCATED FLOOD HAZARD AREA ZONE K.

A DEVELOPMENT PERMIT IS REQUIRED FROM THE FLOOD PLAIN ADMINISTRATOR'S OFFICE, 211 SOUTH ANN
STREET, ROOM 301, PORT LAVACA, TEXAS, 77979.

LADONNA THORPH
FLOODPLAIN ADMINISTRATOR

CITY COUNCIL CERTIFICATE APPROVAL

STATE OF TEXAS
COUNTY OF CALHOUN

I, MANDY GRANT, CITY SECRETARY OF THE CITY OF PORT LAVACA, AN INCORPORATED CITY IN
CALHOUN COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING SUBDIVISION PLAT WAS
APPROVED BY THE CITY COUNCIL OF SAID CITY AS APPROVED BY LAW, AND THAT THE
RESOLUTION APPEARS OF RECORD IN VOLUME _____ PAGE _____ OF THE MINUTES OF
THE PLANNING BOARD OF PORT LAVACA AS KEPT IN MY OFFICE.

WITNESS MY HAND AND SEAL OF THE CITY OF PORT LAVACA, TEXAS, ON THIS THE _____
DAY OF _____, 2021.

CITY SECRETARY
CITY OF PORT LAVACA, CALHOUN COUNTY
STATE OF TEXAS

COUNTY CLERK CERTIFICATE

STATE OF TEXAS
COUNTY OF CALHOUN

CALHOUN COUNTY APPRAISAL DISTRICT

I, HEREBY CERTIFY THAT THE AD VALOREM TAXES ON THE LAND INCLUDED WITHIN THE BOUNDARIES
OF THIS PLAT ARE PAID FOR THE TAX YEAR _____ AND ALL PRIOR YEARS.

IF APPLICABLE, THE ABOVE-DESCRIBED PROPERTY HAS/IS RECEIVING SPECIAL APPRAISAL BASED ON
ITS USE, AND ADDITIONAL ROLLBACK TAXES MAY BECOME DUE BASED ON THE PROVISIONS OF THE
SPECIAL APPRAISAL (COMPTROLLER RULE 8.3040) OR PROPERTY OMITTED FROM THE APPRAISAL ROLL
AS DESCRIBED UNDER TAX CODE SECTION 25.21 IS NOT INCLUDED IN THIS CERTIFICATE (TAX CODE
SECTION 31.08 (9)).

SIGNED THIS THE _____ DAY OF _____, 2021.

BY: _____
JESSE W. HUBBELL
CHIEF APPRAISER

DRAWN BY:
J.H.D.
CHECKED BY:
H.A.D.
DATE:
OCT. 11, 2021
SCALE:
1" = 20'

G & W ENGINEERS, INC.
ENGINEERING • SURVEYING • PLANNING
205 W. LIVE OAK STREET, PORT LAVACA, TEXAS 77979
TELEPHONE NO.: 10022100
(361) 552-4509; PORT LAVACA (979) 323-7100; BAY CITY

FILE NO.:
7118-002
JOB NO.:
7118-002
SHEET NO.:
1 OF 1

PRELIMINARY PLAT

Property Identification #: 38209

Property Information: 2022

Owner Identification #: 116115

Geo ID: A0035-00000-0153-00
Situs 2248 FM 3084 PORT LAVACA,
Address: TX 77979
Property Type: Real
State Code: C1

Legal A0035 MAXIMO SANCHEZ,
Description: TRACT PT 30, ACRES .187
Abstract: A0035
Neighborhood: PORT LAVACA EAST
Appraised Value: N/A
Jurisdictions: G05, NV6, S01, C04, FML,
CAD, GWD

Name: QUEST TRUST COMPANY
Exemptions:
DBA: Null

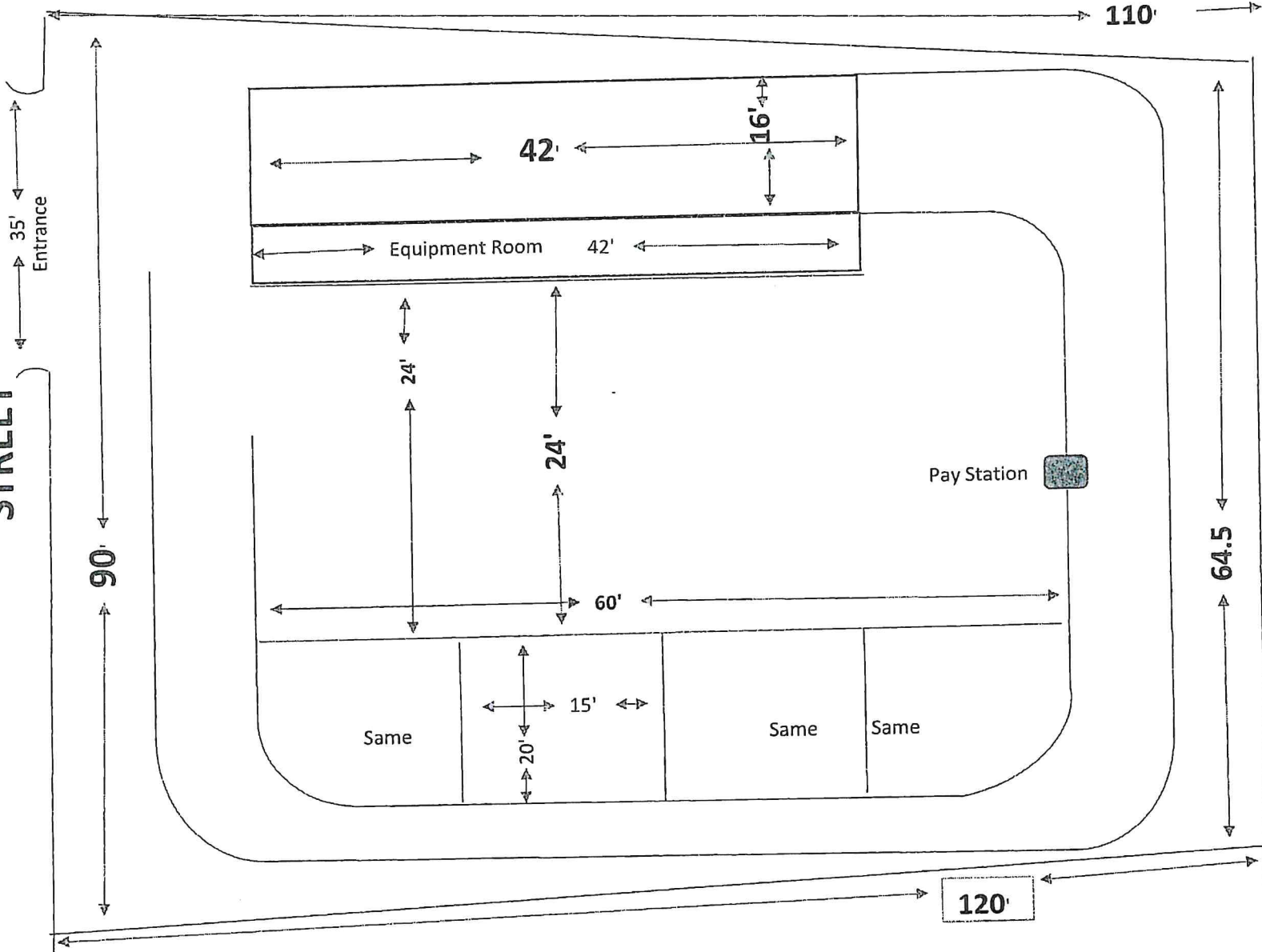
 Re-Center Map

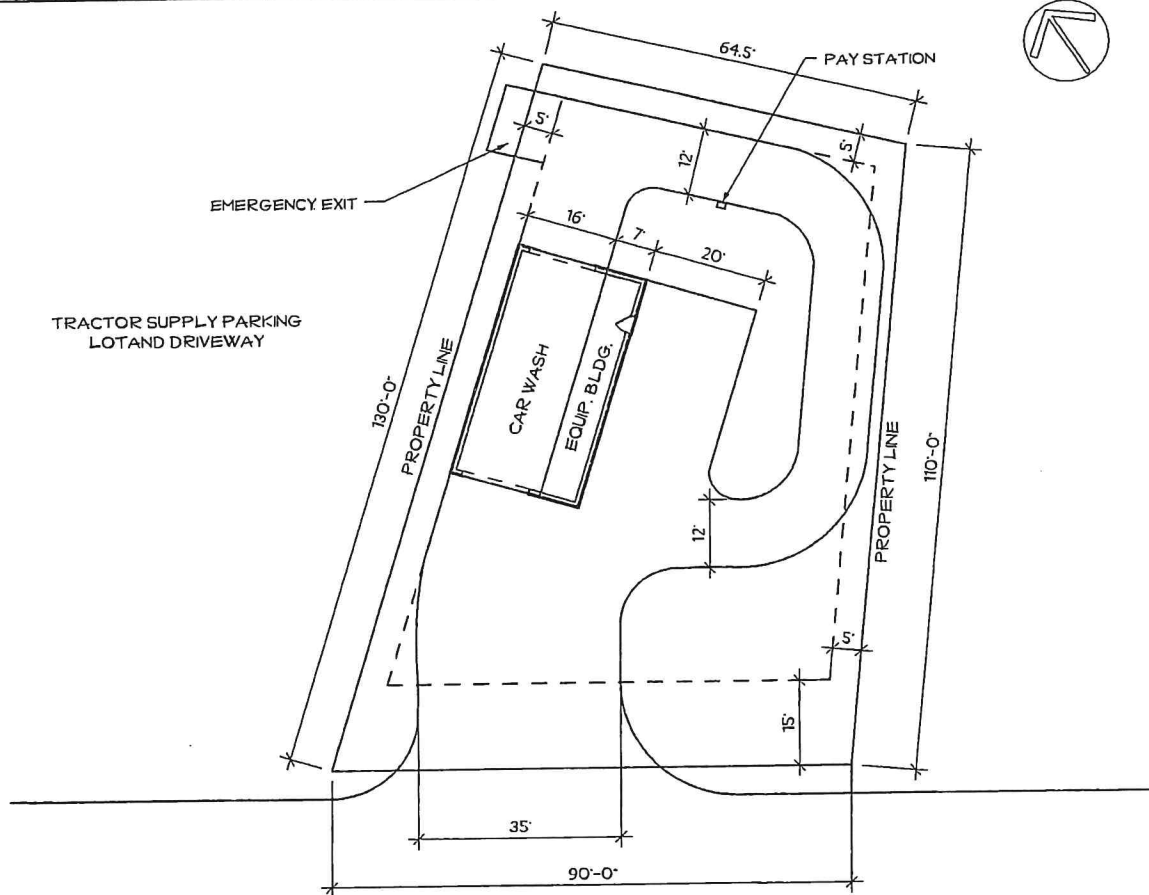


Calhoun CAD Map Search

This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The Calhoun County Appraisal District expressly disclaims any and all liability in connection herewith.

STREET





HALF LEAGUE RD. (FM 3084)

A0035 MAXMO SANCHEZ
TRACT PT 30
0.187 ACRES

GENERAL NOTES

No.	REVISION/ISSUE	DATE

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND
THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART
WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS
BEFORE CONSTRUCTION AND TO REPORT ANY
DISCREPANCIES TO THE DESIGNER.

VEF Engineering

527 Elmhurst Drive
Port Lavaca, TX 77979
(361) 920-6240
TX Firm No. 17596

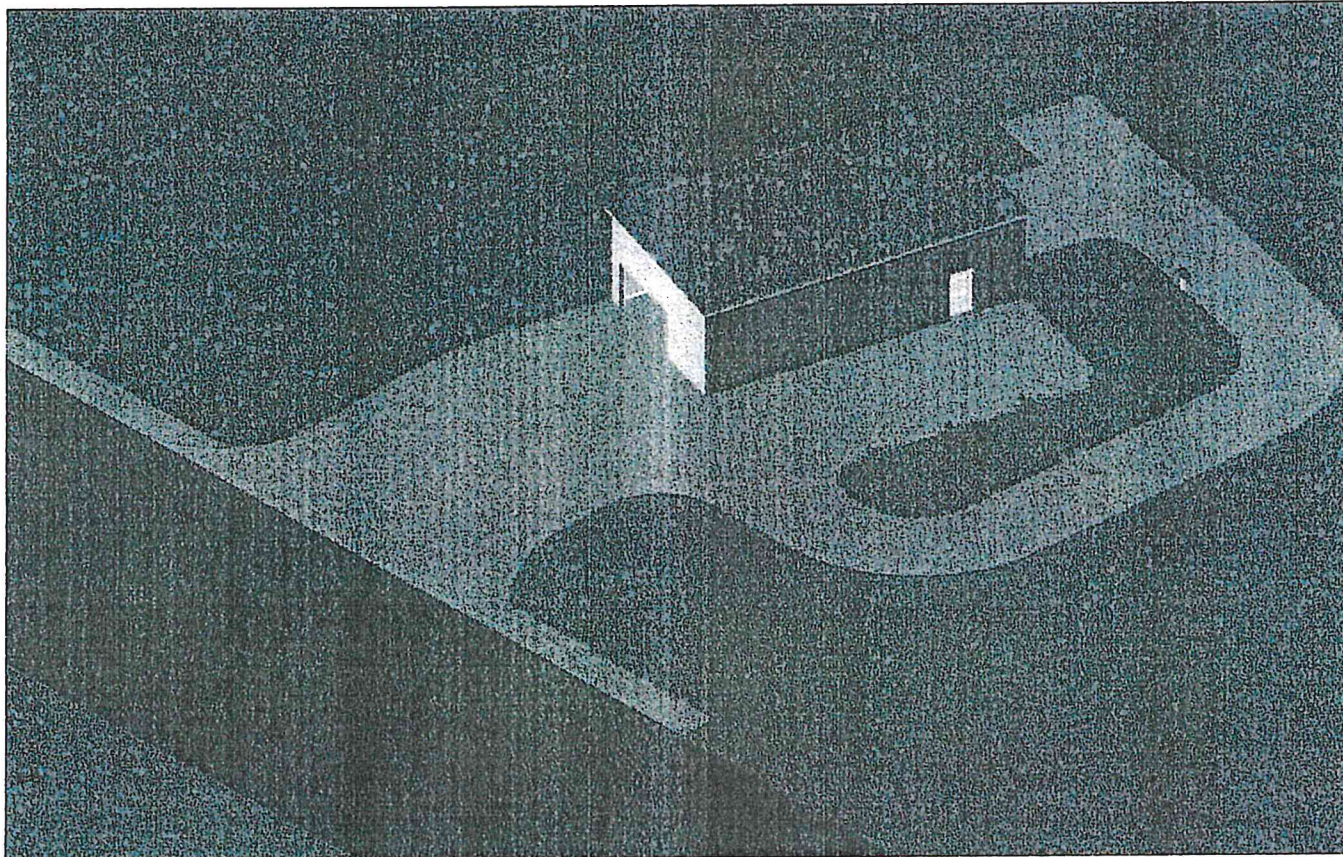
PROJECT NAME:
Automated Car Wash
2248 FM 3084
Port Lavaca, TX

CLIENT:
Ethan Rafael

DRAWING:
PRELIMINARY SITE PLAN

SCALE: 1"=20' DATE: FEB. 2021

DRAWN BY: VEF	SHEET: 1
CHECKED BY: VEF	
APPROVED BY: VEF	



GENERAL NOTES

No.	REVISION/ISSUE	DATE

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

VEF Engineering

527 Elmhurst Drive
Port Lavaca, TX 77979
(361) 920-6240
TX Firm No. 17596

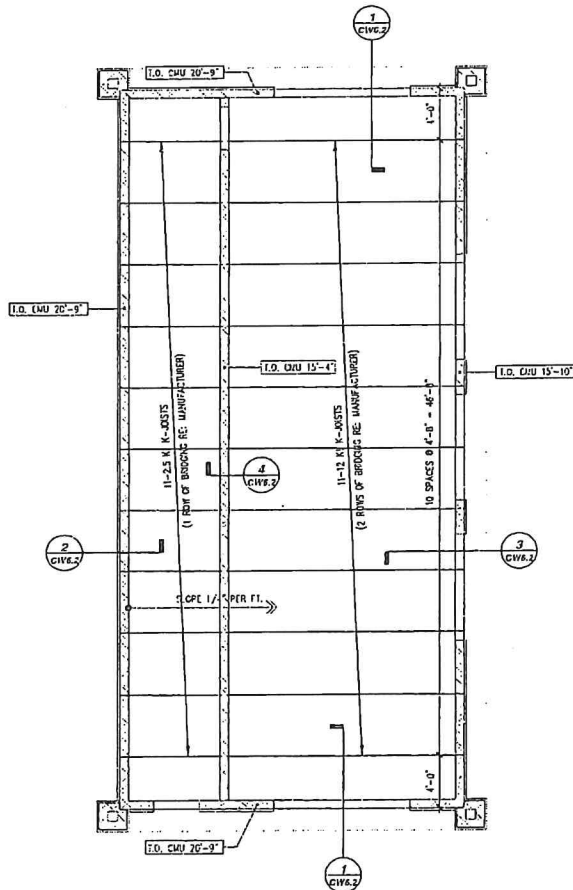
PROJECT NAME:
Automated Car Wash
2248 FM 3084
Port Lavaca, TX

CLIENT:
Ethan Rafei

DRAWING:
PRELIMINARY RENDERING

SCALE: 1/8"=1'-0" DATE: FEB. 2021

DRAWN BY: VEF	SHEET: 2
CHECKED BY: VEF	
APPROVED BY: VEF	



NOTE ON CMU WALL:
ALL CMU WALLS SHALL BE LOAD BEARING WALLS. (U.O.N.)

NOTE ON ROOF JOISTS
REFER TO JOIST MANUFACTURER'S DRAWINGS FOR JOIST, SIZE, SPACING AND CONNECTION DETAILS. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS TO ENGINEER-OF-RECORD FOR APPROVAL PRIOR TO COMMENCING JOIST MANUFACTURING.

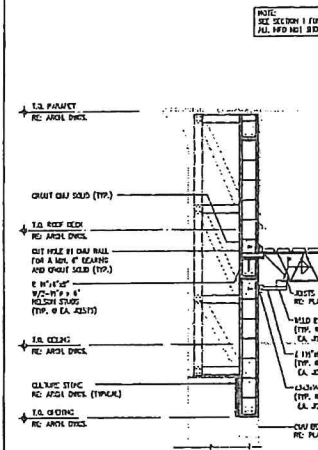
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

PLAN LEGEND

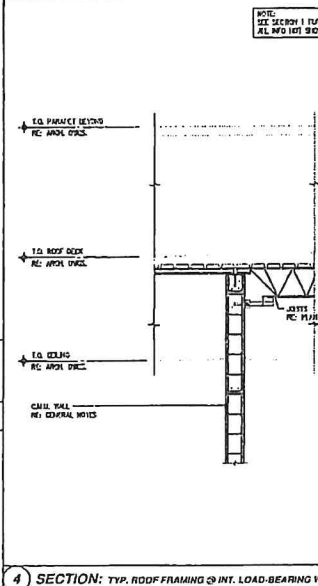
1. (U.O. CMU 20'-9") INDICATES TOP OF CMU WALL IN ELEVATION AND HORIZONTAL LOCATION.

GENERAL NOTES: COORDINATION W/ ARCH. DWGS.

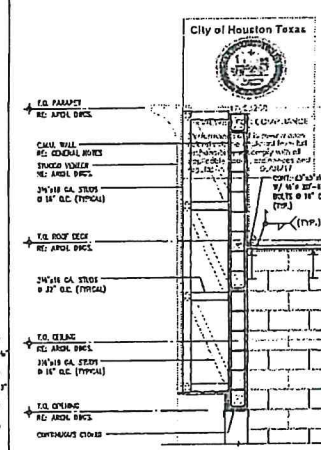
- CONTRACTOR SHALL REVIEW ARCHITECTURAL AND STRUCTURAL DRAWINGS CAREFULLY TO INSURE COORDINATION OF ALL PARTS OF CONSTRUCTION SHOWN IN THESE DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BOTH ARCHITECT AND ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION WORK.
- THE FOLLOWING ITEMS, IN PARTICULAR, HAVE TO BE CLOSELY COORDINATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS:
 - ALL FINISHES;
 - SLAB AND FLOOR ELEVATIONS, RISERS, LOCATIONS AND DIMENSIONS OF JNT NEEDLES;
 - PLUMBING, GAS, VENT & ELECTRICAL, OUTLETS, ETC.;
 - DOORS AND WINDOW LOCATIONS;
 - CEILING HEIGHTS AND CEILING CONDITIONS;
 - ROOF GEOMETRY AND SLOPES.
- CONTRACTOR IS ADVISED THAT IN ALL ITEMS LISTED UNDER PARAGRAPHS 1 ABOVE, ARCHITECTURAL DRAWINGS WILL GENERALLY TAKE PRECEDENCE OVER STRUCTURAL DRAWINGS.



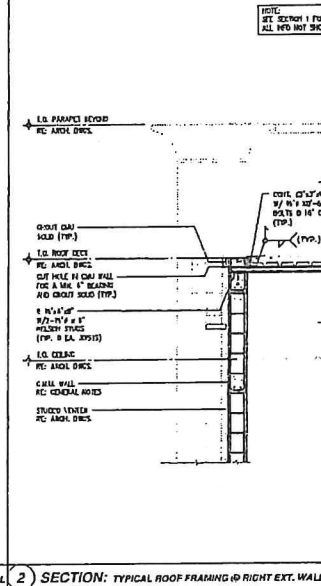
3 SECTION: TYPICAL ROOF FRAMING @ REAR EXT. WALL



4 SECTION: TYP. ROOF FRAMING @ INT. LOAD-BEARING WALL



1 SECTION: TYPICAL ROOF FRAMING @ REAR EXT. WALL



2 SECTION: TYPICAL ROOF FRAMING @ RIGHT EXT. WALL

REVISIONS		ISSUE HISTORY	
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	12/11/18	WFO
2	FOR CONSTRUCTION		
3	FOR CONSTRUCTION		
4	FOR CONSTRUCTION		

INTERFIELD
engineering
1401 MONTGOMERY AVENUE, SUITE 200
HOUSTON, TEXAS 77002
TEL: (713) 785-1025
WWW.INTERFIELD.NET TX REG. NO. F-5511

LANDMARK INDUSTRIES, LTD.
PROPOSED C-STREET
CARWASH/SERVICE STATION
1401 MONTGOMERY AVENUE
HOUSTON, TX 77002

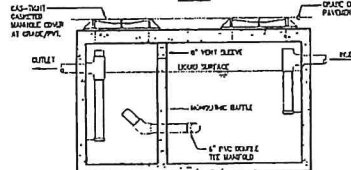
CARWASH ROOF FRAMING PLAN

PROJECT NO: 13041.00
DATE: 12/07/18
DRAWN BY: EJB
CHECKED BY: WFO

SHEET: CW6.1 of 10

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS & SHALL NOTIFY ENGINEER PRIOR TO INSTALLATION OF ANY DISCREPANCIES THAT MAY AFFECT THE WORK DESCRIBED HEREON.
2. FIELD EXCAVATION & PREPARATION SHALL BE COMPLETED PRIOR TO DELIVERY OF PUMP/STATION.
3. CONTRACTOR SHALL SUBMIT REQUIRED COPIES OF MANUFACTURER'S COMPLAINT FOR ENGINEER'S REVIEW. SHOP DRAWINGS SHALL BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.



CONSTRUCTION
INTERCEPTOR DESIGN & CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE
UNIFORM PLUMBING CODE, LATEST EDITION, INTERNATIONAL PLUMBING CODE, LATEST EDITION, ASTM C911,
C914, AND ALL OTHER LOCAL CODE REQUIREMENTS.

CONCRETE: MIN. 28-MPa COMPRESSIVE STRENGTH OF 4,500 PSI
CHISEL: TYPE I PORTLAND CEMENT, CONFORMING TO ASTM C150
REINFORCEMENT: GRADE 60 WITH STEEL REBAR
ASTM A193 FOR DEFLECTED BARS
ASTM A193 FOR YELDED-BAR TIE
WEDGED AREA OF REINFORCEMENT: CEMENTS SHALL BE
CLOSE VENTILATED AREA OF CONCRETE SECTIONS IN EACH DETECTOR
FRAMES & COVERS SHALL BE MANUFACTURED BY GYAT CAST FOR
CONFORMING TO ASTM A193-78 CLASS 30, PLATING GYAT
MANHOLE SHALL HAVE 24" HIGHER DIA AND BE PLACED AT
CEILING USING DETECTION RINGS IN 18" ROP

A. 500 PSF EARTH LOAD, AND
B. AASHTO H20-44 WHEEL LOAD, IF TRAP IS INSTALLED IN A TRAFFIC AREA
C. SATURATED SOIL PRESSURES, AS APPLICABLE, FOR DESIGN OF WELLS (NUMBER 20 P.S.F.)

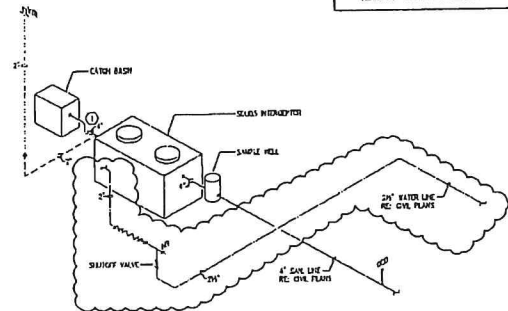
APPROVED MANUFACTURER
PARK EQUIPMENT COMPANY, HEATSEAL, TX. (713) 837-7602 OR APPROVED ECUAL
MANUFACTURER

QUALITY CONTROL

1. SUPPLIER SHALL SUBMIT TO INDEPENDENT LABORATORY TESTS & CALCULATIONS CERTIFYING THE GREASE INTERLAYER CAPACITY & STRUCTURAL STABILITY SHALL BE PROVIDED.
2. AFTER INSTALLING ALL PROPOSED REPAIRS/REPLACEMENTS, GENERAL CONTRACTOR SHALL RECTIFY ALL AFFECTED AREAS TO ITS ORIGINAL CONDITION.

INTERCEPTOR MODEL: PARK USA 95W-150
CAPACITY: 750 GALLONS

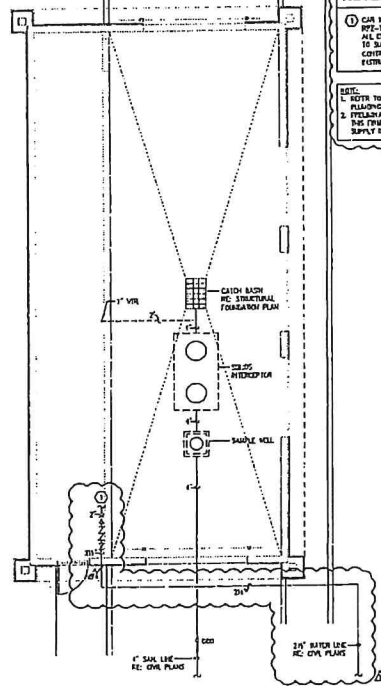
① GULJET END OF P-TRAP MUST BE LOWER THAN INLET.
PLUING P-TRAP IS NOT ALLOWED.

[illegible]

NOT TO SCALE

NOT TO SCALE

① CAR WASH FACILITY EQUIPMENT BY OWNER, PROVIDE 3" RPT-TYPE, BACKFLOW PREVENTER AS SHOWN LISTED OF ALL CONNECTIONS TO CAR WASH EQUIPMENT. CONNECTIONS TO SUCH EQUIPMENT SHALL BE MADE BY PLUMBING CONTRACTOR ACCORDING TO ALL MANUFACTURER'S INSTRUCTIONS.



GRAPHIC SCALE

ISSUE HISTORY		REVISIONS	
DATE	ISSUED FOR	DATE	DESCRIPTION
	CLADIT REVIEW	03/13/17	ADD COMMENTS DATED 06/27/17
12/13/16	PERMIT		
	BOOKING		
	CONSTRUCTION		
	PAINT WORK		

THE INTERFIELD GROUP
ARCHITECTURE | PLANNING | ENGINEERING
481 3700 PHOENIX, 31279 333
MOBILE 773 91 7100
TEL 717 750 8477
7876 REG. RD. #2411
PALESTINE, MD. 21087

LANDMARK INDUSTRIES, LTD.
PROPOSED C-STORE & CARWASH/ SERVICE STATION ADJACENT
14101 NORTHVIEW FREEWAY (STORE NO. 83109)

HOUSTON, TEXAS 77040

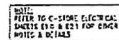
CARWASH PLUMBING PLAN, RISER, & DETAILS

DRAWN BY: DUK	DATE: 10/05/13	GREEN
---------------	----------------	-------

GW8 1-1

A	CHECKED BY: MFD	PROJ. NO.: 13041.00	DATE: 10/18/17
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PANEL CW



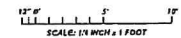
1. ALL THESE POINTS TO POINT TO LOCAL.
2. ALL LINES AND EQUIPMENT LINES SHALL BE CONNECTED TO NEAREST AVAILABLE CREDIT AND/OR ANY LOCAL SYSTEMS. ALL LINES AND EQUIPMENT LINES INSTALLED SHALL COMPLY WITH 22A R.F.C. AND/OR 700117-1.
3. ALL LINES IN 10, 12 AND 13, 1999 PUBLISHED IN THE FOLLOWING AREAS SHALL BE CREDITED TO THE POINTS:
4. ALL BUILDINGS
5. 12. BUSH
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262. 269. BUSH
263. 27

CIPHER SYSTEM PARTS		DESCRIPTION
A		HOVE FOR SIGNAL, SIGNAL POSITION, & OF SIGNAL INDICATED
		SECTION
		FUNCTIONS
		RECEIVED 151154
1	RECEIVED 151154	TRANSMISSION
		ANTENNA 300
		SECTION
		TRANSIT 140 (END BETWEEN PLANS)
2		SINGLE POLE DOOR SWITCH
1		DOUBLE POLE SWITCH
Tr. 1a		SWITCH - DOUBLE POLE, 3 PH, 1 WAY
1b		DOOR SWITCH
1c		COMPACTNESS DESIGN WITH MANUAL SWITCH
1d		RETI-PROTECTED SWITCH
1e		PULSE LIGHT SWITCH
1f		SAMPLE RECEIVABLE
1g		AMPLE RECEIVABLE
1h		CLAR RECEIVABLE
1i		RECEIVABLE BALCH AT 200
1j		FLOOR-WEARER RECEIVABLE
1k		CLAR-WEARER RECEIVABLE
1l		RECEIVABLE MOUNTED UNDER COUNTER
1m		RECEIVABLE WITH CRASH FALLO DOWN INTERPROD
1n		INTERIOR USE WEATHER-PROOF RECEIVABLE WITH CG
1o		RECEIVABLE RECEIVABLE
1p		USING MOUNTED SAME DETECTOR?
1q		PUSH BUTTON CONTROL

[illegible]

NOTES

1. THIS IS A STANDARD SYMBOL. ALL SYMBOLS DO NOT NECESSARILY APPEAR ON PLANS.
2. ALL RECEPTACLES TO BE RATED AT 75% 125% U.S.C.
3. ALL SWITCHES TO BE MOUNTED AT 48" AFF WALL.
4. ALL RECEPTACLES AND OTHER OUTLETS TO BE MOUNTED AT 15" AFF MIN.



GRAPHIC SCALE

ISSUE HISTORY		REVISIONS	
DATE	ISSUED FOR	DATE	DESCRIPTION
12/13/15	PERMIT		
	BIDDING		
	CONSTRUCTION		

FINAL REVIEW		
 THE INTERFIELD GROUP ARCHITECTURE PLANNING ENGINEERING 401 RUMFORD ST. SUITE 300 HOUSTON, TEXAS 77002 TEL: 713.779.0077 FAX: 713.779.0077 WWW.INTERFIELDGROUP.COM	TEL: 713.779.0077 FAX: 713.779.0077 WWW.INTERFIELDGROUP.COM	TEL: 713.779.0077 FAX: 713.779.0077 WWW.INTERFIELDGROUP.COM

LANDMARK INDUSTRIES, LTD.
PROPOSED C-STORE & CARWASH/ SERVICE STATION ADDITION
14101 NORTHWEST FREEWAY (STONE NO. 63109)
HOUSTON, TEXAS 77040

CAR WASH ELECTRICAL PLAN		
DRAWN BY: CLK	DATE: 12/09/13	SHEET:
CHECKED BY: MH	PROJ NO: 1204100	CW9.1 of 13

$$\text{SHE: } 1/4^{\circ} = 1^{\circ}-0^{\circ}$$

CAR WASH ELECTRICAL PLAN A

DRAWN BY: CLK CHECKED BY: MCH	DATE: 10/09/13 PROJ NO: 10041200	SHEET: CW9.1 of 13
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